

**URBAN RENEWAL AGENCY BOARD MEETING MINUTES
MAY 14, 2012**

HH:MM

0:00 **DATE: COUNCIL CHAMBERS, CITY HALL, CITY OF WOODBURN,
COUNTY OF MARION, STATE OF OREGON, MAY 14, 2012.**

CONVENED: The meeting convened at 6:05 p.m. with Chair Figley presiding.

ROLL CALL:

Chair	Figley	Present
Member	Cox	Absent
Member	Lonergan	Present
Member	McCallum	Absent
Member	Morris	Present
Member	Pugh	Present
Member	Schmidt	Present

Staff Present: City Administrator Derickson, City Attorney Shields, Economic & Community Development Director Hendryx, Community Services Director Row, Public Works Director Brown, Human Resources Director Hereford, City Recorder Shearer.

0:00 **PRESENTATIONS**

A. Economic and Community Development Director Hendryx provided a list of short and mid-term Urban Renewal Projects to be considered by the Board. Director Hendryx also reviewed projects that have been undertaken to date. Board recommends that staff get public input on the projects being considered.

0:44 **CONSENT AGENDA**

A. Approve Urban Renewal Agency minutes of April 9, 2012.
Lonergan/Pugh... adopt the Consent Agenda. The motion passed unanimously.

0:44 **RESOLUTION 2012-02: A RESOLUTION ESTABLISHING A DESIGN
SERVICES PROGRAM FOR THE URBAN RENEWAL AREA**

Chair Figley declared a potential conflict of interest as a property owner in the eligible area and may benefit from the program in the future. Member Lonergan took the gavel. Economic and Community Development Director Hendryx provided a staff report. Member Lonergan asked how in depth the report the individual gets will be and Director Hendryx answered that they would still have to go out and hire an architect. They would receive preliminary estimates that would help them move forward to the next step.
Morris/Pugh ...adopt the resolution. On roll call vote for final passage, the resolution was adopted unanimously.

0:50 **URBAN RENEWAL GRANT 2011-01 DEL SOL MARKET-INTERIOR GRANT
(SUN NAM YI) GRANT EXTENSION**

**URBAN RENEWAL AGENCY BOARD MEETING MINUTES
MAY 14, 2012**

HH:MM

Economic and Community Development Director Hendryx explained the reason behind the extension request. **Lonergan/Morris** ... approve the extension of Urban Renewal Grant 2011-01. Motion passed unanimously.

0: 51

ADJOURNMENT

Morris/Lonergan ...meeting be adjourned. The motion passed unanimously. The meeting adjourned at 6:56 p.m.

APPROVED _____

KATHRYN FIGLEY, Chair

ATTEST _____

Christina M. Shearer, Recorder
City of Woodburn, Oregon

DRAFT

**URBAN RENEWAL AGENCY BOARD MEETING MINUTES
JUNE 11, 2012**

0:00 **DATE: COUNCIL CHAMBERS, CITY HALL, CITY OF WOODBURN,
COUNTY OF MARION, STATE OF OREGON, JUNE 11, 2012.**

CONVENED: The meeting convened at 6:48 p.m. with Chair Figley presiding.

ROLL CALL:

Chair	Figley	Present
Member	Cox	Absent
Member	Lonergan	Present
Member	McCallum	Present
Member	Morris	Present
Member	Pugh	Absent
Member	Schmidt	Present

Staff Present: City Administrator Derickson, City Attorney Shields, Economic & Community Development Director Hendryx, Public Works Director Brown, Acting Finance Director Shearer, Assistant City Recorder Pierson

0:00 **PUBLIC HEARING**

A. Chair Figley declared the hearing open at 6:48 pm for the purpose of hearing public input on the Agency’s Budget for 2012-13. City Administrator Derickson provided a staff report. No members of the public wished to speak in either support or opposition of budget. Chair Figley declared the hearing closed at 6:50 pm.

0: 02 **A RESOLUTION ADOPTING THE CITY OF WOODBURN URBAN RENEWAL
BUDGET FOR THE FISCAL YEAR 2012-2013**

Lonergan/Morris... adopt the resolution. On roll call vote, the motion passed 3-1 with Councilor Schmidt voting no.

0:03 **DOWNTOWN ADVISORY REVIEW SUBCOMMITTEE TEMPORARY
APPOINTMENT**

Director Hendryx explained the reason behind the appointment of Eric Morris as a temporary member of the Downtown Advisory Review Subcommittee. Councilor Morris asked if there was a conflict and whether he should vote on this. City Attorney Shields answered that it is fine if he wants to vote. Councilor Lonergan asked if he would have to be voted off after a certain period of time and it was explained that Councilor Morris would be a permanent temporary member of the Downtown Advisory Review Subcommittee. **McCallum/Lonergan...** approve the appointment of Board Member Eric Morris as a temporary member of the Downtown Advisory Review Subcommittee. Motion passed unanimously.

0:05 **ADJOURNMENT**

McCallum /Lonergan ...meeting be adjourned. The motion passed unanimously. The meeting adjourned at 6:53p.m.

**URBAN RENEWAL AGENCY BOARD MEETING MINUTES
JUNE 11, 2012**

APPROVED _____
KATHRYN FIGLEY, Chair

ATTEST _____
Heather Pierson, Assistant City Recorder
City of Woodburn, Oregon

DRAFT

**URBAN RENEWAL AGENCY BOARD MEETING MINUTES
JUNE 25, 2012**

HH:MM

0:00 **DATE: COUNCIL CHAMBERS, CITY HALL, CITY OF WOODBURN,
COUNTY OF MARION, STATE OF OREGON, JUNE 25, 2012.**

CONVENED: The meeting convened at 6:46 p.m. with Chair Figley presiding.

ROLL CALL:

Chair	Figley	Present
Member	Cox	Present
Member	Lonergan	Present
Member	McCallum	Present
Member	Morris	Present
Member	Pugh	Present
Member	Schmidt	Present

Staff Present: City Administrator Derickson, City Attorney Shields, Economic & Community Development Director Hendryx, Public Works Director Brown, Acting Finance Director Shearer, Assistant City Recorder Pierson.

0:00 **URBAN RENEWAL GRANT URG 2012-03 591 N FRONT STREET (FLOMER)**
Economic & Community Development Director Hendryx provided an overview of the application. **Lonergan/Pugh...** approve the Urban Renewal Interior Grant application from Tom Flomer, owner of the Corner Brick Loft building at 591 N Front Street, for up to \$5,000. Motion passed unanimously.

0:03 **ADJOURNMENT**
McCallum /Schmidt ...meeting be adjourned. The motion passed unanimously.
The meeting adjourned at 6:49 p.m.

APPROVED _____
KATHRYN FIGLEY, Chair

ATTEST _____
Heather Pierson, Assistant City Recorder
City of Woodburn, Oregon



Agenda Item

Date: August 3, 2012

TO: Urban Renewal Agency Board
FROM: Matt Craigie, Economic Development Manager
SUBJECT: **Urban Renewal Grant URG 2012-04 650 N. First Street (Eagle Newspapers, Inc.)**

RECOMMENDATION:

In agreement with the Downtown Advisory Review Subcommittee, it is recommended that the Woodburn Urban Renewal Agency Board approve the Urban Renewal Exterior Grant application from Eagle Newspapers, Inc. (the parent company of the Woodburn Independent) for up to \$10,000.

BACKGROUND:

The Woodburn Urban Renewal Agency Board approved a comprehensive grant and loan program on February 14, 2011 for properties within downtown Woodburn. The program is designed to provide matching funds for exterior (\$10,000) and interior (\$5,000) improvements to commercial properties located in the historic downtown district. The program also provides loan funds (\$25,000) to further these same improvements.

Proposal

The proposal is to repair the leaking roof and stop water from rotting the ceiling and roofing.

The exterior grant program is intended to improve the exterior of buildings located downtown. The following list is not exhaustive, but covers the majority of types of exterior projects that are eligible for grant funding:

- o _ADA accessibility
- o _Awnings/canopies
- o _Code deficiencies
- o _Cornices
- o _Design & architectural services (up to \$1,000)
- o _Electrical

-
- _Energy efficient upgrades (some restrictions apply)
 - _Environmental remediation
 - _Exterior lighting
 - _Exterior painting and cleaning
 - _Gutters & downspouts
 - _HVAC
 - _Permits
 - _Plumbing
 - _Seismic
 - _Storefronts
 - _Re-pointing
 - _Replacement of missing decorative features
 - _Removal of non-historic materials or additions
 - **Roofing**
 - _Windows
 - _Installation of rooftop hatch door
 - _New flooring & carpeting
 - _Replacement of interior lighting for energy savings

 - **Ineligible Activities:**
 - _Administrative costs or payments to borrower for direct labor costs
 - _Building acquisition
 - _Improvements to non-public faces of buildings
 - _Inventory or other working capital
 - _Landscape improvements
 - _Property maintenance
 - _Work (wages) not performed by a licensed contractor

Grant amount:	\$10,000
Estimated cost of all improvements:	\$29,450
Percentage of grant to total project costs:	34%

Program Criteria:

Property Location & Ownership

The property is located at 650 N. First Street. Information from the Marion County Department of Assessment and Taxation indicates the property is owned by Eagle Newspapers, Inc.

Nikki DeBuse is the manager of the Woodburn Independent, the business owned by Eagle Newspapers at that location. The grant shall go to Eagle Newspapers, the parent company of The Woodburn Independent.

- That the property is within the Urban Renewal & Downtown Development and Conservation (DDC) District

The property is within the Urban Renewal and Downtown Development and Conservation (DDC) District.

- That the proposal complies with the downtown architectural design standards and signage standards

The exterior grant is intended to repair the existing roof, which is not visible to the public. This request does not impact the appearance of the building nor signage.

- That the project encourages greater marketability of the downtown area

The proposed grant is intended to improve commercial properties within downtown Woodburn. Investment in downtown properties improves the overall marketability of the downtown.

- That the proposal will complement the existing historic downtown core

The grant is intended to repair the existing roof, which is not visible to the public. Investment in the downtown complements other activities throughout the area.

- That the project design works toward restoring the building as close to its original design as possible

The exterior grant is intended to repair the existing roof, which is not visible to the public. The request does not affect the building design.

- That building interiors are improved with a focus on addressing code-related improvements

Not applicable

- That the project is in the public interest

The Urban Renewal Program specifically identifies the need to improve buildings within Woodburn's downtown. Continued improvements will be made to the subject property.

Summary and Conclusion

The Downtown Grant and Loan Program is intended to encourage and assist business and property owners to invest in the downtown. This particular grant application is intended to assist the business owners to make improvements to their property by repairing the roof. The request is consistent with the program criteria.

Conditions of Approval

1. There is a 50/50 match requirement required for the Grant program. Invoices must be submitted for reimbursement. No grant money will be disbursed until the project is completed and is approved by the Agency.
2. Grant and loan funds cannot be used for any work commenced or completed prior to project approval.
3. Grant and loan funds may be used for materials and services provided by licensed contractors.
4. All necessary building, electrical, plumbing permits must be obtained and work inspected and approved.
5. Projects shall be completed within one year of approval in order to be eligible for reimbursement. Grants provide for a single payment after receipts are provided and all completed work is accepted by the City.
6. All work will be done by licensed contractors and the applicant needs to provide at least three bids for every aspect of work greater than \$2,500.

Attachments:
Pictures
Grant application
Bid submittal

Urban Renewal Grant and Loan Application Review
URG 2012-04 650 N. First Street (Woodburn Independent)





Urban Renewal Grant and Loan Application Review
URG 2012-04 650 N. First Street (Woodburn Independent)





Urban Renewal Grant and Loan Application Review
URG 2012-04 650 N. First Street (Woodburn Independent)





Urban Renewal Grant and Loan Application Review
URG 2012-04 650 N. First Street (Woodburn Independent)



Woodburn Urban Renewal Agency Downtown Grant and Loan Program

Application

Exterior Grant Interior Grant Loan

1. Applicant Nikki DeBuse on behalf of
Name: Woodburn Independent / Eagle Newspapers, Inc.

Address: 650 N. First St Woodburn OR 97071

Work Phone: (503) 981-3441 Home Phone: (503) 980-8336 (Nikki)

Legal Form: Sole Proprietorship Partnership Corporation Non-Profit

2. Building or Business to be rehabilitated

Name: Woodburn Independent / Eagle Newspapers, Inc.

Street Address: 650 N. First St Woodburn OR 97071

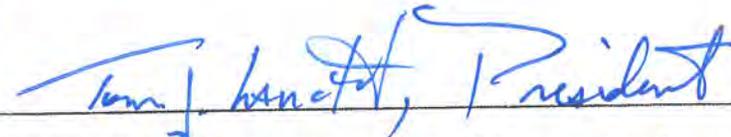
Tax Map/Lot Number: 051W

3. Property Owner

Name: Eagle Newspapers, Inc.

Address: P.O. Box 12008

Work Phone: (503) 393-1774 Home Phone: ()

Property Owner's Signature: 

4. Loan Program - Give a brief description of the overall proposed improvements and how loan funds will be used to improve the property.

None

Loan amount: \$ _____

Estimated total cost of improvements: \$ _____

Percentage of loan to total project costs: _____%

5. **Exterior Grant Program** - Give a brief description of the proposed exterior improvements and a description of how the project complies with the Downtown Architectural Design Standards.

Re-roof 40x80 flat roof to stop ongoing
leaks, seepage and parapet, ponding, etc.

Loan amount: \$ 0
Grant amount: \$ 10,000
Total estimated cost of all work: \$ 29,450
Percentage of grant to total project costs: 34 %

6. **Interior Grant Program** - Give a brief description of the proposed interior improvements and how this work addresses code related improvements.

Grant amount: \$ _____
Estimated cost of all improvements: \$ _____
Percentage of grant to total project costs _____ %

The Woodburn Urban Renewal Board will review the proposed redevelopment improvements and advise the applicant of the status or recommend changes.

CERTIFICATION BY APPLICANT

The applicant certifies that all information provided in this application is true and complete to the best of the applicant's knowledge and belief. If the applicant is not the owner of the property to be rehabilitated, or if the applicant is an organization rather than an individual, the applicant certifies that he/she has the authority to sign and enter into an agreement to perform the proposed work on the building. Evidence of this authority must be attached.


Applicant's Signature

7/27/12
Date

Return Application To:
James N.P. Hendryx
Economic & Development Services
270 Montgomery St.
Woodburn, OR 97071

Team Evolution

July, 26, 2012

Nikki DeBuse ; Woodburn Independent

650 North First Street Woodburn, Oregon 97071

Rubberizeit Roof Proposal

Thank you for the opportunity to provide pricing to apply the Rubberizeit Liquid Rubber product to your roof. Our price includes all labor and materials to provide the following.

Scope of Work: The Entire Flat/Low Slope Roof, Parapet Walls, Flashings, & All Penetrations are covered by this proposal for the building located at 650 North First Street. The building having a surface area of approximately 41 ft x 81 ft, or (3,300 sq ft) with a vertical Parapet ,wall cap and angled coping equaling 3.5' x 260 lineal feet, or(910sq ft), giving a total area of surface to cover of 4100 sq feet plus curbs vents and penetrations. The area as described above shall be prepped and Rubberized as per manufacturers specifications and the following scope of work, materials, and methods to complete the monolith roof system.

- Power wash and clean roof surface removing any and all debris.
- Clean & prep all existing metal surfaces remove any loose materials rusting, or scale, and then prep for Rubberizeit waterproof coating. Note "Clean" meaning that the surfaces pass the duct tape test .This method uses a piece of duct tape to the area that Rubberizeit. is to be applied to, if the tape sticks then the Rubberizeit will.
- Raise all six existing Mushroom roof vent caps by 18 inches. By removing the cap, then adding an 8" x18" galvanized round duct extension to the existing duct and reinstall cap then prep for Rubberizeit.
- Remove existing abandon metal chimney stack, patch hole in roof deck created by its removal, using plywood, and construction lumber to make a sound permanent patch. Then prep for Rubberizeit.
- Extend plumbing vents (1-4" & 3- 1 ½") to have a minimum height of 24" above the roof deck.
- Prep electrical service mast for Rubberizeit.
- Parapet walls; (entire perimeter of the roof) clean prep remove any loose paint, or caulk, then check and secure any loose metal cladding the parapet wall. Prep for Rubberizeit once this process has been completed.

- HVAC & Exhaust fan curbs (Quantity 2) prep for Rubberizeit. Note if the Owner chooses to replace the HVAC unit Team Evolution will work with the owners HVAC contractor at the time of the roof installation, and or any time within a year of the roof installation, so that the curb deck under the unit can be sealed, and to correct any blemishes that may occur as a result of the HVAC install. Also if the curb mounted exhaust fan is determined to be abandoned Team Evolution at the time of the roof installation will remove the unit, and patched in the same manner as the chimney described above.
 - Apply polyester fabric embedded in liquid rubber to all vertical wall seams as per manufacturer's specifications bonding the metal to the roof, and the metal to metal seams to each other.
 - Prepare roof for liquid rubber roof; all seams, copings, flashings, vent& pipe penetrations, and equipment pedestals shall have polyester fabric membrane embedded in liquid rubber.
 - Polyester fabrics embed the existing through wall drain scupper, and Rubberize the entire surface area to complete the monolith roof system.
 - Spray Apply Rubberizeit Liquid Rubber membrane to the entire flat roof and vertical wall surfaces (as identified above). Including all vents, risers, piping, equipment, pedestal, flashings, drain scupper, copings, and the top of the parapet wall. Virtually fusing all components into one homogenous waterproof Rubberizeit rubber membrane.
 - Note #1.) Access to the roof will be from the rear of the building crew will need to use one parking space along right side parking lot on a daily basis for a minimum period of (4)work days.
 - Note #2.) Water and electrical power to perform work shall be furnished by owner.
- The work will take approximately (4) working days to complete, and is weather dependant.

Total Cost: **\$17,680.00**

Payment Terms;

Acceptance of contract	\$ 9,000.00
Upon Completion	<u>\$ 8,680.00</u>

Warranty

Team Evolution offers a 10 year manufacturer's warranty on all materials and a matching warranty on labor in the event the Aqua Guard Liquid Rubber should fail. In the event a defect is caused by a third party and or is beyond the scope of the material and installation process, the owner shall compensate Team Evolution for the cost of repairs at the current time and material rate.

Your signature conveys acceptance of the contract.

Peter Nance or Tom Owens _____	Authorized Agent _____
Team Evolution	Woodburn Independent
Date; _____	Date; _____

Team Evolution: Suit C 424 Wa -Na-Pa St. Cascade Locks OR. 97014 PH. # 503-740-0840



ROOF MASTERS, INC.

CCB #85663
10701 S. Macksburg Rd. CANBY, OR 97013
(503) 266-5848 • FAX (503) 263-2729
www.roofmasters.info
www.roofmasters-oregon.com

3248

WOODBURN INDEPENDENT
650 N 1ST ST
WOOD BURN OR 97071

981-3441 3-512
FAX 981-1253
SAME -
ATT: Niki

- REMOVE EXISTING MEMBRANE TO SHEATHING AND DISPOSE.
- REPLACE ANY BAD SHEATHING WITH NEW 1/2 CDX @ \$35.00 PER SHEET
- REMOVE EXISTING METAL CAP (AND RE-USE).
- INSTALL ISO TAPERED INSULATION TO ACHIEVE PROPER DRAINAGE
- INSTALL GAF 60 MIL TPO SINGLE PLY SYSTEM OVER INSULATION
- REPLACE ALL VENTS, PIPE FLASHINGS WITH NEW -
- 10 YR WARRANTY ON ALL WORKMANSHIP.
- 10 YR WARRANTY ON MATERIAL FROM MANUFACTURER.

COST: \$29,430.00

PLEASE NOTE: IF ANY ADDITIONAL PAY POT IS FOUND REPAIR ON A TIME AND MATERIAL BASIS @ \$40.00 PER MAN HOUR PLUS 10% ON MATERIAL.

We Propose hereby to furnish material and labor -- complete in accordance with above specifications, for the sum of:

dollars (\$29,430.00)

Payment to be made as follows:

1/3 DOWN FOR START BALANCE UPON COMPLETION

All material is guaranteed to be as specified. All work to be completed to the satisfaction of the owner according to standard practices. Any alteration or deviation from the above specifications without the written consent of the contractor shall be at the owner's expense. The contractor shall be responsible for obtaining all necessary permits and for the safety of all workers. The contractor shall be responsible for obtaining all necessary insurance. The contractor shall be responsible for the removal and disposal of all debris.

Authorized Signature: *Jim Hill*

Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal

Fax To: Rob Paisley
 Company: ABC Supply Co., Inc. #074
 1835 NE Columbia Blvd
 Portland, OR 97211-1922
 Phone #: 503-286-1166
 Fax #: 503-286-3717

Contractor:

General Project Information:

Date Quoted: 3/2/2012
 Job Name: 1125892

Location: Portland, OR
 Job #: SM-1125892-X1



4860 Spring Grove Ave
 Cincinnati, OH 45232
 Ph / 800-577-1222 (ext.12)
 Fax / 800-964-1647

Project Manager: Shane Mees
 E-Mail: shane.mees@abcsupply.com

Tapered System Description:

Material: ISO - 20 PSI
 Tapered Area (sq): 32
 Slope: 1/16"/ft
 Minimum Start: 1/2"
 Maximum Thick: 5 1/2"
 Fill Insulation: ISO - 20 PSI

Cricket Material: ISO - 20 PSI
 Cricket Area (sq): 4
 Cricket Slope: 1/8"/ft
 Cricket Fill: ISO - 20 PSI

Total Sqs. Applied: 74.56
 Total Sqs. Material: 75.84

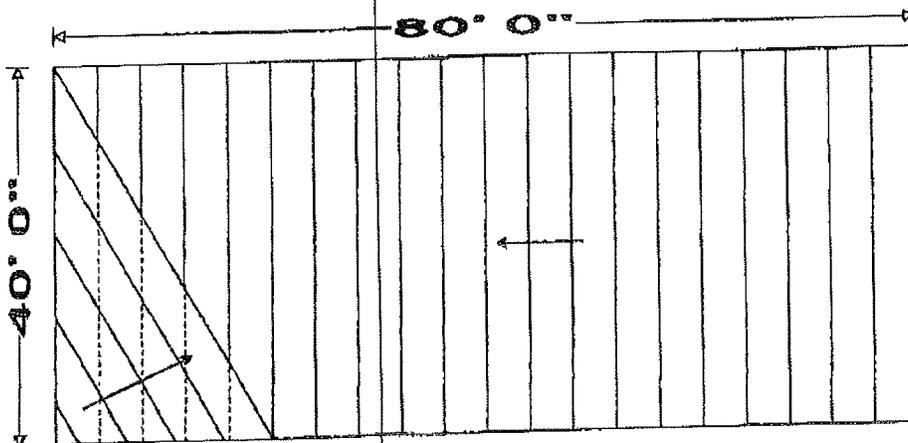
Base Layer: NOT INCLUDED IN PRICE
 Overlay: NOT INCLUDED IN PRICE

Total ISO Truckloads: 0.35
 Total PERLITE Truckloads: 0.00

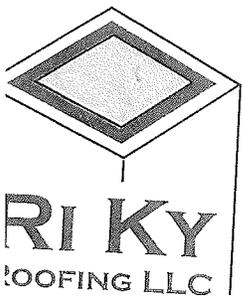
Avg. R-Value: 18.0

Price does not include tax or fuel surcharge (if applicable)

Notes:



PLEASE SHOW ABOVE REFLECTS ABC'S DESIGN INTENT - ALL SUBMITTALS ARE SUBJECT TO ARCHITECT / CONTRACTOR APPROVALS.
IMPORTANT - As a supplier of materials only, ABC Supply Co. does not assume responsibility for errors in design, engineering, quantities or dimensions. Architect and/or contractor shall verify all drain locations, perimeter dimensions, sizes, materials and R-values. Contractor is responsible for verifying this quote to insure that it meets job specifications. All shop drawings must be approved prior to material shipment.



Terry Wyatt
Project Manager

11954 NE Glisan St. #309
Portland, OR 97220
3815 South Othello St #185
Seattle, WA 98118

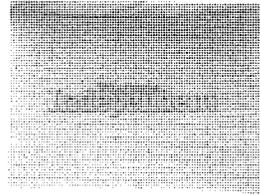
Cell: (503) 459-9181
Fax: (503) 914-1968
Office: (503) 957-2840

terry.wyatt@rikyroofing.com
www.rikyroofing.com

Certified Firm #4881

WA UBI #602776606

OR #176541



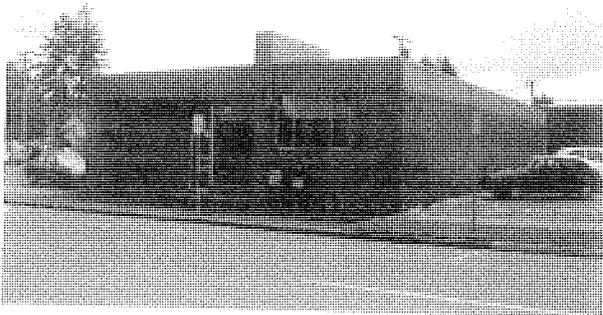
Roof Proposal

Prepared for:

Nikki DeBuse
Woodburn Independent
650 N. 1st
Woodburn, Oregon
97071

Prepared by:

Terry K. Wyatt
Division 7 Inc.
11105 Main St. N.E.
Donald OR.
97020



Woodburn Independent

RI-KY Roofing Re-Roof
Project

Inspection Date: June 04, 2012

Client Name: Eagle Newspapers Inc. **Roof Condition Rating:** Failing
Facility Name: Woodburn Independent
Facility Address: 650 N.1st
 Woodburn, Oregon
Roof Inspection Date: June 04, 2012
Roof Name: RI-KY Roofing Re-Roof Project
Roof Designation: C-1
Existing System Type: Conventional Built-up Asphalt
Roof Size: 3,120 sq. ft.
Year Installed: 2001 (Estimated)
Height: 14 feet
Slope: Slight
Drainage: Inadequate
Leak Sensitivity Under Roof: High Sensitivity
Currently Leaking? Yes
History of Leaking? Yes
Drainage and Leak Details: There are a number of large ponds that are presently being managed with pumps. One in the N.W. corner is fairly deep. Membrane roof systems are NOT adversely affected by ponding water as is asphalt, however when ponds get deep the weight of the standing water can cause deck deflection which make the pond deeper and heavier and the cycle continues. A full tear off and a Tapered Insulation System will be installed in order to move the water towards the drain. Due to the thickness the system will have to be fully adhered.

Existing Roof System Construction

Layer Type	Description	Method of Attachment
Deck	Wood	Nailed
Base Sheet	40# Coated Felt	Nailed
Membrane	Conventional Asphalt Roofing	Hot Asphalt
Surfacing	Mineral Cap Sheet	Hot Asphalt

Overall Core Assessment

There is one roof in place which can usally be recovered, however due to the ponding water problem , a full tear-off will be done.

Core Photos

PHOTO

DETAILS

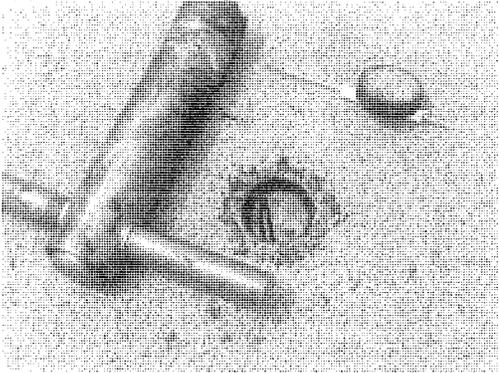


Photo #: 17

Date: Jun 13, 2012

Description: Core Test # 1

Membrane Deficiencies

PHOTO	DETAILS
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Photo #: 13

Type: Blisters

Severity: Major

Details: The presence of blisters indicates that moisture was either trapped in the roof system during application or water has penetrated the system afterward. In this case the later. Foot traffic can cause these to burst starting a leak.

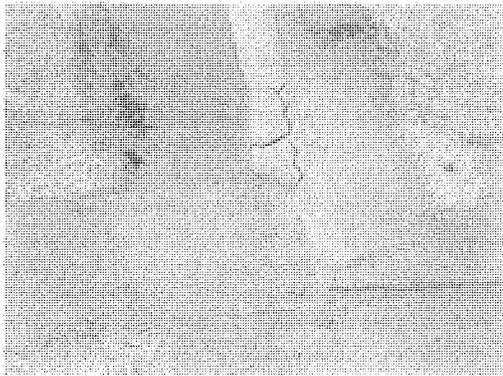


Photo #: 16

Type: Large Crack

Severity: Major

Details: These cracks are coming off a number of the Skylight corners. When the oils in a Asphalt roof system dry out due to U.V. exposer the membrane loses it.s flexibility and it's ability to handle expansion and contraction resulting in cracks & seam failure. The Roof System that we are offering uses the highest quality ingredients available when producing their membrane. They also test there membrane at D.S.E.T. Labs in the Phoenix AZ. dessert so the are confident in its performance.

Membrane Deficiencies continued...

Photo	Details
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Severity: Major
Details: This wall seam was not heated properly and did not seal. Membrane seams are heat welded and inspected by a Quality Assurance specialist to ensure this does not happen.

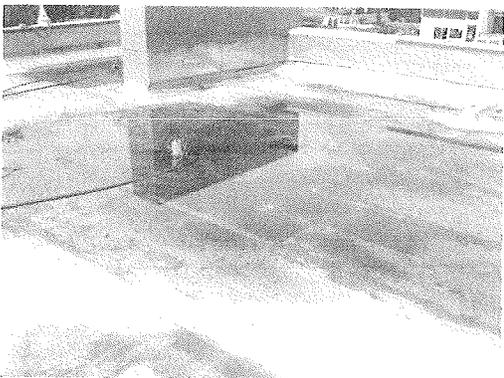


Photo #: 15
Type: Ponding
Severity: Moderate
Details: Ponding Water voids most conventional roof warranties. Almost al T.P.O. & P.V.C. Membrane warranties have no exclusion for ponding water

Roof Top Details

PHOTO	DETAILS
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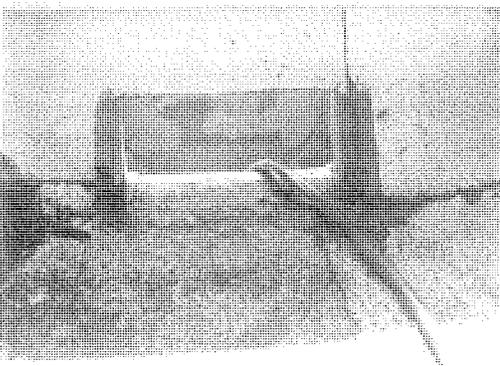


Photo #: 11
Type: Drain/Scupper
Description: External Scupper
Membrane: Roof Membrane
Flashing Metal: Galvanized Steel
Details: Normal external scuppers are a galvanized or stainless steel insert and mastic is applied around the perimeter to seal it .With the stress of expansion and contraction on 2 unlike materials failure is inevitable.In this situation a Membrane boot was made to fit the Scupper hole and was terminated on the

Roof Top Details continued...

Photo	Details
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Roof Top Details continued...

outside of the building into the collector box

What I like to see is the collector box and scupper liner to be made of one piece of Vinyl Clad metal which is metal coated with the same vinyl type product that the membrane is made from. Then the membrane can be welded directly to the collector box so there is no reliance on a sealant to keep things watertight. This ensures not only a perfect fit but long time performance.

The Scupper on this Roof is even more important as it is the only Drain point on the Roof and handles all the run off for the entire Building. A clog here can have devastating effects. Proper installation and performance is critical.



Photo #: 7

Type: Equipment

Description: Bell Exhaust

Membrane: Roof Membrane

Flashing Metal: Aluminum

Details: This Bell Exhaust is having problems with its corners. With asphalt systems the corners are usually built by "sticking" small pieces of membrane on the corners, overlapping them to make a seal. Duro-Last actually makes the whole square curb ahead of time in the factory for a perfect fit. This takes alot of the work out of the roofers hands and allows it to be done in an ideal work enviroment.

Roof Top Details continued...

Photo	Details
-------	---------



Photo #: 8

Type: Equipment

Description: Outside Corner

Membrane: Roof Membrane/Mastic

Flashing Metal: Galvanized Steel

Details: This Outside Corner of this unit is failing. Corners with a Conventional Asphalt Roof System are fabricated up on the roof by a (hopefully) Journeyman Roofer and are flashed with by cutting little pieces and patching them together at the corner areas to seal the roof. Membrane systems have perfected this detail ...they make a prefabricated corner out of reinforced membrane and it covers the whole corner with one piece of material. They fit well and reduce maintainence.



Photo #: 9

Type: Perimeter

Description: Inside Corner

Membrane: Roof Membrane/Mastic

Flashing Metal: Galvanized Steel

Details: As with the Outside Corner Inside corners are made for the membrane systems as well. They hold much better at these high stress points the conventional way.

Roof Top Details continued...

Photo	Details
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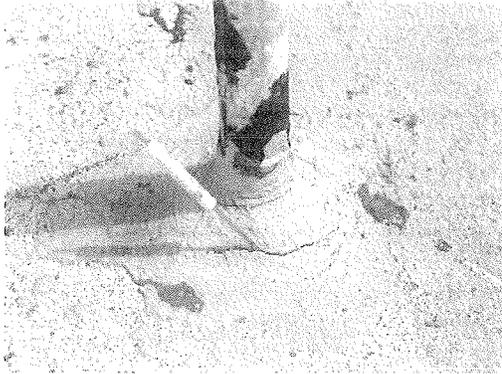


Photo #: 6

Type: Projection

Description: Soil Stack

Membrane: Mastic

Flashing Metal: Not Applicable

Details: The flashing around the base of this pipe is starting to deteriorate and has cracked. Aluminum coating has been spread around the base of the pipe to re-seal it. Aluminum coating is designed to protect a roof that is still in decent condition to prolong its life and to give it some reflectivity to help in energy savings. It is used, but not really designed for, repairs. The cracks in the original flashing is starting to telegraph through the coating.

Membrane Roof Systems uses a mechanically attached Stainless Steel Band that is actually secured around the top of the membrane 8" up off the deck with a high grade 20 year sealant between it and the pipe & again around the top for a more secure attachment. This way there is more than just adhesive between the weather and the inside of the building, not to mention getting the Flash Point up of the roof deck.



Photo #: 5

Type: Projection

Description: Heat Pipe

Membrane: Mastic

Flashing Metal: Galvanized Steel

Details: A heat pipe has a protective collar around it to allow the flashing (mastic in this case) to be applied to a cool surface. A metal "China Hat" is then installed to form a little roof to

Roof Top Details continued...

Photo	Details
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Roof Top Details continued... continued...

Photo	Details
-------	---------

cover the space between the hot pipe and the protective shroud. The mastic at the base of this pipe has cracked allowing water to penetrate the building envelope. A custom Flashing Boot will be installed here with the new system and it will be terminated 8" up of the deck.



Photo #: 10

Type: Projection

Description: Insulated Pipe

Membrane: Mastic

Flashing Metal: Not Applicable

Details: This Insulated pipe has an additional protrusion exiting the deck at the same point. This makes normal flashing methods, which were used here, ineffective. A pitch Pocket needs to and will be built at this point

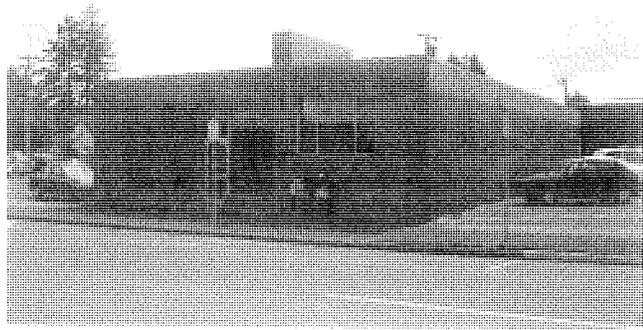
.Pitch Pockets got there name from back when they used coal Tar Pitch for roofing. Today different materials are used but the process is very similar. When there is a projection that is difficult to flash with conventional methods a metal box or "pocket" is built around it so it can receive a flexible sealant that can be poured into the pocket and then cures. Some type of rubberized filler has been used in this one and as it cured it has shrank forming a depression that will actually hold water. Duro-Last uses a high grade urethane and it is applied twice, the first application fills the pocket and is left to settle and then more is added to form a crown so the water is shed off of the pitch pocket instead ponding in it. Most people do not do the second layer that forms the crown.

Roof Top Details continued...	
Photo	Details

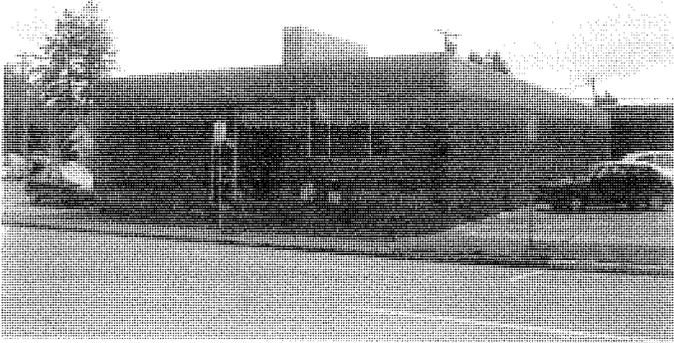
Roof Top Details continued... continued...	
Photo	Details

This greatly increases the performance life of the pitch pocket when done this way. After this is done it is flashed like any other protrusion

Facility: Woodburn Independent
650 N.1st
Woodburn, Oregon



Woodburn Independent

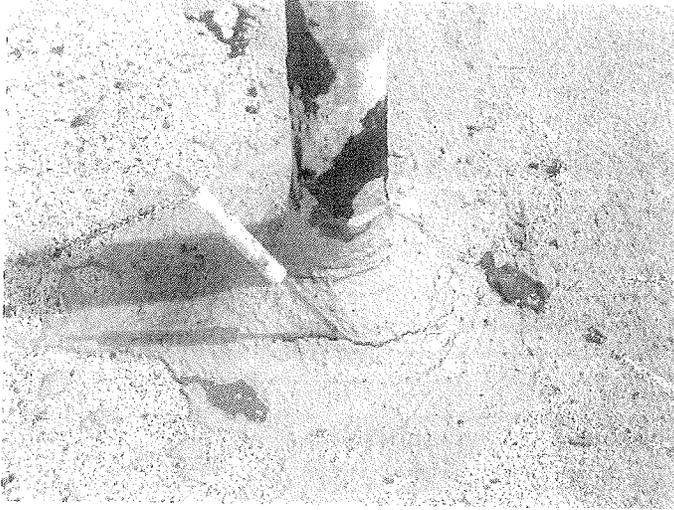


Roof Overview

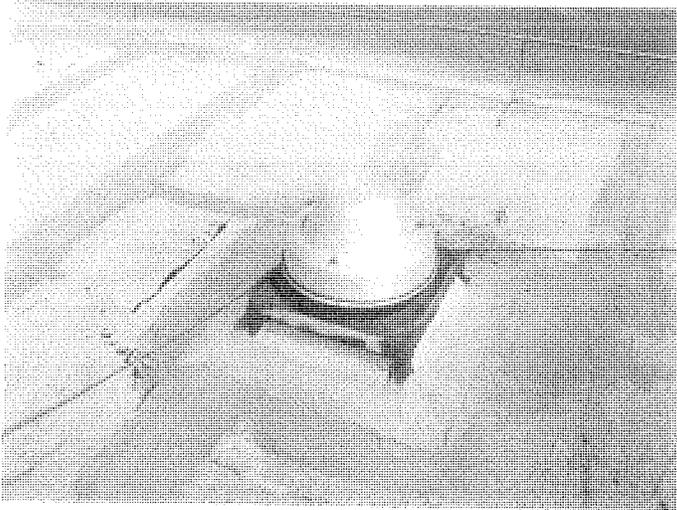


Pipe





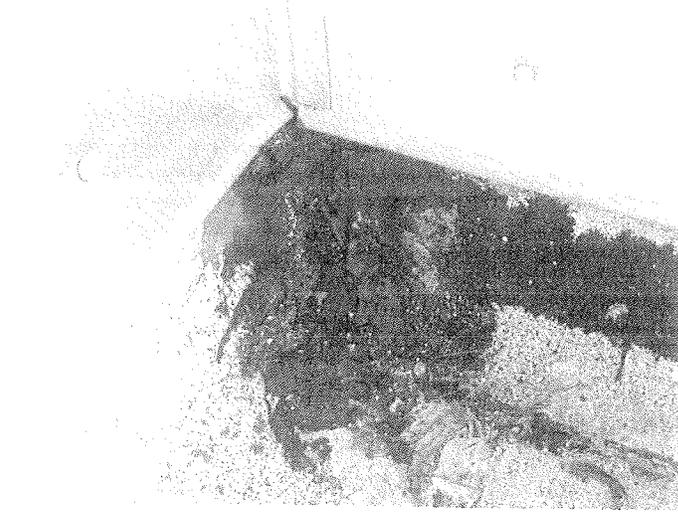
Split Pipe Flashing



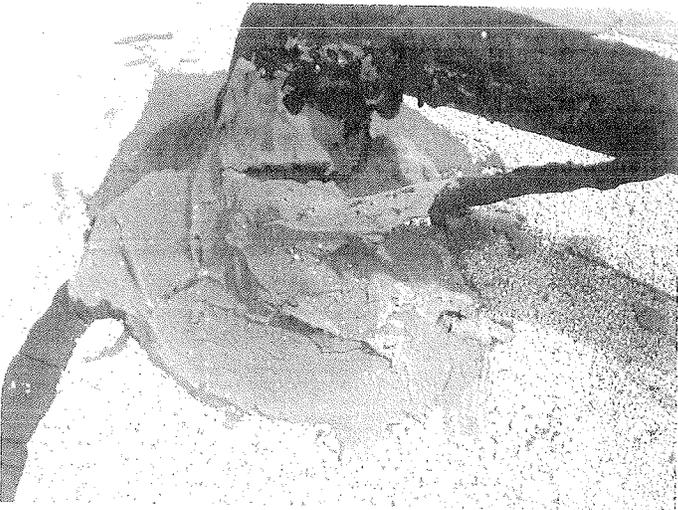
Bell Exhaust



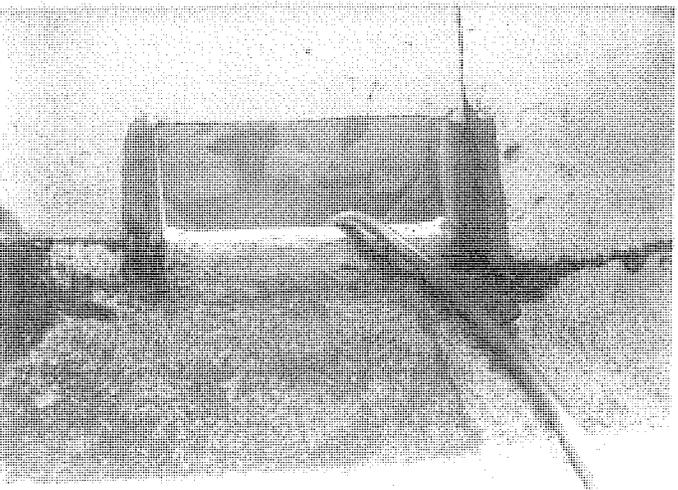
Outside Corner



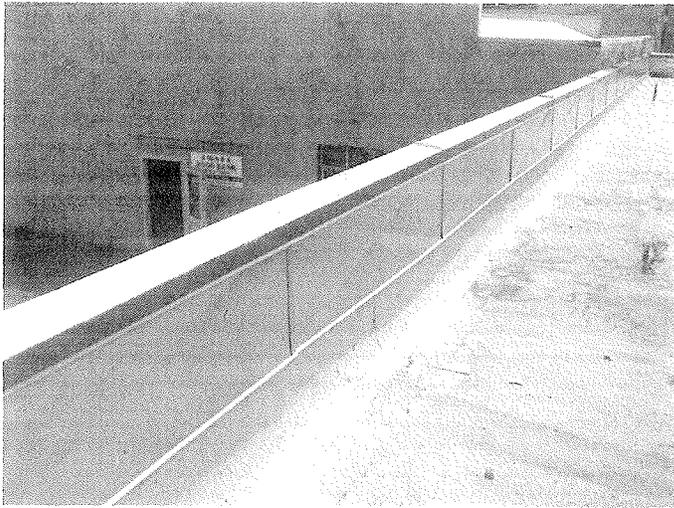
Inside Corner



Multiple Protrusions



Scupper



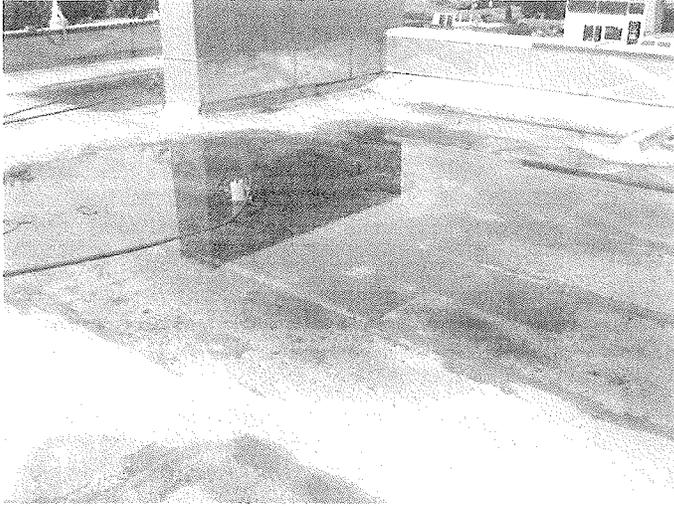
Parapet Wall



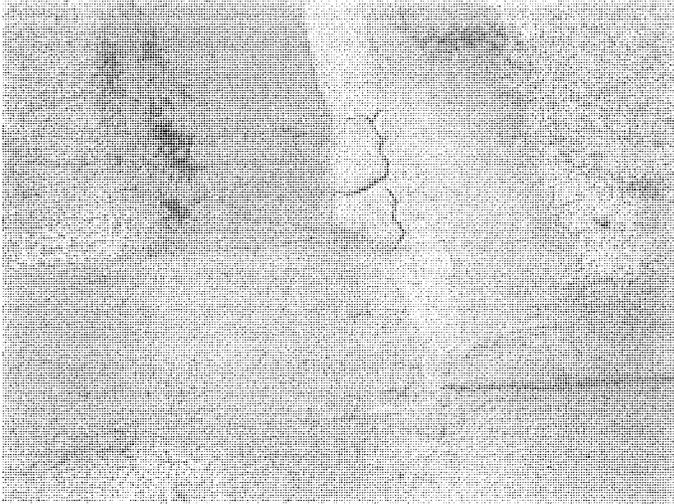
Blister



Open Wall Seam



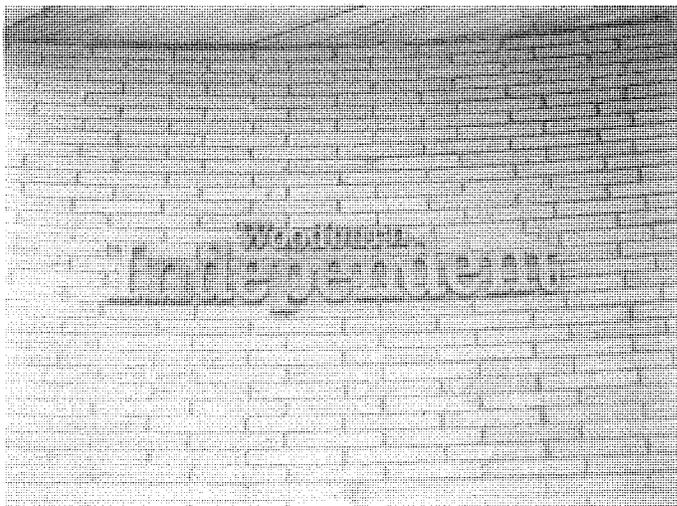
Ponding Water



Repaired Seam



Core Test # 1



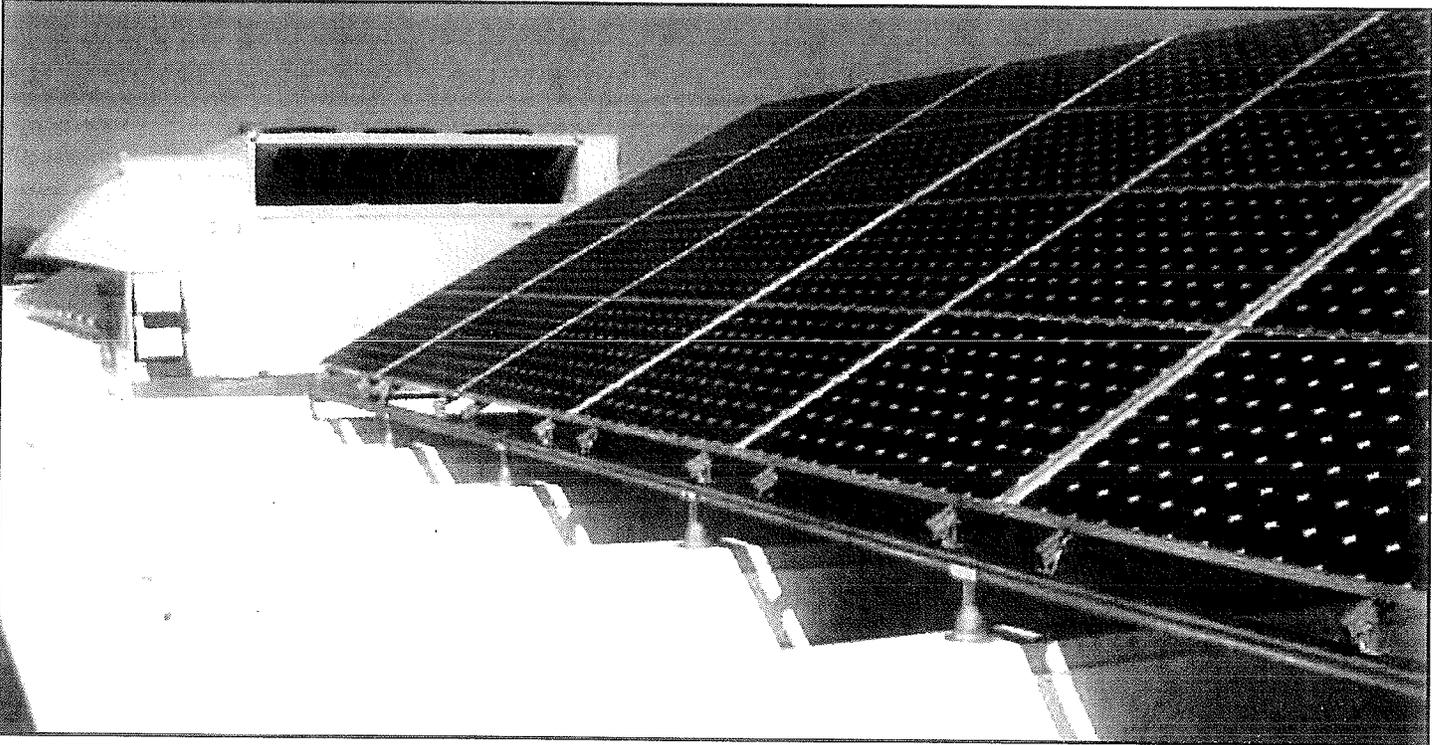
Woodburn Independent Sign

Top Projects

FIRST PLACE :: PUBLIC BUILDINGS

RI KY ROOFING

CENTRAL HIGH SCHOOL



If they had a choice, most construction companies wouldn't want to do a roofing project in Oregon during the winter.

Unfortunately, the \$38 million reconstruction of Central High School in Independence was taking longer than expected. This was bad news for Ri Ky Roofing, the company tasked with handling the school's new \$583,000 roof.

"The adhesives used in a fully adhered roofing system need both dry weather and an ambient temperature of 38 and rising - both of which are difficult to accomplish with our Oregon winters," said Ri Ky owner Tara Kramer.

Ri Ky had a solution, however. Company officials went to the project general contractor, LCG Pence, and presented a Rhino Bond system. It was a different kind of attachment method, but one that still met the architects' and school officials' standards.

The proposal enabled the contractor to finish ahead of schedule. Instead of 27 months to finish the project, it only took 15. And that allowed students to start the 2010 school year in their new facilities.

"You should have seen their faces," said Kramer. Her company literally rose to all the challenges, according to Kramer.

When the roof on the project did not have parapet walls, for example, the contractor asked Ri Ky to provide the temporary safety feature; Kramer's company didn't hesitate to fill the request.

"We took on this challenge and installed a tie-off system that surpassed OSHA's requirements after consulting our safety consultant, Ed Harmon, and maintained our safe working reputations on this project," she said.

Ri Ky Roofing takes its name from the first two letters of the names of Kramer's two sons: "Ri" comes from Riley and "Ky" comes from Kyle. She said she hopes the company will be a legacy that she can eventually hand down to them.

"We feel that it is the responsibility of each individual and largely of business leaders to help better each other and our community," she said.



www.rikyroofing.com

Tara Kramer, Owner

Cell: (503) 957-2840

tara.kramer@rikyroofing.com

11954 NE Glisan St. #309 3815 South Othello St #185
Portland, OR 97220 Seattle, WA 98118
Office: (503) 957-2840 Office: (206) 261-1781
Fax: (503) 914-1968



www.coolplanetsolar.biz

WBE Certified Firm #4881

WA UBI #602776606

OR #176541

**EAGLE NEWSPAPERS INC
WOODBURN INDEPENDENT
650 NORTH 1ST
WOODBURN, OR 97071**

RE: ROOF PROPOSAL

ATTN: NIKKI DeBUSE

**Ri Ky Roofing LLC
CCB # 176541**

Terry Wyatt, Project Manager

Terry.wyatt@rikyroofing.com 503-459-9181

Tara Kramer, Owner

Tara.kramer@rikyroofing.com

11954 NE Glisan Street #309, Portland, OR 97220

503-957-2840 fax: 503-914-1968



July 3, 2012

RI KY ROOFING/COOL PLANET SOLAR

Ri Ky Roofing & Cool Planet Solar are locally owned and operated. The owner of the company, Tara Kramer has 25 years experience in the roofing industry, working in many facets of the business: roofer, sales, safety inspector, marketing and management of branch offices. Our employees come with extensive and many years of roofing knowledge and experience in all types of commercial roofing applications. We are licensed in the states of Oregon, Pennsylvania, Colorado and Washington and are certified with the State of Oregon and the US government for our ESB, DBE and WBE status. In addition, we are an ABC member and sit on the Pacific Northwest ABC Board as well as the US Women's Chamber of Commerce in Washington DC's National Council for our federal certification WOSB (Woman Owned Small Business).

We have been accepted in Oregon and Washington as an Energy Trust Ally Partner for our work for incorporating insulation and solar applications into our roofing systems to save our clients money and receive rebates on their projects.

We repair, install and service all roof types including: PVC, TPO, EPDM, Acrylic and Elastomeric coatings, Eco/green roofs, shingles, asphalt built-up, hypalon, tile, slate, cold process, modified bitumen hot air-applied, metal, siding and flashings. We offer to you, our clients, a comprehensive line of roofing systems, roof inspections, maintenance programs and repair services. We are approved applicators for many manufacturers and have our own sheet metal shop located locally here in Salem, Oregon so clients do not have to wait for product.

Page 2

SCOPE OF WORK for WOODBURN INDEPENDENT

1. Set up safety for project per OSHA requirements. Safety meeting to be conducted at pre-construction meeting with Owner.
2. Remove all down to deck and dispose of off premises. This price is based on non-asbestos roofing material.
3. Inspect decking and replace if necessary after Owner's approval on a time and material basis.
4. Clean and prepare the roof deck.
5. Supply and install 1/4" dens deck per manufacturer's specifications.
6. Supply and install insulation ISO taper system in 2 layers with an R value of 33. We will fasten the first layer and adhere the 2nd layer.
7. Supply and install the white TPO 60 mil GAF membrane roofing system fully adhered over the insulation.
8. Install the membrane as a base flashing at penetrations extending up and over the existing curb a minimum of three inches.
9. Install membrane up and over the parapet walls and terminate per manufacturer's specifications. This is a short cut that some roofer's take to get the project.....we do not take short cuts.
10. Reinstall metal coping on perimeter. If new is desired, this can be supplied and installed by Ri Ky for an addition to the contract pricing.
11. Complete clean up of the work premises.

Warranty: 20 year on Recover No Dollar Limit Labor and Material

SUMMARY for
WOODBURN INDEPENDENT

ROOFING PROJECT

FULL TEAR OFF OF ROOF, INSTALL DENS DECK &
TAPERED ISO SYSTEM WITH R VALUE OF 33 and 60 MIL
WHITE GAF TPO FULLY ADHERED MEMBRANE ROOF
SYSTEM

20 Year No Dollar Limit Warranty on Labor and Material

\$46,207

Warranty will be with Ri Ky (2 Year Labor Only) and Roofing
Manufacturer (Remaining Labor Years and all Material Years)
Forklift/Crane to Load, Dumpster for Debris and
Freight for Material Included.
Permit fee included
Price good for 90 days from July 3, 2012

Ri Ky Roofing, LLC CCB #176541
Page 4

Ri Ky Roofing LLC/Cool Planet Solar LLC

Commerical Roofing and Sheet Metal Contractors

11954 NE Glisan Street #309

Portland, OR 97220

References

Woodburn Printing/Yes Graphics

Bruce Thomas, Owner 503-981-8235

Reroof in Woodburn, OR

Boschler Hardware

Greg Beyer, Owner 503-845-2425

Reroof in Mt Angel, OR

LCG Pence Construction

CA White, Project Manager 503-932-8708

New Construction at Keizer Station Mall – Several Single Ply System

New Construction at Independence High School \$600,000

GAF TPO Roof System

Coastal Farm Supply

Byron, VP Operations 541-924-2955

Reroof and Repairs Multiple Locations – Including Woodburn

Page 5

Revised 01/12

15065 S.W. 74th Avenue
Portland, Oregon 97224
(503) 684-5611
FAX (503) 639-3056
1-888-ROOF-270



Seattle (206) 762-1336
Vancouver (360) 254-8271
Oregon City (503) 657-0745
Salem (503) 393-9257

Date: July 24, 2012

Proposal Submitted to: Woodburn Independent
Attn: Nikki DeBuse
Phone: 503-981-3441 office, 503-980-8336 cell
Email: ndebuse@woodburnindependent.com

Job Name: Woodburn Independent
Job Location: 650 N. First St.
Woodburn, OR 97071

We hereby submit specifications and estimates for: Removing 2 layers of existing roofing material and installing TPO single ply membrane

SCOPE OF WORK

1. Setup safety per OSHA standards
2. Tear off existing roofing materials to last removable layer
3. Removal and disposal of metal skirting
4. Removal cap metal on the parapet wall for reuse.
5. Replace decking with similar material, where required (*additional cost, see below)
6. Mechanically attach 1/2" Securock fire retardant underlayment boards
7. Mechanically attach GAF 60 mil TPO single ply membrane (white)
8. Fully adhere TPO membrane up and over parapet wall
9. Replace existing cap metal
10. Install 40 new static metal high neck RVO 38 vents (white) to comply with industry standard 1 to 300 ratio air cavity venting requirements.
11. Flash all roof penetrations with TPO flashing membrane
12. Custom fabricate and install 1 TPO clad metal through wall scupper
13. Clean up and properly dispose of all roofing related debris
14. Permits not included
15. Inspections daily and upon completion
16. Manufacturer's inspection and grading upon completion
17. 20 year Manufacturer's ND "No Dollar Limit" Material, Labor, and **Workmanship Warranty Included (Non-Prorated)**

Investment \$ 31,940.00

Option 1: Install EPS Taper System with a minimum start thickness of 1/2 inches and a maximum of 21-1/2 inches.
Add \$ 28,938.00

Assumptions: Electrical must be removed and replaced by others. HVAC ductwork should be replaced by others. Signage should be removed prior to roofing project. Dust will fall through existing decking.

GAF Well Roof 25% Warranty Extension
20 year extends to 25 years

Well Roof Preventative Maintenance, \$500 per year, for the first 5 years. Initials _____

NOTE (1): All electrical and gas lines, HVAC and duct work preparation, removal, repair, and/or replacement is not included unless stated
Damage to the above mentioned is not the responsibility of Interstate Roofing Inc.

NOTE (2): Taper systems are recommended (See option 1 above). Even with a taper system, ponding water will still occur.

NOTE (3): Seismic upgrades are not included and it is the building owner's responsibility to notify us if one is required.

***STRUCTURAL DAMAGE:** Some additional work may be needed, for example: dry rot, delaminated plywood, fascia boards and rafter tails, but not limited to these items. This work is billed to Customer at \$80.00 per man-hour plus materials, disposal, mobilization and markup. To not slow the progress of the job, this will be done as it occurs, written change Orders are not required. The above stated price is based upon one mobilization. Multiple mobilizations for such conditions, but not limited to; dry in, separate trades coordination and etc. will be billed on the before mentioned time and material basis. In the case of a recover, it is not possible to determine if rot is present, therefore Interstate. is not responsible for covering over rot, mold, or any other microbial growth.

WE PROPOSE HEREBY to furnish material and labor - complete in accordance with the above specifications for the contract amount stated above, taxes not included. Payment to be made as follows: 30% due upon acceptance; balance due upon completion. If a job has phases; roofing, siding, windows, gutters, etc. payments will be phased also. Interstate's price and scope of work is based on not encountering lead, asbestos, or any other toxic material on or around the jobsite. If such materials are found, Interstate shall be entitled to additional time and compensation based upon the below time and material price *. Home/building owners and/or property managers are responsible for notifying Interstate of the presence of toxic materials.

LIMITATION ON ACTIONS: THE PARTIES HERETO AGREE THAT A LAWSUIT FILED TO ENFORCE THIS CONTRACT OR RESOLVE ANY DISPUTE RELATED TO THIS CONTRACT MUST BE COMMENCED WITHIN FIVE (5) YEARS FROM THE DATE OF THE SUBSTANTIAL COMPLETION OR FROM THE DATE INTERSTATE ROOFING LAST PERFORMS WORK UNDER THIS CONTRACT, WHICHEVER IS EARLIER, OR BE FOREVER BARRED. NOT WITHSTANDING THE ABOVE, ANY CLAIM ALLEGING NEGLIGENCE MUST BE COMMENCED WITHIN TWO (2) YEARS OF DISCOVERY OF THE NEGLIGENCE, BUT NOT MORE THAN FIVE (5) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION OR FROM THE DATE INTERSTATE ROOFING LAST PERFORMED WORK UNDER THIS CONTRACT, WHICHEVER IS EARLIER, OR BE FOREVER BARRED. THIS PROVISION APPLIES INSTEAD OF ANY LIMITATIONS PERIOD OTHERWISE PROVIDED BY LAW.

OREGON #: 55485 / WASHINGTON #: INTERRI077KK / CALIFORNIA #: 774978

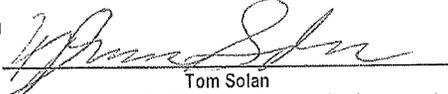
www.interstateroofing.com

All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, and extended coverage insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Interstate's price and this contract are based upon Interstate not coming into contact with asbestos, asbestos containing, lead or toxic material on or around the jobsite. If such material is found, the contract price and time to complete the project will be adjusted based upon the additional costs incurred. Home/building owners are responsible for notifying Interstate of the presence of toxic materials.

Authorized

Signature



Tom Solan

Note: This estimate/proposal may be withdrawn by Interstate Roofing if not accepted within 30 days. All estimates are subject to review and withdrawal by Interstate Management prior to starting.

ATTACHED DOCUMENTS

_____ CCB Contract Addendum	_____ Defect Notification Requirement
_____ Required Notices for Residential Construction Projects (2 pages)	_____ Notice of Right to Cancel (2 copies)
_____ Consumer Protection Notice	_____ Moisture Intrusion and Water Damage (2 pages)
_____ Notice of Procedure	_____ Interstate Roofing Maintenance Information
_____ Information Notice To Owners About Construction Liens (2 pages and on the back of this contract)	_____ Interstate Roofing Disclaimer Notice (2 pages)
_____ Notice Of Right To Lien	_____ Interstate Roofing Workmanship Warranty (2 pages)
	_____ Protect Your Family from Lead in Your Home (16 pages)

Interstate Roofing and the material supplier have no control over the quality of the product or the length of time the manufacturer claims the product will last. The manufacturer has sole liability for the product. A late charge of 1½ per month or maximum allowed will be applied to accounts over 30 days.

Acceptance of Proposal: OREGON

The above prices, specifications and conditions are satisfactory and are hereby accepted. Interstate Roofing is authorized to do the work as specified. Payment will be made by phase. By signing this contract I am indicating that I have received the above documents have read them, and understand them. YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. SEE THE ATTACHED NOTICE OF BUYER'S RIGHT TO CANCEL FOR AN EXPLANATION OF THE RIGHT TO CANCEL.

Customer Signature _____ Date _____

SEE ATTACHED FOR STATE REQUIRED NOTICES

OR CCB # 55485

WA WSLC # INTERRIO77KK

CA # 774978

Historically, in the Northwest, condensation and ventilation have been concerns. Interstate, as well as GAF and other major manufacturers recommend removing existing 'cavity' insulation, and replacing it with above deck rigid insulation. This raises the dew point above the roof deck and helps to protect against condensation. Another recommendation is to cross ventilate the existing 'cavity' space, and/or bring the ventilation up to the 1/150 ventilation rule.



2951 NW Division Street, Suite 150
Gresham, Oregon 97030

Phone (503) 674-8754 -- Fax (503) 674-8347
Toll Free (866) 203-2999

Commercial – Industrial – Residential

OR CCB# 113052 --- WA LIC# COLUMRR024DU

1 of 1

PROPOSAL SUBMITTED TO: Woodburn independent		JOB NAME: Same		DATE: July 11th 2012	
STREET ADDRESS: 650 N. 1st Street		JOB LOCATION: Same			
CITY, STATE & ZIP CODE: Woodburn, Or 97071					
HOME PHONE:	WORK PHONE:	FAX:	ALTERNATE PHONE:	LEAD SOURCE: Nikki Debus	

Specifications refer to re-roof the 2,900 sq. ft. building as follows:

1. Columbia River Roofing to provide permits and inspections for legal application of new roof system.
2. Tear-off all roofing to wood deck legally dispose of debris.
3. Mechanically fasten custom pre-fabricated COOL-ZONE Energy Star Certified Duro-Last 40 mil membrane to roof deck.
4. At all roof penetrations install reinforced custom pre-manufactured Duro-Last flashing.
5. At all parapet walls and roof transitions, install reinforced Duro-Last membrane.
6. Install insulation ISO taper system with an R-value of 33.
7. Re-use existing cap metal.
8. Any additional roof repairs to be billed on a time and material basis with approval of management. Time and material rate to be \$54.00 per man hour. Materials to be billed at invoice, plus 12%.
9. Thorough clean up upon jobs completion.
10. Upon completion of roof, Duro-Last roofing Mfg. will inspect and provide a 15-year warranty on material and labor.

Payment Terms: 30% down upon commencement of work, remainder due upon completion.

We, Columbia River Roofing, Inc., hereby purpose to furnish material and labor complete in accordance with above specifications, for the sum of: FIFTY FOUR THOUSAND EIGHT HUNDRED DOLLARS \$54,800.00

PAYMENT TO BE MADE AS FOLLOWS: (AGREED UPON BY BOTH PARTIES.)

In the event of breach of this contract, owner agrees to pay Columbia River Roofing, Inc. reasonable collection costs, including attorney's fees, even though no suit or action is filed. If a suit or action including arbitration is filed, Columbia River Roofing, Inc. shall be entitled to recover its attorney's fees, costs and disbursements incurred therein including appeal. All work to be completed in a workmanlike manner according to standard practices. Any alternation of deviation from above specifications involving extra costs will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner is to carry fire, tornado and other necessary insurance. Columbia River Roofing, Inc. workers are fully covered by Workman's Compensation Insurance.

Authorized Signature: Eric Finnerty Date: 7-11-2012

Note: We may withdraw this proposal if not accepted within 30 days. A late charge of 1 ½ % per month or maximum allowed by law will be applied to accounts over 30 days.

Acceptance of Proposal: The above prices, specifications and conditions are satisfactory and are hereby accepted on our behalf to perform the work as specified. Payment will be made as outlined.

By signing this notice you are indicating that you have received "Information Notice to Owners About Construction Liens", read and understand it. SEE REVERSE REQUIRED NOTICE.

Signature: _____ Date: _____