



Agenda Item

February 7, 2024

TO: City Council

FROM: Frank Lonergan, Mayor

SUBJECT: **Committee Appointments**

The following appointments are made, subject to the approval of the Council. Please forward any adverse comments to me prior to the Council meeting on Monday, February 12, 2024. No reply is required if you approve of my decision.

Woodburn Budget Committee

- Noah Carlson

Woodburn Public Arts and Mural Committee

- Teresa Ibañez-Estrada

COUNCIL MEETING MINUTES

JANUARY 22, 2024

DATE COUNCIL CHAMBERS, CITY HALL, CITY OF WOODBURN, COUNTY OF MARION, STATE OF OREGON, JANUARY 22, 2024

CONVENED The meeting convened at 7:01 p.m. with Mayor Lonergan presiding.

ROLL CALL

| | |
|--------------------|----------------------------------|
| Mayor Lonergan | Present |
| Councilor Carney | Present |
| Councilor Cornwell | Present |
| Councilor Schaub | Present |
| Councilor Morris | Present – via video conferencing |
| Councilor Cabrales | Present |
| Councilor Wilk | Present |

Staff Present: City Administrator Derickson, City Attorney Granum, Assistant City Administrator Row, Police Chief Pilcher, Economic Development Director Johnk, Community Services Director Cuomo, Finance Director Turley, Community Development Director Kerr, Public Works Director Stultz, Special Projects Director Wakeley, Human Resources Director Gregg, Public Affairs and Communications Coordinator Moore, City Recorder Pierson, Community Relations Manager Herrera

PRESENTATIONS

Mayor Lonergan announced that the scheduled presentation by Republic Services has been moved to the next meeting in February.

City Administrator Derickson provided an update on the City's response to the ice storm.

COMMUNICATIONS

Mayor Lonergan stated that he received a resignation letter from Councilor Carney who will be moving out of the City. Mayor Lonergan noted that he will proceed with finding a replacement.

CONSENT AGENDA

- A. Woodburn City Council minutes of January 8, 2024,
- B. Acceptance of Easement at 0 Stacy Allison Way (Tax Lot 052W1402300),
- C. Acceptance of Temporary Construction Easement at 1310 N Pacific Hwy (Tax Lot 051W08DB02800),
- D. Redflex Report October through December 2023,
- E. Redflex Year End Report 2023,
- F. Monthly Financial Report,
- G. Building Activity for December 2023.

Carney/Schaub... approve the consent agenda. The motion passed unanimously.

Councilor Wilk noted that it would be useful to see the history over time of the City's red light and speed citation program and if it has influenced reducing speed and running of red lights. Chief Pilcher stated that he would be happy to produce that.

PUBLIC HEARINGS

2024 Community Development Block Grant COVID-19 (CDBG-CV) from Business Oregon for

COUNCIL MEETING MINUTES

JANUARY 22, 2024

Woodburn Area Emergency Housing Assistance Program

Mayor Lonergan declared the hearing open at 7:15 p.m. for the purpose of hearing public input on the City's application for a 2024 Community Development Block Grant COVID-19 (CDBG-CV) from Business Oregon for Woodburn Area Emergency Housing Assistance Program. Mayor Lonergan read the following statement: this hearing is being held as part of the Community Development Block Grant application requirement. The City has been notified that we're eligible to apply for up to \$450,000 in Community Development Block Grant funds that aid our region in a rent, utility and mortgage assistance program for income, qualifying persons and households. The City proposes to submit an application in partnership with the cities of Gervais and Hubbard and the program could be administrated by DEV Northwest. The purpose of this hearing is for the City Council to obtain citizen views and to respond to questions and comments about community development and housing needs, especially the needs of low and moderate income persons, as well as other needs in the community that might be assisted with the Community Development Block Grant project and the proposed project and application. We have a brief presentation from staff and then we will get into any questions from Council. Special Projects Director Wakely and Community Services Director Cuomo provided a staff report. No members of the public wished to speak in either support or opposition of the City's application for a 2024 Community Development Block Grant COVID-19 (CDBG-CV) from Business Oregon for Woodburn Area Emergency Housing Assistance Program. Mayor Lonergan closed the hearing at 7:24 p.m.

Carney/Schaub... authorize the City Administrator to execute any and all documents related to the grant application and to effectuate an award of the grant, including an agreement with DevNW, who would administer and manage the funded program upon award. On roll call vote the motion passed unanimously.

FY 2023-24 Supplemental Budget Request for Transfer Increase from the Water SDC Fund to the Water Capital Construction Fund for Parr Road Water Treatment Project Completion

Mayor Lonergan declared the hearing open at 7:27 p.m. for the purpose of hearing public input on the FY 2023-24 Supplemental Budget Request for Transfer Increase from the Water SDC Fund to the Water Capital Construction Fund for Parr Road Water Treatment Project Completion. Finance Director Turley provided a staff report. No members of the public wished to speak in either support or opposition of the FY 2023-24 Supplemental Budget Request for Transfer Increase from the Water SDC Fund to the Water Capital Construction Fund for Parr Road Water Treatment Project Completion. Mayor Lonergan closed the hearing at 7:29 p.m.

COUNCIL BILL NO. 3238 - RESOLUTION ADOPTING A SUPPLEMENTAL BUDGET AND APPROVING TRANSFERS OF APPROPRIATIONS FOR FY 2023-2024 FOR THE PARR ROAD WATER TREATMENT PROJECT COMPLETION

Carney introduced Council Bill No. 3238. City Recorder Pierson read the bill by title only since there were no objections from Council. Finance Director Turley provided a staff report. On roll call vote for final passage, the bill passed unanimously. Mayor Lonergan declared Council Bill No. 3238 duly passed.

COUNCIL BILL NO. 3239 - A RESOLUTION ADOPTING A SUPPLEMENTAL BUDGET AND MAKING APPROPRIATIONS FOR THE GENERAL FUND, BUILDING INSPECTION FUND, WATER FUND, SEWER FUND, AND INSURANCE FUND FOR FY 2023-2024

Carney introduced Council Bill No. 3239. City Recorder Pierson read the bill by title only since there were no objections from Council. Community Finance Director Turley provided a staff report. On roll

COUNCIL MEETING MINUTES

JANUARY 22, 2024

call vote for final passage, the bill passed unanimously. Mayor Lonergan declared Council Bill No. 3239 duly passed.

FY 2024/25 FINANCIAL PLAN

City Administrator Derickson provided a staff report. **Carney/Cabrales...** adopt the attached FY 2024/25 Financial Plan (Budget Policies and Fiscal Strategy). The motion passed unanimously.

APPROVAL OF EMERGENCY SEWER MAIN AND SERVICES LATERALS REPLACEMENT AT BLAINE STREET BETWEEN MH 36-MC16-20 AND 36-MC16-21

Public Works Director Stultz provided a staff report. Councilor Wilk stated that he can see this work being done from his window but it does not affect him and there is no conflict of interest. **Carney/Wilk...** award a contract to K & E Excavating, Inc. for performing emergency sewer main and sewer lateral replacement services at Blaine Street between Manholes 36-MC16-20 and 36-MC16-21, in an amount not to exceed \$450,000. The motion passed unanimously.

COUNCIL BRIEFING OF PLANNING COMMISSION APPROVAL OF A MODIFICATION OF CONDITIONS APPLICATION TO A CONDITIONAL USE APPROVAL FOR TOWNSEND FARMS AT 960 YOUNG ST (MOC 23-03 TO CU 22-02)

The Council declined to call this item up.

COUNCIL BRIEFING OF PLANNING COMMISSION APPROVAL OF A DESIGN REVIEW, STREET ADJUSTMENT, AND VARIANCE APPLICATION PACKAGE FOR THE SALUD MEDICAL CENTER RENOVATION AT 1175 MT HOOD AVE (DR 23-09, SA 23-07, & VAR 23-07)

The Council declined to call this item up.

CITY ADMINISTRATOR'S REPORT

The Assistant City Administrator reported the following:

- Made aware of potential funding opportunities from the federal government that may help the Community Center project. Talking with the mayor and a couple other staff people about potentially making a trip to DC to lobby for those resources for our community. It could be upwards of a million to two million dollars available.

MAYOR AND COUNCIL REPORTS

Councilor Schaub thanked the workers, city employees, the police department, and fire department for all their hard work and collaboration during the ice storm.

Councilor Wilk seconded was Councilor Schaub stated and added that he is glad to see the budget projection looking so good.

Councilor Carney concurred with Councilor Wilk.

Councilor Cabrales concurred with Councilor Schaub and thanked everyone for their hard work.

Councilor Cornwell concurred with Councilor Cabrales.

Mayor Lonergan congratulated the police department on winning the chili feed this year.

COUNCIL MEETING MINUTES

JANUARY 22, 2024

Councilor Morris echoed everyone else's comments.

LEGISLATIVE PRIORITIES WORK SESSION

Zach Reeves, with CFM Advocates, provided information to the City Council on some of the bills that the legislature will be looking at in their short session which begins February 5th. He noted that some of the bigger issues include the governor's housing package and the related policies with that and fixes to Measure 110. He also noted that on the policy side there may be some changes to how cities and local governments are able to allow or deny variances to developers as well as a piece around allowing cities over 25,000 in population a one-time pull in of parcels up to 150 acres that are adjacent to the UGB that they can pull in with some stipulations as to what is developed on the on that land. He added that there may be some items relevant to the City of Woodburn, notably some legislation around development of a WES line.

ADJOURNMENT

Carney/Cabrales... move to adjourn. The motion passed unanimously. Mayor Lonergan adjourned the meeting at 8:07 p.m.

APPROVED _____
FRANK LONERGAN, MAYOR

ATTEST _____
Heather Pierson, City Recorder
City of Woodburn, Oregon

February 12, 2024

TO: Honorable Mayor and City Council through City Administrator

FROM: Curtis Stultz, Public Works Director

SUBJECT: **Acceptance of Easements at 1123 N 3rd Street (Tax Lot 051W07DB04400)**

RECOMMENDATION:

Authorize the acceptance of two Public Utility Easements (PUEs) granted by Atlas Partner Holdings, LLC, for real property at 1123 N 3rd Street and identified as Tax Lot 051W07DB04400.

BACKGROUND:

Per the conditions of the Planning Commission's Final Decision for the 3rd Street Quadplex Project, dated August 10, 2023, the developer is required to grant a streetside PUE along 3rd Street and a PUE along the southwest property line for the future extension of Yew Street.

DISCUSSION:

The easements under consideration satisfy conditions 4.a and 5.b as described in the Planning Commission's Final Decision. Each easement is 5-feet in width. The streetside PUE is approximately 75-feet long and results in a total area of 375 square feet; the southwest property line easement is approximately 170-feet long and contains approximately 850 square feet.

FINANCIAL IMPACT:

There is no cost to the City for these easements.

Agenda Item Review: City Administrator x City Attorney x Finance x

AFTER RECORDING RETURN TO:

Woodburn City Recorder
City of Woodburn
270 Montgomery Street
Woodburn, OR 97071

**CITY OF WOODBURN, OREGON
PUBLIC UTILITY EASEMENTS**

Atlas Partner Holdings, LLC, an Oregon limited liability corporation, *GRANTOR*, grants to the CITY OF WOODBURN, OREGON, hereinafter called *CITY*, a permanent easement and right-of-way, including the permanent right to construct, reconstruct, operate, and maintain public utilities on the following described land:

See attached Exhibit "A" Legal Description of Permanent Easement and attached Exhibit "B" Sketch for Legal Description of Permanent Easement which are by this reference incorporated herein

GRANTOR reserves the right to use the surface of the land for any purpose that will not be inconsistent or interfere with the use of the easement by *CITY*. No building or utility shall be placed upon, under, or within the property subject to the foregoing easement during the term thereof, however, without the written permission of *CITY*.

Upon completion of the construction, *CITY* shall restore the surface of the property to its original condition and shall indemnify and hold *GRANTOR* harmless against any and all loss, cost, or damage arising out of the exercise of the rights granted herein.


The true consideration of this conveyance is ZERO (\$0.00), and other valuable consideration, the receipt of which is acknowledged by *GRANTOR*.

GRANTOR covenants to *CITY* that *GRANTOR* is lawfully seized in fee simple of the above-granted premises, free from all encumbrances and that *GRANTOR* and their heirs and personal representatives shall warrant and forever defend the said premises and every part thereof to *CITY* against the lawful claims and demands of all persons claiming by, through, or under *GRANTOR*.

DATED this 30 day of January, 2024.

By: Andrey Labunsky
Andrey Labunsky, an authorized agent

STATE OF OREGON, County of Washington ss.

 OFFICIAL STAMP
ANDREA ELIZABETH REMPEL
NOTARY PUBLIC - OREGON
COMMISSION NO. 1030891
MY COMMISSION EXPIRES NOVEMBER 30, 2026

City of Woodburn
270 Montgomery Street
Woodburn, OR 97071

City Recorder:

Public Utility Easements (Permanent)
Page 2 of 4

EXHIBIT "A"

Legal Description of Permanent Easement

A STRIP OF LAND 5.00 FEET IN WIDTH OVER, ACROSS, AND UPON THAT TRACT DESCRIBED AS LOT 6 AND THE SOUTH HALF OF LOT 5, BLOCK 2 OF "TOOSES' ADDITIONS TO WOOBURN" SUBDIVISION, MARION COUNTY BOOK OF TOWN PLATS, THE SAME AS DESCRIBED AND RECORDED IN REEL 4579, PAGE 316, MARION COUNTY, OREGON DEED RECORDS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE EAST FIVE FEET OF LOT 6, AND THE EAST FIVE FEET OF THE SOUTH HALF OF LOT 5, BLOCK 2 "TOOSES' ADDITIONS TO WOOBURN" SUBDIVISION, MARION COUNTY BOOK OF TOWN PLATS.

THE PREVIOUSLY DESCRIBED CONTAINING 375 SQUARE FEET, MORE OR LESS.



P:\88 (Aliso Measurement)\88-01 1123 N 3rd St\88-01 Ensmment Exhibit.dwg PLOT DATE/TIME: 1/20/2024 -- 7:39pm

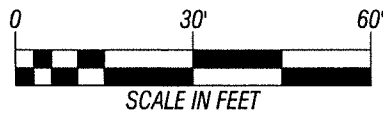
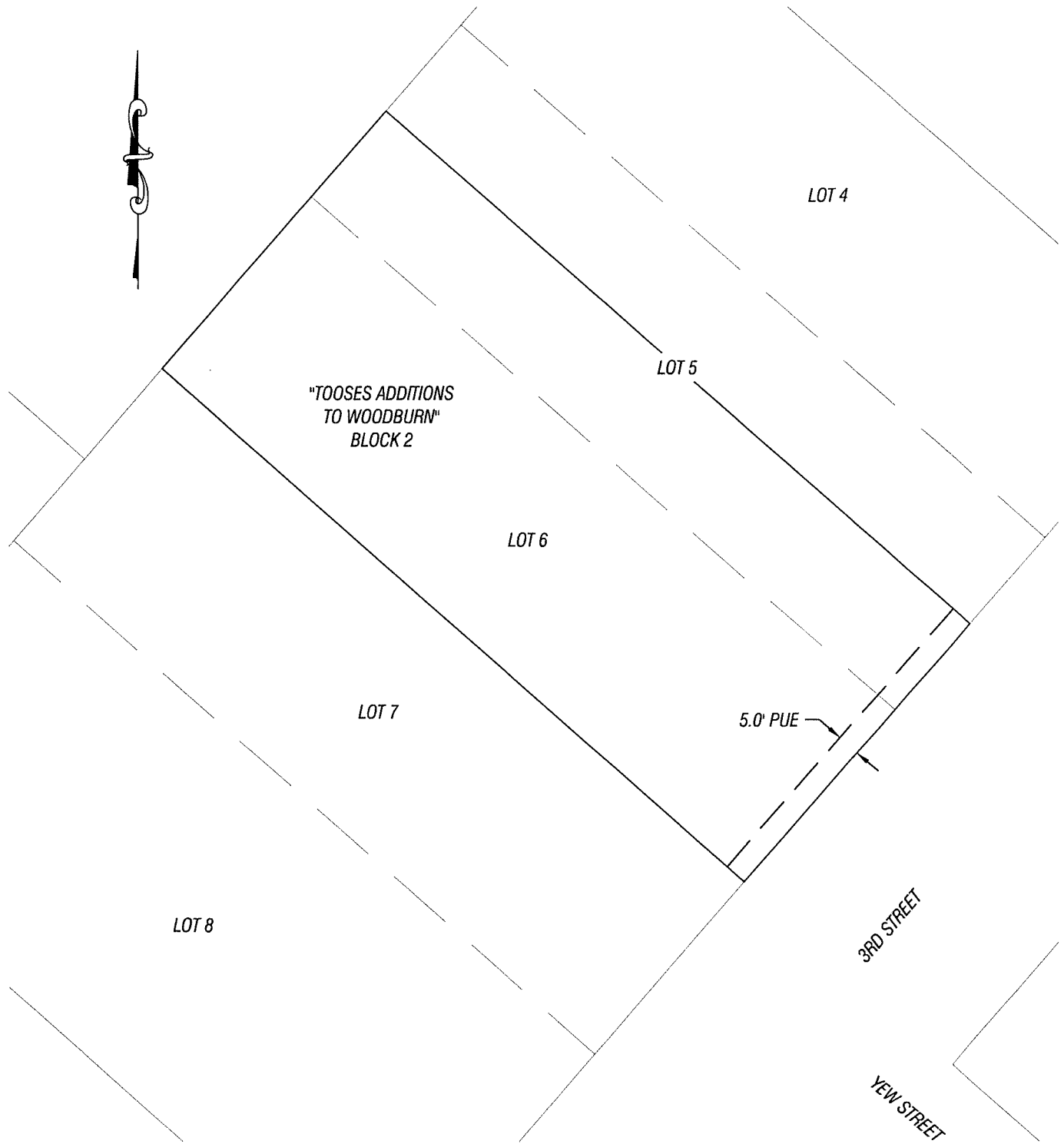


EXHIBIT-B

PUBLIC UTILITY EASEMENT EXHIBIT

**LEI ENGINEERING
& SURVEYING
OF OREGON**

2564 19TH St SE
Salem, Oregon 97302
(503) 399-3828
www.leiengineering.com

SCALE: 1" = 30'
PROJECT NO.: 68-01
DATE: 01-02-2024
PAGE: 4 OF 4

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
MARCH 14, 2023
CHRIS FOGERSON
81040

EXPIRES: 12-31-2025

AFTER RECORDING RETURN TO:

Christopher L. Tackett-Nelson, Attorney
Warren Allen LLP
10535 NE Glisan St., Ste. 200
Portland, Oregon 97220

GRANTOR: Atlas Partner Holdings, LLC
7800 SW Durham Rd., Ste. 300
Portland, Oregon 97224

GRANTEE: City of Woodburn
270 Montgomery St.
Woodburn, Oregon 97071

**CITY OF WOODBURN, OREGON
PUBLIC UTILITY EASEMENT**

For value received, Atlas Partner Holdings, LLC, an Oregon limited liability corporation, hereinafter called "Grantor," hereby grants and conveys to the City of Woodburn, an Oregon municipal corporation of Marion County, Oregon, hereinafter called "Grantee," a non-exclusive permanent easement for public utilities, including the right to lay, construct, operate, maintain, inspect, repair, remove, replace, reconstruct, renovate, update, and/or upgrade public utilities within the easement, described as follows:

See **EXHIBIT A** attached and as shown on **EXHIBIT B** attached.

The true consideration for this conveyance is other good and valuable consideration. The easement is granted to fulfill a condition of approval for permitted development.

Grantor and Grantee acknowledge and agree that the above-described easement shall only be granted unto Grantee at such time when the existing duplex on Grantor's property no longer encroaches into the easement. The existing duplex and encroachment thereof into the easement is shown as follows:

See **EXHIBIT C** attached.

Grantee and its agents, employees, contractors, and/or subcontractors shall have the right to enter and occupy the easement for the purpose of laying and/or constructing public utilities, to operate and/or maintain public utilities, and to inspect, repair, remove, replace, reconstruct, renovate, update, and/or upgrade public utilities. Grantee may remove improvements within the easement whenever necessary to accomplish these purposes.

Grantee, upon completion of any use of the easement by Grantee of any nature whatsoever, including any use by Grantee's agents or independent contractors, shall restore the property of Grantor to as good condition as it was prior to any such use (including, without limitation, stabilization of any topsoil disturbed by Grantee, and restoration of any landscaping and any improvements disturbed by Grantee). In the event of any damage caused to Grantor's property by Grantee's use of this easement, including any use by Grantee's agents or independent contractors, Grantee shall promptly, at Grantee's expense, repair and restore Grantor's property to the condition existing prior to the damage. Grantee shall indemnify and hold Grantor harmless against all loss, costs, or damages arising out of the exercise of the rights granted herein.

Grantor shall be responsible for landscape and surface maintenance within the easement, and Grantor reserves the right to use the surface of the property for walkways, planting, and related uses. Such uses undertaken by Grantor shall not be inconsistent or interfere with the use of the subject easement areas by Grantee. No building or utility shall be placed upon, under, or within the easement during the term thereof, however, without the written permission of Grantee.

Grantor and Grantee intend that this easement shall run with the land and be binding upon Grantor, Grantor's heirs, successors, assigns, or representatives, and all subsequent owners of the property. This easement will not be considered abandoned until Grantee has declared the easement abandoned and no longer in use by Grantee, and Grantee releases this easement in a duly executed and recorded Release of Easement.

Grantor covenants to Grantee that Grantor is lawfully seized in fee simple of the above-granted premises, free from all encumbrances and that Grantor and their heirs, successors, assigns, and personal representatives, shall warrant and forever defend the said premises and every part thereof to Grantee against the lawful claims and demands of all persons claiming by, through or under Grantor.

In addition to all other remedies allowed by law, Grantor and Grantee and their successors and assigns shall have the right to seek injunctive relief for the enforcement of the terms and conditions of this easement. If either party is required to bring suit or action to enforce the terms of this easement, the prevailing party shall be entitled to recover its reasonable attorney fees and costs in such action or suit, including upon appeal.

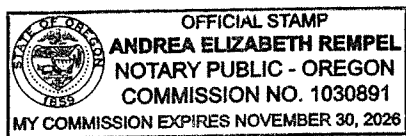
[NOTARIZED SIGNATURES FOLLOW ON SUBSEQUENT PAGE]

DATED this 30 day of January, 2024.

[Signature]
Grantor

STATE OF OREGON)
) ss.
County of Multnomah)

This instrument was acknowledged before me on January 30th, 2024, by Andrey Labunsky, as authorized agent of Atlas Partner Holdings, LLC.



Andrea Rempel
Notary Public for Oregon
My Commission Expires: 11/30/26

ACCEPTANCE OF EASEMENT

The City of Woodburn, Oregon, does hereby accept the above-described easement on this _____ day of _____, 2024.

Heather Pierson, City Recorder

STATE OF OREGON)
) ss.
County of Marion)

This instrument was acknowledged before me on _____, 2024, by Heather Pierson as City Recorder of the City of Woodburn.

Notary Public for Oregon
My Commission Expires: _____

EXHIBIT A

PUBLIC UTILITY EASEMENT DESCRIPTION:

A STRIP OF LAND 5.00 FEET IN WIDTH OVER, ACROSS, AND UPON THAT TRACT DESCRIBED AS LOT 6, BLOCK 2 OF "TOOSES' ADDITIONS TO WOODBURN" SUBDIVISION, MARION COUNTY BOOK OF TOWN PLATS, THE SAME AS DESCRIBED AND RECORDED IN REEL 4579, PAGE 316, MARION COUNTY, OREGON DEED RECORDS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH FIVE FEET OF LOT 6, BLOCK 2 OF "TOOSES' ADDITIONS TO WOODBURN" SUBDIVISION.

THE PREVIOUSLY DESCRIBED CONTAINING 850 SQUARE FEET, MORE OR LESS.



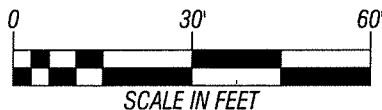
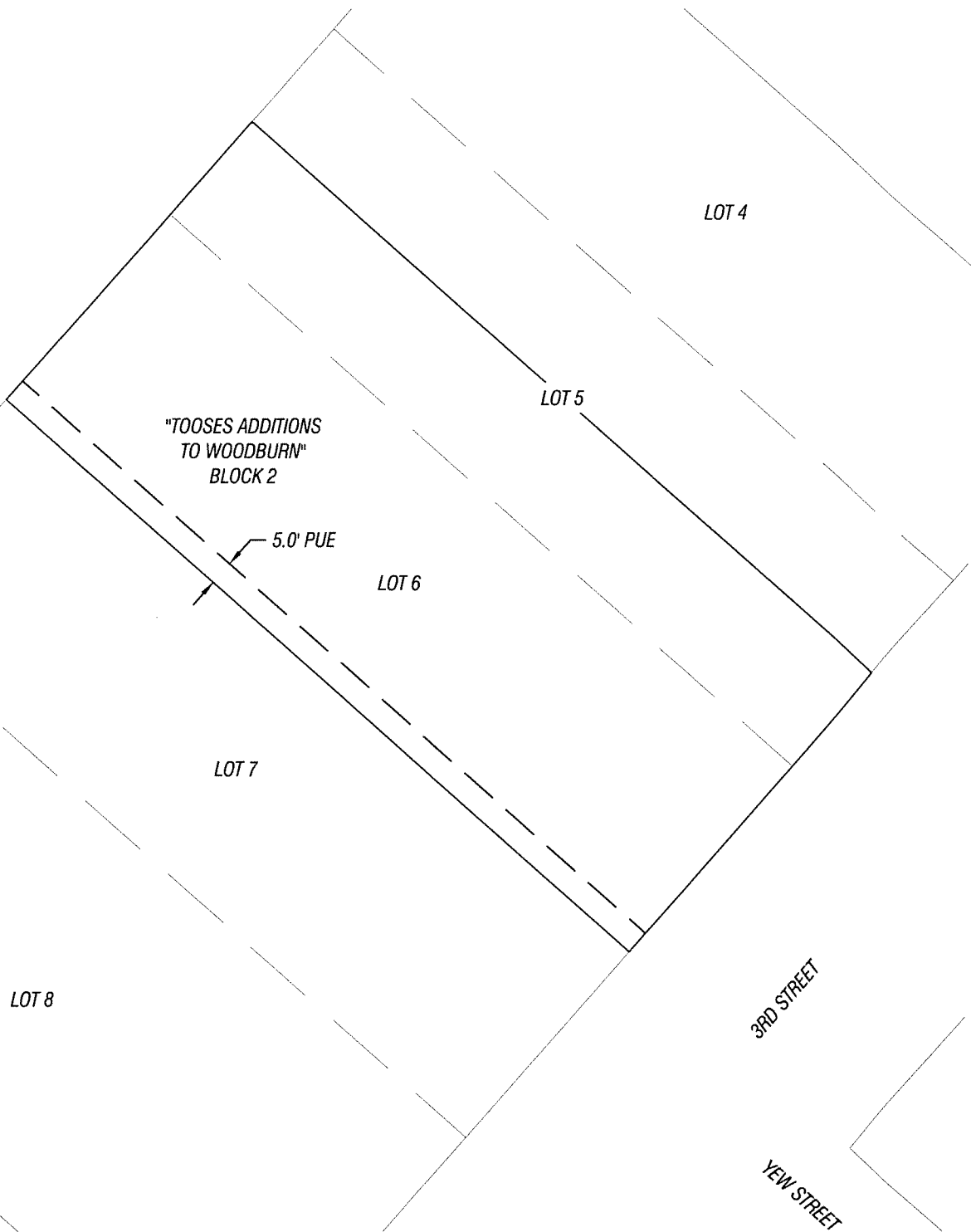


EXHIBIT-B

PUBLIC UTILITY EASEMENT EXHIBIT

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www.leiengineering.com

SCALE: 1" = 30'
PROJECT NO.: 68-01
DATE: 1-29-2024
PAGE: 2 OF 3

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
MARCH 14, 2023
CHRIS FOGERSON
81040

EXPIRES: 12-31-2025

PLOT DATE/TIME: 1/30/2024 - 7:46am

P:\68 (Alisa Management)\68-01 1123 N 3rd St\dwg\68-01_Easement Exhibit.dwg



LOT 4

LOT 5

"TOOSES ADDITIONS
TO WOODBURN"
BLOCK 2

5.0' PUE

LOT 6

LOT 7

1.5'

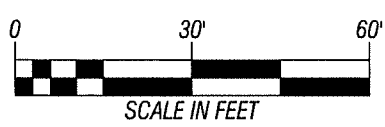
EXISTING DUPLEX FUTURE
PUE ENCROACHMENT

1.1'

LOT 8

3RD STREET

YEW STREET



SCALE IN FEET

EXHIBIT-C

PUBLIC UTILITY EASEMENT EXHIBIT

LEI ENGINEERING
& SURVEYING
OF OREGON

2564 19TH St SE
Salem, Oregon 97302
(503) 399-3828
www.leiengineering.com

| | |
|--------------|-----------|
| SCALE: | 1" = 30' |
| PROJECT NO.: | 68-01 |
| DATE: | 1-29-2024 |
| PAGE: | 3 OF 3 |

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
MARCH 14, 2023
CHRIS FOGERSON
81040

EXPIRES: 12-31-2025

February 12, 2024

TO: Honorable Mayor and City Council through City Administrator
FROM: Mel Gregg, Human Resources Director
SUBJECT: **City Attorney Employment Agreement**

RECOMMENDATION:

Authorize the Mayor to sign a corrected employment contract of the City Attorney, to rectify a scrivener's error in the contract language regarding the City's contribution to the deferred compensation account.

BACKGROUND:

When the City Attorney's employment contract was prepared, a scrivener's error was made that kept the language for an employee match for the deferred compensation as part of their total compensation.

DISCUSSION:

The intended total compensation for the City Attorney was a percentage contribution not a match to the City's deferred compensation program. This was a clerical error.

FINANCIAL IMPACT:

There is no financial impact to the budget as the recommendation does not bring a change to the compensation.

CITY OF WOODBURN
Community Development Department

MEMORANDUM

270 Montgomery Street Woodburn, Oregon 97071

(503) 982-5246

Date: February 1, 2024

To: Chris Kerr, Community Development Director

From: Melissa Gitt, Building Official

Subject: **Building Activity for January 2024**

| | 2022 | | 2023 | | 2024 | |
|---|------|------------------------|------|---------------------|------|---------------------|
| | No. | Dollar Amount | No. | Dollar Amount | No. | Dollar Amount |
| Single-Family Residential | 43 | \$12,434,166 | 5 | \$1,610,571 | 20 | \$6,241,336 |
| Multi-Family Residential | 0 | \$0 | 0 | \$0 | 0 | \$0 |
| Assisted Living Facilities | 0 | \$0 | 0 | \$0 | 0 | \$0 |
| Residential Adds & Alts | 6 | \$202,046 | 12 | \$110,900 | 9 | \$82,517 |
| Industrial | 0 | \$0 | 0 | \$0 | 0 | \$0 |
| Commercial | 4 | \$1,032,295 | 5 | \$1,195,820 | 5 | \$455,888 |
| Signs and Fences | 0 | \$0 | 0 | \$0 | 1 | \$60,000 |
| Manufactured Homes | 1 | \$70,000 | 2 | \$152,600 | 0 | \$0 |
| TOTALS | 54 | \$13,738,507 | 24 | \$3,069,891 | 35 | \$6,839,741 |
| Fiscal Year to Date (July 1 – June 30) | | \$522,838,662** | | \$63,428,910 | | \$76,084,652 |

Totals Reflect Permit Valuation

** Project Basie (Amazon) permit valuation of \$451,339,834

February 12, 2024

To: Honorable Mayor and City Council through City Administrator

From: Chris Kerr, Community Development Director *CK*,
Colin Cortes, AICP, CNU-A, Senior Planner

Subject: **Legislative Amendment 21-03 Public Hearing: Amendment to the Woodburn Development Ordinance (WDO) Relating to Tree Preservation and Removal (LA 21-03)**

RECOMMENDATION:

1. Conduct a public hearing and make a motion to tentatively approve Legislative Amendment LA 21-03, directing staff to prepare an ordinance for consideration at the next City Council meeting; and
2. Make a separate motion directing staff to prepare an ordinance amending Ordinance No. 2433, which is the City master fee schedule, regarding tree removal and mitigation and for consideration at the next City Council meeting.

BACKGROUND:

A winter ice storm pummeled the city and its tree canopy during Presidents' Day weekend that was approximately February 12-15, 2021. In response, the City Council adopted Ordinance No. 2584 on February 22, 2021 that waived the tree removal fee and removed the requirement for an applicant to submit a report by a certified arborist for tree removals in the aftermath of the ice storm. This emergency ordinance was effective for three months only.

The City Attorney and Community Development Director on July 26, 2021 briefed the Council about existing Woodburn Development Ordinance (WDO) tree preservation and removal regulations and presented ideas about improved enforcement provisions and fines. The Council adopted Ordinance No. 2592 on August 9, 2021 establishing an enhanced penalty for intentional violations of the tree permit requirements of both the WDO and the street tree ordinance.

The City Council passed Resolution No. 2175 on July 26, 2021 initiating Legislative Amendment 21-03 (LA 21-03) for staff to review and revise WDO tree regulations to improve relevance and clarity.

Upon this the Planning Commission conducted six workshops about LA 21-03 starting September 23, 2021 and ending July 27, 2023, and it held a public hearing on September 28, 2023 upon which it recommended that the Council approve LA 21-03, including the fees discussed further below. Commission discussions focused on how to regulate tree removal by homeowners and the merits of reasons to remove trees.

Staff presented to the Council about LA 21-03 on January 8, 2024 in preparation for the Council public hearing.

DISCUSSION:

Major objectives are to:

- Correct the defects of existing tree removal and preservation regulations revealed by (1) the aftermath of the February 2021 ice storm, and (2) Community Development Department staff daily, in-depth experience with review of land use applications and land developments; and
- Respond well to Council direction to improve tree removal and preservation regulations as it expressed by passing Resolution No. 2175 on July 26, 2021.

A directly applicable Woodburn Comprehensive Plan policy is J-1.1 from p. 40: "Trees within designated floodplains and riparian corridors shall be preserved. Outside of designated floodplains and riparian corridors, developers should be required to leave standing trees in developments where feasible."

Recommended Fees

Along with the WDO amendments, the Commission recommends also that the Council modify the City master fee schedule in relation to tree removal and to establish fees in lieu of mitigation trees per the table on the next page.

In short, the fees are meant to dissuade persons from removing trees, and those who can't or decline to plant mitigation trees would pay fees in lieu of plantings.

Table LA 21-03:
Recommended Fees for Tree Removal and In Lieu of Planting Mitigation Tree(s): Fees per Tree

| Table 3.06T Tier: | Significant Tree Class: | |
|--|--|--|
| | S | T |
| T1: | | |
| Removal | zero | zero |
| In Lieu of Planting Mitigation Tree(s) | \$150 (per mitigation tree not planted) | \$150 (per mitigation tree not planted) |
| T2: | | |
| Removal | \$200 | \$300 |
| In Lieu of Planting Mitigation Tree(s) | \$150 (per mitigation tree not planted) | \$150 (per mitigation tree not planted) |
| T3: | | |
| Removal | \$400 | \$600 |
| In Lieu of Planting Mitigation Tree(s) | \$250 (per mitigation tree not planted) | \$500 (per mitigation tree not planted) |
| T4: | | |
| Removal | Multiple-dwelling development: \$600 | Multiple-dwelling development: \$150 per inch, but capped at \$6,300 |
| | Other than multiple-dwelling: \$1,200 | Other than multiple-dwelling: \$300 per inch, but capped at \$12,600 |
| In Lieu of Planting Mitigation Tree(s) | \$500 (per mitigation tree not planted) | \$950 (per mitigation tree not planted) |
| Annexation (ANX) | Equal to highest removal fee among those for T4, Class S, i.e. \$1,200 | Equal to highest removal fee among those for T4, Class T, i.e. \$300 per inch capped at \$12,600 |

As background, per the section of the master fee schedule that is the Planning Division fee schedule, the current tree fees are:

- Tree removal permit application fee: \$220. (There is no change recommended per the above table.)
- Significant Tree mitigation fee: \$250.

For trees injured or felled by weather, staff would not charge an application fee or removal fees. However, fees in lieu of plantings would remain applicable. Assuming that the Council finds these intents acceptable, staff can make them explicit in a draft ordinance amending the fee schedule.

Testimony

Besides the usual agencies, for the Council hearing staff mailed notice of hearing – and provided for online viewing of the draft text – to:

- Past participants at Planning Commission work shops;
- Significant Tree Removal Permit applicants and their arborists dating from 2022 and 2023;
- The International Society of Arboriculture (ISA) Pacific Northwest chapter;
- The Home Builders Association (HBA) of Marion & Polk Counties;
- Downtown Business Association, Woodburn Estates & Golf, The Links at Tukwila Homeowners Association (HOA), and Smith Creek HOA;
- Developers of local apartment projects and housing subdivisions dating from 2019;
- Multifamily NW, the Oregon lobby group for apartment complex developers; and
- Property management companies of a few of the local apartment projects.

The Commission had suggested that the City spread word of changed rules following Council adoption.

Following the notice of Council hearing, the Community Development Director received two phone calls, both generally supportive of the changes. (One was from a recent tree removal applicant; the other was concerned about what the City would require after a storm.)

As of February 6, no one submitted written testimony in advance through staff for the Council hearing.

Next Steps

If the Council were to act upon the recommendation, staff would return with two ordinances for consideration on February 26, 2024.

FINANCIAL IMPACT:

n/a

Attachment(s):

1. LA 21-03 Strikethrough-and-underline amendments (January 12, 2024; 49 pages)
2. LA 21-03 Analyses & Findings (August 10, 2023)
3. LA 21-03 Clean copy of amendments (January 12, 2024; 48 pages)

Woodburn Development Ordinance

WDO

Adopted by Ordinance 2313 on April 9, 2002

Acknowledged December 22, 2006

Amended by Ordinance 2423 on July 28, 2007

Amended by Ordinance 2446 on September 8, 2008

Amended by Ordinance 2465 on March 24, 2010

Amended by Ordinance 2473 on December 13, 2010

Amended by Ordinance 2480 on September 26, 2011

Amended by Ordinance 2492 on September 10, 2012

Amended by Ordinance 2509 on August 12, 2013

Amended by Ordinance 2510 on September 23, 2013

Amended by Ordinance 2520 on July 28, 2014

Amended by Ordinance 2526 on February 9, 2015

Amended by Ordinance 2538 on September 26, 2016

Amended by Ordinance 2541 on November 14, 2016

Amended by Ordinance 2544 on January 9, 2017

Amended by Ordinance 2561 on July 9, 2018

Amended by Ordinance 2562 on September 10, 2018

Amended by Ordinance 2573 on June 24, 2019

Amended by Ordinance 2579 on April 13, 2020

Amended by Ordinance 2602 on May 9, 2022 (LA 21-01)

Amended by Ordinance 2603 effective June 30, 2022 (LA 21-02)

Amended by Ordinance 262[] on [MM] [DD], 2024 (LA 21-03)

LA 21-03

Attachment 1

Draft Amendment

Strikethrough-and-Underline

January 12, 2024

49 pages

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ORGANIZATION AND STRUCTURE

1.01 Structure

| | |
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1.01.01 Title and Purpose

- A. This ordinance may be referred to as the “Woodburn Development Ordinance” or by the abbreviation “WDO”, and in the table of contents each numbered set listed for a volume may be referred to as a “Chapter”. Within a chapter, sets of provisions beginning with the decimal format “0.00.00” may be referred to as a “Section”.
- B. The Woodburn Development Ordinance is intended to:
1. Implement the Woodburn Comprehensive Plan in accordance with Oregon’s statewide planning goals and statutes;
 2. Implement additional adopted long-range plans;
 3. Facilitate adequate provisions for transportation, water, sewage, drainage, schools, parks and other facilities;
 4. Require land developers to construct or fund street improvements, and other improvements for the public, to the greatest extent allowable under the law in order to lessen the cost of serving development on existing residents.
 5. Provide adequate light, air, open space, and convenience of access;
 6. Enhance safety from fire, flood and other dangers;
 7. Protect environmental resources and natural systems;
 8. Promote the health, safety, peace, prosperity, and general welfare of the City’s residents and visitors;
 9. Promote a logical growth pattern within the City and the economic extension of public services and facilities;
 10. Encourage compatible and beneficial uses of land throughout the City by segregating uses to minimize incompatibilities;
 11. Provide for a variety of housing types and promote affordable housing;
 12. Preserve the character of the City by enhancing the aesthetic quality of the built environment and acknowledging the City’s historic architecture;
 13. Provide avenues for residents of the City to participate in the establishment and amendment of land use regulations and plans;
 14. Provide residents of the City with the opportunity to participate in

Building, Primary: A building within which is conducted the main or principal use of the property.

Cabana: A stationary structure with two or more walls, used in conjunction with a manufactured dwelling to provide additional living space and meant to be moved with the manufactured dwelling.

Caliper: The diameter of a tree measured 6 inches above ground level for trees up to 4 inches in diameter, or 12 inches above ground level for trees 4 inches or more in diameter. Note: A “~~significant tree~~Tree, Significant” or “Significant Tree” is ~~determined by its diameter~~ measured at 5 feet above ground level differently per that definition, regardless of its caliper.

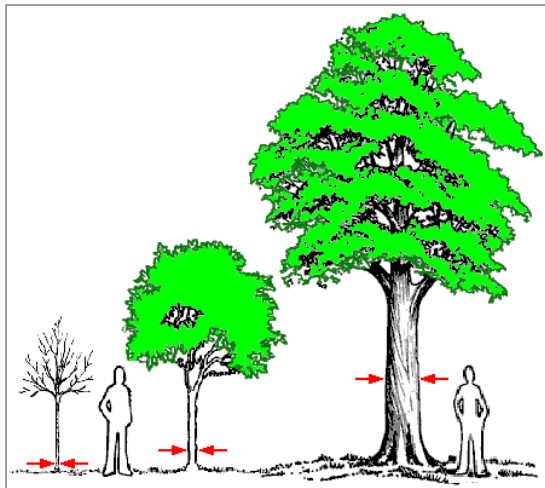


Figure 1.02C — Measurement of Caliper and Significant Tree Diameter at Breast Height (DBH) Concepts

Care services:

- Child Care: The care, supervision and guidance on a regular basis of a child, unaccompanied by a parent, guardian or custodian, provided to a child during a part of the 24 hours of the day, in a place other than the child’s home, with or without compensation.
- Child Care Facility: A facility that provides child care, including a day nursery, nursery school, day care center, or similar unit operating under any name, but not including:
 - a facility providing care that is primarily group athletic or social activities sponsored by or under the supervision of a church or an organized club or hobby group.
 - a facility operated by a school district or a governmental agency.
 - a facility providing care while the child’s parent remains on the premises and is engaged in an activity offered by the facility or in other non-work activity.
 - a Child Care Home.
- Child Care Home: A residential facility certified by the Oregon Child Care Division.

Diameter at Breast Height (DBH):

1. Normal context: The diameter of a tree trunk at a height of 4.5 feet above the ground. (A way to calculate DBH is to measure the circumference of the trunk and divide the value by the mathematical constant π , which is approximately 3.14.)

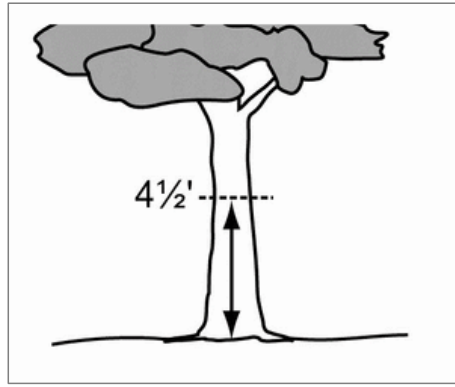


Figure 1.02H – Measuring Tree Size for Existing Trees in Normal Context

2. Angle or Slope: When the trunk is at an angle or is on a slope, the trunk is measured at right angles to the trunk 4.5 feet along the center of the trunk axis, so that the height is the average of the shortest and the longest sides of the trunk. See Figure 1.02J.

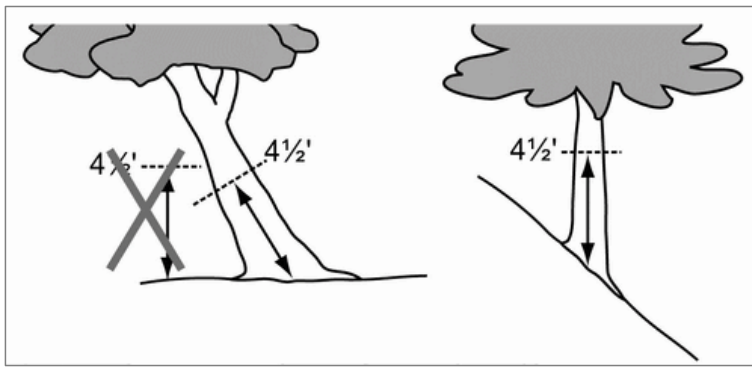


Figure 1.02J – Measuring Existing Trees with an Angle or on Slopes

3. Branched or Split Trunk: When the trunk branches or splits less than 4.5 feet from the ground, the trunk is measured at the smallest circumference below the lowest branch. See Figure 1.02K.

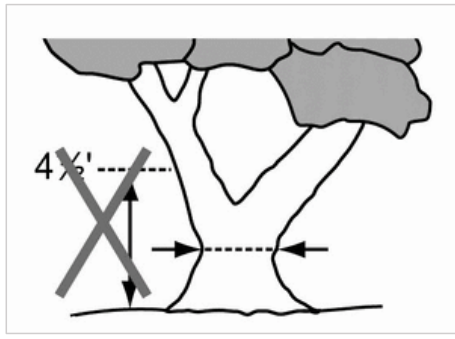


Figure 1.02K – Measuring Split Trunk Tree

4. Multi-stemmed: For multi-stemmed trees, the size is determined by measuring all the trunks and adding the total diameter of the largest trunk and half the diameter of each additional trunk; see Figure 1.02L. A multi-stemmed tree has trunks that are connected above the ground and does not include individual trees growing close together or from a common root stock that do not have trunks connected above the ground.

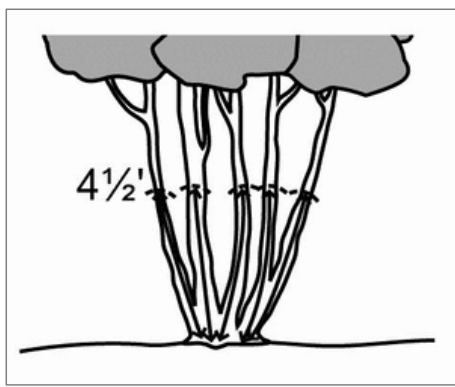


Figure 1.02L – Measuring Multi-Stemmed Trees

Director: The Director of the Community Development Department of the City of Woodburn or designee.

Door area: The area of the portion of a door, other than a garage door, that is operable, excluding the doorframe.

Driveway: A private vehicular means of access to and from a property, a parking space or area, a garage, or a use, intended to allow vehicular ingress and egress but not intended to provide the traffic circulation function of a street.

Dwellings:

- Single-Family Dwelling: A detached building constructed on a single lot, containing one dwelling unit designed exclusively for occupancy by one family.
- Triplex: Three (3) attached dwelling units on a lot.
- Accessory Dwelling Unit (ADU) – An interior, attached, or detached residential structure that is used in connection with, or that is accessory to, a single-family dwelling.

Note: Where it appears in the WDO, reference to dwelling or dwellings "other than multiple-family" excludes ADU unless a specific provision specifies otherwise.

Employees: All persons, including proprietors, performing work on a premises. For calculating required off-street parking, it shall be the number present during the largest shift or peak season.

Family: An individual or two or more persons related by blood, marriage, legal adoption or guardianship, or a group of not more than five persons (excluding servants) who need not be related by blood or marriage, living together in a dwelling unit. "Family" shall include two or more handicapped persons as defined in the Fair Housing Amendments Act of 1988 living as a single housekeeping unit.

Final Action and Final Decision: The City's final decision on a permit application for which there is either no appeal to another decision-maker within the City, or, if there is the possibility of a local appeal, an appeal was not timely perfected in accordance with the Woodburn Development Ordinance.

Frontage: That portion of a lot which abuts a public street.

Garage: A building, or portion of a building, which is completely enclosed and designed for the storage or parking of a vehicle.

Grade: Adjacent ground elevation is the lowest point of elevation of the finished surface of the ground, paving or sidewalk within the area between the building and property line or, when the property line is more than 5 feet from the building, between the building and a line 5 feet from the building.

Greenway: For purpose of applying greenway standards, the Mill Creek Greenway as the Mill Creek Greenway Plan (2006-2007 and as amended) identifies.

Greenway trail: The mainline bicycle/pedestrian facility within a greenway, as distinct from spurs and supplemental paths and trails.

Gross Floor Area (GFA): The sum of the gross horizontal areas of the several floors of a building, measured from the exterior faces of the exterior wall or from the centerline of walls separating two buildings, but not including:

1. Attic and basement space providing headroom of less than seven feet;
2. Uncovered steps or fire escapes;
3. Private garages, carports, or porches;
4. Accessory water towers or cooling towers;
5. Off-street parking or loading spaces.

Hatracking or hat-racking: To flat-cut the top or sides of a tree, severing the main branch or branches; or trimming a tree by cutting off branches and leaving a stub larger than 1 inch in diameter; or reducing the total circumference or canopy of a tree by more than a percentage.

The presumptive percentage is 25.0 percent unless a certified arborist's report documents that it may be higher without endangering the health or life of the subject tree or trees, with the limit that a report may allow for maximum 35.0 percent.

Home Occupation: A business or professional activity engaged in by a resident of a dwelling unit as a secondary use of the residence, and in conformance with the provisions of the Woodburn Development Ordinance. Such a term does not include the lease or rental of a dwelling unit (See Section 2.02.10).

House of Worship: A church, synagogue, temple, mosque or other permanently located building primarily used for religious worship. A house of worship may also include accessory buildings for related religious activities and one dwelling unit.

Interested Person: With respect to a land use action, any person or organization, or the duly authorized representative of either, having a right of appeal under the Woodburn Development Ordinance.

ITE: The acronym refers to the Institute of Transportation Engineers, which publishes both the *Trip General Handbook* (10th Ed. or as amended) and the manual *Designing Walkable Urban Thoroughfares: A Context Sensitive Approach* (2010 or as amended).

Kennel: Any lot or premises on which four or more dogs and/or cats over the age four months are kept for sale, lease, boarding or racing.

Landscaping: Areas primarily devoted to the planting and preservation of trees, shrubs, lawn and other organic ground cover, together with other natural or artificial supplements such as watercourses, ponds, fountains, decorative lighting, benches, arbors, gazebos, bridges, rock or stone arrangements, pathways, sculpture, trellises and screens.

Legal Description: The description of a subject property by either metes and bounds or in reference to a lot, or lot and block, number of a recorded subdivision or partition.

Legislative Action: Any final decision of the city that adds to, amends or repeals the City's land use regulations, comprehensive plan or related maps and does not pertain to a particular property or small set of properties.

Loading Space: An on-site space or berth on the same lot with a building, or contiguous to a group of buildings, for the temporary parking of a commercial vehicle while loading or unloading merchandise or material.

The term includes camping trailer, motor home, park trailer, travel trailer, and truck camper.

Recreational Vehicle Park or RV Park: A plot of land upon which two or more recreational vehicle sites are located, established or maintained for occupancy by recreational vehicles belonging to the general public as temporary living quarters for recreational or vacation purposes.

Recycling Center: An area or structure used for the collection and temporary storage of non-putrescible, discarded materials, which will be transported elsewhere to be reused or recycled.

Repair: The reconstruction or renewal of any part of an existing building or structure for the purposes of maintenance. The term shall not include structural alteration.

Review Area: The review area that defines the character of surrounding dwellings and immediately surrounding dwellings shall encompass the five nearest dwellings to the subject lot that are on the same street and that are within 500 feet of the subject lot.

Root Protection Zone (RPZ): A circular area around a tree that is based on the diameter of the tree. Each 1 inch diameter of tree equals 1 foot radius for the RPZ. See Figure 1.02M.

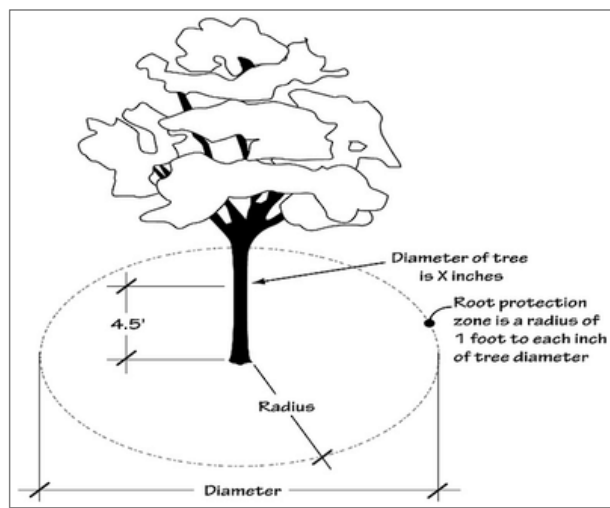


Figure 1.02M – Root Protection Zone Measurement

ROW: The acronym refers to right-of-way. Unless a WDO provision specifies otherwise, ROW excludes railroad right-of-way.

School, Elementary, Middle or High: A public or private institution offering instruction in the several branches of learning and study, in accord with the rules and regulations of the State Department of Education.

Screening: A sight-obscuring fence, architectural wall, or evergreen hedge at least 6 feet in height.

Setback, Average: For any continuous wall, “average setback” shall be as follows:

1. For a straight wall: The distance derived from dividing the sum of the closest and furthest points of the building wall from the property line by two; or
2. For an articulated wall: The location of a wall where the yard area abutting the property line (accounting for offsets and jogs) is equal to the yard area computed by multiplying the length of the wall by the standard for the allowable average setback.

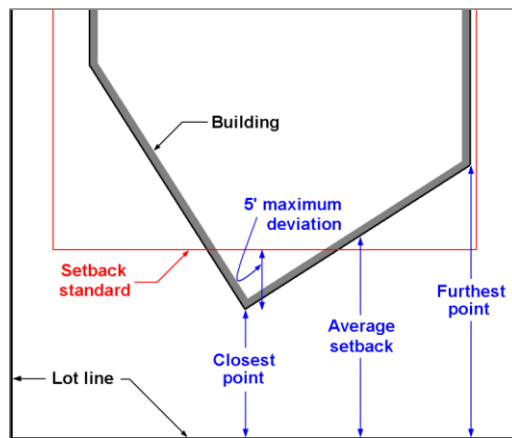


Figure 1.02F – Average Setback for a Straight Wall

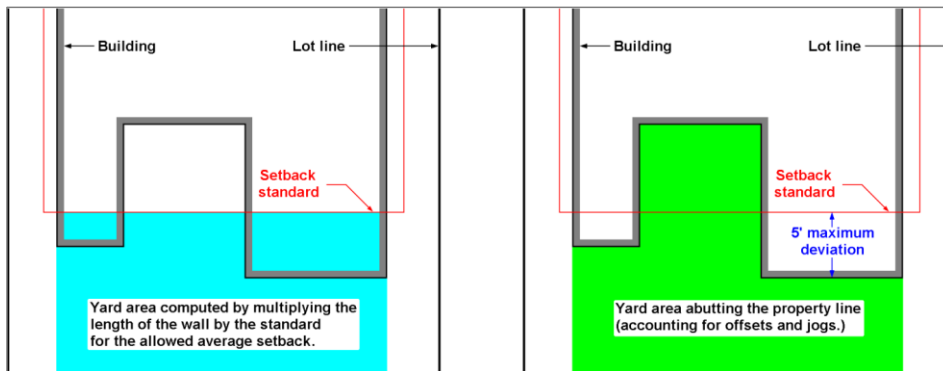


Figure 1.02G – Average Setback for an Articulated Wall

Shared Rear Lane: Similar to “Alley”, except that it remains privately maintained and a legal instrument grants the City and the public access to it.

~~Significant Tree: Any existing, healthy tree 24 inches or more in diameter, measured five feet above ground level (See Section 3.06.07).~~

Townhouse Project: One (1) or more townhouse structures constructed together with the site development area where there is land division establishing townhouse lot lines and any common area tracts.

Tree, Significant: An existing tree that is 24 inches or more in diameter at breast height, which equates to 6 feet, 3¼ inches or more in circumference, and one of two classes:

- Class S: Up to fewer than 36 inches; and
- Class T: 36 inches or wider, which may be termed a Tremendous Tree. (A diameter at breast height of 36 inches equates to 9 feet, 5 inches or more in circumference.)

("Diameter at breast height" is defined above within this Chapter 1.02).

UGB: The acronym refers to urban growth boundary. See the Comprehensive Plan and its land use map.

Use: (noun) An activity or a beneficial purpose for which a building, structure or land is designed, developed or occupied.

- Ancillary Use: An ancillary use is a use that is subsidiary to a predominant use and is either vertically integrated with, or directly linked with, the conduct of a predominant use, or is exclusively for the benefit of occupants, or employees, of a predominant use.
- Nonconforming Use: A use which met all applicable use standards imposed by applicable City or county zoning ordinance provisions when it was established, but which does not comply with the use standards of the Woodburn Development Ordinance solely because of the adoption of or amendment of the Woodburn Development Ordinance, or because annexation to the City resulted in the application of different use standards to the subject property (See also Nonconforming Development).
- Permitted Use: Those land uses permitted in a zoning district that are allowed outright, subject to the standards of the Woodburn Development Ordinance.
- Required Supporting Use: An on-site space or facility necessary to fulfill a dimensional or development standard of the Woodburn Development Ordinance, or a condition of a land use approval. Required supporting uses include access facilities, parking, loading, landscaping, and open space.

Utilities: Water, sanitary sewer, storm drainage, natural gas, electrical, wire communication service, cable television and all persons and companies supplying the same.

Vision Clearance Area (VCA): An area defined by the standards within which visual obstructions are regulated for safety purposes (See Section 3.03.06). Also known as "sight triangle".

Wall, Architectural: A brick, poured concrete, precast concrete, or CMU wall that meets the design standards of Section 3.06.06.

Wall, Common: A wall or set of walls in a single structure shared by 2 or more dwelling units. The common wall is shared for at least 25 percent of the length of the side of the building of the dwellings. The common wall may be any wall of the building, including the walls of attached garages. (This definition has no necessary relationship to any that might exist in the state building code.)

3.01 Streets, Greenways & Other Off-Street Bicycle/Pedestrian Corridors, and Bus Transit

The purpose of this Section is to provide for attractive, safe, comfortable, interesting, and efficient streets, off-street bicycle/pedestrian corridors and facilities, and transit improvements within the city, especially to include and be equitable toward Woodburn residents who cannot or do not own private vehicles or drive, to implement the Woodburn Comprehensive Plan and the Transportation System Plan (TSP), to use civil engineering of streets to reduce speeding, to guide City capital improvement projects, and to have developers upgrade nonconforming streets and construct extended and new streets and off-street bicycle/pedestrian facilities that conform. An objective is to have developers construct or fund street improvements, and other proportional share of improvements for the public, to lessen the cost of land development to the City in order to lessen taxpayer burden for landowners in the context of Oregon Ballot Measures 5 (1990) and 50 (1997). The provision of streets is guided by the applicable goals and policies of the Comprehensive Plan, the TSP, the Highway 99E Corridor Plan, creek greenway plans, the Transit Plan, and other WDO sections.

| | |
|---------|--|
| 3.01.01 | Applicability |
| 3.01.02 | Street General Provisions |
| 3.01.03 | Street Improvements Required for Development |
| 3.01.04 | Street Cross Sections |
| 3.01.05 | Street Layout |
| 3.01.06 | Street Names |
| 3.01.07 | Off-Street Public Bicycle/Pedestrian Corridors |
| 3.01.08 | Mill Creek Greenway |
| 3.01.09 | Bus Transit Improvements |

3.01.01 Applicability

- A. Right-of-way standards apply to all public streets and public alleys.
- B. Improvement standards apply to all public and private streets, public alleys, sidewalks, landscape strips, and on and off-street public bicycle pedestrian corridors. Standards do not exclude conformance with the public works construction code that the Public Works Department administers.
- C. The Woodburn Transportation System Plan (TSP) designates the functional class of major thoroughfares and local streets.
- D. This applies to all development as Section 1.02 defines, and is not limited to partitions, subdivisions, multi-family, commercial or industrial construction, or establishment of a manufactured dwelling or recreational vehicle park; however, a lesser set of standards applies to infill residential development of 4 or fewer dwellings and where no land division or Planned Unit Development is applicable, including construction of a single-family dwelling or placement of a manufactured dwelling on an infill lot. See Section 3.01.03C.2.

3.01.02 Street General Provisions

- A. No development shall be approved, or access permit issued, unless the internal streets, boundary streets and connecting streets are constructed to at least the minimum standards set forth in this Section, or are required to be so constructed as a condition of approval.
- B. Private streets are prohibited, except in manufactured dwelling parks, pursuant to State statute (ORS Chapter 446 and OAR 918-600). All private streets in manufactured dwelling parks shall comply with statute and WDO standards.
- C. Materials and construction shall comply with specifications of the City of Woodburn.
- D. The standards of this Section may be modified, subject to approval of a Street Adjustment, Planned Unit Development, Zoning Adjustment, or Variance. Other sections restrict where and how these application types apply.
- E. When all public improvements are due: The construction of all public improvements, their passing City inspections, and acceptance by the City are due no later than by either 5.01.06B in the context of land division final plat application to the City or by building permit issuance, except if (1) the developer applies to the City through the Public Works Department for deferral and (2) the City Administrator or designee issues a document approving and describing a bond or performance guarantee pursuant to Section 4.02.08. Administration of bonding and performance guarantees for improvements that are public defaults to the Public Works Department, and the department shall notify the Community Development Director of deferral applications and any approvals and conditions of approval.
- F. Fees in-lieu: Per Section 4.02.12.

3.01.03 Street Improvements Required for Development

- A. With development, the Internal, Boundary, and Connecting streets shall be constructed to at least the minimum standards set forth below.

B. Internal Streets

Internal streets shall meet all standards of WDO and the TSP.

C. Boundary Streets

1. The minimum improvements for a Boundary Street may be termed "half-street" improvements and shall be as follows, except per subsection 2:
 - a. One paved 11-foot travel lane in each direction, even though this results in required improvements being slightly more than half-street by exceeding what the applicable cross section figure would require for a half-street;
 - b. On-street parking on the side of the street abutting the development, if the required cross section includes on-street parking;
 - c. Curb on the side of the street abutting the development;
 - d. Drainage facilities on the side of the street abutting the development;
 - e. Landscape strip with street trees and lawn grass on the side of the street abutting the development; and
 - f. Sidewalk on the side of the street abutting the development.
2. Infill residential development of 4 or fewer dwellings and where no land division or Planned Unit Development is applicable, per Section 3.01.01D: A developer shall:
 - a. Dedicate ROW per the required cross section;
 - b. Dedicate one or more streetside PUEs per Section 3.02.01B;
 - c. Either construct sidewalk per the required cross section or pay fee in-lieu per Section 4.02.12;
 - d. Plant a street tree or trees per Section 3.06.03A and specifically sited to conform with where a landscape strip would be per the required cross section, or pay fee in-lieu per Section 4.02.12; and
 - e. Provide minimum access per Section 3.04, and where a driveway approach, apron, curb cut, or ramp within ROW is relevant, have it meet the public works construction code.

D. Connecting Streets

1. The minimum improvements for a Connecting Street shall be one paved 11-foot travel lane in each direction.
2. Connecting streets shall extend from the boundary street of a development, to the nearest intersection that meets the cross-section and improvement requirements of this Section, or 1,000 feet, whichever is less.

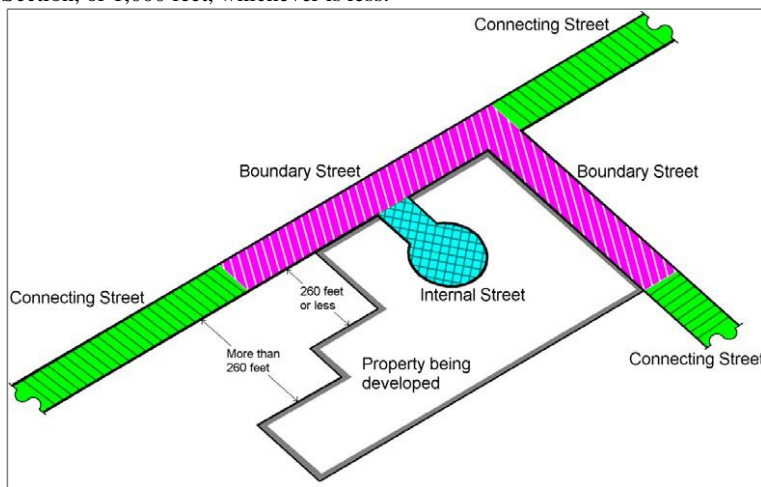


Figure 3.01A – Internal, Boundary, and Connecting Streets

- E. When the Director determines that a required improvement of a Boundary Street would not be timely, such as due to pending development of properties in the immediate vicinity or the area for Boundary Street ROW being wholly on adjacent property outside a developer's control, the developer shall pay fees in-lieu per Section 4.02.12.
- F. When the Director determines that a required improvement of a Boundary or Connecting Street would not be feasible, due to physical constraints of properties in the immediate vicinity or an inability to obtain right-of-way dedication from property outside a developer's control, the developer shall pay fees in-lieu per Section 4.02.12, the Director may approve construction of a partial-width street to the minimum standards set forth above, or a combination of both.
- G. ADA: The minimum standards of this Section 3.01 apply to development such that implementation includes constructing new or upgrading existing public improvements to be ADA-compliant.

H. Bridges / culvert crossings:

1. ROW: Required ROW shall remain such regardless of the physical width of the crossing, unless the developer obtains approval of Street Adjustment, modification through Planned Unit Development (PUD), or Variance.
2. Parking: Any parking lane(s) required by the applicable standard cross section shall remain required unless the developer obtains approval of Street Adjustment, modification through PUD, or Variance.
3. Sidewalk widths: A developer may omit from a bridge or culvert the street landscape strips, thereby resulting in curb-tight sidewalk, the minimum width of which shall be either 8 ft where there is to be no adjacent on-street parking or 9 ft where there is to be. Where the City considers a segment of a bicycle/pedestrian facility that is Class A or B to be along sidewalk, the minimum width shall widen to the class standard as applicable. Wider width shall apply where ADA per subsection G applies such that it is required.
4. Fence/railings: Where (1) a street segment is a bridge or culvert crossing, and (2) the public works construction code requires any pedestrian guardrail, handrail, fall protection railing, or safety railing, then it shall be decorative or ornamental (as examples, having an artistic pattern or resembling wrought iron), and a color other than black or charcoal. Any required fence at each end of railings shall be the same color(s).
5. Bridge sides: If the bridge sides are concrete, the surface shall be stamped or treated to resemble either cut stone or rough stone.

I. TSP and other adopted long-range plans: Where such plans identify improvements within a Boundary Street, on the subject property of a development, or abutting a side or rear boundary of the subject property, the improvement or a proportional share of the improvement shall apply as a public improvement standard for the development. Applying a proportionate share may necessitate a developer applying to modify, adjust, or vary from a standard where and as the WDO allows.

J. Off-site public improvements: To provide for the safety of the traveling public and ensure improved access to a development site consistent with Comprehensive Plan policies and WDO purposes and objectives for orderly urbanization and extension of public facilities, the Director may require off-site improvements reasonably related to a development and concurrent with it.

K. Signage: A developer shall remove prohibited signage that Section 3.10.08R identifies.

~~K-L.~~ Significant Tree removal and preservation: See Section 3.06.07B.2c.

3.01.05 Street Layout

A. Purpose: To:

1. Implement Woodburn Comprehensive Plan Policies including those regarding avoiding dead-end streets, cul-de-sacs, and out-of-direction travel;
2. Implement the TSP including the Figure 6 "Local Street Connectivity Plan";
3. Shorten out-of-direction travel for emergency responders;
4. Lessen physical vehicular access to the end of a street stub (from adjacent unimproved land where there is no driveway) that damages an improved street such as by demolishing curb or sidewalk or dragging dirt, mud, or gravel onto an improved street;
5. Not allow outer areas of the city to have street networks so sparse such that a few major thoroughfares are burdened with almost all vehicular traffic;
6. Encourage constructing new means of public access across on-site or adjacent creeks or creek tributaries;
7. Prompt developers to construct alleys or shared rear lanes where they can serve for vehicular travel and access as well as and at less expensive construction cost than public streets; and
8. Allow off-street public bicycle/pedestrian facilities to substitute for a public street, such as an Internal Street, where justified.

B. Termination of Streets and Off-Street Bicycle/Pedestrian Facilities

1. Cul-de-sac Streets

- a. The maximum length of a cul-de-sac street shall be 250 feet. Cul-de-sac length shall be measured along the center line from the nearest right-of-way line of the nearest intersecting street, to the point of curvature of the cul-de-sac bulb.
- b. The minimum radius of a cul-de-sac bulb right-of-way shall be 55 feet.
- c. The minimum improved street radius of a cul-de-sac shall be the number of feet per OFC Figure D103.1 or as amended plus the number that fits curb, planting strip and sidewalk.
- d. The Director may require bikeway and pedestrian facilities to connect from one cul-de-sac to an adjacent cul-de-sac or street, except where the cul-de-sac abuts developed property, or where the Director determines that there is no need for a connection.

2. Temporary Dead End Streets

Streets extensions that result in temporary dead end streets, or stub streets, shall:

- a. Be extended to the adjoining land when it is necessary to give access to, or permit, a future division of adjoining land;
- b. Require a barricade at the end of the street to be installed and paid for by the property owners. It shall not be removed until authorized by the City of Woodburn.
- c. Have an all-weather sign at the temporary street terminus, installed by the

property owners, that states: “This Street is Planned for Future Extension”.

- d. If the Public Works Director in writing requires, provide either a one foot-reserve strip deeded to the City, or an alternative method for limiting access approved by the City, at the temporary end of the right-of-way.

3. Continuity of Off-Street Bicycle/Pedestrian Facilities

Public bikeway and pedestrian facilities, other than those incorporated in a street right-of-way, shall either:

- a. Provide for a continuous system, with each segment originating and terminating with a connection to a public street, a public alley, a shared rear lane, a greenway, a public park, or to a designated activity center; or
- b. Provide stubbed facilities to not preclude subsection (a.) and that may extend beyond the limits of an approved development, when such a public facility has been required by the decision-maker.

C. Block Standards

1. Block length shall not be less than 200 feet and not more than 600 feet, except where street location is precluded by any of the following;
 - a. Natural topography, wetlands, significant habitat areas or bodies of water, or pre-existing development;
 - b. Blocks adjacent to arterial streets, limited-access highways, collectors or railroads;
 - c. Residential blocks in which internal public circulation provides equivalent access.
2. In any block that is longer than 600 feet, as measured from the right-of-way line of the street to the right-of-way line of the adjacent street, a bikeway/ pedestrian facility shall be required through and near the middle of the block.
3. On any block longer than 1,200 feet, corridors per Section 3.01.07 and 3.01.08 may be required through the block at 600 foot intervals.
4. In a proposed development including partition and subdivision, or where redevelopment potential exists and a street connection is not proposed, one or more off-street bicycle/pedestrian facilities may be required as partition or subdivision connection paths or shortcut paths to connect a cul-de-sac or other public street to other public streets, to other bicycle/pedestrian facilities, or to adjoining land to allow for future connections.

D. Street Access

Residential development subject to either OFC Section D106 (100 or more multiple-family dwellings) or D107 (30 or more single-family or duplex dwellings) shall comply. Where applicability of either section to a residential development is unclear, then the presumptive standard shall be that if a development has 30 or more dwellings, it shall have two or more means of public access to any of a street, alley, or shared rear lane if a shared rear lane has a public access easement.

E. Alleys and Shared Rear Lanes:

1. Purpose: To use alleys and shared rear lanes as a means of access management for the same purposes that Section 3.04.03A lists and to have developers to construct public

alleys and shared rear lanes where they can serve for vehicular travel and access as well as and at less expensive construction cost than public streets.

2. Cross section: The alley standard cross section is Figure 3.01J.
3. For development within the RSN and RMN zoning districts, see the standards in Section 2.05.04B. For development that is outside those districts and is specifically planned unit development, see the standards in Section 3.09.06C.

F. Local street connectivity plan:

1. Purpose: To implement Woodburn Comprehensive Plan policies and TSP Figure 6 "Local Street Connectivity Plan" and related plan text and serve purposes to improve access and circulation for walking, cycling, and rolling along as well as driving and to have developers bring about extended and new local class streets.
2. Applicability: Applicable to a development where TSP Figure 6 indicates a future street corridor into, through, along, or near a development. The Director may determine what the word "near" means.
3. Standards:
 - a. Cross section: Based on Section 3.01.04B.1, the presumptive minimum width shall be 70 feet for a full width future street corridor or 35 feet for a half-street corridor.

The Director may establish a wider standard if more than a half-street width but less than full width is within the development.
 - b. Extent: The presumptive minimum extent begins at an existing street and either connects to a different street or protects future connection. The Director may determine extent of a street connection by considering factors including:
 - (1) TSP Figures 2, 8 & 9;
 - (2) An applicable off-street bicycle/pedestrian facility in or adjacent to a development;
 - (3) Access management per Section 3.04;
 - (4) Existing and future bus transit;
 - (5) Proximity to parks and public schools;
 - (6) Context of developments in the vicinity;
 - (7) Whether a development is in a region within the UGB that has a sparse street network;
 - (8) The layout of regional public potable water, sanitary sewer, and drainage and stormwater management lines and facilities; and
 - (9) Where applicable, the ability of development to conform to subsection D above regarding two means of public access.
 - (10) Where applicable, the RCWOD that Section 2.05.05 regulates.
 - c. Future street corridor: Within the width and extent of a future street corridor where there is a street reservation easement instead of ROW, a developer shall not build buildings, install, mount, or place pre-fabricated buildings, or construct free-standing walls or structures such as carports and trash and recycling enclosures.

- d. Subsurface/underground: The Public Works Director may direct a developer's arrangement of private utility lines and facilities if and where they pass under a future street corridor.

4. Implementation: The City may implement this section in concert with Section 3.01 at large by using any of full, wider than half-street, half-street, or narrower than half-street ROW dedication. The City may instead or also use any of off-street PUE dedication or dedication of other types of public easements to identify, memorialize, and reserve future street corridors in place of ROW dedication. Where an easement or easements substitute for ROW, a public easement as a street reservation easement shall include text that identifies and memorializes the future street corridor and makes apparent the easement purpose. The Director may apply this subsection F when administering a street reservation for a street that TSP Figure 2 classifies as higher than local.

4.5. Significant Tree removal and preservation: See Section 3.06.07B.2c.

3.01.06 Street Names

- A. All public streets and private manufactured dwelling park streets shall be named, after providing the Woodburn Fire District with an opportunity to review and comment.
- B. Public and private manufactured dwelling park streets shall be named as follows:
 - 1. The street name shall not duplicate an existing street name, unless there is reasonable assurance the named streets will be connected in the future.
 - 2. New streets shall be designated with the same names as existing streets only if they fall in the same grid line and there are reasonable assurances that the street will connect with another section of the numbered street.
 - 3. Street names shall not sound like another street name or cause confusion.
 - 4. Street names that are deliberately misspelled, frivolous, or reflect the name of the developer or family members shall not be allowed.
- C. Streets shall be further named with a suffix.
 - 1. Except as indicated in the Woodburn Transportation System Plan, the following suffixes designations apply to new streets, as follows:
 - a. North/South streets shall be designated as a "Street", with the exception that major streets classified as an arterial in the Woodburn TSP may be designated as a "Road" or a "Highway".
 - b. East/West streets shall be designated as an "Avenue", with the exception that major streets classified as an arterial in the Woodburn TSP may be designated as a "Road" or "Highway".
 - c. A skewed or meandering street shall be named a "Drive".

3.06 Landscaping

The purpose of this Section is to identify the requirements for ~~site landscaping and street landscape strips~~, street trees, ~~on-site landscaping, and tree preservation and removal~~.

Landscaping enhances the beauty of the City, provides shade and temperature moderation, mitigates some forms of air and water pollution, reduces erosion, promotes stormwater infiltration, and reduces peak storm flows.

- 3.06.01 Applicability
- 3.06.02 General Requirements
- 3.06.03 Landscaping Standards
- 3.06.04 Plant Unit Value
- 3.06.05 Screening
- 3.06.06 Architectural Walls
- ~~3.06.07 Significant Trees on Private Property Preservation & Removal~~
- ~~3.06.073.06.08 Tree Protection During Construction~~

3.06.01 Applicability

The provisions of this Section shall apply:

- A. To the site area for all new or expanded multiple-family dwelling and non-residential development, parking and storage areas for equipment, materials and vehicles.
- B. Dwellings other than multiple-family need comply only with the street tree and significant tree provisions of this Section.

3.06.02 General Requirements

- A. Building plans for all uses subject to landscaping requirements shall be accompanied by landscaping and irrigation plans.
- B. All required landscaped areas shall be irrigated unless it is documented that the proposed landscaping does not require irrigation.
- C. All shrubs and ground cover shall be of a size upon installation so as to attain 80% of ground coverage within 3 years.
- D. Installation of plant materials and irrigation specified in an approved landscaping plan shall occur at the time of development and shall be a condition of final occupancy. Should site conditions make installation impractical, an acceptable performance guarantee may be approved, subject the requirements of this Ordinance (Section 4.02.08).
- E. The property owner shall be responsible for maintaining all landscaping, fences, and walls in good condition, so as to present a healthy and orderly appearance. Unhealthy and dead plants shall be removed and replaced, in conformance with the original landscape plan.
- F. The required number of plant units shall be met by a combination of plant materials listed in this Ordinance (Table 3.06B).

- C. Parking area landscape island standards: Landscape islands or peninsulas shall cap each aisle end to protect parked vehicles from moving vehicles, emphasize vehicular circulation patterns, and shade vehicles and pedestrians. Structured parking is exempted.
1. Each south, southwest, and west island or peninsula cap of a parking aisle shall be minimum 84 square feet within back of curbing, narrowest dimension 6 feet within back of curbing, and contain a tree.
 2. Remaining islands and peninsulas shall be minimum 28 square feet within back of curbing and narrowest 2 feet within back of curbing, except where subsection 3 below supersedes.
 3. There shall be no more than 10 consecutive parking spaces in a parking aisle without a mid-aisle landscape island or peninsula. For consecutive parking spaces that include one or more accessible/ADA spaces and their aisles, the maximum shall be 9 consecutive parking spaces. Mid-aisle landscape islands or peninsulas shall be to the same standards as subsection 1 above.
 4. At drive aisle crossings of walkways and wide walkways that respectively Sections 3.04.06D and 3.05.02N describe, each south, southwest, and west side shall have a landscape island or peninsula to the same standards as subsection 1 above.

3.06.04 Plant Unit Value

| Plant Unit (PU) Value Table 3.06B | | |
|---|-----------------------|--------------------------|
| Material | Plant Unit (PU) Value | Minimum Size |
| 1. Significant tree ¹ | 15 PU each | 24" Diameter |
| 2. Large tree (60-120 feet high at maturity) ¹ | 10 PU each | 10' Height or 2" Caliper |
| 3. Medium tree (40-60 feet high at maturity) ¹ | 8 PU each | 10' Height or 2" Caliper |
| 4. Small tree (18-40 feet high at maturity) ¹ | 4-PU each | 10' Height or 2" Caliper |

3.06.06 Architectural Walls

- A. This Section shall apply to required architectural walls.
- B. Design Standards and Guidelines
 - 1. An architectural wall shall meet the texture, color, and articulation requirements on the face away from the proposed development.
 - 2. An architectural wall should meet the texture, color, and articulation requirements on the face toward the proposed development.
 - 3. An architectural wall shall have a minimum three inch horizontal articulation of at least one linear foot of the wall of intervals not more than 40 feet; and
 - 4. An architectural wall shall have a minimum six inch vertical articulation of at least one linear foot of the wall of intervals not more than 40 feet.
 - 5. An architectural wall shall incorporate at least two colors.
 - 6. An architectural wall shall have an earth tone coloration other than grey on at least eighty percent (80%) of the surface.
 - 7. An architectural wall shall be architecturally treated with scoring, texture, or pattern on at least eighty percent (80%) of the surface.
- C. Retaining walls should/shall meet the texture and color requirements of architectural walls in or abutting residential districts, where the texture and color requirements apply to the visible face of the retaining wall.
- D. For multiple-family dwelling development, each refuse and recycling collection facility shall have a pedestrian opening minimum 3 feet, 4 inches wide in addition to the truck gates. If the pedestrian opening is gated, the gate shall swing inward.

3.06.07 Significant Tree Preservation & Removal~~**Significant Trees on Private Property**~~

~~A. Purpose: The purposes of this Section-section is are to establish processes and standards which will minimize cutting or destruction of significant trees within the City. Significant trees enhance neighborhoods by creating a sense of character and permanence. In general, significant trees on private property shall be retained, unless determined to be hazardous to life or property.~~

- ~~1. Preserve significant trees as landmarks and for wayfinding;~~
- ~~2. Preserve tree canopy better within city limits and unincorporated territory that is the subject property of an annexation application;~~
- ~~3. Shade;~~
- ~~4. Ensure suitable tree replacement or funding of such when applicants remove trees;~~
- ~~5. Enhance neighborhoods by creating a sense of character and permanence;~~
- ~~6. Reduce urban heat island effect;~~
- ~~7. Retard soil erosion;~~
- ~~8. By requiring a permit process, increase the likelihood of persons removing trees that they or their contractors will do so safely;~~

9. Absorb stormwater and pollutants;

10. Maintain or raise value of property;

11. Distinguish between the contexts of existing development and new development or redevelopment;

12. Allow continued reasonable economic use of property;

13. Establish processes and standards that minimize injury or death of significant trees; and

+14. Enhance the beauty of the city.

B. The provisions of this Section apply to the removal of any significant tree and the replacement requirements for significant tree removal. Applicability:

1. Removal or preservation of any Significant Tree on private property, which is defined in Chapter 1.02 under "Tree, Significant". Applicability extends to unincorporated territory that is the subject property of an Annexation application.

2. Exemptions:

a. Invasive species that Table 3.06E lists. (A merely non-native species is not necessarily invasive.)

b. Trees grown as product in a commercial orchard, timber forest, or tree farm.

c. In the context of new development or redevelopment, trees within to-be-widened Boundary Street ROW, new street ROW, or per Section 3.01.05F a future street corridor are exempt provided that the trees are not within where a landscape strip would be per the applicable street cross section in Chapter 3.01 or a land use condition of approval.

a. However, even if exemption is applicable, (1) a removal fee or fees remain applicable, (2) the City may still apply a land use condition of approval that requires preservation of one or more ROW trees, and (3) regarding future street corridors in particular, removal shall not occur until construction of public improvements within such corridors necessitates it.

B.C. Application type: Significant Tree Removal Permit per Section 5.01.11. Any of the following land use applications may substitute if necessary anyway and the Director uses it to administer the Significant Tree preservation and removal provisions: Conditional Use, Design Review, Planned Unit Development, Preliminary Partition or Subdivision, Riparian Corridor and Wetlands Overlay District (RCWOD) Permit, Variance, and Zoning Adjustment. Neither Grading Permit approval nor building demolition permit issuance constitute approval to remove trees. A Significant Tree Removal Permit shall be reviewed as a Type I application to authorize the removal of a significant tree, subject to the following:

1. Approval of Significant Tree Removal Permits shall be held in abeyance between November 1 and May 1, to allow inspection of the deciduous trees when fully leafed.

2. For the removal of a diseased or dangerous tree, a report from a certified arborist or an arborist approved by the City shall be submitted, certifying that the tree is dead or dying, structurally unsound, or hazardous to life or property.

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~~3. If the Director is uncertain whether the arborist's opinion is valid, the Director may require a second arborist's opinion, and may require that the second opinion be done at a time when trees would be fully leafed.~~

~~4. A dangerous tree may be removed prior to obtaining a permit in an emergency, and the owner shall apply within three days for the removal permit, pursuant to this Section.~~

~~D. The issuance of a significant tree removal permit requires the property owner to replace each tree removed with one replacement tree. Each replacement tree shall be at least two inches in caliper. Each replacement tree shall be of a species not prohibited by this Section. The replacement tree shall be of the same size range at maturity as the significant tree replaced.~~
General standards:-

1. Arborist's report: The applicant submitted an arborist's report by a certified arborist for the tree or trees proposed for removal that is:

- a. Dated and identifies and provides contact information for the applicant, and if different, the arborist, and the arborist's certification number;
- b. Identifies the street address or addresses of the subject property, or if none, stating such and the tax lot number(s);
- c. Addresses the WDO tree removal and preservation provisions, with an applicant's narrative able to substitute for this part of a report;
- d. Specifies the date or dates of inspection;
- e. Includes or attaches a site plan, tree plan, land survey, or other scaled drawing plotting the tree or trees at their exact locations relative to property lines and existing development, with the Director authorized to require the applicant to submit a land survey, and circling and noting the radius of each root protection zone, which Chapter 1.02 defines;
- f. Assigns a unique identification code or number to each tree, with the included or attached plan or drawing also doing so;
- g. Identifies species by both common and taxonomic names;
- h. Identifies whether a species is deciduous or coniferous/evergreen;
- i. Quantifies diameter(s) at breast height (DBH);
- j. Describes health and structural conditions;
- k. Indicates the arborist's opinion and recommendation regarding both preservation and potential removal;
- l. Includes minimum two inspection photos per tree;
- m. Proposes how to mitigate in conformance with WDO Section 3.06.07D.2 below; and
- n. Where preservation is relevant, indicates whether an applicant or contractor intends to go by the prescriptive or discretionary standards of tree protection during construction per Section 3.06.08C.

The Director may require a second arborist's opinion.

2. Mitigation: If the City approves removal of all or a number of the trees, mitigation shall be at minimum per tree per the below. (Chapter 1.02 defines Significant Tree classes.)
 - a. Class S: Payment of a removal fee plus either (1) mitigation planting of minimum 1 tree or (2) payment of a fee in lieu of tree planting. (Section 4.02.12 addresses fees in-lieu.)
 - b. Class T: Payment of a removal fee plus either (1) mitigation planting of minimum 2 trees or (2) payment of a fee in lieu of one or both of the tree plantings. (Section 4.02.12 addresses fees in-lieu.)
 - c. Species and minimum size at planting: Per Tables 3.06B & C.
In the context of new development or redevelopment, mitigation trees credit towards the minimum landscaping requirements of Chapter 3.06 at large.
3. Protection: In the context of new development or redevelopment, tree protection during construction shall be per Section 3.06.08.
4. Injury: Hatracking, excessive pruning, or other fatal injury or killing of a Significant Tree that precludes the applicability of tree preservation standards is prohibited. (Chapter 1.02 defines hatracking.)
5. RCWOD: If and where the Riparian Corridor and Wetlands Overlay District is applicable and if and where Sections 2.05.05 and 3.06.07 conflict, the more stringent provision of a section shall supersede.
6. Fees: Fees are per applicable City ordinances, resolutions, and administrative fee schedules.
7. Plan review: The applicant, developer, or contractor shall submit with applications for any of Tree Removal Permit, land use, and building permit reviews information as the Director determines necessary to administer tree preservation and removal standards.

Significant Tree Preservation & Removal: Exemption of Invasive Species
Table 3.06E ¹

| <u>Common Name</u> | <u>Taxonomic Name</u> |
|-----------------------------|--------------------------------------|
| <u>1. Cutleaf birch</u> | <u><i>Betula pendula</i></u> |
| <u>2. Sweet cherry</u> | <u><i>Prunus avium</i></u> |
| <u>3. Horse chestnut</u> | <u><i>Aesculus hippocastanum</i></u> |
| <u>4. Golden chain tree</u> | <u><i>Laburnum watereri</i></u> |
| <u>5. English hawthorn</u> | <u><i>Crataegus monogyna</i></u> |
| <u>6. English holly</u> | <u><i>Ilex aquifolium</i></u> |
| <u>7. English laurel</u> | <u><i>Prunus laurocerasus</i></u> |
| <u>8. Black locust</u> | <u><i>Robinia pseudoacacia</i></u> |

| | |
|--|-----------------------------------|
| <u>9. Norway maple</u> | <u><i>Acer platanoides</i></u> |
| <u>10. Sycamore maple</u> | <u><i>Acer pseudoplatanus</i></u> |
| <u>11. White poplar</u> | <u><i>Populus alba</i></u> |
| <u>12. Empress/Princess tree</u> | <u><i>Paulownia tomentosa</i></u> |
| <u>13. Tree-of-heaven</u> | <u><i>Ailanthus altissima</i></u> |
| <u>1. The table is based on the City of Portland Bureau of Planning and Sustainability (BPS) “nuisance” plant list within the June 2016 Portland Plant List, Section 4, Ranks A-C.</u> | |

Significant Tree Preservation & Removal: Tiers of Standards

Table 3.06T ¹

| <u>Development or Use</u> | | <u>Section 3.06.07 Tier of Standards</u> |
|--|---|--|
| <u>1. Existing development</u> | <u>a. Single-family or manufactured dwelling on individual lot that is residentially zoned</u> | <u>Tier 1 (T1)</u> |
| | <u>b. Undeveloped lot for which there is no land use final decision that conditions tree preservation and removal, no land use application for annexation and/or development, or no building permit application for development</u> | <u>Tier 2 (T2)</u> |
| | <u>c. Any other existing development or use;</u> | |
| <u>2. New development</u> | <u>a. Infill/minor: Net total 1 to 4 dwellings on a lot with no land division involved</u> | <u>Tier 3 (T3)</u> |
| | <u>b. Greenfield/major residential: Multiple-family dwellings; any number of dwellings involving land division</u> | <u>Tier 4 (T4)</u> |
| | <u>c. Greenfield/major other: Any other new development or use, including mixed uses</u> | |
| <u>1. Annexation with no new development: See instead Section 3.06.07J.</u> | | |
| <u>2. Where it would be unclear what tier would be applicable, the Director may determine.</u> | | |

E. Tier 1 Standards: Where T1 is applicable per Table 3.06T, a tree required by the development standards of this ordinance (Section 3.1) or as a condition of permit or land use approval shall qualify as a replacement tree. In the Neighborhood Conservation Overlay District (NCOD), the replacement tree shall be planted on the same property as the significant tree replaced. In other zones, the property owner shall choose the method of replacement. Replacement shall be accomplished by:

1. Removal criteria: The subject tree or trees are any of:
 - a. Dead, terminally diseased, or otherwise dying.
 - b. Posing danger or hazard of: collapse or fall, fall of a branch or branches, or fall of hard fruits onto persons outdoors, existing buildings, or one or more motor vehicles parked in a driveway that conforms with Section 3.04.04 and, where applicable, Section 3.05.02D.3.
 - c. Rupturing underground potable water or sanitary sewer pipe or breach of existing building foundation and per the following provisions:
 - (1) Pipe report: For rupturing, a qualified professional evaluates the site and through a pipe report determines (A) that there is a serious problem and (B) recommends necessary corrective action more than pipe repair, pipe re-routing, or root barrier installation could provide and which would result in removal of the tree(s). An arborist's report that conforms to this subsection serves as a pipe report. The Director may allow submittal of documentation

as an alternative to an arborist's report or pipe report and on what terms.

(2) Foundation report: For breach, a qualified professional, such as a structural engineer, evaluates the site and through a foundation report determines (A) that there is a serious structural problem and (B) recommends necessary corrective action more than pruning could provide and which would result in removal of the tree(s). An arborist's report that conforms to this subsection serves as a foundation report. The Director may allow submittal of documentation as an alternative to an arborist's report or foundation report and on what terms.

(3) Regarding breach, and absent a foundation report:

(a) A crack or cracks are within a foundation that is either at a crawl space or part of a slab-on-stem wall, which is a slab with footings around the perimeter of the foundation. A foundation being non-structural precludes the criterion.

(b) Water seeping through the crack or cracks is a factor in support of the criterion.

(c) That the perimeter of the trunk or trunks closest to the foundation at diameter at breast height (DBH) are either 10 feet from the foundation or closer is a factor in support of the criterion.

~~(a)~~(d) That roof gutters and downspouts above or at the foundation have been clogged and in poor condition are a factor against the criterion.

2. Exception: As a T1 exception to the general standard, an arborist's report is not required; however, to administer mitigation the Director may require an applicant to submit documented proof of DBH measurement.

~~4.3.~~ Emergency: A tree or trees that *force majeure*, especially a natural disaster, makes dangerous or hazardous to persons or existing buildings may be removed prior to issuance of a Tree Removal Permit if an emergency exists and (a) a City Council emergency ordinance recognizes it or (b) absent such ordinance, the Director recognizes it based on information to the satisfaction of the Director from the person who would remove or cause removal of the tree(s). ~~Planting one tree at a location determined by the Woodburn Community Services Department;~~
~~or~~

~~0. Paying a fee in lieu to the Woodburn Community Services Department for the planting of one tree at a future time by the City.~~

F. Tier 2 Standards: Same as T1.

G. The property owner shall pay a mitigation fee for each required replacement tree that is not planted pursuant to this Section. The applicant shall pay the mitigation fee into the City's tree fund. The amount of the mitigation fee shall be established by the City Council in the Master Fee Schedule, based on the average value of a two-inch caliper

~~tree available from local nurseries, plus planting costs.~~Tier 3 Standards:

1. Removal criteria: Same as T1, with the limits that for a building for which the City has issued a demolition permit, the part of removal criterion (b.) about existing buildings as well as removal criterion (d.) about breach of building foundation would no longer be applicable.
2. Preservation: Development shall preserve at least 33.3 percent of all Significant Trees that do not meet removal criteria, rounding any fraction less than 1.0 up to 1. Mitigation remains required for the remaining percent.
3. Deviation: Zoning Adjustment permissible for the preservation standards.

H. Tier 4 Standards:

1. Removal criteria: Same as T1.
2. Preservation: Development shall preserve at least 50.0 percent of all Significant Trees that do not meet removal criteria, rounding any fraction less than 1.0 up to 1. Mitigation remains required for the remaining percent.
3. Deviation: Zoning Adjustment permissible for the preservation standards.

I. [Reserved.]

J. Annexation Standards:

1. Applicability:
 - a. Territory that is the subject property of an annexation application;
 - b. The annexation application does not come with additional land use application types or a building permit application that would allow for new development of the subject property upon annexation; and
 - c. Any of that the applicant requests to remove trees from the territory, that field conditions are apparent that the applicant attempts removal, or that the application is silent on the matter of tree removal and preservation.
2. Removal criteria: Upon annexation application, tree removal is prohibited from the territory to be annexed until the applicant meets this Section 3.06.07. Any applicable exemption per 3.06.07B.2 remains applicable. If tree removal is proposed or attempted, the criteria would be the same as T1.
3. Preservation: Development shall preserve all Significant Trees that do not meet removal criteria, rounding any fraction less than 1.0 up to 1.

3.06.08 Tree Protection During Construction

- A. Purpose: To reduce harm by construction; keep foliage crown, branch structure and trunk clear from direct strike and injury by equipment, materials or disturbances; to preserve roots and soil in an intact and non-compacted state; to visibly identify the root protection zone in which no soil disturbance is permitted and other activities are restricted; and to lessen injury or death from ignorant or careless acts.
- B. Applicability: To any tree that Section 3.06.07 requires to be preserved. Proposed tree protection shall meet the requirements of subsection C below, except that the Director may approve alternate protection methods.
- C. Protection methods: The site or tree plan shall demonstrate that the contractor will adequately protect trees to be preserved during construction using one of the methods described below:
 - 1. Prescriptive Standards:
 - a. RPZ encroachment: The root protection zone (RPZ) is defined and illustrated by example in Chapter 1.02. Encroachments into each RPZ that exist prior to new development or redevelopment, including buildings, other structures, pavement and utilities, may remain. New encroachments into the RPZ are permissible if:
 - (1) The total area of all new encroachments is less than 25.0 percent of the remaining RPZ area when existing encroachments are subtracted; and
 - (2) No new encroachment is closer than half the required radius distance. See Figure 3.06A below.

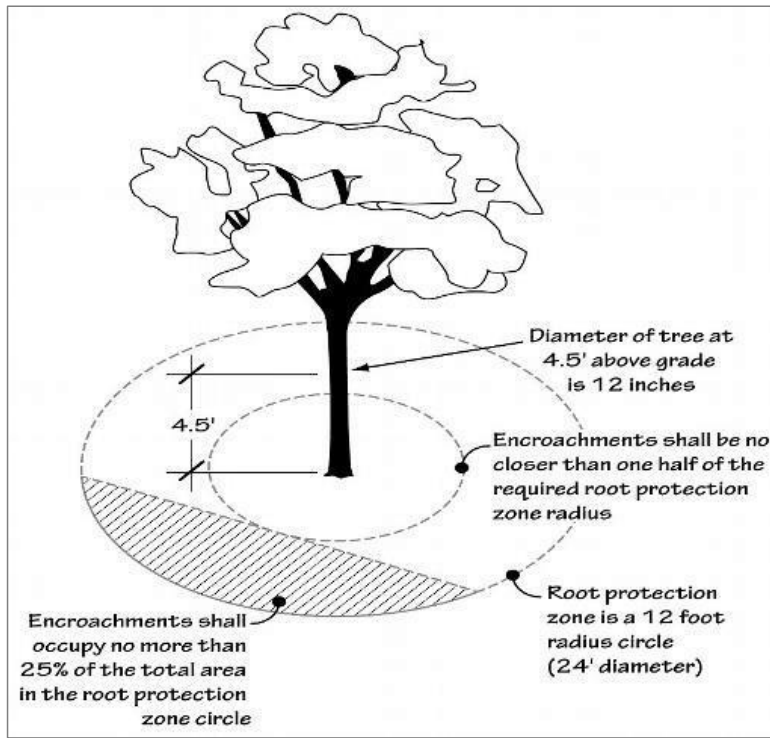


Figure 3.06A – Permissible RPZ Encroachments Example

b. Protective construction fencing:

- (1) Protective construction fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 2-foot metal posts shall be established at the edge of the RPZ and permissible encroachment area. (See Figure 3.06B below.) Substitution with high-density polyethylene (HDPE) or other rolled or soft plastic construction fencing is prohibited. Any of existing building, other structures, and existing secured and stiff fencing at least 3.5 feet tall above grade can serve as protective fencing.



Figure 3.06B – Protective Construction Fence Panel Example

- (2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3.5 feet tall can serve as the required protective fencing.
- c. Installation: The contractor shall install the protective construction fencing before either any ground disturbing activities including clearing and grading or the start of construction and shall remain in place until final inspection by Community Development Department staff.
- d. Prohibition: The following is prohibited within any RPZ: ground disturbance or construction activity including vehicle or equipment access, excluding access over existing streets or driveways; storage of equipment or materials including soil; temporary or permanent stockpiling; new buildings; new impervious surface; underground utilities; excavation or fill; and trenching or other construction activity.
- e. Plan review: The applicant or contractor shall submit with applications for any of Tree Removal Permit review, civil engineering plan review (led by the Public Works Department Engineering Division), grading permit review, or building permit review information as the Director determines necessary to administer standards for tree preservation and protection during construction, including a drawing or drawings necessary to constitute a tree preservation and protection plan.
- f. Sign posting: On each fenced enclosure, the applicant or contractor shall affix, mount, or post signage as follows:
 - (1) Timing: From erection of protective construction fencing to passing of building permit final inspection. (Where construction is phased with Building Division approval, passing final inspection would be for the whole of the construction phase that contains the one or more fenced enclosures.)
 - (2) Size: Sign face area minimum 18 by 24 inches.

- (3) Sign face copy: Background white, orange, amber (orangish yellow), or chartreuse (greenish yellow). Text minimum 2 inches tall. The default text is, "Tree preservation area: No construction staging or storage", with administrative allowance for deviation per the Director. Include a Spanish translation (in italics). The Director may establish and require conformance with a sign face template and may require a detail of such template on a plan sheet.
- (4) Weatherization: Lamination, enclosure within clear plastic sleeve, or printing on plastic fiberboard.
- (5) Number: Minimum 1 per tree, that is, where a fenced enclosure has two or more trees, that enclosure requires two or more signs.
- (6) Orientation: The sign shall face towards where construction workers and their vehicles would come when approaching the fencing. Where a fenced enclosure has two or more signs, the second and any additional signs may be spaced out along the enclosure. Sign top placed minimum height 5 feet above fence bottom.
- (7) Certification of posting: Upon posting, and if there is such a form, complete and submit to the Community Development Department a certification form that each fence location has been properly posted, attaching any additional documentation that the form requires.

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- 2. Arborist's Discretionary Standards: When the above subsection 1 prescriptive standards are infeasible, the Director may approve alternative measures, provided that the applicant and/or contractor meet the following standards:

- a. The alternative RPZ is prepared by an arborist who has inspected the site and examined for each subject tree the diameter at breast height (DBH), location, and extent of root cover, evaluated for each the tolerance to construction impact based on its species and health, identified any past impacts within the root zone, and submitted a report to the Director. Such may be incorporated by revision into the arborist's report that Section 3.06.07 required or may be a supplement to that original submitted report.
- b. The arborist prepared and submitted a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site inspection.
- c. If the alternative methods require that the arborist be on site during construction, the applicant or contractor shall submit a copy of the arborist contract for those services prior to issuance of a Tree Removal or building permit, and a final report from the arborist documenting the inspections and verifying the viability of the tree or trees prior to final inspection by Community Development Department staff;
- d. If the alternative tree protection method involves alternative construction

techniques, the applicant or contractor shall submit an explanation of the techniques and materials used in terms a layperson can understand.

- e. The applicant or contractor shall submit a site plan sheet or sheets constituting a tree preservation and protection plan, and it shall include arborist contact information. Either the arborist shall sign the plan or the plan shall come with a document that identifies specifically the plan sheet number or numbers it accompanies and contains the affirmation or endorsement of the arborist.

D. Changes to tree protection during construction: The Director may approve contractor changes to the tree protection measures during construction as a revision to a permit provided that (1) the change does not result from unapproved, negligent, or ignorant encroachment into any RPZ, (2) the contractor demonstrates continuing to meet tree preservation and protection standards, and (3) the contractor completes whatever process the Building Division establishes for revision of an issued building permit where such permit type is relevant to the situation. When unapproved or negligent encroachment occurs, the City may pursue an enforcement action or other remedy per any of the WDO, other City ordinances such as Ordinance No. 2592 (August 9, 2021 or as amended), resolutions, or administrative policy.

- F. If the PUD plan proposes stormwater mitigation measures that exceed minimum City standards by at least 25 percent, the Commission may allow up to an additional 10 percent of the density to be transferred, upon a recommendation by the Public Works Department.
- G. If the PUD plan proposes other environmental, sustainability, or architectural enhancements, the Commission may allow up to an additional 10 percent of the density to be transferred, commensurate with the amount, quality, and community benefit of the enhancements. Such enhancements may include, but are not limited to, solar heating or electrical generation, community gardens, public art, mitigation of off-site stormwater, and greywater diversion.

3.09.04 Conceptual Development Plan

- A. PUDs require both a Conceptual Development Plan and a Detailed Development Plan. These reviews may be accomplished sequentially or as a consolidated review, at the applicant's discretion.
- B. A Conceptual Development Plan shall include drawings and a narrative describing the surrounding neighborhood, existing site conditions, general development areas, phasing, land uses, building envelopes, architectural theme, landscaping and buffering, streets, bicycle and pedestrian circulation, common areas, utility locations, sign theme, and other information the Director may deem necessary to convey the concept plan.

3.09.05 Detailed Development Plan

- A. PUDs require both a Conceptual Development Plan and a Detailed Development Plan. These reviews may be accomplished sequentially or as a consolidated review, at the applicant's discretion.
- B. No building, grading, access, or other development permit may be issued until a Detailed Development Plan has been approved for at least one phase of the project.
- C. Buildings shown on a Detailed Development Plan are exempt from Design Review if they are in substantial conformity to the Detailed Development Plan (see Section 3.07.01.B).
- D. A Detailed Development Plan shall include drawings and a narrative sufficient to demonstrate compliance with the Conceptual Development Plan and any conditions of approval previously imposed. A Detailed Development Plan shall provide specific information regarding the site layout, architecture, and proposed amenities. A Detailed Development Plan that proposes land uses not in the Conceptual Development Plan or that deviates by more than ten percent from any development standard in the Conceptual Development Plan for any phase, or that does not meet the standards of this Section shall not be approved. The applicant may request that the decision-maker approve such a plan as an amended Conceptual Development Plan.

3.09.06 Development Standards

A PUD is intended to allow flexibility in the development standards of Sections 2.02 through 2.04 and 3.01 through 3.11. The Detailed Development Plan may propose modified standards without a separate Street Adjustment, Zoning Adjustment, or Variance. Any standard that the City does not accept in writing as a modification shall apply to the PUD. The development standards stated

below shall not be modified through the PUD process.

A. Common area and density shall comply with Table 3.09A.

| Common Area and Density Standards for Planned Unit Developments Table 3.09A | | | | |
|---|--|--|-------------|-----------|
| | | Transfer of Density | Residential | Mixed-Use |
| Common Area, Minimum | Four or fewer dwelling units | All undevelopable site area ⁶ | | |
| | Five or more dwelling units, or nonresidential uses | 30 percent of gross site area, including all undevelopable site area ^{1, 5, 6} | | |
| Improved Common Area, Minimum | Four or fewer dwelling units | None | | |
| | Five or more dwelling units | 100 square feet per dwelling unit | | |
| | Nonresidential uses | None | None | None |
| Residential Density, Minimum (units per net acre) | Sites less than 20 gross acres | Pursuant to the Comprehensive Plan ² | | |
| | Sites 20 or more gross acres | Either pursuant to the Comprehensive Plan ² or 15. ⁷ | | |
| Residential Density, Maximum (units per net acre) | | Not specified ⁴ | | |
| <div>1. At least one common area shall be sized to accommodate a circle 25 feet in diameter.</div> <div>2. In residential zones only. There is no minimum for non-residential zones.</div> <div>3. Child care facility for 13 or more children, group home for six or more persons.</div> <div>4. The maximum density is determined by setbacks, off-street parking, open space, and other requirements. Pursuant to Comprehensive Plan Policy Table 1, Note (p. 7), allowable densities may be increased through PUD above the maximum(s) of the base zone(s).</div> <div>5. See Table 3.09B.</div> <div>6. An existing or proposed golf course may count towards the common area minimum as follows: Of the 30 percent minimum, maximum 10 percent (1/3) if the course is public, 5 percent (1/6) if private, or 15 percent (half) if the course has a bicycle/pedestrian path with public easement and both connect to the course boundary at minimum two points allowing access across the course.</div> <div>7. 15 is the standard if OAR 660-046-0020(10) “Master Planned Community” & 660-046-0205(2)(b) are applicable.</div> | | | | |

B. Improved Common Area

- Common areas are deemed improved if they are provided with benches, playground equipment, gazebos, picnic facilities, or similar amenities. Lawn area by itself does not constitute improvement. Trails or paths do not constitute improvement, unless they connect to the public trail system.

2. Common meeting or recreation rooms are deemed to be improved common areas.
3. Improved common areas are subject to the performance guarantee provisions of Section 4.02.08.

C. Streets

1. A PUD shall conform to and, where possible, enhance existing or planned vehicle, pedestrian and bicycle networks, including connections and functionality. Note: See Figures 7-1 (Functional Classification Designations), 7-3 (Pedestrian Plan), and 7-4 (Bicycle Plan) of the Transportation System Plan.
2. All streets shall be public.
3. Boundary and connecting streets shall use the street sections of Section 3.01.04.
4. Internal streets may use the street sections of Section 3.01.04, or the PUD may propose other street sections, provided that the streets:
 - a. conform to the Oregon Fire Code (see Figures 3.04C and 3.04D)
 - b. include sidewalks, and
 - c. are constructed to the specifications of the Public Works Department.
5. Alley / shared rear lane: Where the PUD is not within the RSN or RMN zoning district, is 3 or more acres, includes residential use, and is proposed for a total of 20 or more lots, then one or more alleys or shared rear lanes as Section 1.02 defines shall serve minimum 20 percent of all lots and tracts.

D. Parking

If a front setback of less than 20 feet is proposed, the requirement of Section 3.05.03 for an improved parking pad for single-family and duplex dwellings may be satisfied by on-street parking or by a common off-street parking lot.

E. Signs

1. A PUD may include a sign plan to require a common architectural design and location.
2. The standards of the Mixed Use Village (MUV) zone shall apply to commercial uses in the residential zones of a Mixed-Use PUD.

F. Significant Tree preservation and removal: A PUD cannot modify Sections 3.06.07 and 3.06.08.

- C. Possible Actions at the Revocation Hearing: Depending on the situation, the City may take any of the actions described below. If the decision is to modify the permit, the City may not approve a use that is more intense than originally approved, unless the possibility of this change has been stated in the public notice. Uses or development which are alleged to have not fulfilled conditions, violate conditions or to be inconsistent with the City's approval may be subject to the following actions:
1. The City may find that the use or development is complying with the conditions of the approval. In this case, the permit shall not be altered.
 2. The City may modify the permit if it finds that the use or development does not fully comply with the conditions of approval or otherwise does not comply with what was approved, that the violations are not substantial enough to warrant revocation and that the use can comply with the original approval criteria if certain conditions are met. In this case, the City may modify the existing conditions, add new conditions to ensure compliance with the approval criteria, or refer the case to the code compliance officer for enforcement of the existing conditions.
 3. The City may revoke a permit if it finds there are substantial violations of conditions or failure to implement conditions of a permit, such that the original approval criteria for the use or development are not being met.
- D. Effect of Revocation: In the event permit approval is revoked, the use or development becomes illegal. The use or development shall be terminated within thirty days of the date that all appeals periods have been exhausted, unless the decision provides otherwise. In the event the City Council's decision on a revocation request is appealed, the revocation action shall be automatically stayed until the appeal is resolved.

4.02.11 **Transfer of Approval Right**

Any final decision granted under this ordinance shall run with the land and shall transfer with ownership of the land, unless otherwise specified in the decision. Any conditions, time limits or other restrictions imposed with a decision shall bind all subsequent owners of the subject property.

4.02.12 **Fees in-Lieu**

- A. In lieu of public improvements:
1. Permissible if the Director allows, whether wholly in-lieu for one, some, or all of the kinds of required improvements or for some or all of a kind.
 2. Fees in lieu of public improvements are due before either building permit application or, when and where any of Partition or Subdivision Final Plat is involved, completion of recordation with the County, specifically no later than before a City official signs a plat or re-plat Mylar per Section 5.01.06C.1. A developer may request in writing to pay later, specifically by issuance of building permit, or if the Director allows, across issuance of two or more structural building permits for the subject development.

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B. ~~Reserved.~~ In lieu of on-site, private improvements:

1. Same as subsection A1 above.

~~3.2.~~ Administration: Per the Director.

5.01.04 Grading Permit

- A. Purpose: The purpose of this review is to ensure that grading is in compliance with the Woodburn Storm Management Plan, Woodburn Flood Plain Ordinance, Public Works Department Construction Standards and Specifications, and the State Building Code.
- B. Applicability: The requirement for a grading permit applies to any of the following activities:
 - 1. Any fill, removal, or grading of land identified within the boundaries of the regulatory floodplain,
 - 2. Any fill, removal, or grading of land identified within the Riparian Corridor and Wetlands Overlay District (RCWOD),
 - 3. Any fill, removal, or grading of land that requires a permit from the Oregon Department of State Lands,
 - 4. Any fill, removal, or grading of land area that equals or exceeds one acre, or
 - 5. Any development activity required by the WDO to submit a grading plan or permit.
- C. Criteria: Grading Permits shall be reviewed pursuant to the policies and standards of the Woodburn Storm Management Plan, Woodburn Flood Plain Ordinance, Public Works Construction Standards and Specifications, ~~and State Building Code~~, and Section 3.06.07 "Significant Tree Preservation & Removal", including 3.06.07C, as applicable.
- D. Procedure: The Director shall review the proposed grading plan to ensure compliance with City and State requirements.

5.01.05 Manufactured Dwelling Park Final Plan Approval

- A. Purpose: The purpose of this review is to ensure substantial conformance of the final plan and improvements with the conditions of the Manufactured Dwelling Park Preliminary Approval, including compliance with applicable Oregon Administrative Rules.
- B. Criteria:
 - 1. The final plan shall be submitted within two years of date of the initial approval.
 - 2. The final plan shall include all information required by the preliminary approval and shall substantially conform to all conditions of the preliminary approval and applicable Oregon Administrative Rules.
- C. Procedures: The Director shall determine whether the final plan substantially conforms to the preliminary approval, applicable State requirements, and City ordinances.

5.01.09 Riparian Corridor and Wetlands Overlay District (RCWOD) Permit

- A. Purpose: The purpose of this review procedure is to ensure that all grading, excavation, fill, and vegetation removal (other than perimeter mowing and other cutting necessary for hazard prevention) within a delineated, significant wetland, complies with applicable City and State standards and procedures, including those of ORS Chapter 196 and Chapter 227 and OAR 660-023.
- B. Criteria:
 - 1. The applicable standards of this Ordinance and the findings and action proposed by the Division of State Lands; or
 - 2. A finding, verified by the Division of State Lands, of error in delineation of the RCWOD boundary.
- C. Procedure: The Director shall review the permit and approve it upon a determination that it meets the criteria of this ordinance.

5.01.10 Sign Permit

- A. Purpose: The purpose of this review is to ensure that signs comply with standards found within the Sign Standards (Section 3.10).
- B. Criteria: Applications shall be reviewed for compliance with the sign standards of this Ordinance.
- C. Procedure: The Director shall review proposal signs for compliance to City regulations.

5.01.11 Significant Tree Removal Permit

- A. Purpose: ~~The purpose of this review is to ensure that the removal of significant trees complies with the provisions of this Ordinance (Section 3.06.04). To ensure that the removal of Significant Trees conforms with Section 3.06.07 as well as the purposes of Section 3.06.07A.~~
- B. ~~Applicability: Per Sections 3.06.07B & C. Criteria: Applications shall be reviewed for compliance with this Ordinance.~~
- C. ~~Criteria and procedure: Per Section 3.06.07. Procedure: The Director shall review and approve the proposal for compliance of this Ordinance.~~

5.01.12 Temporary Outdoor Marketing and Special Event Permit

- A. Purpose: The purpose of this review is to ensure that temporary outdoor marketing or special events conform to the standards of this Ordinance (Section 2.07.17).
- B. Criteria: Temporary Outdoor Marketing and Special Events shall conform to all standards of this Ordinance.
- C. Procedure: The Director shall review the application and shall approve a permit based on compliance with this Ordinance.

5.02.06 Zoning Adjustment

- A. Purpose: The purpose of a Type II zoning adjustment review is to provide a mechanism by which the regulations in the WDO may be adjusted if the proposed development continues to meet the intended purpose of those regulations. Adjustment reviews provide flexibility for unusual situations. They also allow for alternative ways to meet the purposes of the WDO..
- B. Criteria: A zoning adjustment involves the balancing of competing and conflicting interests. The following criteria will be considered in evaluating zoning adjustments.
 - 1. The adjustment is necessary to prevent unnecessary constraint relating to the land or structure. Factors to consider in determining whether constraint exists, include:
 - a. Physical circumstances over which the applicant has no control, related to the piece of property involved, that distinguish it from other land in the same zone, including but not limited to lot size, shape, and topography.
 - b. Whether the constraint was created by the applicant requesting the adjustment.
 - 2. The zoning adjustment will not be materially injurious to adjacent properties or to the use of the subject property. Factors to be considered in determining whether development is not materially injurious include, but are not limited to:
 - a. Physical impacts such development will have because of the adjustment, such as visual, noise, traffic and drainage, erosion and landslide hazards.
 - b. If the adjustment concerns joint-use parking, the hours of operation for vehicle parking shall not create a competing parking demand.
 - c. Minimal impacts occur as a result of the proposed adjustment.
 - 3. The adjustment is the minimum deviation from the standard necessary to make reasonable use of the property;
 - 4. The adjustment does not conflict with the Woodburn Comprehensive Plan. Factors to be considered include, but are not limited to:
 - a. The adjustment serves to administer or implement a Woodburn Comprehensive Plan goal or policy.
 - b. The adjustment serves to administer or implement an action item, goal, objective, policy, or strategy from an adopted long-range plan.
 - 5. The adjustment provides an alternative to the standard that meets the relevant purposes of the WDO standard and the context of the standard.
- C. Maximum Adjustment permitted:
 - 1. Lot Area: Up to a five percent reduction in the minimum lot area.
 - 2. Lot Coverage: Up to an increase of five percent in lot coverage.
 - 3. Front Yard Setback or Setback Abutting a Street: Up to a 10 percent reduction of a setback.
 - 4. Side Yard Setback: Up to a 20 percent reduction in setback, but no less than a five foot setback in a RS or R1S zone or less than the requirements of the state building code, whichever is more restrictive; however, for RM and RMN zones where a building type

or residential use side setback is dependent on tiers of building height, setback reduction as follows: For building height of:

- a. 16 feet or less, reduction to no fewer than 5 feet;
 - b. More than 16 feet and less than 28, reduction to no fewer than 5 feet; or
 - c. 28 feet or more, reduction to no fewer than 10 feet at the 28th foot and higher and to no fewer than 5 feet below the 28th foot.
5. Rear Yard Setback: Up to a 20 percent reduction in setback, but no less than a five foot setback, except in those zones permitting zero setbacks the minimum setback shall be either 5 feet or zero; however, for RM and RMN zones where a building type or residential use side setback is dependent on tiers of building height, setback reduction as follows: For building height of:
- a. 16 feet or less, reduction to no fewer than 10 feet;
 - b. More than 16 feet and less than 28, reduction to no fewer than 18 feet above the 16th foot and higher and to no fewer than 10 feet at the 16th foot and below; or
 - c. 28 feet or more, reduction to no fewer than 24 feet at the 28th foot and higher and, below the 28th foot, to no fewer than per (b.)
6. Lot Width: Up to a ten percent reduction.
7. Lot Depth: Up to a ten percent reduction.
8. Building Height: Up to a ten percent increase in height.
9. Parking Standards: Up to a five percent reduction in required parking spaces except no reduction in the number of handicapped vehicle parking spaces or in dimensional standards.
10. Joint-Use Vehicle Parking: Up to 20 percent of the required vehicle parking may be satisfied by joint use of the parking provided for another use.
11. Fences and Freestanding Walls: The location or height of a fence or free-standing wall, excluding the adjustment of any such facilities within a clear vision area, height limited to 16 percent increase.
12. Access management in RSN & RMN districts / alleys: Relating to Section 2.05.04B.2, reduce the minimum to no less than either 60 percent or 12 lots, whichever is greater.
13. Alley or shared rear lane widths (in any zoning district):
- a. ROW/tract: Reduce alley minimum ROW or shared rear lane tract width to no fewer than 16 feet.
 - b. Pavement: Reduce minimum pavement width to no fewer than 14 feet.
14. Bicycle/pedestrian corridor width:
- a. Relating to Table 3.01A corridor contexts 1b & c, reduction of corridor width to no fewer than 18 feet, or where a newly granted off-street PUE along the corridor would neither cover the entire corridor width nor preclude a row of newly planted trees, then no fewer than 16 feet.
 - b. Relating to context 3, reduction to no fewer than either 35 feet or actual extent of RCWOD relative to lot line where the actual extent is fewer than 50 feet, whichever

is less.

15. Bicycle/pedestrian facility class: Relating to Section 3.01.07D, to lower from Class B to Class C.
16. PUE:
 - a. Streetside: For each lot or tract that abuts both a street and an alley, narrowing the PUE along the street to no fewer than 3 feet minimum.
 - b. Off-street: Narrowing to no fewer than 10 ft minimum.
17. Vision clearance area: Decreasing any Figure 3.03A sight triangles to no fewer than street intersections 20 by 20 feet, driveways at streets 5 by 5 feet limited to driveways of residential development other than of multiple-family dwellings, and any of alley and shared rear lane junction with a street to 5 by 5 feet. A developer shall submit a safety analysis stamped by a civil engineer.
18. Commercial access management: Relating to Section 3.04.03D.2, to relax the standard as the Director allows.
19. Driveway width:
 - a. Triplex and Quadplex: To increase maximum one driveway along the lot street frontage, including both interior and corner lot contexts, to a maximum width of 24 feet.
 - b. 5 or more dwellings or living units, school, or house of worship: To increase maximum width to either 26 feet or, if a turn pocket is included, to a total maximum of 31 feet.
 - c. Commercial use: To increase maximum width to either 26 feet or, if a turn pocket is included, to a total maximum of 38 feet.
20. Compact parking: To raise the maximum to no more than 40 percent.
21. Drive aisle width: Relating to Table 3.05B, to narrow two-way drive aisles with parking spaces that are angled to no fewer than 20 feet or that are at 90° to no fewer than 22 feet. To narrow one-way drive aisles to no fewer than from 22 or 24 feet to 20, from 15 or 18 feet to 14, or from 12 feet to 11.
22. Lighting: Relating to Section 3.11.02B, to increase the height limit:
 - a. For wall, to no higher than 10 feet.
 - b. For poles within parking areas of developments other than of multiple-family dwellings, to no higher than 18 feet.
 - c. For other poles, to no higher than 12 feet.
 - d. For sports, to no higher than as the zoning district allows for features not used for habitation or 70 feet, whichever is less.
23. Architectural & Design Standards: Relating to Table 3.07A and for manufactured dwellings only, to adjust any standard other than minimum roof pitch and as the Director allows.
24. MUV: Relating to Table 2.03E and for side and/or rear minimum setback from property zoned other than RS, to lower to zero.

24.25. Significant Tree preservation & removal: Relating to Tier 3 (T3) and Tier 4 (T4) standards, to lower the preservation minimum percentage to 25.0 percent for T3; 35.0 percent for T4; 15.0 percent for a subject property within the MUV zoning district or the Gateway CG Overlay District; or zero for a subject property within the DDC zoning district.

D. Prohibited Adjustments:

1. Adjustments to the number of permitted dwellings and to the use of property shall be prohibited.
2. Standards established by Oregon Revised Statutes for manufactured dwellings and manufactured dwelling parks are non-variable.

5.04 Type IV (Quasi-Judicial) Decisions

5.04 General Requirements

- A. The purpose of this Section is to identify what types of actions are considered Type IV decisions. Type IV decisions involve the greatest amount of discretion and require evaluation of approval standards. These decisions are heard by the Planning Commission and City Council. The process for these land use decisions is controlled by ORS 197.763. Notice of the land use application and public hearing is published and mailed to the applicant, recognized neighborhood associations and property owners. The City Council decision is the City's final decision and is appealable to the Land Use Board of Appeals.
- B. To initiate consideration of a Type IV decision, a complete City application, accompanying information, and filing fee must be submitted to the Director. The Director will evaluate the application as outlined in this Section.

5.04.01 Annexation

5.04.02 Comprehensive Plan Map Change, Owner Initiated

5.04.03 Formal Interpretation of the Woodburn Development Ordinance

5.04.04 Official Zoning Map Change, Owner Initiated

5.04.01 Annexation

- A. Purpose: The purpose of this Type IV review is to provide a procedure to incorporate contiguous territory into the City in compliance with state requirements, Woodburn Comprehensive Plan, and Woodburn Development Ordinance.
- B. Mandatory Pre-Application Conference: Prior to requesting annexation to the City, a Pre-Application Conference (Section 4.01.04) is required. This provides the city an opportunity to understand the proposed annexation and an opportunity to provide information on the likely impacts, limitations, requirements, approval standards, and other information that may affect the proposal.
- C. Criteria:
 - 1. Compliance with applicable Woodburn Comprehensive Plan goals and policies regarding annexation.
 - 2. Territory to be annexed shall be contiguous to the City and shall either:
 - a. Link to planned public facilities with adequate capacity to serve existing and future development of the property as indicated by the Woodburn Comprehensive Plan; or
 - b. Guarantee that public facilities have adequate capacity to serve existing and future development of the property.
 - 3. Annexations shall show a demonstrated community need for additional territory and development based on the following considerations:
 - a. Lands designated for residential and community uses should demonstrate substantial conformance to the following:

- 1) The territory to be annexed should be contiguous to the City on two or more sides;
 - 2) The territory to be annexed should not increase the inventory of buildable land designated on the Comprehensive Plan as Low or Medium Density Residential within the City to more than a 5-year supply;
 - 3) The territory proposed for annexation should reflect the City's goals for directing growth by using public facility capacity that has been funded by the City's capital improvement program;
 - 4) The site is feasible for development and provides either:
 - a) Completion or extension of the arterial/collector street pattern as depicted on the Woodburn Transportation System Plan; or
 - b) Connects existing stub streets, or other discontinuous streets, with another public street.
 - 5) Annexed fulfills a substantial unmet community need, that has been identified by the City Council after a public hearing. Examples of community needs include park space and conservation of significant natural or historic resources.
- b. Lands designated for commercial, industrial and other uses should demonstrate substantial conformance to the following criteria:
- 1) The proposed use of the territory to be annexed shall be for industrial or other uses providing employment opportunities;
 - 2) The proposed industrial or commercial use of the territory does not require the expansion of infrastructure, additional service capacity, or incentives that are in excess of the costs normally borne by the community for development;
 - 3) The proposed industrial or commercial use of the territory provides an economic opportunity for the City to diversify its economy.

D. Procedures:

1. An annexation may be initiated by petition based on the written consent of:
 - a. The owners of more than half of the territory proposed for annexation and more than half of the resident electors within the territory proposed to be annexed; or
 - b. One hundred percent of the owners and fifty percent of the electors within the territory proposed to be annexed; or
 - c. A lesser number of property owners.
2. If an annexation is initiated by property owners of less than half of property to be annexed, after holding a public hearing and if the City Council approves the proposed annexation, the City Council shall call for an election within the territory to be annexed. Otherwise no election on a proposed annexation is required.
3. The City may initiate annexation of an island (ORS 222.750), with or without the consent of the property owners or the resident electors. An island is an unincorporated territory surrounded by the boundaries of the City. Initiation of such an action is at the discretion of the City Council.

4. The Significant Tree preservation and removal provisions of Section 3.06.07 are applicable to unincorporated territory that is the subject property of an Annexation application.

- E. Zoning Designation for Annexed Property: All land annexed to the City shall be designated consistent with the Woodburn Comprehensive Plan, unless an application to re-designate the property is approved as part of the annexation process.
- F. The timing of public improvements is as follows:
 - 1. Street dedication is required upon annexation.
 - 2. Dedication of public utility easements (PUE) is required upon annexation.
 - 3. Street improvements are required upon development.
 - 4. Connection to the sanitary sewer system is required upon development or septic failure.
 - 5. Connection to the public water system is required upon development or well failure.
 - 6. Connection to the public storm drain system is required upon development.

5.04.02 Comprehensive Plan Map Change, Owner Initiated

- A. Purpose: The purpose of an Owner Initiated Comprehensive Map Change is to provide a process for the consideration of a change in use designation on the Woodburn Comprehensive Plan, initiated by the property owner.
- B. Criteria: The applicant shall demonstrate the following:
 - 1. Proof that the current Comprehensive Plan Map is in error, if applicable.
 - 2. Substantial evidence showing how changes in the community warrant the proposed change in the pattern and allocation of land use designations.
 - 3. Substantial evidence showing how the proposed change in the land use designation complies with:
 - a. Statewide Planning Goals and Oregon Administrative Rules;
 - b. Comprehensive Plan goals and policies; and
 - c. Sustains the balance of needed land uses within the Woodburn Urban Growth Boundary.
 - 4. Amendments to the comprehensive plan and land use standards which significantly affect a transportation facility shall ensure that allowed land uses are consistent with the function, capacity, and level of service of the facility identified in the Transportation System Plan. This shall be accomplished by one of the following:
 - a. Limiting allowed land uses to be consistent with the planned function of the transportation facility; or
 - b. Amending the Transportation System Plan to ensure that existing, improved, or new transportation facilities are adequate to support the proposed land uses consistent with the requirement of the Transportation Planning Rule; or,
 - c. Altering land use designations, densities, or design requirements to reduce demand

Analyses & Findings

Legislative Amendment Provisions

4.01 Decision-Making Procedures ...

4.01.02E. Type V Decisions (Legislative): Type V decisions involve legislative actions where the City Council enacts or amends the City's land use regulations, comprehensive plan, Official Zoning Map or some component of these documents. Type V decisions may only be initiated by the City Council. The Planning Commission holds an initial public hearing on the proposal before making a recommendation to the City Council. The City Council then holds a final public hearing and renders a decision. Public notice is provided for all public hearings (Section 4.01.14). The City Council's decision is the City's final decision and is appealable to LUBA within 21 days after it becomes final.

The City Council on July 26, 2021 passed Resolution No. 2175 initiating Legislative Amendment 21-03. The Planning Commission will have held a public hearing on August 10, 2023, or a later date certain, prior to making a formal recommendation to the City Council regarding LA 21-03.

✓ The provisions are met.

ORS 227.186 Notice to property owners of hearing on certain zone change; form of notice; ...

(3) ... at least 20 days but not more than 40 days before the date of the first hearing on an ordinance that proposes to amend an existing comprehensive plan or any element thereof, or to adopt a new comprehensive plan, a city shall cause a written individual notice of a land use change to be mailed to each owner whose property would have to be rezoned in order to comply with the amended or new comprehensive plan if the ordinance becomes effective. ...

(9) For purposes of this section, property is rezoned when the city:

- (a) Changes the base zoning classification of the property; or
- (b) Adopts or amends an ordinance in a manner that limits or prohibits land uses previously allowed in the affected zone.

LA 21-03 involves none of comprehensive plan text amendment, comprehensive plan map amendment, zone change (a.k.a. rezoning). It also involved no amendment of any land uses of any of the zoning districts, including nothing that limits or prohibits land uses that zoning districts currently allow, so additional notice per Oregon Ballot Measure 56 (1998) codified in Oregon Revised Statutes (ORS) 227.186 was not applicable. Staff issued notices of public hearing pursuant to state law and Woodburn Development Ordinance (WDO) 4.01.14C & D and sent a required notice of proposed amendment to the Oregon Department of Land Conservation and Development (DLCD) on May 23, 2022, which DLCD confirmed received as agency file number 002-22.

✓ The provisions are met.

Legislative Intent

The Woodburn Development Ordinance (WDO) establishes the standards that land development is required to meet, and relevance and clarity of standards is critical as the city grows. Periodic revisions and updates to the WDO are necessary and expected to comply with revisions to statutes and administrative rules, administer new and revised long-range plans, and address current issues.

A winter ice storm pummeled the city and its tree canopy during Presidents' Day weekend that was approximately February 12-15, 2021.

The City Council on February 22, 2021 passed Ordinance No. 2584 that waived the tree removal fee and removed the requirement for an applicant to submit a report by a certified arborist for tree removals in the aftermath of the ice storm. This emergency ordinance was effective for three months only.

The City Attorney and Community Development Director on July 26, 2021 briefed the Council about existing WDO tree preservation and removal regulations and presented ideas about improved enforcement provisions and fines. (Later, on August 9, 2021, the Council passed Ordinance No. 2592 establishing an enhanced penalty for intentional violations of the tree permit requirements of the WDO and the street tree ordinance.)

The Council on July 26, 2021 also passed Resolution No. 2175 initiating Legislative Amendment 21-03.

Staff held Planning Commission workshops about LA 21-03 on:

- September 23, 2021
- April 28, 2022
- July 28, 2022
- October 13, 2022
- May 11, 2023, and
- July 27, 2023.

The Planning Commission held a public hearing on September 28, 2023 and recommended that the City Council approve LA 21-03 and its related fees.

The strikethrough-and-underline edits related to tree preservation and removal are based on:

1. Existing regulations being limited to existing properties and totally lacking inclusion of new developments, resulting in *ad hoc* Significant Tree preservation efforts by Community Development Department staff development by development;
2. Difficulties posed by existing listed reasons to remove trees from existing properties being too lax and too open to interpretation, complicating fair and predictable administration of regulations relevant to Significant Tree Removal Permit applications;
3. Daily, in-depth Community Development Department staff experience with review of land use applications and land developments;
4. Needing to revise and add definitions to the WDO to administer revised Significant Tree preservation and removal regulations;
5. Revising and adding preservation and removal regulations that are clearer and more objective;
6. Revising and adding regulations that are tailored to context, that of existing properties and of new developments or redevelopments, through “tiers” of regulations;
7. Establishing a tier for new developments of houses and “middle housing” that is less stringent than for other new developments – out of abundance of caution and consistency of how the WDO regulates such housing types relative to the middle housing mandate resulting from 2019 Oregon House Bill 2001 (HB 2001), Oregon Department of Land Conservation and Development (DLCD) rule-making resulting in Oregon Administrative Rules (OAR) 660-046, and the subsequent LA 21-02 amendment adopted as Ordinance No. 2602 (June 2022), though staff believes that for tree preservation and removal regulations neither statute nor ORS requires such;
8. Being more stringent for new developments and redevelopments than for existing properties;
9. Being more lax with homeowners than landlords;
10. Anticipating and lessening conflict of tree preservation with Transportation System Plan (TSP) long-range planning through Figures 2 “Functional Roadway Classification” & 6 “Local Street Connectivity Plan” for extended and new streets and WDO 3.01 requirements for extended and new rights-of-ways (ROWs) and street improvements;
11. Adapting the best relevant parts of City of Portland, Oregon Title 11 “Trees”, particularly the following Chapters amended by City of Portland Ordinance No. 191030 effective November 11, 2022:
 - 11.50.040 “Tree Preservation Standards”,
 - 11.50.070 “Tree Plan Submittal Requirements”, and
 - 11.60.030 “Tree Protection Specifications”;
12. Exempting from scrutiny the same invasive species as found in the City of Portland Bureau of Planning and Sustainability (BPS) “nuisance” plant list within the June 2016 Portland Plant List, Section 4, Ranks A-C – species that are not merely non-native;
13. Anticipating and regulating tree removal for territory under review for annexation into city limits;

14. Anticipating and providing for reasonable situations warranting exemption from preservation and for emergencies; and
15. Responding to direction from the Planning Commission across at least six workshops.

Note that separate ordinances that the Public Works Department administers regulate maintenance and removal of existing street trees, the ones found in rights-of-way (ROWS), usually within landscaped strips between curbs and sidewalks. The WDO already regulates additional street trees that developers are to plant. This amendment project scope excludes existing and new street trees and is limited to off-street trees (on private property).

Among the Council [2019-21 strategic goals](#), two appear relevant to this amendment project:

- “Create an inclusive environment where residents participate and are engaged in the community (that is vibrant, safe and active).”

A way to serve the goal is strengthening standards that preserving off-street trees (on private property), which are larger and taller the longer they remain. Preserved trees create an environment that is attractive, calming, cooling, and hospitable to wildlife.

This in turn, particularly during summer and especially during heat waves, helps cool the town and give people confidence they can travel outdoors, keeping up personal physical activity, being safer from heat injuries, and more likely to engage with other people.

- “Grow and support strategic partnerships for economic health.”

A way to serve the goal is strengthening tree preservation standards for both existing and new developments to shade those walking and provide them psychological protection from passing vehicles, calm those driving, help spatially define streets through canopy, absorb stormwater and pollutants, reduce the urban heat island effect, raise value of property, and maintain wildlife habitat.

Preserving trees, which are larger and taller the longer they remain, create an environment that is attractive, calming, cooling, and hospitable to wildlife. This in turn would raise property values, increasing assessable value, and better attract landowner investments in property.

It seems only one Woodburn Comprehensive Plan policy is directly applicable: J-1.1 from p. 40:

“Trees within designated floodplains and riparian corridors shall be preserved. Outside of designated floodplains and riparian corridors, developers should be required to leave standing trees in developments where feasible.”

Major objectives are to:

- Correct the defects of existing tree removal and preservation regulations revealed by (1) the aftermath of the February 2021 ice storm, and (2) Community Development Department staff daily, in-depth experience with review of land use applications and land developments; and
- Respond well to Council direction to improve tree removal and preservation regulations as it expressed by passing Resolution No. 2175 on July 26, 2021.

Woodburn Development Ordinance

WDO

Adopted by Ordinance 2313 on April 9, 2002

Acknowledged December 22, 2006

Amended by Ordinance 2423 on July 28, 2007

Amended by Ordinance 2446 on September 8, 2008

Amended by Ordinance 2465 on March 24, 2010

Amended by Ordinance 2473 on December 13, 2010

Amended by Ordinance 2480 on September 26, 2011

Amended by Ordinance 2492 on September 10, 2012

Amended by Ordinance 2509 on August 12, 2013

Amended by Ordinance 2510 on September 23, 2013

Amended by Ordinance 2520 on July 28, 2014

Amended by Ordinance 2526 on February 9, 2015

Amended by Ordinance 2538 on September 26, 2016

Amended by Ordinance 2541 on November 14, 2016

Amended by Ordinance 2544 on January 9, 2017

Amended by Ordinance 2561 on July 9, 2018

Amended by Ordinance 2562 on September 10, 2018

Amended by Ordinance 2573 on June 24, 2019

Amended by Ordinance 2579 on April 13, 2020

Amended by Ordinance 2602 on May 9, 2022 (LA 21-01)

Amended by Ordinance 2603 effective June 30, 2022 (LA 21-02)

Amended by Ordinance 262[] on [MM] [DD], 2024 (LA 21-03)

LA 21-03
Attachment 3
Draft Amendment
Clean Copy
January 12, 2024
48 pages

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ORGANIZATION AND STRUCTURE

1.01 Structure

- 1.01.01 Title and Purpose
- 1.01.02 Annual Review of the WDO
- 1.01.03 Application and Construction of Regulations
- 1.01.04 Official Actions Shall Comply with the WDO
- 1.01.05 Relationship to Other Laws and Private Agreements
- 1.01.06 Prior Approvals and Conditions of Approval
- 1.01.07 Severability

1.01.01 Title and Purpose

- A. This ordinance may be referred to as the “Woodburn Development Ordinance” or by the abbreviation “WDO”, and in the table of contents each numbered set listed for a volume may be referred to as a “Chapter”. Within a chapter, sets of provisions beginning with the decimal format “0.00.00” may be referred to as a “Section”.
- B. The Woodburn Development Ordinance is intended to:
 - 1. Implement the Woodburn Comprehensive Plan in accordance with Oregon’s statewide planning goals and statutes;
 - 2. Implement additional adopted long-range plans;
 - 3. Facilitate adequate provisions for transportation, water, sewage, drainage, schools, parks and other facilities;
 - 4. Require land developers to construct or fund street improvements, and other improvements for the public, to the greatest extent allowable under the law in order to lessen the cost of serving development on existing residents.
 - 5. Provide adequate light, air, open space, and convenience of access;
 - 6. Enhance safety from fire, flood and other dangers;
 - 7. Protect environmental resources and natural systems;
 - 8. Promote the health, safety, peace, prosperity, and general welfare of the City’s residents and visitors;
 - 9. Promote a logical growth pattern within the City and the economic extension of public services and facilities;
 - 10. Encourage compatible and beneficial uses of land throughout the City by segregating uses to minimize incompatibilities;
 - 11. Provide for a variety of housing types and promote affordable housing;
 - 12. Preserve the character of the City by enhancing the aesthetic quality of the built environment and acknowledging the City’s historic architecture;
 - 13. Provide avenues for residents of the City to participate in the establishment and amendment of land use regulations and plans;
 - 14. Provide residents of the City with the opportunity to participate in

Building, Primary: A building within which is conducted the main or principal use of the property.

Cabana: A stationary structure with two or more walls, used in conjunction with a manufactured dwelling to provide additional living space and meant to be moved with the manufactured dwelling.

Caliper: The diameter of a tree measured 6 inches above ground level for trees up to 4 inches in diameter, or 12 inches above ground level for trees 4 inches or more in diameter. Note: A “Tree, Significant” or “Significant Tree” is measured differently per that definition, regardless of its caliper.

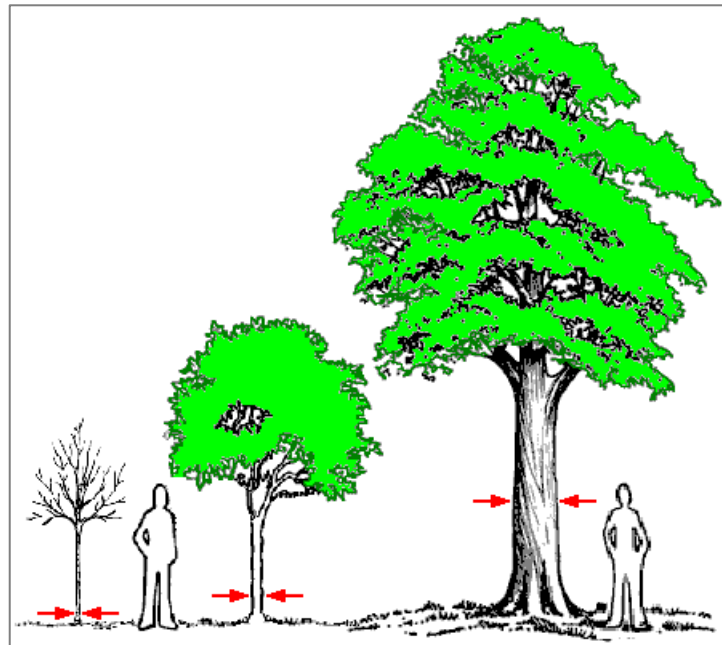


Figure 1.02C – Caliper and Diameter at Breast Height (DBH) Concepts

Care services:

- **Child Care:** The care, supervision and guidance on a regular basis of a child, unaccompanied by a parent, guardian or custodian, provided to a child during a part of the 24 hours of the day, in a place other than the child’s home, with or without compensation.
- **Child Care Facility:** A facility that provides child care, including a day nursery, nursery school, day care center, or similar unit operating under any name, but not including:
 - a facility providing care that is primarily group athletic or social activities sponsored by or under the supervision of a church or an organized club or hobby group.
 - a facility operated by a school district or a governmental agency.
 - a facility providing care while the child’s parent remains on the premises and is engaged in an activity offered by the facility or in other non-work activity.
 - a Child Care Home.
- **Child Care Home:** A residential facility certified by the Oregon Child Care Division.

Diameter at Breast Height (DBH):

1. Normal context: The diameter of a tree trunk at a height of 4.5 feet above the ground. (A way to calculate DBH is to measure the circumference of the trunk and divide the value by the mathematical constant π , which is approximately 3.14.)

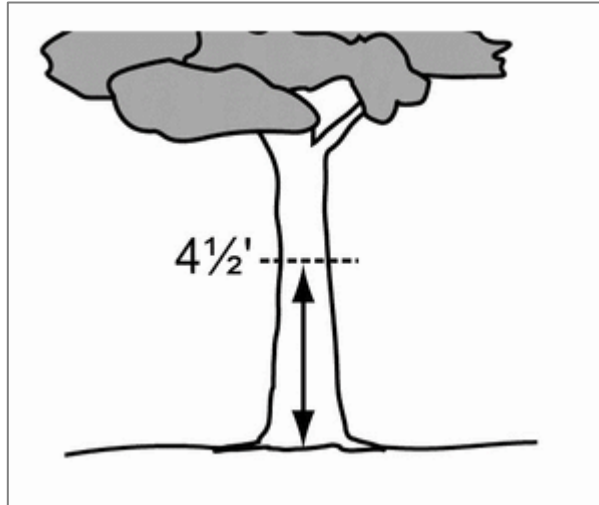


Figure 1.02H – Measuring Tree Size for Existing Trees in Normal Context

2. Angle or Slope: When the trunk is at an angle or is on a slope, the trunk is measured at right angles to the trunk 4.5 feet along the center of the trunk axis, so that the height is the average of the shortest and the longest sides of the trunk. See Figure 1.02J.

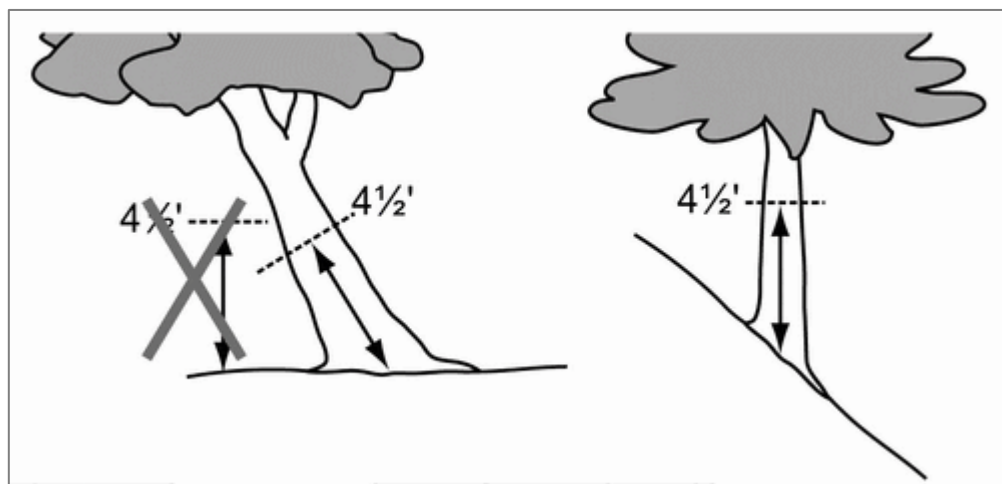


Figure 1.02J – Measuring Existing Trees with an Angle or on Slopes

3. Branched or Split Trunk: When the trunk branches or splits less than 4.5 feet from the ground, the trunk is measured at the smallest circumference below the lowest branch. See Figure 1.02K.

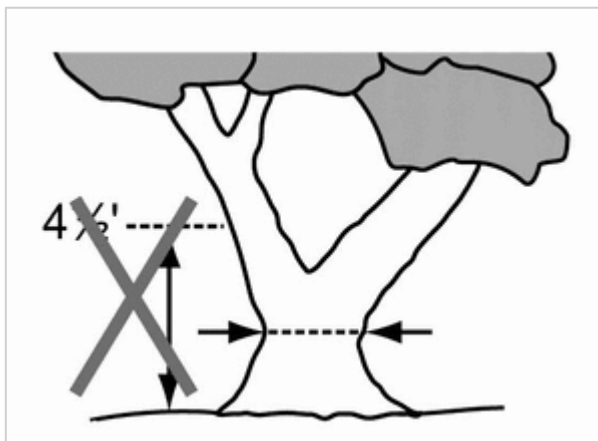


Figure 1.02K – Measuring Split Trunk Tree

4. Multi-stemmed: For multi-stemmed trees, the size is determined by measuring all the trunks and adding the total diameter of the largest trunk and half the diameter of each additional trunk; see Figure 1.02L. A multi-stemmed tree has trunks that are connected above the ground and does not include individual trees growing close together or from a common root stock that do not have trunks connected above the ground.

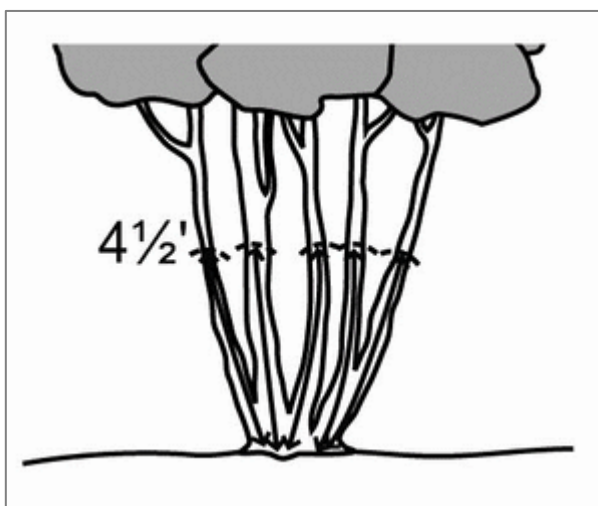


Figure 1.02L – Measuring Multi-Stemmed Trees

Director: The Director of the Community Development Department of the City of Woodburn or designee.

Door area: The area of the portion of a door, other than a garage door, that is operable, excluding the doorframe.

Driveway: A private vehicular means of access to and from a property, a parking space or area, a garage, or a use, intended to allow vehicular ingress and egress but not intended to provide the traffic circulation function of a street.

Dwellings:

- Single-Family Dwelling: A detached building constructed on a single lot, containing one dwelling unit designed exclusively for occupancy by one family.
- Triplex: Three (3) attached dwelling units on a lot.
- Accessory Dwelling Unit (ADU) – An interior, attached, or detached residential structure that is used in connection with, or that is accessory to, a single-family dwelling.

Note: Where it appears in the WDO, reference to dwelling or dwellings “other than multiple-family” excludes ADU unless a specific provision specifies otherwise.

Employees: All persons, including proprietors, performing work on a premises. For calculating required off-street parking, it shall be the number present during the largest shift or peak season.

Family: An individual or two or more persons related by blood, marriage, legal adoption or guardianship, or a group of not more than five persons (excluding servants) who need not be related by blood or marriage, living together in a dwelling unit. “Family” shall include two or more handicapped persons as defined in the Fair Housing Amendments Act of 1988 living as a single housekeeping unit.

Final Action and Final Decision: The City’s final decision on a permit application for which there is either no appeal to another decision-maker within the City, or, if there is the possibility of a local appeal, an appeal was not timely perfected in accordance with the Woodburn Development Ordinance.

Frontage: That portion of a lot which abuts a public street.

Garage: A building, or portion of a building, which is completely enclosed and designed for the storage or parking of a vehicle.

Grade: Adjacent ground elevation is the lowest point of elevation of the finished surface of the ground, paving or sidewalk within the area between the building and property line or, when the property line is more than 5 feet from the building, between the building and a line 5 feet from the building.

Greenway: For purpose of applying greenway standards, the Mill Creek Greenway as the Mill Creek Greenway Plan (2006-2007 and as amended) identifies.

Greenway trail: The mainline bicycle/pedestrian facility within a greenway, as distinct from spurs and supplemental paths and trails.

Gross Floor Area (GFA): The sum of the gross horizontal areas of the several floors of a building, measured from the exterior faces of the exterior wall or from the centerline of walls separating two buildings, but not including:

1. Attic and basement space providing headroom of less than seven feet;
2. Uncovered steps or fire escapes;
3. Private garages, carports, or porches;
4. Accessory water towers or cooling towers;
5. Off-street parking or loading spaces.

Hatracking or hat-racking: To flat-cut the top or sides of a tree, severing the main branch or branches; or trimming a tree by cutting off branches and leaving a stub larger than 1 inch in diameter; or reducing the total circumference or canopy of a tree by more than a percentage.

The presumptive percentage is 25.0 percent unless a certified arborist's report documents that it may be higher without endangering the health or life of the subject tree or trees, with the limit that a report may allow for maximum 35.0 percent.

Home Occupation: A business or professional activity engaged in by a resident of a dwelling unit as a secondary use of the residence, and in conformance with the provisions of the Woodburn Development Ordinance. Such a term does not include the lease or rental of a dwelling unit (See Section 2.02.10).

House of Worship: A church, synagogue, temple, mosque or other permanently located building primarily used for religious worship. A house of worship may also include accessory buildings for related religious activities and one dwelling unit.

Interested Person: With respect to a land use action, any person or organization, or the duly authorized representative of either, having a right of appeal under the Woodburn Development Ordinance.

ITE: The acronym refers to the Institute of Transportation Engineers, which publishes both the *Trip General Handbook* (10th Ed. or as amended) and the manual *Designing Walkable Urban Thoroughfares: A Context Sensitive Approach* (2010 or as amended).

Kennel: Any lot or premises on which four or more dogs and/or cats over the age four months are kept for sale, lease, boarding or racing.

Landscaping: Areas primarily devoted to the planting and preservation of trees, shrubs, lawn and other organic ground cover, together with other natural or artificial supplements such as watercourses, ponds, fountains, decorative lighting, benches, arbors, gazebos, bridges, rock or stone arrangements, pathways, sculpture, trellises and screens.

Legal Description: The description of a subject property by either metes and bounds or in reference to a lot, or lot and block, number of a recorded subdivision or partition.

Legislative Action: Any final decision of the city that adds to, amends or repeals the City's land use regulations, comprehensive plan or related maps and does not pertain to a particular property or small set of properties.

Loading Space: An on-site space or berth on the same lot with a building, or contiguous to a group of buildings, for the temporary parking of a commercial vehicle while loading or unloading merchandise or material.

The term includes camping trailer, motor home, park trailer, travel trailer, and truck camper.

Recreational Vehicle Park or RV Park: A plot of land upon which two or more recreational vehicle sites are located, established or maintained for occupancy by recreational vehicles belonging to the general public as temporary living quarters for recreational or vacation purposes.

Recycling Center: An area or structure used for the collection and temporary storage of non-putrescible, discarded materials, which will be transported elsewhere to be reused or recycled.

Repair: The reconstruction or renewal of any part of an existing building or structure for the purposes of maintenance. The term shall not include structural alteration.

Review Area: The review area that defines the character of surrounding dwellings and immediately surrounding dwellings shall encompass the five nearest dwellings to the subject lot that are on the same street and that are within 500 feet of the subject lot.

Root Protection Zone (RPZ): A circular area around a tree that is based on the diameter of the tree. Each 1 inch diameter of tree equals 1 foot radius for the RPZ. See Figure 1.02M.

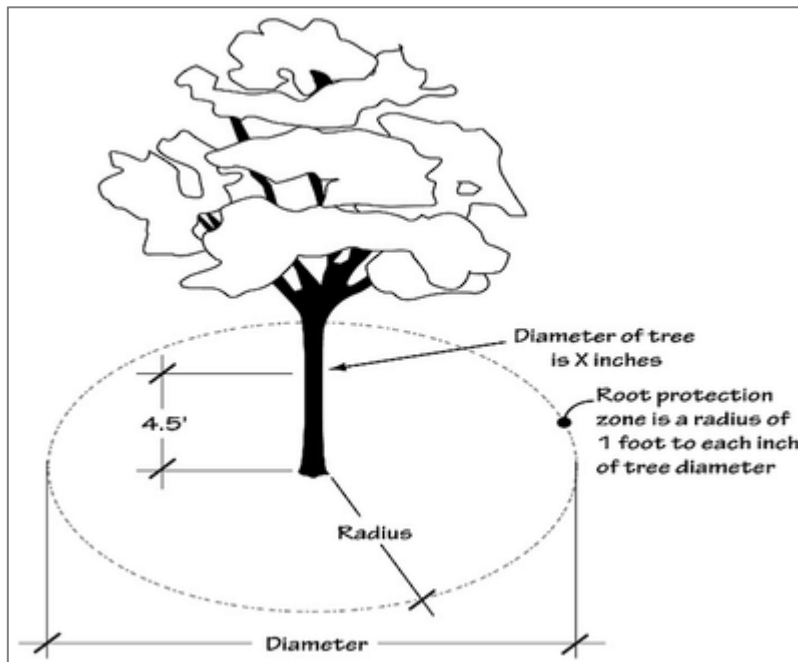


Figure 1.02M – Root Protection Zone Measurement

ROW: The acronym refers to right-of-way. Unless a WDO provision specifies otherwise, ROW excludes railroad right-of-way.

School, Elementary, Middle or High: A public or private institution offering instruction in the several branches of learning and study, in accord with the rules and regulations of the State Department of Education.

Screening: A sight-obscuring fence, architectural wall, or evergreen hedge at least 6 feet in height.

Setback, Average: For any continuous wall, “average setback” shall be as follows:

1. For a straight wall: The distance derived from dividing the sum of the closest and furthest points of the building wall from the property line by two; or
2. For an articulated wall: The location of a wall where the yard area abutting the property line (accounting for offsets and jogs) is equal to the yard area computed by multiplying the length of the wall by the standard for the allowable average setback.

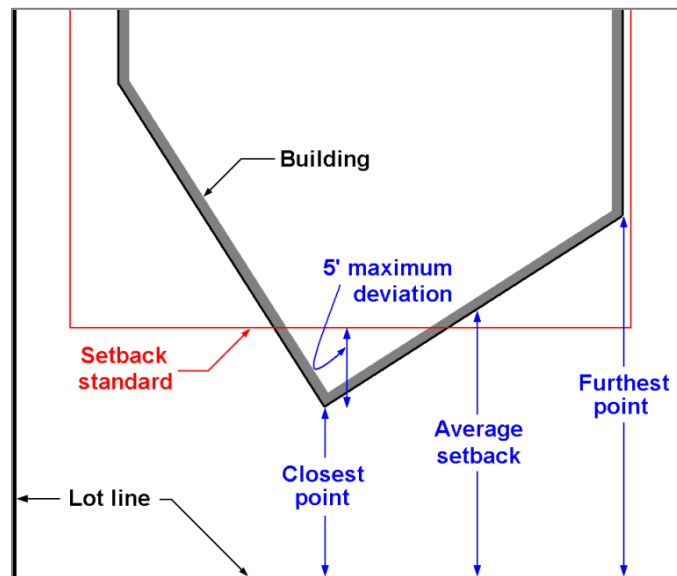


Figure 1.02F – Average Setback for a Straight Wall

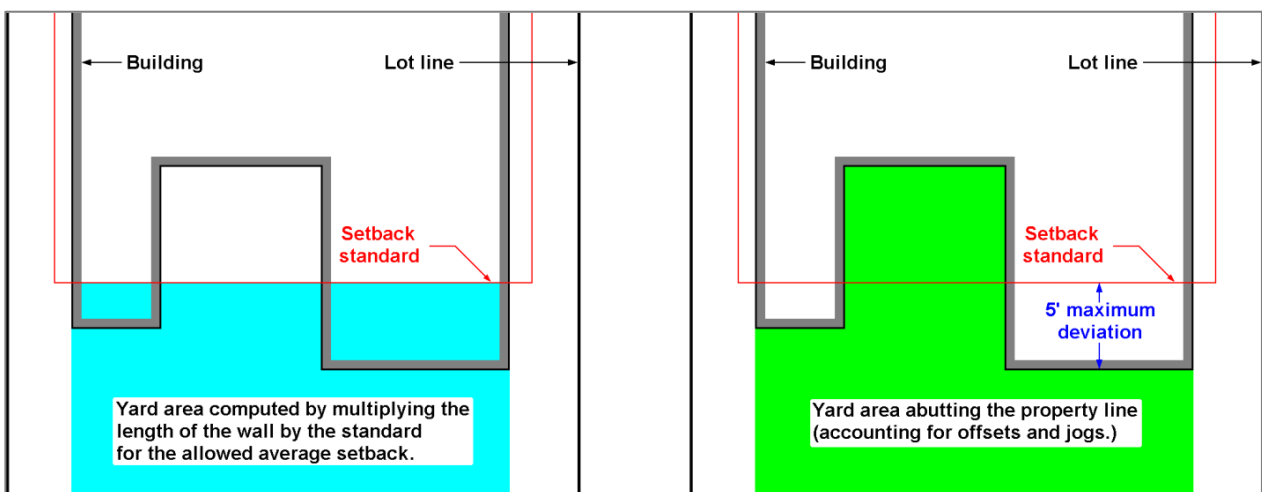


Figure 1.02G – Average Setback for an Articulated Wall

Shared Rear Lane: Similar to “Alley”, except that it remains privately maintained and a legal instrument grants the City and the public access to it.

Townhouse Project: One (1) or more townhouse structures constructed together with the site development area where there is land division establishing townhouse lot lines and any common area tracts.

Tree, Significant: An existing tree that is 24 inches or more in diameter at breast height, which equates to 6 feet, 3¼ inches or more in circumference, and one of two classes:

- Class S: Up to fewer than 36 inches; and
- Class T: 36 inches or wider, which may be termed a Tremendous Tree. (A diameter at breast height of 36 inches equates to 9 feet, 5 inches or more in circumference.)

("Diameter at breast height" is defined above within this Chapter 1.02).

UGB: The acronym refers to urban growth boundary. See the Comprehensive Plan and its land use map.

Use: (noun) An activity or a beneficial purpose for which a building, structure or land is designed, developed or occupied.

- **Ancillary Use:** An ancillary use is a use that is subsidiary to a predominant use and is either vertically integrated with, or directly linked with, the conduct of a predominant use, or is exclusively for the benefit of occupants, or employees, of a predominant use.
- **Nonconforming Use:** A use which met all applicable use standards imposed by applicable City or county zoning ordinance provisions when it was established, but which does not comply with the use standards of the Woodburn Development Ordinance solely because of the adoption of or amendment of the Woodburn Development Ordinance, or because annexation to the City resulted in the application of different use standards to the subject property (See also Nonconforming Development).
- **Permitted Use:** Those land uses permitted in a zoning district that are allowed outright, subject to the standards of the Woodburn Development Ordinance.
- **Required Supporting Use:** An on-site space or facility necessary to fulfill a dimensional or development standard of the Woodburn Development Ordinance, or a condition of a land use approval. Required supporting uses include access facilities, parking, loading, landscaping, and open space.

Utilities: Water, sanitary sewer, storm drainage, natural gas, electrical, wire communication service, cable television and all persons and companies supplying the same.

Vision Clearance Area (VCA): An area defined by the standards within which visual obstructions are regulated for safety purposes (See Section 3.03.06). Also known as "sight triangle".

Wall, Architectural: A brick, poured concrete, precast concrete, or CMU wall that meets the design standards of Section 3.06.06.

Wall, Common: A wall or set of walls in a single structure shared by 2 or more dwelling units. The common wall is shared for at least 25 percent of the length of the side of the building of the dwellings. The common wall may be any wall of the building, including the walls of attached garages. (This definition has no necessary relationship to any that might exist in the state building code.)

3.01 Streets, Greenways & Other Off-Street Bicycle/Pedestrian Corridors, and Bus Transit

The purpose of this Section is to provide for attractive, safe, comfortable, interesting, and efficient streets, off-street bicycle/pedestrian corridors and facilities, and transit improvements within the city, especially to include and be equitable toward Woodburn residents who cannot or do not own private vehicles or drive, to implement the Woodburn Comprehensive Plan and the Transportation System Plan (TSP), to use civil engineering of streets to reduce speeding, to guide City capital improvement projects, and to have developers upgrade nonconforming streets and construct extended and new streets and off-street bicycle/pedestrian facilities that conform. An objective is to have developers construct or fund street improvements, and other proportional share of improvements for the public, to lessen the cost of land development to the City in order to lessen taxpayer burden for landowners in the context of Oregon Ballot Measures 5 (1990) and 50 (1997). The provision of streets is guided by the applicable goals and policies of the Comprehensive Plan, the TSP, the Highway 99E Corridor Plan, creek greenway plans, the Transit Plan, and other WDO sections.

| | |
|---------|--|
| 3.01.01 | Applicability |
| 3.01.02 | Street General Provisions |
| 3.01.03 | Street Improvements Required for Development |
| 3.01.04 | Street Cross Sections |
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| 3.01.08 | Mill Creek Greenway |
| 3.01.09 | Bus Transit Improvements |

3.01.01 Applicability

- A. Right-of-way standards apply to all public streets and public alleys.
- B. Improvement standards apply to all public and private streets, public alleys, sidewalks, landscape strips, and on and off-street public bicycle pedestrian corridors. Standards do not exclude conformance with the public works construction code that the Public Works Department administers.
- C. The Woodburn Transportation System Plan (TSP) designates the functional class of major thoroughfares and local streets.
- D. This applies to all development as Section 1.02 defines, and is not limited to partitions, subdivisions, multi-family, commercial or industrial construction, or establishment of a manufactured dwelling or recreational vehicle park; however, a lesser set of standards applies to infill residential development of 4 or fewer dwellings and where no land division or Planned Unit Development is applicable, including construction of a single-family dwelling or placement of a manufactured dwelling on an infill lot. See Section 3.01.03C.2.

3.01.02 Street General Provisions

- A. No development shall be approved, or access permit issued, unless the internal streets, boundary streets and connecting streets are constructed to at least the minimum standards set forth in this Section, or are required to be so constructed as a condition of approval.
- B. Private streets are prohibited, except in manufactured dwelling parks, pursuant to State statute (ORS Chapter 446 and OAR 918-600). All private streets in manufactured dwelling parks shall comply with statute and WDO standards.
- C. Materials and construction shall comply with specifications of the City of Woodburn.
- D. The standards of this Section may be modified, subject to approval of a Street Adjustment, Planned Unit Development, Zoning Adjustment, or Variance. Other sections restrict where and how these application types apply.
- E. When all public improvements are due: The construction of all public improvements, their passing City inspections, and acceptance by the City are due no later than by either 5.01.06B in the context of land division final plat application to the City or by building permit issuance, except if (1) the developer applies to the City through the Public Works Department for deferral and (2) the City Administrator or designee issues a document approving and describing a bond or performance guarantee pursuant to Section 4.02.08. Administration of bonding and performance guarantees for improvements that are public defaults to the Public Works Department, and the department shall notify the Community Development Director of deferral applications and any approvals and conditions of approval.
- F. Fees in-lieu: Per Section 4.02.12.

3.01.03 Street Improvements Required for Development

A. With development, the Internal, Boundary, and Connecting streets shall be constructed to at least the minimum standards set forth below.

B. Internal Streets

Internal streets shall meet all standards of WDO and the TSP.

C. Boundary Streets

1. The minimum improvements for a Boundary Street may be termed "half-street" improvements and shall be as follows, except per subsection 2:
 - a. One paved 11-foot travel lane in each direction, even though this results in required improvements being slightly more than half-street by exceeding what the applicable cross section figure would require for a half-street;
 - b. On-street parking on the side of the street abutting the development, if the required cross section includes on-street parking;
 - c. Curb on the side of the street abutting the development;
 - d. Drainage facilities on the side of the street abutting the development;
 - e. Landscape strip with street trees and lawn grass on the side of the street abutting the development; and
 - f. Sidewalk on the side of the street abutting the development.
2. Infill residential development of 4 or fewer dwellings and where no land division or Planned Unit Development is applicable, per Section 3.01.01D: A developer shall:
 - a. Dedicate ROW per the required cross section;
 - b. Dedicate one or more streetside PUEs per Section 3.02.01B;
 - c. Either construct sidewalk per the required cross section or pay fee in-lieu per Section 4.02.12;
 - d. Plant a street tree or trees per Section 3.06.03A and specifically sited to conform with where a landscape strip would be per the required cross section, or pay fee in-lieu per Section 4.02.12; and
 - e. Provide minimum access per Section 3.04, and where a driveway approach, apron, curb cut, or ramp within ROW is relevant, have it meet the public works construction code.

D. Connecting Streets

1. The minimum improvements for a Connecting Street shall be one paved 11-foot travel lane in each direction.
2. Connecting streets shall extend from the boundary street of a development, to the nearest intersection that meets the cross-section and improvement requirements of this Section, or 1,000 feet, whichever is less.

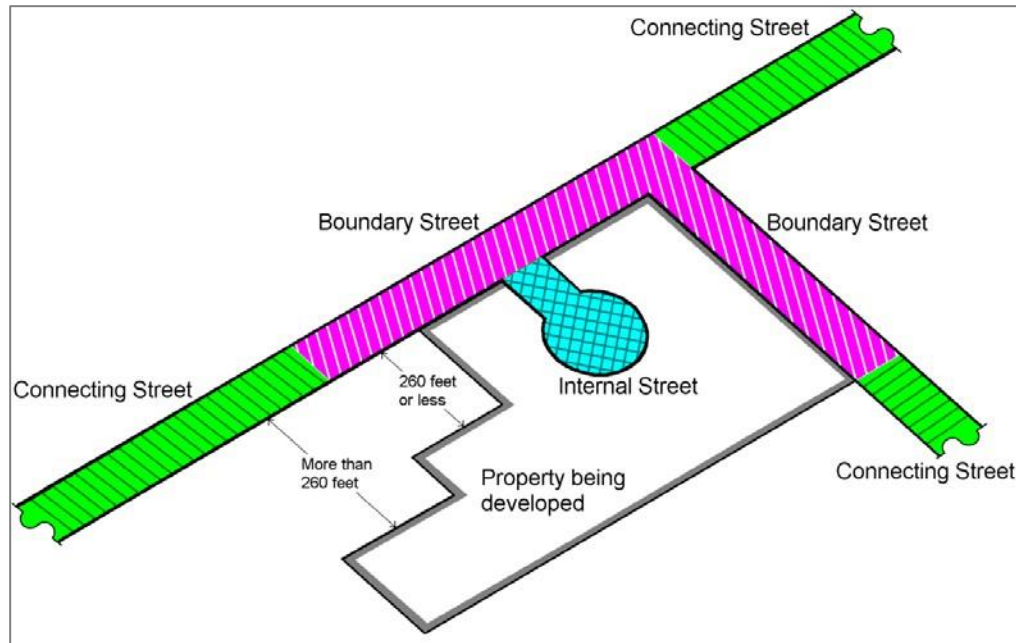


Figure 3.01A – Internal, Boundary, and Connecting Streets

- E. When the Director determines that a required improvement of a Boundary Street would not be timely, such as due to pending development of properties in the immediate vicinity or the area for Boundary Street ROW being wholly on adjacent property outside a developer's control, the developer shall pay fees in-lieu per Section 4.02.12.
- F. When the Director determines that a required improvement of a Boundary or Connecting Street would not be feasible, due to physical constraints of properties in the immediate vicinity or an inability to obtain right-of-way dedication from property outside a developer's control, the developer shall pay fees in-lieu per Section 4.02.12, the Director may approve construction of a partial-width street to the minimum standards set forth above, or a combination of both.
- G. ADA: The minimum standards of this Section 3.01 apply to development such that implementation includes constructing new or upgrading existing public improvements to be ADA-compliant.

H. Bridges / culvert crossings:

1. ROW: Required ROW shall remain such regardless of the physical width of the crossing, unless the developer obtains approval of Street Adjustment, modification through Planned Unit Development (PUD), or Variance.
2. Parking: Any parking lane(s) required by the applicable standard cross section shall remain required unless the developer obtains approval of Street Adjustment, modification through PUD, or Variance.
3. Sidewalk widths: A developer may omit from a bridge or culvert the street landscape strips, thereby resulting in curb-tight sidewalk, the minimum width of which shall be either 8 ft where there is to be no adjacent on-street parking or 9 ft where there is to be. Where the City considers a segment of a bicycle/pedestrian facility that is Class A or B to be along sidewalk, the minimum width shall widen to the class standard as applicable. Wider width shall apply where ADA per subsection G applies such that it is required.
4. Fence/railings: Where (1) a street segment is a bridge or culvert crossing, and (2) the public works construction code requires any pedestrian guardrail, handrail, fall protection railing, or safety railing, then it shall be decorative or ornamental (as examples, having an artistic pattern or resembling wrought iron), and a color other than black or charcoal. Any required fence at each end of railings shall be the same color(s).
5. Bridge sides: If the bridge sides are concrete, the surface shall be stamped or treated to resemble either cut stone or rough stone.

- I. TSP and other adopted long-range plans: Where such plans identify improvements within a Boundary Street, on the subject property of a development, or abutting a side or rear boundary of the subject property, the improvement or a proportional share of the improvement shall apply as a public improvement standard for the development. Applying a proportionate share may necessitate a developer applying to modify, adjust, or vary from a standard where and as the WDO allows.
- J. Off-site public improvements: To provide for the safety of the traveling public and ensure improved access to a development site consistent with Comprehensive Plan policies and WDO purposes and objectives for orderly urbanization and extension of public facilities, the Director may require off-site improvements reasonably related to a development and concurrent with it.
- K. Signage: A developer shall remove prohibited signage that Section 3.10.08R identifies.
- L. Significant Tree removal and preservation: See Section 3.06.07B.2c.

3.01.05 Street Layout

A. Purpose: To:

1. Implement Woodburn Comprehensive Plan Policies including those regarding avoiding dead-end streets, cul-de-sacs, and out-of-direction travel;
2. Implement the TSP including the Figure 6 “Local Street Connectivity Plan”;
3. Shorten out-of-direction travel for emergency responders;
4. Lessen physical vehicular access to the end of a street stub (from adjacent unimproved land where there is no driveway) that damages an improved street such as by demolishing curb or sidewalk or dragging dirt, mud, or gravel onto an improved street;
5. Not allow outer areas of the city to have street networks so sparse such that a few major thoroughfares are burdened with almost all vehicular traffic;
6. Encourage constructing new means of public access across on-site or adjacent creeks or creek tributaries;
7. Prompt developers to construct alleys or shared rear lanes where they can serve for vehicular travel and access as well as and at less expensive construction cost than public streets; and
8. Allow off-street public bicycle/pedestrian facilities to substitute for a public street, such as an Internal Street, where justified.

B. Termination of Streets and Off-Street Bicycle/Pedestrian Facilities

1. Cul-de-sac Streets

- a. The maximum length of a cul-de-sac street shall be 250 feet. Cul-de-sac length shall be measured along the center line from the nearest right-of-way line of the nearest intersecting street, to the point of curvature of the cul-de-sac bulb.
- b. The minimum radius of a cul-de-sac bulb right-of-way shall be 55 feet.
- c. The minimum improved street radius of a cul-de-sac shall be the number of feet per OFC Figure D103.1 or as amended plus the number that fits curb, planting strip and sidewalk.
- d. The Director may require bikeway and pedestrian facilities to connect from one cul-de-sac to an adjacent cul-de-sac or street, except where the cul-de-sac abuts developed property, or where the Director determines that there is no need for a connection.

2. Temporary Dead End Streets

Streets extensions that result in temporary dead end streets, or stub streets, shall:

- a. Be extended to the adjoining land when it is necessary to give access to, or permit, a future division of adjoining land;
- b. Require a barricade at the end of the street to be installed and paid for by the property owners. It shall not be removed until authorized by the City of Woodburn.
- c. Have an all-weather sign at the temporary street terminus, installed by the

property owners, that states: “This Street is Planned for Future Extension”.

- d. If the Public Works Director in writing requires, provide either a one foot-reserve strip deeded to the City, or an alternative method for limiting access approved by the City, at the temporary end of the right-of-way.

3. Continuity of Off-Street Bicycle/Pedestrian Facilities

Public bikeway and pedestrian facilities, other than those incorporated in a street right-of-way, shall either:

- a. Provide for a continuous system, with each segment originating and terminating with a connection to a public street, a public alley, a shared rear lane, a greenway, a public park, or to a designated activity center; or
- b. Provide stubbed facilities to not preclude subsection (a.) and that may extend beyond the limits of an approved development, when such a public facility has been required by the decision-maker.

C. Block Standards

1. Block length shall not be less than 200 feet and not more than 600 feet, except where street location is precluded by any of the following;
 - a. Natural topography, wetlands, significant habitat areas or bodies of water, or pre-existing development;
 - b. Blocks adjacent to arterial streets, limited-access highways, collectors or railroads;
 - c. Residential blocks in which internal public circulation provides equivalent access.
2. In any block that is longer than 600 feet, as measured from the right-of-way line of the street to the right-of-way line of the adjacent street, a bikeway/ pedestrian facility shall be required through and near the middle of the block.
3. On any block longer than 1,200 feet, corridors per Section 3.01.07 and 3.01.08 may be required through the block at 600 foot intervals.
4. In a proposed development including partition and subdivision, or where redevelopment potential exists and a street connection is not proposed, one or more off-street bicycle/pedestrian facilities may be required as partition or subdivision connection paths or shortcut paths to connect a cul-de-sac or other public street to other public streets, to other bicycle/pedestrian facilities, or to adjoining land to allow for future connections.

D. Street Access

Residential development subject to either OFC Section D106 (100 or more multiple-family dwellings) or D107 (30 or more single-family or duplex dwellings) shall comply. Where applicability of either section to a residential development is unclear, then the presumptive standard shall be that if a development has 30 or more dwellings, it shall have two or more means of public access to any of a street, alley, or shared rear lane if a shared rear lane has a public access easement.

E. Alleys and Shared Rear Lanes:

1. Purpose: To use alleys and shared rear lanes as a means of access management for the same purposes that Section 3.04.03A lists and to have developers to construct public

alleys and shared rear lanes where they can serve for vehicular travel and access as well as and at less expensive construction cost than public streets.

2. Cross section: The alley standard cross section is Figure 3.01J.
3. For development within the RSN and RMN zoning districts, see the standards in Section 2.05.04B. For development that is outside those districts and is specifically planned unit development, see the standards in Section 3.09.06C.

F. Local street connectivity plan:

1. Purpose: To implement Woodburn Comprehensive Plan policies and TSP Figure 6 "Local Street Connectivity Plan" and related plan text and serve purposes to improve access and circulation for walking, cycling, and rolling along as well as driving and to have developers bring about extended and new local class streets.
2. Applicability: Applicable to a development where TSP Figure 6 indicates a future street corridor into, through, along, or near a development. The Director may determine what the word "near" means.
3. Standards:
 - a. Cross section: Based on Section 3.01.04B.1, the presumptive minimum width shall be 70 feet for a full width future street corridor or 35 feet for a half-street corridor.

The Director may establish a wider standard if more than a half-street width but less than full width is within the development.
 - b. Extent: The presumptive minimum extent begins at an existing street and either connects to a different street or protects future connection. The Director may determine extent of a street connection by considering factors including:
 - (1) TSP Figures 2, 8 & 9;
 - (2) An applicable off-street bicycle/pedestrian facility in or adjacent to a development;
 - (3) Access management per Section 3.04;
 - (4) Existing and future bus transit;
 - (5) Proximity to parks and public schools;
 - (6) Context of developments in the vicinity;
 - (7) Whether a development is in a region within the UGB that has a sparse street network;
 - (8) The layout of regional public potable water, sanitary sewer, and drainage and stormwater management lines and facilities; and
 - (9) Where applicable, the ability of development to conform to subsection D above regarding two means of public access.
 - (10) Where applicable, the RCWOD that Section 2.05.05 regulates.
 - c. Future street corridor: Within the width and extent of a future street corridor where there is a street reservation easement instead of ROW, a developer shall not build buildings, install, mount, or place pre-fabricated buildings, or construct free-standing walls or structures such as carports and trash and recycling enclosures.

- d. Subsurface/underground: The Public Works Director may direct a developer's arrangement of private utility lines and facilities if and where they pass under a future street corridor.
- 4. Implementation: The City may implement this section in concert with Section 3.01 at large by using any of full, wider than half-street, half-street, or narrower than half-street ROW dedication. The City may instead or also use any of off-street PUE dedication or dedication of other types of public easements to identify, memorialize, and reserve future street corridors in place of ROW dedication. Where an easement or easements substitute for ROW, a public easement as a street reservation easement shall include text that identifies and memorializes the future street corridor and makes apparent the easement purpose. The Director may apply this subsection F when administering a street reservation for a street that TSP Figure 2 classifies as higher than local.
- 5. Significant Tree removal and preservation: See Section 3.06.07B.2c.

3.01.06 Street Names

- A. All public streets and private manufactured dwelling park streets shall be named, after providing the Woodburn Fire District with an opportunity to review and comment.
- B. Public and private manufactured dwelling park streets shall be named as follows:
 - 1. The street name shall not duplicate an existing street name, unless there is reasonable assurance the named streets will be connected in the future.
 - 2. New streets shall be designated with the same names as existing streets only if they fall in the same grid line and there are reasonable assurances that the street will connect with another section of the numbered street.
 - 3. Street names shall not sound like another street name or cause confusion.
 - 4. Street names that are deliberately misspelled, frivolous, or reflect the name of the developer or family members shall not be allowed.
- C. Streets shall be further named with a suffix.
 - 1. Except as indicated in the Woodburn Transportation System Plan, the following suffixes designations apply to new streets, as follows:
 - a. North/South streets shall be designated as a "Street", with the exception that major streets classified as an arterial in the Woodburn TSP may be designated as a "Road" or a "Highway".
 - b. East/West streets shall be designated as an "Avenue", with the exception that major streets classified as an arterial in the Woodburn TSP may be designated as a "Road" or "Highway".
 - c. A skewed or meandering street shall be named a "Drive".

3.06 Landscaping

The purpose of this Section is to identify the requirements for street landscape strips, street trees, on-site landscaping, and tree preservation and removal. Landscaping enhances the beauty of the City, provides shade and temperature moderation, mitigates some forms of air and water pollution, reduces erosion, promotes stormwater infiltration, and reduces peak storm flows.

- 3.06.01 Applicability
- 3.06.02 General Requirements
- 3.06.03 Landscaping Standards
- 3.06.04 Plant Unit Value
- 3.06.05 Screening
- 3.06.06 Architectural Walls
- 3.06.07 Significant Tree Preservation & Removal
- 3.06.08 Tree Protection During Construction

3.06.01 Applicability

The provisions of this Section shall apply:

- A. To the site area for all new or expanded multiple-family dwelling and non-residential development, parking and storage areas for equipment, materials and vehicles.
- B. Dwellings other than multiple-family need comply only with the street tree and significant tree provisions of this Section.

3.06.02 General Requirements

- A. Building plans for all uses subject to landscaping requirements shall be accompanied by landscaping and irrigation plans.
- B. All required landscaped areas shall be irrigated unless it is documented that the proposed landscaping does not require irrigation.
- C. All shrubs and ground cover shall be of a size upon installation so as to attain 80% of ground coverage within 3 years.
- D. Installation of plant materials and irrigation specified in an approved landscaping plan shall occur at the time of development and shall be a condition of final occupancy. Should site conditions make installation impractical, an acceptable performance guarantee may be approved, subject the requirements of this Ordinance (Section 4.02.08).
- E. The property owner shall be responsible for maintaining all landscaping, fences, and walls in good condition, so as to present a healthy and orderly appearance. Unhealthy and dead plants shall be removed and replaced, in conformance with the original landscape plan.
- F. The required number of plant units shall be met by a combination of plant materials listed in this Ordinance (Table 3.06B).

- C. Parking area landscape island standards: Landscape islands or peninsulas shall cap each aisle end to protect parked vehicles from moving vehicles, emphasize vehicular circulation patterns, and shade vehicles and pedestrians. Structured parking is exempted.
1. Each south, southwest, and west island or peninsula cap of a parking aisle shall be minimum 84 square feet within back of curbing, narrowest dimension 6 feet within back of curbing, and contain a tree.
 2. Remaining islands and peninsulas shall be minimum 28 square feet within back of curbing and narrowest 2 feet within back of curbing, except where subsection 3 below supersedes.
 3. There shall be no more than 10 consecutive parking spaces in a parking aisle without a mid-aisle landscape island or peninsula. For consecutive parking spaces that include one or more accessible/ADA spaces and their aisles, the maximum shall be 9 consecutive parking spaces. Mid-aisle landscape islands or peninsulas shall be to the same standards as subsection 1 above.
 4. At drive aisle crossings of walkways and wide walkways that respectively Sections 3.04.06D and 3.05.02N describe, each south, southwest, and west side shall have a landscape island or peninsula to the same standards as subsection 1 above.

3.06.04 Plant Unit Value

| Plant Unit (PU) Value Table 3.06B | | |
|---|-----------------------|--------------------------|
| Material | Plant Unit (PU) Value | Minimum Size |
| 1. Significant tree ¹ | 15 PU each | 24" Diameter |
| 2. Large tree (60-120 feet high at maturity) ¹ | 10 PU each | 10' Height or 2" Caliper |
| 3. Medium tree (40-60 feet high at maturity) ¹ | 8 PU each | 10' Height or 2" Caliper |
| 4. Small tree (18-40 feet high at maturity) ¹ | 4-PU each | 10' Height or 2" Caliper |

3.06.06 **Architectural Walls**

- A. This Section shall apply to required architectural walls.
- B. Design Standards and Guidelines
 - 1. An architectural wall shall meet the texture, color, and articulation requirements on the face away from the proposed development.
 - 2. An architectural wall should meet the texture, color, and articulation requirements on the face toward the proposed development.
 - 3. An architectural wall shall have a minimum three inch horizontal articulation of at least one linear foot of the wall of intervals not more than 40 feet; and
 - 4. An architectural wall shall have a minimum six inch vertical articulation of at least one linear foot of the wall of intervals not more than 40 feet.
 - 5. An architectural wall shall incorporate at least two colors.
 - 6. An architectural wall shall have an earth tone coloration other than grey on at least eighty percent (80%) of the surface.
 - 7. An architectural wall shall be architecturally treated with scoring, texture, or pattern on at least eighty percent (80%) of the surface.
- C. Retaining walls should/shall meet the texture and color requirements of architectural walls in or abutting residential districts, where the texture and color requirements apply to the visible face of the retaining wall.
- D. For multiple-family dwelling development, each refuse and recycling collection facility shall have a pedestrian opening minimum 3 feet, 4 inches wide in addition to the truck gates. If the pedestrian opening is gated, the gate shall swing inward.

3.06.07 **Significant Tree Preservation & Removal**

- A. Purpose: The purposes of this section are to:
 - 1. Preserve significant trees as landmarks and for wayfinding;
 - 2. Preserve tree canopy better within city limits and unincorporated territory that is the subject property of an annexation application;
 - 3. Shade;
 - 4. Ensure suitable tree replacement or funding of such when applicants remove trees;
 - 5. Enhance neighborhoods by creating a sense of character and permanence;
 - 6. Reduce urban heat island effect;
 - 7. Retard soil erosion;
 - 8. By requiring a permit process, increase the likelihood of persons removing trees that they or their contractors will do so safely;
 - 9. Absorb stormwater and pollutants;
 - 10. Maintain or raise value of property;

11. Distinguish between the contexts of existing development and new development or redevelopment;
12. Allow continued reasonable economic use of property;
13. Establish processes and standards that minimize injury or death of significant trees; and
14. Enhance the beauty of the city.

B. Applicability:

1. Removal or preservation of any Significant Tree on private property, which is defined in Chapter 1.02 under "Tree, Significant". Applicability extends to unincorporated territory that is the subject property of an Annexation application.
2. Exemptions:
 - a. Invasive species that Table 3.06E lists. (A merely non-native species is not necessarily invasive.)
 - b. Trees grown as product in a commercial orchard, timber forest, or tree farm.
 - c. In the context of new development or redevelopment, trees within to-be-widened Boundary Street ROW, new street ROW, or per Section 3.01.05F a future street corridor are exempt provided that the trees are not within where a landscape strip would be per the applicable street cross section in Chapter 3.01 or a land use condition of approval.

However, even if exemption is applicable, (1) a removal fee or fees remain applicable, (2) the City may still apply a land use condition of approval that requires preservation of one or more ROW trees, and (3) regarding future street corridors in particular, removal shall not occur until construction of public improvements within such corridors necessitates it.

- C. Application type: Significant Tree Removal Permit per Section 5.01.11. Any of the following land use applications may substitute if necessary anyway and the Director uses it to administer the Significant Tree preservation and removal provisions: Conditional Use, Design Review, Planned Unit Development, Preliminary Partition or Subdivision, Riparian Corridor and Wetlands Overlay District (RCWOD) Permit, Variance, and Zoning Adjustment. Neither Grading Permit approval nor building demolition permit issuance constitute approval to remove trees.

D. General standards:

1. Arborist's report: The applicant submitted an arborist's report by a certified arborist for the tree or trees proposed for removal that is:
 - a. Dated and identifies and provides contact information for the applicant, and if different, the arborist, and the arborist's certification number;
 - b. Identifies the street address or addresses of the subject property, or if none, stating such and the tax lot number(s);
 - c. Addresses the WDO tree removal and preservation provisions, with an applicant's narrative able to substitute for this part of a report;
 - d. Specifies the date or dates of inspection;

- e. Includes or attaches a site plan, tree plan, land survey, or other scaled drawing plotting the tree or trees at their exact locations relative to property lines and existing development, with the Director authorized to require the applicant to submit a land survey, and circling and noting the radius of each root protection zone, which Chapter 1.02 defines;
- f. Assigns a unique identification code or number to each tree, with the included or attached plan or drawing also doing so;
- g. Identifies species by both common and taxonomic names;
- h. Identifies whether a species is deciduous or coniferous/evergreen;
- i. Quantifies diameter(s) at breast height (DBH);
- j. Describes health and structural conditions;
- k. Indicates the arborist's opinion and recommendation regarding both preservation and potential removal;
- l. Includes minimum two inspection photos per tree;
- m. Proposes how to mitigate in conformance with WDO Section 3.06.07D.2 below;
and
- n. Where preservation is relevant, indicates whether an applicant or contractor intends to go by the prescriptive or discretionary standards of tree protection during construction per Section 3.06.08C.

The Director may require a second arborist's opinion.

2. Mitigation: If the City approves removal of all or a number of the trees, mitigation shall be at minimum per tree per the below. (Chapter 1.02 defines Significant Tree classes.)
 - a. Class S: Payment of a removal fee plus either (1) mitigation planting of minimum 1 tree or (2) payment of a fee in lieu of tree planting. (Section 4.02.12 addresses fees in-lieu.)
 - b. Class T: Payment of a removal fee plus either (1) mitigation planting of minimum 2 trees or (2) payment of a fee in lieu of one or both of the tree plantings. (Section 4.02.12 addresses fees in-lieu.)
 - c. Species and minimum size at planting: Per Tables 3.06B & C.

In the context of new development or redevelopment, mitigation trees credit towards the minimum landscaping requirements of Chapter 3.06 at large.

3. Protection: In the context of new development or redevelopment, tree protection during construction shall be per Section 3.06.08.
4. Injury: Hatracking, excessive pruning, or other fatal injury or killing of a Significant Tree that precludes the applicability of tree preservation standards is prohibited. (Chapter 1.02 defines hatracking.)
5. RCWOD: If and where the Riparian Corridor and Wetlands Overlay District is applicable and if and where Sections 2.05.05 and 3.06.07 conflict, the more stringent provision of a section shall supersede.
6. Fees: Fees are per applicable City ordinances, resolutions, and administrative fee

schedules.

7. Plan review: The applicant, developer, or contractor shall submit with applications for any of Tree Removal Permit, land use, and building permit reviews information as the Director determines necessary to administer tree preservation and removal standards.

| Significant Tree Preservation & Removal: Exemption of Invasive Species Table 3.06E ¹ | |
|---|-------------------------------|
| Common Name | Taxonomic Name |
| 1. Cutleaf birch | <i>Betula pendula</i> |
| 2. Sweet cherry | <i>Prunus avium</i> |
| 3. Horse chestnut | <i>Aesculus hippocastanum</i> |
| 4. Golden chain tree | <i>Laburnum watereri</i> |
| 5. English hawthorn | <i>Crataegus monogyna</i> |
| 6. English holly | <i>Ilex aquifolium</i> |
| 7. English laurel | <i>Prunus laurocerasus</i> |
| 8. Black locust | <i>Robinia pseudoacacia</i> |
| 9. Norway maple | <i>Acer platanoides</i> |
| 10. Sycamore maple | <i>Acer pseudoplatanus</i> |
| 11. White poplar | <i>Populus alba</i> |
| 12. Empress/Princess tree | <i>Paulownia tomentosa</i> |
| 13. Tree-of-heaven | <i>Ailanthus altissima</i> |
| 1. The table is based on the City of Portland Bureau of Planning and Sustainability (BPS) “nuisance” plant list within the June 2016 Portland Plant List, Section 4, Ranks A-C. | |

| Significant Tree Preservation & Removal: Tiers of Standards Table 3.06T ¹ | | |
|---|--|-----------------------------------|
| Development or Use | | Section 3.06.07 Tier of Standards |
| 1. Existing development | a. Single-family or manufactured dwelling on individual lot that is residentially zoned | Tier 1 (T1) |
| | b. Undeveloped lot for which there is no land use final decision that conditions tree preservation and removal, no land use application for annexation and/or development, or no building permit application for development | Tier 2 (T2) |
| | c. Any other existing development or use; | |
| 2. New development | a. Infill/minor: Net total 1 to 4 dwellings on a lot with no land division involved | Tier 3 (T3) |
| | b. Greenfield/major residential: Multiple-family dwellings; any number of dwellings involving land division | Tier 4 (T4) |
| | c. Greenfield/major other: Any other new development or use, including mixed uses | |
| 1. Annexation with no new development: See instead Section 3.06.07J. | | |
| 2. Where it would be unclear what tier would be applicable, the Director may determine. | | |

E. Tier 1 Standards: Where T1 is applicable per Table 3.06T:

1. Removal criteria: The subject tree or trees are any of:
 - a. Dead, terminally diseased, or otherwise dying.
 - b. Posing danger or hazard of: collapse or fall, fall of a branch or branches, or fall of hard fruits onto persons outdoors, existing buildings, or one or more motor vehicles parked in a driveway that conforms with Section 3.04.04 and, where applicable, Section 3.05.02D.3.
 - c. Rupturing underground potable water or sanitary sewer pipe or breach of existing building foundation and per the following provisions:
 - (1) Pipe report: For rupturing, a qualified professional evaluates the site and through a pipe report determines (A) that there is a serious problem and (B) recommends necessary corrective action more than pipe repair, pipe re-routing, or root barrier installation could provide and which would result in removal of the tree(s). An arborist's report that conforms to this subsection serves as a pipe report. The Director may allow submittal of documentation as an alternative to an arborist's report or pipe report and on what terms.
 - (2) Foundation report: For breach, a qualified professional, such as a structural engineer, evaluates the site and through a foundation report determines (A) that there is a serious structural problem and (B) recommends necessary corrective action more than pruning could provide and which would result in removal of the tree(s). An arborist's report that conforms to this

subsection serves as a foundation report. The Director may allow submittal of documentation as an alternative to an arborist's report or foundation report and on what terms.

(3) Regarding breach, and absent a foundation report:

- (a) A crack or cracks are within a foundation that is either at a crawl space or part of a slab-on-stem wall, which is a slab with footings around the perimeter of the foundation. A foundation being non-structural precludes the criterion.
 - (b) Water seeping through the crack or cracks is a factor in support of the criterion.
 - (c) That the perimeter of the trunk or trunks closest to the foundation at diameter at breast height (DBH) are either 10 feet from the foundation or closer is a factor in support of the criterion.
 - (d) That roof gutters and downspouts above or at the foundation have been clogged and in poor condition are a factor against the criterion.
2. Exception: As a T1 exception to the general standard, an arborist's report is not required; however, to administer mitigation the Director may require an applicant to submit documented proof of DBH measurement.
3. Emergency: A tree or trees that *force majeure*, especially a natural disaster, makes dangerous or hazardous to persons or existing buildings may be removed prior to issuance of a Tree Removal Permit if an emergency exists and (a) a City Council emergency ordinance recognizes it or (b) absent such ordinance, the Director recognizes it based on information to the satisfaction of the Director from the person who would remove or cause removal of the tree(s).

F. Tier 2 Standards: Same as T1.

G. Tier 3 Standards:

- 1. Removal criteria: Same as T1, with the limits that for a building for which the City has issued a demolition permit, the part of removal criterion (b.) about existing buildings as well as removal criterion (d.) about breach of building foundation would no longer be applicable.
- 2. Preservation: Development shall preserve at least 33.3 percent of all Significant Trees that do not meet removal criteria, rounding any fraction less than 1.0 up to 1. Mitigation remains required for the remaining percent.
- 3. Deviation: Zoning Adjustment permissible for the preservation standards.

H. Tier 4 Standards:

- 1. Removal criteria: Same as T1.
- 2. Preservation: Development shall preserve at least 50.0 percent of all Significant Trees that do not meet removal criteria, rounding any fraction less than 1.0 up to 1. Mitigation remains required for the remaining percent.
- 3. Deviation: Zoning Adjustment permissible for the preservation standards.

I. [Reserved.]

J. Annexation Standards:

1. Applicability:
 - a. Territory that is the subject property of an annexation application;
 - b. The annexation application does not come with additional land use application types or a building permit application that would allow for new development of the subject property upon annexation; and
 - c. Any of that the applicant requests to remove trees from the territory, that field conditions are apparent that the applicant attempts removal, or that the application is silent on the matter of tree removal and preservation.
2. Removal criteria: Upon annexation application, tree removal is prohibited from the territory to be annexed until the applicant meets this Section 3.06.07. Any applicable exemption per 3.06.07B.2 remains applicable. If tree removal is proposed or attempted, the criteria would be the same as T1.
3. Preservation: Development shall preserve all Significant Trees that do not meet removal criteria, rounding any fraction less than 1.0 up to 1.

3.06.08 **Tree Protection During Construction**

- A. Purpose: To reduce harm by construction; keep foliage crown, branch structure and trunk clear from direct strike and injury by equipment, materials or disturbances; to preserve roots and soil in an intact and non-compacted state; to visibly identify the root protection zone in which no soil disturbance is permitted and other activities are restricted; and to lessen injury or death from ignorant or careless acts.
- B. Applicability: To any tree that Section 3.06.07 requires to be preserved. Proposed tree protection shall meet the requirements of subsection C below, except that the Director may approve alternate protection methods.
- C. Protection methods: The site or tree plan shall demonstrate that the contractor will adequately protect trees to be preserved during construction using one of the methods described below:
 - 1. Prescriptive Standards:
 - a. RPZ encroachment: The root protection zone (RPZ) is defined and illustrated by example in Chapter 1.02. Encroachments into each RPZ that exist prior to new development or redevelopment, including buildings, other structures, pavement and utilities, may remain. New encroachments into the RPZ are permissible if:
 - (1) The total area of all new encroachments is less than 25.0 percent of the remaining RPZ area when existing encroachments are subtracted; and
 - (2) No new encroachment is closer than half the required radius distance. See Figure 3.06A below.

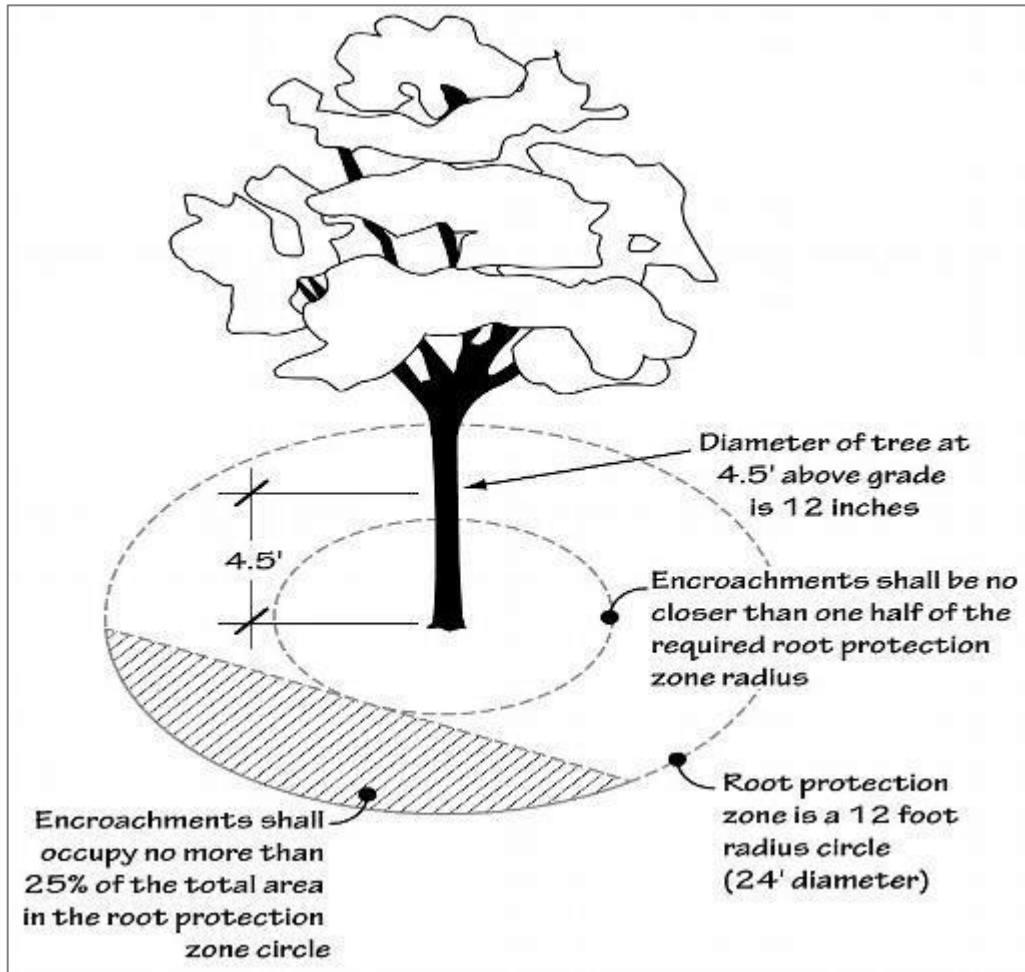


Figure 3.06A – Permissible RPZ Encroachments Example

b. Protective construction fencing:

- (1) Protective construction fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 2-foot metal posts shall be established at the edge of the RPZ and permissible encroachment area. (See Figure 3.06B below.) Substitution with high-density polyethylene (HDPE) or other rolled or soft plastic construction fencing is prohibited. Any of existing building, other structures, and existing secured and stiff fencing at least 3.5 feet tall above grade can serve as protective fencing.



Figure 3.06B – Protective Construction Fence Panel Example

- (2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3.5 feet tall can serve as the required protective fencing.
- c. Installation: The contractor shall install the protective construction fencing before either any ground disturbing activities including clearing and grading or the start of construction and shall remain in place until final inspection by Community Development Department staff.
- d. Prohibition: The following is prohibited within any RPZ: ground disturbance or construction activity including vehicle or equipment access, excluding access over existing streets or driveways; storage of equipment or materials including soil; temporary or permanent stockpiling; new buildings; new impervious surface; underground utilities; excavation or fill; and trenching or other construction activity.
- e. Plan review: The applicant or contractor shall submit with applications for any of Tree Removal Permit review, civil engineering plan review (led by the Public Works Department Engineering Division), grading permit review, or building permit review information as the Director determines necessary to administer standards for tree preservation and protection during construction, including a drawing or drawings necessary to constitute a tree preservation and protection plan.
- f. Sign posting: On each fenced enclosure, the applicant or contractor shall affix, mount, or post signage as follows:
 - (1) Timing: From erection of protective construction fencing to passing of building permit final inspection. (Where construction is phased with Building Division approval, passing final inspection would be for the whole of the construction phase that contains the one or more fenced enclosures.)
 - (2) Size: Sign face area minimum 18 by 24 inches.

- (3) Sign face copy: Background white, orange, amber (orangish yellow), or chartreuse (greenish yellow). Text minimum 2 inches tall. The default text is, "Tree preservation area: No construction staging or storage", with administrative allowance for deviation per the Director. Include a Spanish translation (in italics). The Director may establish and require conformance with a sign face template and may require a detail of such template on a plan sheet.
 - (4) Weatherization: Lamination, enclosure within clear plastic sleeve, or printing on plastic fiberboard.
 - (5) Number: Minimum 1 per tree, that is, where a fenced enclosure has two or more trees, that enclosure requires two or more signs.
 - (6) Orientation: The sign shall face towards where construction workers and their vehicles would come when approaching the fencing. Where a fenced enclosure has two or more signs, the second and any additional signs may be spaced out along the enclosure. Sign top placed minimum height 5 feet above fence bottom.
 - (7) Certification of posting: Upon posting, and if there is such a form, complete and submit to the Community Development Department a certification form that each fence location has been properly posted, attaching any additional documentation that the form requires.
2. Arborist's Discretionary Standards: When the above subsection 1 prescriptive standards are infeasible, the Director may approve alternative measures, provided that the applicant and/or contractor meet the following standards:

- a. The alternative RPZ is prepared by an arborist who has inspected the site and examined for each subject tree the diameter at breast height (DBH), location, and extent of root cover, evaluated for each the tolerance to construction impact based on its species and health, identified any past impacts within the root zone, and submitted a report to the Director. Such may be incorporated by revision into the arborist's report that Section 3.06.07 required or may be a supplement to that original submitted report.
- b. The arborist prepared and submitted a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site inspection.
- c. If the alternative methods require that the arborist be on site during construction, the applicant or contractor shall submit a copy of the arborist contract for those services prior to issuance of a Tree Removal or building permit, and a final report from the arborist documenting the inspections and verifying the viability of the tree or trees prior to final inspection by Community Development Department staff;
- d. If the alternative tree protection method involves alternative construction

techniques, the applicant or contractor shall submit an explanation of the techniques and materials used in terms a layperson can understand.

- e. The applicant or contractor shall submit a site plan sheet or sheets constituting a tree preservation and protection plan, and it shall include arborist contact information. Either the arborist shall sign the plan or the plan shall come with a document that identifies specifically the plan sheet number or numbers it accompanies and contains the affirmation or endorsement of the arborist.
- D. Changes to tree protection during construction: The Director may approve contractor changes to the tree protection measures during construction as a revision to a permit provided that (1) the change does not result from unapproved, negligent, or ignorant encroachment into any RPZ, (2) the contractor demonstrates continuing to meet tree preservation and protection standards, and (3) the contractor completes whatever process the Building Division establishes for revision of an issued building permit where such permit type is relevant to the situation. When unapproved or negligent encroachment occurs, the City may pursue an enforcement action or other remedy per any of the WDO, other City ordinances such as Ordinance No. 2592 (August 9, 2021 or as amended), resolutions, or administrative policy.

- F. If the PUD plan proposes stormwater mitigation measures that exceed minimum City standards by at least 25 percent, the Commission may allow up to an additional 10 percent of the density to be transferred, upon a recommendation by the Public Works Department.
- G. If the PUD plan proposes other environmental, sustainability, or architectural enhancements, the Commission may allow up to an additional 10 percent of the density to be transferred, commensurate with the amount, quality, and community benefit of the enhancements. Such enhancements may include, but are not limited to, solar heating or electrical generation, community gardens, public art, mitigation of off-site stormwater, and greywater diversion.

3.09.04 Conceptual Development Plan

- A. PUDs require both a Conceptual Development Plan and a Detailed Development Plan. These reviews may be accomplished sequentially or as a consolidated review, at the applicant's discretion.
- B. A Conceptual Development Plan shall include drawings and a narrative describing the surrounding neighborhood, existing site conditions, general development areas, phasing, land uses, building envelopes, architectural theme, landscaping and buffering, streets, bicycle and pedestrian circulation, common areas, utility locations, sign theme, and other information the Director may deem necessary to convey the concept plan.

3.09.05 Detailed Development Plan

- A. PUDs require both a Conceptual Development Plan and a Detailed Development Plan. These reviews may be accomplished sequentially or as a consolidated review, at the applicant's discretion.
- B. No building, grading, access, or other development permit may be issued until a Detailed Development Plan has been approved for at least one phase of the project.
- C. Buildings shown on a Detailed Development Plan are exempt from Design Review if they are in substantial conformity to the Detailed Development Plan (see Section 3.07.01.B).
- D. A Detailed Development Plan shall include drawings and a narrative sufficient to demonstrate compliance with the Conceptual Development Plan and any conditions of approval previously imposed. A Detailed Development Plan shall provide specific information regarding the site layout, architecture, and proposed amenities. A Detailed Development Plan that proposes land uses not in the Conceptual Development Plan or that deviates by more than ten percent from any development standard in the Conceptual Development Plan for any phase, or that does not meet the standards of this Section shall not be approved. The applicant may request that the decision-maker approve such a plan as an amended Conceptual Development Plan.

3.09.06 Development Standards

A PUD is intended to allow flexibility in the development standards of Sections 2.02 through 2.04 and 3.01 through 3.11. The Detailed Development Plan may propose modified standards without a separate Street Adjustment, Zoning Adjustment, or Variance. Any standard that the City does not accept in writing as a modification shall apply to the PUD. The development standards stated

below shall not be modified through the PUD process.

A. Common area and density shall comply with Table 3.09A.

| Common Area and Density Standards for Planned Unit Developments Table 3.09A | | | | |
|---|---|---|-------------|-----------|
| | | Transfer of Density | Residential | Mixed-Use |
| Common Area, Minimum | Four or fewer dwelling units | All undevelopable site area ⁶ | | |
| | Five or more dwelling units, or nonresidential uses | 30 percent of gross site area, including all undevelopable site area ^{1, 5, 6} | | |
| Improved Common Area, Minimum | Four or fewer dwelling units | None | | |
| | Five or more dwelling units | 100 square feet per dwelling unit | | |
| | Nonresidential uses | None | None | None |
| Residential Density, Minimum (units per net acre) | Sites less than 20 gross acres | Pursuant to the Comprehensive Plan ² | | |
| | Sites 20 or more gross acres | Either pursuant to the Comprehensive Plan ² or 15. ⁷ | | |
| Residential Density, Maximum (units per net acre) | | Not specified ⁴ | | |
| <div>1. At least one common area shall be sized to accommodate a circle 25 feet in diameter.</div> <div>2. In residential zones only. There is no minimum for non-residential zones.</div> <div>3. Child care facility for 13 or more children, group home for six or more persons.</div> <div>4. The maximum density is determined by setbacks, off-street parking, open space, and other requirements. Pursuant to Comprehensive Plan Policy Table 1, Note (p. 7), allowable densities may be increased through PUD above the maximum(s) of the base zone(s).</div> <div>5. See Table 3.09B.</div> <div>6. An existing or proposed golf course may count towards the common area minimum as follows: Of the 30 percent minimum, maximum 10 percent (1/3) if the course is public, 5 percent (1/6) if private, or 15 percent (half) if the course has a bicycle/pedestrian path with public easement and both connect to the course boundary at minimum two points allowing access across the course.</div> <div>7. 15 is the standard if OAR 660-046-0020(10) “Master Planned Community” & 660-046-0205(2)(b) are applicable.</div> | | | | |

B. Improved Common Area

- Common areas are deemed improved if they are provided with benches, playground equipment, gazebos, picnic facilities, or similar amenities. Lawn area by itself does not constitute improvement. Trails or paths do not constitute improvement, unless they connect to the public trail system.

2. Common meeting or recreation rooms are deemed to be improved common areas.
3. Improved common areas are subject to the performance guarantee provisions of Section 4.02.08.

C. Streets

1. A PUD shall conform to and, where possible, enhance existing or planned vehicle, pedestrian and bicycle networks, including connections and functionality. Note: See Figures 7-1 (Functional Classification Designations), 7-3 (Pedestrian Plan), and 7-4 (Bicycle Plan) of the Transportation System Plan.
2. All streets shall be public.
3. Boundary and connecting streets shall use the street sections of Section 3.01.04.
4. Internal streets may use the street sections of Section 3.01.04, or the PUD may propose other street sections, provided that the streets:
 - a. conform to the Oregon Fire Code (see Figures 3.04C and 3.04D)
 - b. include sidewalks, and
 - c. are constructed to the specifications of the Public Works Department.
5. Alley / shared rear lane: Where the PUD is not within the RSN or RMN zoning district, is 3 or more acres, includes residential use, and is proposed for a total of 20 or more lots, then one or more alleys or shared rear lanes as Section 1.02 defines shall serve minimum 20 percent of all lots and tracts.

D. Parking

If a front setback of less than 20 feet is proposed, the requirement of Section 3.05.03 for an improved parking pad for single-family and duplex dwellings may be satisfied by on-street parking or by a common off-street parking lot.

E. Signs

1. A PUD may include a sign plan to require a common architectural design and location.
2. The standards of the Mixed Use Village (MUV) zone shall apply to commercial uses in the residential zones of a Mixed-Use PUD.

F. Significant Tree preservation and removal: A PUD cannot modify Sections 3.06.07 and 3.06.08.

- C. Possible Actions at the Revocation Hearing: Depending on the situation, the City may take any of the actions described below. If the decision is to modify the permit, the City may not approve a use that is more intense than originally approved, unless the possibility of this change has been stated in the public notice. Uses or development which are alleged to have not fulfilled conditions, violate conditions or to be inconsistent with the City's approval may be subject to the following actions:
1. The City may find that the use or development is complying with the conditions of the approval. In this case, the permit shall not be altered.
 2. The City may modify the permit if it finds that the use or development does not fully comply with the conditions of approval or otherwise does not comply with what was approved, that the violations are not substantial enough to warrant revocation and that the use can comply with the original approval criteria if certain conditions are met. In this case, the City may modify the existing conditions, add new conditions to ensure compliance with the approval criteria, or refer the case to the code compliance officer for enforcement of the existing conditions.
 3. The City may revoke a permit if it finds there are substantial violations of conditions or failure to implement conditions of a permit, such that the original approval criteria for the use or development are not being met.
- D. Effect of Revocation: In the event permit approval is revoked, the use or development becomes illegal. The use or development shall be terminated within thirty days of the date that all appeals periods have been exhausted, unless the decision provides otherwise. In the event the City Council's decision on a revocation request is appealed, the revocation action shall be automatically stayed until the appeal is resolved.

4.02.11 **Transfer of Approval Right**

Any final decision granted under this ordinance shall run with the land and shall transfer with ownership of the land, unless otherwise specified in the decision. Any conditions, time limits or other restrictions imposed with a decision shall bind all subsequent owners of the subject property.

4.02.12 **Fees in-Lieu**

- A. In lieu of public improvements:
1. Permissible if the Director allows, whether wholly in-lieu for one, some, or all of the kinds of required improvements or for some or all of a kind.
 2. Fees in lieu of public improvements are due before either building permit application or, when and where any of Partition or Subdivision Final Plat is involved, completion of recordation with the County, specifically no later than before a City official signs a plat or re-plat Mylar per Section 5.01.06C.1. A developer may request in writing to pay later, specifically by issuance of building permit, or if the Director allows, across issuance of two or more structural building permits for the subject development.

B. In lieu of on-site, private improvements:

1. Same as subsection A1 above.
2. Administration: Per the Director.

5.01.04 Grading Permit

- A. Purpose: The purpose of this review is to ensure that grading is in compliance with the Woodburn Storm Management Plan, Woodburn Flood Plain Ordinance, Public Works Department Construction Standards and Specifications, and the State Building Code.
- B. Applicability: The requirement for a grading permit applies to any of the following activities:
 - 1. Any fill, removal, or grading of land identified within the boundaries of the regulatory floodplain,
 - 2. Any fill, removal, or grading of land identified within the Riparian Corridor and Wetlands Overlay District (RCWOD),
 - 3. Any fill, removal, or grading of land that requires a permit from the Oregon Department of State Lands,
 - 4. Any fill, removal, or grading of land area that equals or exceeds one acre, or
 - 5. Any development activity required by the WDO to submit a grading plan or permit.
- C. Criteria: Grading Permits shall be reviewed pursuant to the policies and standards of the Woodburn Storm Management Plan, Woodburn Flood Plain Ordinance, Public Works Construction Standards and Specifications, State Building Code, and Section 3.06.07 "Significant Tree Preservation & Removal", including 3.06.07C, as applicable.
- D. Procedure: The Director shall review the proposed grading plan to ensure compliance with City and State requirements.

5.01.05 Manufactured Dwelling Park, Final Plan Approval

- A. Purpose: The purpose of this review is to ensure substantial conformance of the final plan and improvements with the conditions of the Manufactured Dwelling Park Preliminary Approval, including compliance with applicable Oregon Administrative Rules.
- B. Criteria:
 - 1. The final plan shall be submitted within two years of date of the initial approval.
 - 2. The final plan shall include all information required by the preliminary approval and shall substantially conform to all conditions of the preliminary approval and applicable Oregon Administrative Rules.
- C. Procedures: The Director shall determine whether the final plan substantially conforms to the preliminary approval, applicable State requirements, and City ordinances.

5.01.09 Riparian Corridor and Wetlands Overlay District (RCWOD) Permit

- A. Purpose: The purpose of this review procedure is to ensure that all grading, excavation, fill, and vegetation removal (other than perimeter mowing and other cutting necessary for hazard prevention) within a delineated, significant wetland, complies with applicable City and State standards and procedures, including those of ORS Chapter 196 and Chapter 227 and OAR 660-023.
- B. Criteria:
 - 1. The applicable standards of this Ordinance and the findings and action proposed by the Division of State Lands; or
 - 2. A finding, verified by the Division of State Lands, of error in delineation of the RCWOD boundary.
- C. Procedure: The Director shall review the permit and approve it upon a determination that it meets the criteria of this ordinance.

5.01.10 Sign Permit

- A. Purpose: The purpose of this review is to ensure that signs comply with standards found within the Sign Standards (Section 3.10).
- B. Criteria: Applications shall be reviewed for compliance with the sign standards of this Ordinance.
- C. Procedure: The Director shall review proposal signs for compliance to City regulations.

5.01.11 Significant Tree Removal Permit

- A. Purpose: To ensure that the removal of Significant Trees conforms with Section 3.06.07 as well as the purposes of Section 3.06.07A.
- B. Applicability: Per Sections 3.06.07B & C.
- C. Criteria and procedure: Per Section 3.06.07.

5.01.12 Temporary Outdoor Marketing and Special Event Permit

- A. Purpose: The purpose of this review is to ensure that temporary outdoor marketing or special events conform to the standards of this Ordinance (Section 2.07.17).
- B. Criteria: Temporary Outdoor Marketing and Special Events shall conform to all standards of this Ordinance.
- C. Procedure: The Director shall review the application and shall approve a permit based on compliance with this Ordinance.

5.02.06 **Zoning Adjustment**

- A. Purpose: The purpose of a Type II zoning adjustment review is to provide a mechanism by which the regulations in the WDO may be adjusted if the proposed development continues to meet the intended purpose of those regulations. Adjustment reviews provide flexibility for unusual situations. They also allow for alternative ways to meet the purposes of the WDO..
- B. Criteria: A zoning adjustment involves the balancing of competing and conflicting interests. The following criteria will be considered in evaluating zoning adjustments.
 - 1. The adjustment is necessary to prevent unnecessary constraint relating to the land or structure. Factors to consider in determining whether constraint exists, include:
 - a. Physical circumstances over which the applicant has no control, related to the piece of property involved, that distinguish it from other land in the same zone, including but not limited to lot size, shape, and topography.
 - b. Whether the constraint was created by the applicant requesting the adjustment.
 - 2. The zoning adjustment will not be materially injurious to adjacent properties or to the use of the subject property. Factors to be considered in determining whether development is not materially injurious include, but are not limited to:
 - a. Physical impacts such development will have because of the adjustment, such as visual, noise, traffic and drainage, erosion and landslide hazards.
 - b. If the adjustment concerns joint-use parking, the hours of operation for vehicle parking shall not create a competing parking demand.
 - c. Minimal impacts occur as a result of the proposed adjustment.
 - 3. The adjustment is the minimum deviation from the standard necessary to make reasonable use of the property;
 - 4. The adjustment does not conflict with the Woodburn Comprehensive Plan. Factors to be considered include, but are not limited to:
 - a. The adjustment serves to administer or implement a Woodburn Comprehensive Plan goal or policy.
 - b. The adjustment serves to administer or implement an action item, goal, objective, policy, or strategy from an adopted long-range plan.
 - 5. The adjustment provides an alternative to the standard that meets the relevant purposes of the WDO standard and the context of the standard.
- C. Maximum Adjustment permitted:
 - 1. Lot Area: Up to a five percent reduction in the minimum lot area.
 - 2. Lot Coverage: Up to an increase of five percent in lot coverage.
 - 3. Front Yard Setback or Setback Abutting a Street: Up to a 10 percent reduction of a setback.
 - 4. Side Yard Setback: Up to a 20 percent reduction in setback, but no less than a five foot setback in a RS or R1S zone or less than the requirements of the state building code, whichever is more restrictive; however, for RM and RMN zones where a building type

or residential use side setback is dependent on tiers of building height, setback reduction as follows: For building height of:

- a. 16 feet or less, reduction to no fewer than 5 feet;
 - b. More than 16 feet and less than 28, reduction to no fewer than 5 feet; or
 - c. 28 feet or more, reduction to no fewer than 10 feet at the 28th foot and higher and to no fewer than 5 feet below the 28th foot.
5. Rear Yard Setback: Up to a 20 percent reduction in setback, but no less than a five foot setback, except in those zones permitting zero setbacks the minimum setback shall be either 5 feet or zero; however, for RM and RMN zones where a building type or residential use side setback is dependent on tiers of building height, setback reduction as follows: For building height of:
 - a. 16 feet or less, reduction to no fewer than 10 feet;
 - b. More than 16 feet and less than 28, reduction to no fewer than 18 feet above the 16th foot and higher and to no fewer than 10 feet at the 16th foot and below; or
 - c. 28 feet or more, reduction to no fewer than 24 feet at the 28th foot and higher and, below the 28th foot, to no fewer than per (b.)
6. Lot Width: Up to a ten percent reduction.
7. Lot Depth: Up to a ten percent reduction.
8. Building Height: Up to a ten percent increase in height.
9. Parking Standards: Up to a five percent reduction in required parking spaces except no reduction in the number of handicapped vehicle parking spaces or in dimensional standards.
10. Joint-Use Vehicle Parking: Up to 20 percent of the required vehicle parking may be satisfied by joint use of the parking provided for another use.
11. Fences and Freestanding Walls: The location or height of a fence or free-standing wall, excluding the adjustment of any such facilities within a clear vision area, height limited to 16 percent increase.
12. Access management in RSN & RMN districts / alleys: Relating to Section 2.05.04B.2, reduce the minimum to no less than either 60 percent or 12 lots, whichever is greater.
13. Alley or shared rear lane widths (in any zoning district):
 - a. ROW/tract: Reduce alley minimum ROW or shared rear lane tract width to no fewer than 16 feet.
 - b. Pavement: Reduce minimum pavement width to no fewer than 14 feet.
14. Bicycle/pedestrian corridor width:
 - a. Relating to Table 3.01A corridor contexts 1b & c, reduction of corridor width to no fewer than 18 feet, or where a newly granted off-street PUE along the corridor would neither cover the entire corridor width nor preclude a row of newly planted trees, then no fewer than 16 feet.
 - b. Relating to context 3, reduction to no fewer than either 35 feet or actual extent of RCWOD relative to lot line where the actual extent is fewer than 50 feet, whichever

is less.

15. Bicycle/pedestrian facility class: Relating to Section 3.01.07D, to lower from Class B to Class C.
16. PUE:
 - a. Streetside: For each lot or tract that abuts both a street and an alley, narrowing the PUE along the street to no fewer than 3 feet minimum.
 - b. Off-street: Narrowing to no fewer than 10 ft minimum.
17. Vision clearance area: Decreasing any Figure 3.03A sight triangles to no fewer than street intersections 20 by 20 feet, driveways at streets 5 by 5 feet limited to driveways of residential development other than of multiple-family dwellings, and any of alley and shared rear lane junction with a street to 5 by 5 feet. A developer shall submit a safety analysis stamped by a civil engineer.
18. Commercial access management: Relating to Section 3.04.03D.2, to relax the standard as the Director allows.
19. Driveway width:
 - a. Triplex and Quadplex: To increase maximum one driveway along the lot street frontage, including both interior and corner lot contexts, to a maximum width of 24 feet.
 - b. 5 or more dwellings or living units, school, or house of worship: To increase maximum width to either 26 feet or, if a turn pocket is included, to a total maximum of 31 feet.
 - c. Commercial use: To increase maximum width to either 26 feet or, if a turn pocket is included, to a total maximum of 38 feet.
20. Compact parking: To raise the maximum to no more than 40 percent.
21. Drive aisle width: Relating to Table 3.05B, to narrow two-way drive aisles with parking spaces that are angled to no fewer than 20 feet or that are at 90° to no fewer than 22 feet. To narrow one-way drive aisles to no fewer than from 22 or 24 feet to 20, from 15 or 18 feet to 14, or from 12 feet to 11.
22. Lighting: Relating to Section 3.11.02B, to increase the height limit:
 - a. For wall, to no higher than 10 feet.
 - b. For poles within parking areas of developments other than of multiple-family dwellings, to no higher than 18 feet.
 - c. For other poles, to no higher than 12 feet.
 - d. For sports, to no higher than as the zoning district allows for features not used for habitation or 70 feet, whichever is less.
23. Architectural & Design Standards: Relating to Table 3.07A and for manufactured dwellings only, to adjust any standard other than minimum roof pitch and as the Director allows.
24. MUV: Relating to Table 2.03E and for side and/or rear minimum setback from property zoned other than RS, to lower to zero.

25. Significant Tree preservation & removal: Relating to Tier 3 (T3) and Tier 4 (T4) standards, to lower the preservation minimum percentage to 25.0 percent for T3; 35.0 percent for T4; 15.0 percent for a subject property within the MUV zoning district or the Gateway CG Overlay District; or zero for a subject property within the DDC zoning district.

D. Prohibited Adjustments:

1. Adjustments to the number of permitted dwellings and to the use of property shall be prohibited.
2. Standards established by Oregon Revised Statutes for manufactured dwellings and manufactured dwelling parks are non-variable.

5.04 Type IV (Quasi-Judicial) Decisions

5.04 General Requirements

- A. The purpose of this Section is to identify what types of actions are considered Type IV decisions. Type IV decisions involve the greatest amount of discretion and require evaluation of approval standards. These decisions are heard by the Planning Commission and City Council. The process for these land use decisions is controlled by ORS 197.763. Notice of the land use application and public hearing is published and mailed to the applicant, recognized neighborhood associations and property owners. The City Council decision is the City's final decision and is appealable to the Land Use Board of Appeals.
- B. To initiate consideration of a Type IV decision, a complete City application, accompanying information, and filing fee must be submitted to the Director. The Director will evaluate the application as outlined in this Section.

5.04.01 Annexation

5.04.02 Comprehensive Plan Map Change, Owner Initiated

5.04.03 Formal Interpretation of the Woodburn Development Ordinance

5.04.04 Official Zoning Map Change, Owner Initiated

5.04.01 Annexation

- A. Purpose: The purpose of this Type IV review is to provide a procedure to incorporate contiguous territory into the City in compliance with state requirements, Woodburn Comprehensive Plan, and Woodburn Development Ordinance.
- B. Mandatory Pre-Application Conference: Prior to requesting annexation to the City, a Pre-Application Conference (Section 4.01.04) is required. This provides the city an opportunity to understand the proposed annexation and an opportunity to provide information on the likely impacts, limitations, requirements, approval standards, and other information that may affect the proposal.
- C. Criteria:
 - 1. Compliance with applicable Woodburn Comprehensive Plan goals and policies regarding annexation.
 - 2. Territory to be annexed shall be contiguous to the City and shall either:
 - a. Link to planned public facilities with adequate capacity to serve existing and future development of the property as indicated by the Woodburn Comprehensive Plan; or
 - b. Guarantee that public facilities have adequate capacity to serve existing and future development of the property.
 - 3. Annexations shall show a demonstrated community need for additional territory and development based on the following considerations:
 - a. Lands designated for residential and community uses should demonstrate substantial conformance to the following:

- 1) The territory to be annexed should be contiguous to the City on two or more sides;
 - 2) The territory to be annexed should not increase the inventory of buildable land designated on the Comprehensive Plan as Low or Medium Density Residential within the City to more than a 5-year supply;
 - 3) The territory proposed for annexation should reflect the City's goals for directing growth by using public facility capacity that has been funded by the City's capital improvement program;
 - 4) The site is feasible for development and provides either:
 - a) Completion or extension of the arterial/collector street pattern as depicted on the Woodburn Transportation System Plan; or
 - b) Connects existing stub streets, or other discontinuous streets, with another public street.
 - 5) Annexed fulfills a substantial unmet community need, that has been identified by the City Council after a public hearing. Examples of community needs include park space and conservation of significant natural or historic resources.
- b. Lands designated for commercial, industrial and other uses should demonstrate substantial conformance to the following criteria:
- 1) The proposed use of the territory to be annexed shall be for industrial or other uses providing employment opportunities;
 - 2) The proposed industrial or commercial use of the territory does not require the expansion of infrastructure, additional service capacity, or incentives that are in excess of the costs normally borne by the community for development;
 - 3) The proposed industrial or commercial use of the territory provides an economic opportunity for the City to diversify its economy.

D. Procedures:

1. An annexation may be initiated by petition based on the written consent of:
 - a. The owners of more than half of the territory proposed for annexation and more than half of the resident electors within the territory proposed to be annexed; or
 - b. One hundred percent of the owners and fifty percent of the electors within the territory proposed to be annexed; or
 - c. A lesser number of property owners.
2. If an annexation is initiated by property owners of less than half of property to be annexed, after holding a public hearing and if the City Council approves the proposed annexation, the City Council shall call for an election within the territory to be annexed. Otherwise no election on a proposed annexation is required.
3. The City may initiate annexation of an island (ORS 222.750), with or without the consent of the property owners or the resident electors. An island is an unincorporated territory surrounded by the boundaries of the City. Initiation of such an action is at the discretion of the City Council.

4. The Significant Tree preservation and removal provisions of Section 3.06.07 are applicable to unincorporated territory that is the subject property of an Annexation application.
- E. Zoning Designation for Annexed Property: All land annexed to the City shall be designated consistent with the Woodburn Comprehensive Plan, unless an application to re-designate the property is approved as part of the annexation process.
 - F. The timing of public improvements is as follows:
 1. Street dedication is required upon annexation.
 2. Dedication of public utility easements (PUE) is required upon annexation.
 3. Street improvements are required upon development.
 4. Connection to the sanitary sewer system is required upon development or septic failure.
 5. Connection to the public water system is required upon development or well failure.
 6. Connection to the public storm drain system is required upon development.

5.04.02 Comprehensive Plan Map Change, Owner Initiated

- A. Purpose: The purpose of an Owner Initiated Comprehensive Map Change is to provide a process for the consideration of a change in use designation on the Woodburn Comprehensive Plan, initiated by the property owner.
- B. Criteria: The applicant shall demonstrate the following:
 1. Proof that the current Comprehensive Plan Map is in error, if applicable.
 2. Substantial evidence showing how changes in the community warrant the proposed change in the pattern and allocation of land use designations.
 3. Substantial evidence showing how the proposed change in the land use designation complies with:
 - a. Statewide Planning Goals and Oregon Administrative Rules;
 - b. Comprehensive Plan goals and policies; and
 - c. Sustains the balance of needed land uses within the Woodburn Urban Growth Boundary.
 4. Amendments to the comprehensive plan and land use standards which significantly affect a transportation facility shall ensure that allowed land uses are consistent with the function, capacity, and level of service of the facility identified in the Transportation System Plan. This shall be accomplished by one of the following:
 - a. Limiting allowed land uses to be consistent with the planned function of the transportation facility; or
 - b. Amending the Transportation System Plan to ensure that existing, improved, or new transportation facilities are adequate to support the proposed land uses consistent with the requirement of the Transportation Planning Rule; or,
 - c. Altering land use designations, densities, or design requirements to reduce demand

February 12, 2024

TO: Honorable Mayor and City Council through City Administrator

FROM: Chris Kerr, Community Development Director
Jesse Cuomo, Community Services Director

SUBJECT: **Legislative Amendment (LA) 23-04 Public Hearing: Adoption of the Parks and Recreation Master Plan and associated Comprehensive Plan Goal and Policy amendments**

RECOMMENDATION:

Conduct a public hearing and make a motion to tentatively approve Legislative Amendment LA 23-04, adopting the Parks and Recreation Master Plan and updated Parks and Recreation Goals and Policies as part of a Comprehensive Plan amendment, based on the Analyses and Findings in the staff report, and direct staff to prepare an ordinance for consideration at the next City Council meeting.

BACKGROUND:

Oregon Revised Statute (ORS) 197 and Oregon Administrative Rule (OAR) 660-034 (State and Local Park Planning) provide the statutes and rules that guide local governments in how they prepare, plan, adopt, amend, and revise their comprehensive plans in compliance with the Statewide Planning Goals, including but not limited to local park planning to ensure local governments plan for the recreation needs of their residents and visitors.

Following a request for proposals (RFP) for planning consulting services, the City Council authorized the City Administrator to enter into a contract with Conservation Technix, Inc. to update the Parks & Recreation Master Plan, which was last updated in 2009. To support the consultant team, the City appointed the Recreation and Parks Board as the Technical Advisory Group (TAG). The TAG met with the consultant and City staff three times throughout 2023 to provide feedback and direction at key milestones of the project. The consultant also engaged the community throughout the project with online & mail surveys and multiple open house meetings to solicit feedback and guidance on the community's recreation interests, wants, and needs.

Agenda Item Review: City Administrator ☒ City Attorney ☒ Finance ☒

After reviewing a draft plan prepared by the consultant, the TAG recommended advancement of the plan for adoption by the City Council following its final meeting in December 2023.

On January 25, 2024, the Planning Commission held a public hearing and ultimately voted 4-0 to recommend the City Council approve and adopt LA 23-04. There was a healthy discussion between staff and Commissioners regarding where the funding for various park improvements comes from and the role this plan has in obtaining funding.

DISCUSSION:

The purpose of the Parks & Recreation Master Plan is to:

- Detail a profile of the Woodburn community today, including demographic information and resident interests related to recreation;
- Inventory the existing parkland, trail network, and recreational facilities and programming that the City offers;
- Outline a series of recreation goals and objectives for the City to work towards; and
- Provide an implementation and investment plan for the City Council to consider that help the City reach those goals and objectives.

Proposed Comprehensive Plan amendments apply only to several of the hundreds of pages within the Comprehensive Plan. Specifically, amendments to Section L contain goals and policies applicable to the recreation element of the Woodburn Comprehensive Plan. Proposed updates and edits are included in a **striketrough-and-underline** format (Attachment 102).

The prepared Parks and Recreation Master Plan (Attachment 103) is considered a new, updated component of the Comprehensive Plan and is therefore not shown in a **striketrough-and-underline** format but rather is a separate, new element to be adopted.

If the Council were to act upon the recommendation, staff would return with an ordinance for consideration at the next meeting.

FINANCIAL IMPACT:

There is no financial impact identified with the recommended action.

Attachment(s):

- Exhibit A. Planning Commission Staff Report (January 25, 2024)
 - Attachment 101: Analyses & Findings
 - Attachment 102: Comprehensive Plan Goal & Policy updates
 - Attachment 103: Parks and Recreation Master Plan



Staff Report

To: Planning Commission

Through: Chris Kerr, Community Development Director

From: Dan Handel, Planner

Meeting Date: January 25, 2024 (Prepared January 18, 2024)

Item: Legislative Amendment 23-04 for adoption of the Parks and Recreation Master Plan, and Comprehensive Plan Goal and Policy updates

Issue before the Planning Commission

Legislative Amendment LA 23-04 (Type V) for adoption of the Parks and Recreation Master Plan and associated Comprehensive Plan goal and policy updates: The Planning Commission is to hold a public hearing and make a recommendation to the City Council.

Executive Summary

Background

Oregon Revised Statute (ORS) 197 and Oregon Administrative Rule (OAR) 660-034 (State and Local Park Planning) provide the statutes and rules that guide local governments in how they prepare, plan, adopt, amend, and revise their comprehensive plans in compliance with the Statewide Planning Goals, including but not limited to local park planning to ensure local governments to plan for the recreation needs of their residents and visitors.

Following a request for proposals (RFP) for planning consulting services, the Council authorized the City to enter into contract with Conservation Technix, Inc. to update the Parks & Recreation Master Plan. The plan was last updated in 2009. To support the consultant team, the City appointed the Recreation and Parks Board as the Technical Advisory Group (TAG). The TAG met

with the consultant and city staff three times throughout 2023 to provide feedback and direction at key milestones of the project.

Following guidance from the consultant and review of consultant draft plan, the TAG recommended advancement of the draft plan for adoption by the City following its final meeting in December 2023. Staff also provided for work session meetings with both the Planning Commission and City Council.

Purpose

The purpose of the Parks & Recreation Master Plan is to:

- Detail a profile of the Woodburn community today, including demographic information and resident interests related to recreation;
- Inventory the existing parkland, trail network, and recreational facilities and programming that the City offers;
- Outline a series of recreation goals and objectives for the City to work towards; and
- Provide an implementation and investment plan for the City Council to consider that help the City reach those goals and objectives.

Comprehensive Plan Amendments

Proposed Comprehensive Plan amendments apply only to a fraction of the hundreds of pages of the Comprehensive Plan. Specifically, amendments to Section L contain goals and policies applicable to the recreation element of the Woodburn Comprehensive Plan. Proposed updates and edits are included in a ~~striketrough-and~~underline format (Attachment 102).

The prepared Parks and Recreation Master Plan (Attachment 103) is considered a new, updated component of the Comprehensive Plan and is therefore not shown in a ~~striketrough-and~~underline format but rather is a separate, new element to be adopted.

If the Commission notices any remaining scrivener's errors regarding grammar, spelling, and/or typos, please do draw staff attention to them.

As a legislative amendment, commissioners may contact staff directly with questions any time before the hearing at (503) 982-5266 or <jesse.cuomo@ci.woodburn.or.us>.

Recommendation

Approval: Staff recommends that the Planning Commission consider the staff report and attachments and recommend City Council adoption of the Parks and Recreation Master Plan

and updated Goals and Policies as part of a Comprehensive Plan amendment, based on the Analyses and Findings (Attachment 101) in the staff report, as presented.

Actions

Recommend Approval of the Comprehensive Plan Amendment as outlined above; or the Planning Commission may instead recommend:

1. Approval with revisions; or
2. That staff revise and return to a later hearing for further deliberation by the Planning Commission.

If the Planning Commission were to act upon the recommendation, staff would proceed to a City Council public hearing, tentatively scheduled for February 12, and ordinance adoption on either February 26 or March 11.

Attachment List

101. Analyses & Findings

102. Comprehensive Plan Goal and Policy updates

103. Parks & Recreation Master Plan (201 pages, available online at <<https://www.woodburn-or.gov/bc-pc/page/planning-commission-49>>)

Introduction

The Woodburn Development Ordinance (WDO) does not include specific approval criteria for legislative amendments, beyond initiation per WDO 4.01.09, processing, and notification requirements.

However, per state law, amendments to a Comprehensive Plan, including the adoption of implementing documents such as a Parks & Recreation Master Plan (PRMP), are required to be consistent with:

- Statewide Planning Goals
- Oregon Administrative Rules (OAR)
- Woodburn Comprehensive Plan goals and policies

The findings for adoption of the PRMP and associated Comprehensive Plan amendments address these same criteria.

The present version of the Comprehensive Plan was last amended through Legislative Amendment LA 23-02 as Ordinance No. 2619 on January 10, 2024 (goals and policies relating to an Economic Opportunities Analysis).

Statewide Planning Goals

There are a total of 19 Statewide Planning Goals. Staff finds Goals 1, 2, and 8 are applicable Statewide Planning Goals to the adoption of the PRMP and identified updates to the Woodburn Comprehensive Plan goals and policies.

The PRMP does not contain regulations that pertain to these goals and is not proposing changes to existing associated regulations. Applicable goals include Goal 1 (Citizen Involvement), Goal 2 (Land Use Planning), and Goal 8 (Recreational Needs).

Of these, Goal 8, titled Recreational Needs, is the primary goal of consideration in review of this proposal. The fundamental purpose of Goal 8 is to ensure that a local government plans for the recreational needs of its residents. This proposal is for the adoption of the Parks & Recreation Master Plan (PRMP), which contains information pertaining to Goal 8 and for findings in support of adoption. Rules that implement Goal 8 are described in Chapter 660, Division 34 of the Oregon Administrative Rules (OAR). Local government park plans are specifically mentioned in OAR 660-034-0040. The proposed PRMP was produced to meet the requirements of Goal 8 and all implementing administrative rules.

The PRMP provides a factual basis for updating Woodburn Comprehensive Plan Section L (Parks and Recreation). The City of Woodburn created these existing policies in concert with the adoption of the previous PRMP. The proposed amendments include new and modified policies for the City to support a robust system of parks and recreational offerings.

Goal 1 – Citizen Involvement

Statewide Planning Goal 1 requires cities to involve community members in planning processes and decisions. The City and its consultants have done this in a variety of ways as part of the planning process.

- **Surveys.** The City distributed a random-sample mail survey and an online community-wide survey in English, Spanish, and Russian.
- **Advisory Group.** The Woodburn Recreation and Parks Board functioned as a technical advisory group (TAG) for the PRMP. The committee met three times to review materials and provide direction at key milestones.
- **Public Forums.** The City hosted two open house meetings (May 31 and September 15, 2023) and conducted a series of tabling activities at various community events between July and September 2023.
- **Planning Commission and City Council Meetings.** Staff provided for public meetings before the Planning Commission and City Council to present information. The City followed State and Local public notice procedures to inform members of the public about these meetings.
- **Notification to the Department of Land Conservation and Development (DLCD).** Staff provided notice to DLCD of the proposed Comprehensive Plan amendments on December 18, 2023, in compliance with OAR 660-018-0020 and notified affected government agencies in conformance with WDO 4.01.14D.
- **Online Access to Draft Materials.** Staff made draft copies of the PRMP and proposed Comprehensive Plan Goal and Policy changes available on the City's website for public review and comment on January 18, 2024.

Based on the above findings, the PRMP is consistent with Statewide Planning Goal 1.

Goal 2 – Land Use Planning

Goal 2 requires each local government in Oregon to establish a land use planning process and policy framework as a basis for all decisions and actions related to use of land and to assure an adequate factual base for such decisions and actions. Goal 2 also includes requirements for coordination with other jurisdictions and government agencies, requires that plans include implementation measures, and that plans be reviewed periodically and amended as needed.

The City last updated and adopted its Parks & Recreation Master Plan (PRMP) via Ordinance No. 2458 on July 15, 2009. To ensure that the City has an accurate understanding of the community's recreation interests and needs, the City Council initiated a Type V legislative process to update the City's PRMP and consider correlating updates to the Comprehensive Plan Goals and Policies.

The City appointed the Recreation and Parks Board as the technical advisory group (TAG) for the preparation of a new PRMP. The committee met three times to review materials and provide direction at key milestones. One purpose of the committee meetings was to ensure that there

was a forum for affected government agencies to express concerns with proposed updates to the plan and provide the City with the opportunity to consider and accommodate modifications to the plan during the preparation phase of work. These meetings also provided a venue for coordination discussions with Marion County staff as needed.

The proposed PRMP is now being reviewed for adoption under the City's Type V legislative procedure as outlined in the Woodburn Development Ordinance. That procedure includes the City undertaking the following steps, which includes additional opportunities for review and comment by citizens and affected governmental units:

- The City notified affected government agencies in conformance with WDO 4.01.14.D. on January 5, 2024, and published notice of both the Planning Commission and City Council hearings in the *Woodburn Independent* newspaper on January 17, 2024.
- Project update presentations to Planning Commission on December 14, 2023, and City Council on September 25, 2023;
- The Planning Commission hearing scheduled for January 25, 2024;
- The City Council hearing is tentatively scheduled for February 12, 2024;
- On December 18, 2023, staff sent a Post-Acknowledgement Plan Amendment (PAPA) to the Department of Land Conversation and Development (DLCD) in compliance with OAR 660-018-0020.

Based on the above findings, the PRMP is consistent with Statewide Planning Goal 2.

Goal 8 – Recreational Needs

Goal 8 requires the City to plan for the recreation needs of our residents and visitors. The goal prioritizes non-motorized forms of recreation, and recreation areas that serve high-density populations with limited transportation options and limited financial resources. It also places priority on recreation areas that are free or available at a low cost to the public.

The draft Parks & Recreation Master Plan (PRMP) being considered does exactly what Goal 8 requires. This plan details a profile of the community today, including demographics and interests of residents; it inventories the existing parkland, trail network, and recreational programming that the City offers; it outlines a series of goals and objectives for the City to work towards; and provides an implementation and investment plan for the City Council to consider.

The PRMP and Comprehensive Plan update are consistent with Oregon Statewide Planning Goal 8.

Oregon Administrative Rules

Oregon Administrative Rules (OAR) 660-034-0040 guide planning efforts for local parks in Oregon. The following is a summary of consistency with those rules.

(1) Local park providers may prepare local park master plans, and local governments may amend acknowledged comprehensive plans and zoning ordinances pursuant to the

requirements and procedures of ORS 197.610 to 197.625 in order to implement such local park plans. Local governments are not required to adopt a local park master plan in order to approve a land use decision allowing parks or park uses on agricultural lands under provisions of ORS 215.213 or 215.283 or on forestlands under provisions of OAR 660-006-0025(4), as further addressed in sections (3) and (4) of this rule. If a local government decides to adopt a local park plan as part of the local comprehensive plan, the adoption shall include:

(a) A plan map designation, as necessary, to indicate the location and boundaries of the local park; and

(b) Appropriate zoning categories and map designations (a “local park” zone or overlay zone is recommended), including objective land use and siting review criteria, in order to authorize the existing and planned park uses described in local park master plan.

Response: The City has prepared this Parks and Recreation Master Plan (PRMP) to guide local park planning in Woodburn. Adoption of the PRMP is proposed as part of an amendment to the comprehensive plan. As required by subsection (a), local park boundaries are illustrated throughout Chapters 4-6 of the PRMP. The Comprehensive Plan Map already includes a land use category titled “Open Space and Parks” and the Zoning Map already contains an associated zoning district titled “Public / Semi-Public”. The Woodburn Development Ordinance, the implementing ordinance for the comprehensive plan, already outlines land use and siting review criteria for the Public / Semi-Public zoning district. No changes are proposed to this land use category or zoning district.

(2) Unless the context requires otherwise, this rule does not require changes to:

(a) Local park plans that were adopted as part of an acknowledged local land use plan prior to July 15, 1998; or

(b) Lawful uses in existence within local parks on July 15, 1998.

Response: The City last updated and adopted its Parks & Recreation Master Plan (PRMP) via Ordinance No. 2458 on July 15, 2009.

(3) All uses allowed under Statewide Planning Goal 3 are allowed on agricultural land within a local park and all uses allowed under Statewide Planning Goal 4 are allowed on forest land within a local park, in accordance with applicable laws, statewide goals, and rules.

Response: The proposed Parks & Recreation Master Plan (PRMP) does not involve any agricultural lands or uses, nor any forest lands or uses, within local parks. Goals 3 and 4 are addressed by counties.

(4) Although some of the uses listed in OAR 660-034-0035(2)(a) to (g) are not allowed on agricultural or forest land without an exception to Goal 3 or Goal 4, a local government is not required to take an exception to Goals 3 or 4 to allow such uses on land within a local

park provided such uses, alone or in combination, meet all other statewide goals and are described and authorized in a local park master plan that:

(a) Is adopted as part of the local comprehensive plan in conformance with Section (1) of this rule and consistent with all statewide goals;

(b) Is prepared and adopted applying criteria comparable to those required for uses in state parks under OAR chapter 736, division 18; and

(c) Includes findings demonstrating compliance with ORS 215.296 for all uses and activities proposed on or adjacent to land zoned for farm or forest use.

Response: The proposed Parks & Recreation Master Plan (PRMP) does not involve any agricultural lands or uses, nor any forest lands or uses, within local parks. Goals 3 and 4 are addressed by counties.

Conclusion: The PRMP is consistent with the OAR requirements for preparation of a local parks plan.

Consistency with Woodburn Comprehensive Plan Goals and Policies

The City's Comprehensive Plan already contains goals and policies that help the City achieve its recreation and park planning objectives. These existing goals and policies, which center around providing a variety of benefits to the community through a diverse offering of recreational spaces and programs, provide a strong policy basis and framework to support adoption of the PRMP. As part of this legislative amendment, only minor amendments are proposed to Section L of the Comprehensive Plan. Generally, the amendments cover name changes for certain facilities and focus on making goals and policies more concise. Two new policies are recommended – one to more directly refer to the PRMP as a guiding document for recreation planning, and one stating it is the City's policy to ensure facilities are inclusive and accessible.

Conformance with the Woodburn Development Ordinance

4.01 Decision-Making Procedures

4.01.02 Assignment of Decision-Makers:

The following City entity or official shall decide the following types of decisions:

E. Type V Decisions (Legislative): Type V decisions involve legislative actions where the City Council enacts or amends the City's land use regulations, comprehensive plan, Official Zoning Map or some component of these documents. Type V decisions may only be initiated by the City Council. The Planning Commission holds an initial public hearing on the proposal before making a recommendation to the City Council. The City Council then holds a final public hearing and renders a decision. Public notice is provided for all public hearings (Section

4.01.14). The City Council's decision is the City's final decision and is appealable to LUBA within 21 days after it becomes final.

4.01.09 Initiation of a Legislative Proposal

A. The City Council may initiate the consideration of a legislative decision by resolution.

B. Actions initiated by the Council shall be referred to the Planning Commission for a public hearing and recommendation to the Council.

C. The City Council shall hold the final public hearing on a proposed legislative decision.

The Planning Commission hearing is scheduled for January 25, 2024, and the City Council hearing is tentatively scheduled for February 12, 2024, pending a recommendation to the Council by the Planning Commission. On December 18, 2023, staff sent a Post-Acknowledgement Plan Amendment (PAPA) to the Department of Land Conversation and Development (DLCD) in compliance with OAR 660-018-0020. The City notified affected government agencies in conformance with WDO 4.01.14.D. on January 5, 2024, and published notice of both the Planning Commission and City Council hearings in the *Woodburn Independent* newspaper on January 17, 2024.

✓ The provisions are met.

Notice: ORS 227.186 Notice to property owners of hearing on certain zone change; form of notice; ...

(2) All legislative acts relating to comprehensive plans, land use planning or zoning adopted by a city shall be by ordinance.

Pending a decision from the City Council following its public hearing, the Council would be able to direct staff to return with an ordinance for adoption at a subsequent Council meeting.

(3) ... at least 20 days but not more than 40 days before the date of the first hearing on an ordinance that proposes to amend an existing comprehensive plan or any element thereof, or to adopt a new comprehensive plan, a city shall cause a written individual notice of a land use change to be mailed to each owner whose property would have to be rezoned in order to comply with the amended or new comprehensive plan if the ordinance becomes effective.

(4) At least 20 days but not more than 40 days before the date of the first hearing on an ordinance that proposes to rezone property, a city shall cause a written individual notice of a land use change to be mailed to the owner of each lot or parcel of property that the ordinance proposes to rezone. ...

(5) An additional individual notice of land use change required by subsection (3) or (4) of this section shall be approved by the city and shall describe in detail how the proposed ordinance would affect the use of the property. The notice shall: . . .

(6) At least 30 days prior to the adoption or amendment of a comprehensive plan or land use regulation by a city pursuant to a requirement of periodic review of the comprehensive plan

under ORS 197.628, 197.633 and 197.636, the city shall cause a written individual notice of the land use change to be mailed to the owner of each lot or parcel that will be rezoned as a result of the adoption or enactment. ...

(7) Notice provided under this section may be included with the tax statement required under ORS 311.250.

(8) Notwithstanding subsection (7) of this section, a city may provide notice of a hearing at any time provided notice is mailed by first class mail or bulk mail to all persons for whom notice is required under subsections (3) and (4) of this section.

(9) For purposes of this section, property is rezoned when the city...

The City proposes no rezoning or WDO amendment at this time.

Because the City is not changing the base zoning classification of property, in other words neither rezoning nor making a zone change, Sections (3), (4) and (5) above are not applicable. Because the proposed amendment is not pursuant to a requirement of periodic review, Sections (6) & (7) & (8) are not applicable.

(10) The provisions of this section do not apply to legislative acts of the governing body of the city resulting from action of the Legislative Assembly or the Land Conservation and Development Commission for which notice is provided under ORS 197.047 or resulting from an order of a court of competent jurisdiction.

Staff finds the proposed PRMP update and proposed updates to Comprehensive Plan Economic Goals and Policies do not result from actions of the Legislative Assembly or the Land Conservation and Development Commission (LCDC) and that ORS 197.047 is not applicable. As a result, the City of Woodburn is not required for LA 23-04 to do a “Measure 56” notice, the phrase referring to Ballot Measure 56 (1998) that the legislature codified in ORS 227.186, which the legislature later revised via Senate Bill 516 (2003).

✓ The provisions are met.

L. Parks and Recreation

The City owns and maintains various parklands, recreation facilities, and open spaces for residents and visitors to enjoy. These assets are essential for maintaining the sense of community and pride that makes Woodburn a vibrant and attractive place to live, work, and visit.

Open Space / Parks Goals and Policies

Goals

- L-1. ~~The Woodburn Parks and Recreation Comprehensive Plan shall establish a framework for land acquisition and future park improvements within the community. It is the goal of the City to provide adequate parks, recreation facilities, and open space to maintain Woodburn's livability and managed growth, and to p~~Provide social, economic, and environmental benefits to individuals, families, and the community through a robust, diverse, inclusive system of parks, recreation facilities, and open spaces.
- L-2. ~~Maintain D~~downtown Woodburn ~~should remain~~as a centerpiece of activity, culture, and commerce within the City. Library Square Park, the Downtown Plaza, Woodburn Aquatic Center, Settlemier Park, ~~the Woodburn World's Berry Center~~ Museum, Bungalow Theatre, and Frank Scheer Locomotive Park should be used as catalysts for downtown revitalization.

Policies

- L-1.1 The City will utilize the Parks and Recreation Master Plan as a guide for investing resources into parks, recreation facilities and programming, and open spaces.
- L-1.~~24~~ The City will ensure that sufficient land is made available to meet current and future parks and open spaces needs by acquiring and developing new parks in the areas identified in the Parks and Recreation Master Plan. ~~west of Interstate 5; the southwest area of the city, east of Interstate 5; and the southeast area of the City, west of Highway 99E.~~
- L-1.~~32~~ Where feasible, the City will acquire and develop neighborhood parks, trails, and open spaces through the development review process.
- L-1.~~43~~ The City will ensure that parks system development charges are adequate to meet the parks, trails, and open space needs created by development.
- L-1.~~54~~ To ensure walkability, the City will strive to provide parks, trails, and indoor facilities within one-~~quarter~~third mile of Woodburn residents.
- L-1.6 The City will strive to ensure that parks, playgrounds, trails, and recreational facilities are inclusive and provide access to all abilities.

L-1.~~75~~ The City will ensure the most efficient and effective means of providing sufficient land for neighborhood parks by pursuing partnerships with schools and other agencies to establish joint parkland acquisition, development, and operational ventures.

L-1.~~86~~ It is the policy of the City to implement the Mill Creek Greenway Master Plan, and to manage the Mill Creek, Goose Creek, and Senecal Creek corridors as public greenways and pathways. ~~multiple functions of these corridors will~~ include open space and habitat preservation, flood control, cycling and walking on all-weather pathways, nature recreation and education, and limited playground activities where there is a deficiency of neighborhood parks. The City will establish and enforce a healthy streams policy to ensure that Woodburn's waterways are preserved and well-maintained.

L-1.~~97~~ To provide for a continuous public greenway and pathway system, it is the policy of the City to acquire privately-owned segments along Mill Creek, Goose Creek, and Senecal Creek and other stream corridors ~~including the west tributary from Settlemier Park to Parr Road~~. It is the policy of the City to seek dedication of floodplains and creek corridors for natural areas, neighborhood recreation areas, open space and transportation.

L-1.~~108~~ To ensure adequate maintenance of the City's parks, open spaces, and recreation facilities, the City will prepare comprehensive management plans, including maintenance level of service standards for each site.

L-1.~~119~~ The City will ensure that adequate funds are budgeted annually to meet established level of service standards for parks, open spaces, and recreation facilities.

L-1.~~129~~ The City will support the development of an "Adopt a Park" program to encourage community involvement in the stewardship of parks and trails.

L-1.~~131~~ Because recreation participation preferences and interests vary among employment, ethnic, social, and cultural groups, it is the policy of the City to ensure that parks, open spaces, facilities, and programs are developed to meet the diverse needs and interests of Woodburn's population.

Parks & Recreation Master Plan



JANUARY 2024



Once a small farming town,
Woodburn has grown into a hub
of community, industry, and retail
opportunities. With free, year-
round special events, miles of trails
and parks to explore, Woodburn is
a wonderful town to call home.

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Message from the Director

Welcome to the 2024 Woodburn Parks and Recreation Master Plan

The Parks and Recreation Master Plan (PRMP) was developed through extensive input from the community, as well as careful consideration of industry standards and trends.

The PRMP represents a collaborative effort of our residents, community stakeholders, and staff who together believe in a strategic direction to achieve our goals. The Plan aims to provide a sustainable and balanced system of parks and recreation programs that are accessible and inclusive for every one of our residents to enjoy. We also believe this Plan will continue our commitment to shape the character of Woodburn and enhance the quality of life for our residents.

Many of the ideas found within this document mirror emerging needs that citizens believe are important. Our collective challenge is to use this Plan as a foundation to build upon to ensure future generations will have an opportunity to enjoy an outstanding park and recreation system. It is our responsibility to strategically evaluate our facilities and operations to meet our future vision. This Plan will allow us to focus on maintaining and improving our community assets and be better equipped to meet the challenges of the future.

As staff, we feel privileged to serve this tremendous community and honored to have the support of the Recreation & Parks Board with the development of the PRMP. We are especially grateful to our residents who have voiced their opinions and attended our public meetings.

Our promise is to use this PRMP to continue our efforts to create a community that offers quality of life, while anticipating future community needs.

Jesse Cuomo
Community Service Director

Acknowledgements

City Council

Frank Lonergan, Mayor
Debbie Cabrales, Ward I
Mark Wilk, Ward II
Robert Carney, Ward III
Sharon Schaub, Ward IV
Mary Beth Cornwell, Ward V
Eric Morris, Ward VI

Recreation & Parks Board

Richard Irish
Justin May
Kasi Pankey
David Piper, Board Chair
Ricardo Rodriguez
Beronica Rios
Isabella Baldisseri (Student Position)

Planning Commission

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Anabel Hernandez-Mejia, Position II
Juan Bravo, Position III
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Sharon Corning, Position V
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Jeff Crabtree, Parks & Facilities Maintenance Supervisor

Consultant Team

Conservation Technix, Inc.
IZO Public Relations & Marketing
JLA Public Involvement

Chapter 1

ACTIVE. THRIVING. ENGAGED.

Introduction & Overview

Purpose of the Plan

The City of Woodburn 2024 Parks and Recreation Master Plan (PRMP) is an update to the 2009 Parks and Recreation Master Plan that builds on the previously completed planning work and incorporates the feedback from an extensive community engagement process conducted in 2023. This Plan creates a vision for an innovative, inclusive and interconnected system of parks, trails and open space that promotes recreation, health, environmental conservation and fiscal responsibility as integral elements of a thriving, livable Woodburn.

The PRMP serves as a blueprint for the management, enhancement and growth of Woodburn's park and recreation system. It assists in guiding decisions related to planning, developing and maintaining parks, open space and recreational facilities. This Plan also identifies priorities for recreation programs, community events and cultural activities.

The 2024 PRMP provides updated system inventories, community

profile, needs analyses and a comprehensive capital project list. The Plan identifies parks and recreation goals and establishes a long-range plan for the Woodburn parks and recreation system, including action items and strategies for implementation over the next ten years or more. The recommendations in this Plan are based on community input, evaluations of the existing park system, operating conditions and fiscal considerations.

The PRMP is part of the City's broader Comprehensive Plan and reflects the guidelines established by Oregon's Statewide Planning Goal 8 on Recreation Planning. Local residents are proud of Woodburn for its sense of small town character and for what has been accomplished in the park system with modest resources, but they also are interested in improvements. This Plan documents those desires and provides a framework for addressing capital development and funding in the near-term.





Planning Process

This PRMP represents the culmination of a year-long planning effort and reflects the community's interests and needs for parks, open space, trails and programming. The planning process, which included a variety of public outreach activities, encouraged public engagement to inform the development of the priorities and future direction of Woodburn's park and recreation system. Community members expressed their interests through surveys, public meetings, stakeholder discussions, online outreach, tabling events and Recreation and Parks Board meetings.

In addition to community engagement, the actions identified in this Plan are based on:

- An inventory and assessment of the City's existing park and recreation facilities to establish the system's current performance and to identify needed maintenance and capital repair and replacement projects, and
- Service level and walkability assessments to quantify the system's ability to serve current and future residents.

The Plan's capital improvements section and accompanying implementation strategies are intended to sustain and enhance, preserve and steward the City's critical parks and recreation infrastructure.

Department Overview

The Community Services Department serves as the community's key resource for providing parks, trails, recreation, aquatic facilities and programs, and community events and supports tourism and economic development, as well as providing an enhanced quality of life for its citizens. Thousands of participants and visitors join the many programs offered each year. There are 25 city-owned park sites totaling 135 acres and more than 4.5 miles of trails in the Woodburn park system.

The park and recreation system is supported by 20.5 full-time employees in four divisions: Aquatics, Recreation, Parks & Facilities Maintenance, and Recreation Administration.

- The Aquatics division staffs the Woodburn Aquatic Center, which offers fitness, recreational and learn-to-swim programs for individuals of all ages. Facility amenities include a 10-lane swimming pool with water slide, rope

swing, group exercise room, party rental room, basketball hoop, wading pool, spa, fitness equipment and saunas.

- The Recreation division offers community-wide leisure opportunities including youth and adult sports, community events, youth leadership programs, summer camps, active adult and recreation trips and community education classes. The division also coordinates and maintains active partnerships with several community partners, including YMCA of Marion and Polk Counties, Woodburn FC, Woodburn Youth Baseball and Softball, and Boys and Girls Club, in support of recreation options for the Woodburn community.
- The Parks and Facilities Maintenance division is responsible for maintaining parks, grounds, buildings and providing custodial services for City facilities. The Parks and Facilities Maintenance Supervisor reports to the Community Services Manager. City staff custodial services provides support services to departments. Commercial contracts support other facility services initiated by facilities maintenance staff. Commercially-contracted facilities maintenance services include heating, ventilation, and air-conditioning (HVAC); electrician services for both maintenance and improvements; fire protection equipment; elevator, locksmith; roofing and painting.
- Administration focuses on long-range planning, acquisition and development of park facilities, the development of park site master plans, and pursuing and administering grants. Administration provides overall support for the Department in areas of budgeting, communications, customer service, contracts and capital projects administration, among others.

Additionally, the efforts of the Department are guided by the Recreation and Parks Board, a seven-member advisory group to the City Council. The Board meets monthly to provide guidance and give recommendations on policy and issues relating to the delivery of park and recreation services. The Recreation and Parks Board is appointed by the Mayor and City Council, and members serve for three year terms.

Guided by Values

Woodburn's City Council adopted its most recent annual budget in June 2022, and it reinforced the vision and priorities for the City's future.

City Council Vision Statement

Woodburn will be a safe, vibrant, full-service community. Woodburn will be a community of unity, pride, and charm. It will be a sustainable, technologically advanced community with a functional multi-modal transportation system. Woodburn will thrive as a regional focus for the advancement and enjoyment of the arts, culture, leisure and recreational activities. Woodburn will be a great place to live, work and visit.

Council Priorities

Create an inclusive environment where residents and civic organizations participate and are engaged in the community that is vibrant, safe, and active.

Promote an environment that encourages sustainable economic health maximizing our geographic, workforce, cultural, and community assets.

These citywide values provided a foundation for the policies and recommendations within this Plan. Also, the Department's mission statement provides a framework for future planning and guided the development of goals and project recommendations for this PRMP.

Community Services Department Mission Statement

It is the mission of the Community Services Department to build a strong sense of community and improve the quality of life for all Woodburn residents. We accomplish this mission by providing an excellent system of parks, open spaces, facilities and leisure services, as well as a strong collection of informational materials, opportunities for lifelong learning and the promotion of literacy.





Accomplishments since the 2009 PRMP

The 2009 Parks and Recreation Master Plan guided City officials, management and staff in making decisions about planning, operating and implementing various parks and recreation services. A majority of projects listed in the 2009 Plan have been accomplished. The following represents a short list of the major accomplishments realized following the adoption of the previous Plan:



Legion Park Improvement project including, state of the art turf field, updated LED lighting, 800 person stadium, concession stand and restroom improvements and basketball, futsal and pickle-ball courts.



Centennial Park playground installation



Centennial Park splash pad



Downtown Plaza gazebo



Aquatic Center repairs



Secured over 25 acres of new parkland through purchases and developer agreements



Mill Creek Greenway Trail construction (multiple phases) & trail corridor acquisitions



Hazel Smith Plaza construction (in coordination with developer)



Library Square playground & restrooms



Woodburn Museum and Bungalow Theatre



Current Challenges & Future Considerations

As with any citywide strategic planning effort, current community challenges provide a context for developing and assessing strategies for the future. The following macrotrends are anticipated to be important priorities over the next decade.

Growth, Development & Density

The City of Woodburn has witnessed tremendous growth in recent years, and the City's population has risen nearly 40% between 2000 and 2020. By 2045, Woodburn is projected to be home to more than 31,000 residents. More residents and new development will increase the use of existing parks and facilities and increase the need for recreational spaces and experiences across the city. Rapid growth also will intensify existing community needs for safe and accessible walking and biking routes, as well as the preservation of open space and natural resources. In response, this Plan outlines several policies and projects to improve recreation facilities and parks to adapt to emerging needs, complete important connections in the City's burgeoning trail network, and acquire or preserve open space in strategic areas.

Equity, Inclusivity & Accessibility

Maintaining and enhancing social equity across recreational opportunities and facilities should be a core function of municipal park and recreation systems. Through this Plan, the City of Woodburn made a concerted effort to reach out to, connect with, and engage the diversity of local communities, and the City also committed to outreach in its three major languages: English, Russian and Spanish. Through direct engagement during various community and cultural events, a three-language community survey, and live interpretation during open house meetings, the City endeavored to make all voices welcome during the PRMP process. A focus on diversity, equity and inclusion also carries into adaptive recreation programs and ongoing accessibility upgrades of parks and amenities. The City must continue to find ways to provide safe and equitable access to parks, trails, facilities, recreation programs and other services.



Continued Investments in Park and Recreation System

From accessible playgrounds to splash pads to connected trails to natural areas, the range of play experiences offered by the City will need to change and diversify over time. Also, the diversity of the Woodburn community will influence the needs for different or expanded recreational experiences, such as extended family gatherings, cultural programs, community events and social activities, and cultural arts, among others. The demand for new amenities also must be balanced against preserving and maintaining existing parks and natural areas. The development of new amenities may require the use or re-use of existing parkland or more parkland may be required to support the community's evolving, future needs.

The on-going planning for, and anticipated construction of, a new Woodburn Community Center will be an expansion and restoration of the existing Aquatics Center to provide a significant boon for indoor recreation and activities in Woodburn and offer a variety of gathering places for the community. Recent conversations with community members suggest a continued interest in expanding, or having access to additional, indoor recreation facilities, as well as additional spaces for classes, exhibits and multi-purpose uses.



Research on recreation also provides information on how park distribution, park proximity, park facilities and conditions have an impact on people's desire to engage in physical activity. It will be valuable to re-evaluate current park designs and maintenance policies to ensure barrier-free, engaging park environments and operational efficiencies. The City will continue to play a major role in enabling healthy lifestyles for Woodburn citizens and should continue to adapt the park and trail system and recreation offerings.

Stewardship & Asset Management

Established park systems require ongoing maintenance in order to safely and effectively serve the community. Public recreation providers across the country consider maintaining existing park facilities to be a key management issue. Poorly maintained assets – from benches to playgrounds to pools – can fail, either structurally or operationally, posing safety risks and reducing their recreational value. Aging infrastructure also may fail to meet community expectations or need capital upgrades to adapt to changing community interests. However, recreation providers often struggle to establish adequate funding mechanisms for routine and preventative maintenance and repair of facilities, as well as the major rehabilitation of existing outdoor recreation facilities at the end of their useful life.

This Plan includes a condition assessments of City parks to provide a baseline of current conditions to inform facility, maintenance and operations policies and improvements. Proper maintenance of recreation assets will prevent deterioration, thereby reducing long-term capital and operating costs, maintaining safety, improving public perception and facilitating extended community use.

Active Older Adults

Older adults, ages 55 years plus, make up 29% of Woodburn's population, and Woodburn Estates is the largest community for adults over 55 in Oregon. This indicates a potential local need for active recreation opportunities for active older adults. Nationwide, active seniors are often looking at retirement age differently, and many are transitioning to new careers, finding ways to engage with their community, and focusing on their health and fitness. To meet the needs of active older residents, Woodburn will need to consider how the City's park and recreation facilities, programming, and partnerships can meet the needs of this growing group.

Fiscal Challenges

As a fast-growing city with a strong agricultural heritage, tremendous pressure exists on capital and operating funding sources for the maintenance and expansion of City services and amenities. This Plan is structured with these constraints in mind and considers listed capital projects for their potential to leverage other funding sources, affects to future maintenance and operations demands, and estimated development costs.

Guiding Documents

This PRMP is one of several documents that comprise Woodburn's long-range planning and policy framework. Past community plans and other relevant documents were reviewed for policy direction and goals as they relate to parks, open space, trails, and recreation opportunities across Woodburn.

- Parks and Recreation Master Plan Update (2009)
- Mill Creek Greenway Master Plan (2007)
- Community and Aquatic Center Market Analysis (2019)
- City of Woodburn Comprehensive Plan (2022)
- Woodburn Transportation System Plan (2019)
- Highway 99E Corridor Plan (2012)

Plan Contents

The remainder of this Parks and Recreation Master Plan is organized as follows:

- Chapter 2: Community Profile – provides an overview of the City of Woodburn and its demographics.
- Chapter 3: Community Engagement – highlights the methods used to engage the Woodburn community in the development of the Plan.
- Chapter 4: Classifications & Inventory – describes the inventory and classifications for existing park system.
- Chapters 5: Parks & Open Space – describes community feedback, trends, local needs and potential improvements for parks and open space.
- Chapter 6: Trails – describes community feedback, local interests and potential improvements for the recreational trail network.
- Chapter 7: Recreation – describes community feedback, trends, local needs and potential improvements for recreation services, facilities and events.
- Chapter 8: Goals & Objectives – provides a policy framework for the park and recreation system grouped by major program area.
- Chapter 9: Projects & Implementation Strategies – describes a range of strategies to consider in the implementation of the Plan and details a 10-year program for addressing park and facility enhancement or expansion projects.
- Appendices: Provides technical or supporting information to the planning effort and includes a summary of the community survey, stakeholder notes, funding options, among others.

Chapter 2

COMMUNITY PROFILE

ONCE A SMALL FARMING TOWN, WOODBURN HAS GROWN INTO A HUB OF COMMUNITY, INDUSTRY, AND RETAIL OPPORTUNITIES.



Woodburn's Engine #1785

Woodburn is a railroad town in the most fundamental way possible. The historic downtown is focused on the tracks that run through city center. In 1957, Woodburn would receive a classic 1902 built steam locomotive through donation by the Southern Pacific Railroad. Engine 1785 is part of Woodburn's historic core, and part of local railroad heritage. It has undergone gradual but extensive changes that have transformed it into both a museum-quality exhibit and a living part of Woodburn's landscape.

Source: woodburn-or.gov

Location

Woodburn is a diverse community of over 26,000 residents in Marion County, Oregon. The City is located along both Interstate 5 and State Route 99 and is surrounded by the fertile farmlands of the central Willamette Valley. It offers residents a small-town feel with convenient access to both the Portland and Salem-Keizer metropolitan areas. The community is home to downtown shopping, the Woodburn Premium Outlet Mall, as well as numerous Mexican restaurants and shops, historic attractions, and popular events like Fiesta Mexicana and regional events like the Wooden Shoe Tulip Festival.

Woodburn's downtown area is centered on Front Street, just to the west of the Union Pacific rail line,

and includes multiple restaurants and small stores, the Woodburn City Hall, Downtown Plaza, and Library. The Woodburn Aquatic Center and Settlemier Park are located just to the south and the Woodburn branch of Chemeketa Community College just to the east of downtown. The City has two major commercial areas, located along I-5 to the east and State Route 99E to the west. Most of the City's residential neighborhoods, a mix of single-family, multi-family and mobile home areas, are located in between I-5 and I-99E, including Woodburn Estates, one of the state's largest 55+ communities. The northeastern portion of the City includes Woodburn's primary industrial areas and the MacLaren Youth Correctional Facility.





Demographic Profile

Today, Woodburn is a rapidly growing community whose population has grown by more than 25% over the past twenty years. It is home to many families with children, making up nearly four in ten households, who enjoy the recreational opportunities provided by the City's parks and open spaces.

Figure 1. Population Characteristics: Woodburn, Marion County, and Oregon State

| Demographics | Woodburn | Marion County | Oregon |
|---|----------|---------------|-----------|
| Population Characteristics | | | |
| Population (2022) ¹ | 26,468 | 348,616 | 4,281,851 |
| Population (2010) ² | 25,377 | 315,335 | 3,831,074 |
| Population (2000) ³ | 20,861 | 284,834 | 3,421,399 |
| Percent Change (2000-22) | 26.9% | 22.4% | 25.1% |
| Persons with Disabilities (%) ⁴ | 14.9% | 15.0% | 14.4% |
| Household Characteristics ⁴ | | | |
| Households | 8,605 | 121,132 | 1,658,091 |
| Percent with children | 36.0% | 33.0% | 28.2% |
| Median Household Income | \$54,330 | \$64,880 | \$70,084 |
| Average Household Size | 2.49 | 2.76 | 2.99 |
| Average Family Size | 3.03 | 3.3 | 3.59 |
| Owner Occupancy Rate | 64.3% | 61.2% | 63.2% |
| Age Groups ⁴ | | | |
| Median Age | 38.6 | 37 | 39.6 |
| Population < 5 years of age | 6.9% | 6.4% | 5.3% |
| Population < 18 years of age | 28.0% | 24.6% | 20.8% |
| Population 18 - 64 years of age | 54.1% | 59.7% | 61.5% |
| Population > 65 years of age | 17.9% | 15.7% | 17.7% |

Sources:

*1: 2022 Portland State University Certified Population Estimates

*2: U.S. Census Bureau, 2010 Decennial Census.

*3: U.S. Census Bureau, 2000 Decennial Census.

*4: U.S. Census Bureau, 2021 American Community Survey 5-Year Estimates

Population

After incorporation in 1889 with a population of about 400 residents, Woodburn's population grew quickly to about 1,600 residents in 1910 as settlers moved to the area, before remaining stable through the first half of the 20th Century. Beginning in the 1940s, the Bracero Program brought thousands of Mexicans to the Willamette Valley to work on farms short of workers due to World War II. These Mexican workers, their families, and future migrants, made up the City's early Latino population. In the 1950s, members of the Molokans religious sect moved to the Woodburn area. They encouraged fellow Old Believers, who had also broken away from the Russian Orthodox Church, to immigrate to the area. These two groups helped the City's population more than double in the 1960s and formed the foundation for Woodburn's large present-day Latino and Russian-language communities.⁵

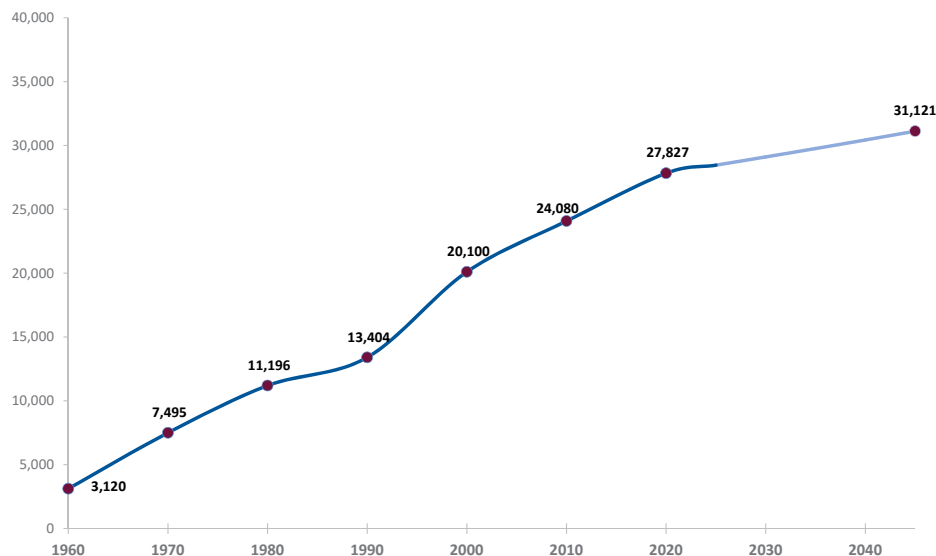
The development of Senior Estates, now Woodburn Estates, the largest community for adults over 55 in Oregon, brought approximately 2,500 retirees to the City between 1960 and 1980. In the decades since, Woodburn's population has continued to

grow approximately 4% annually. As of the 2022 State population forecast, the City's population was 26,468 residents.

Woodburn's urban growth boundary includes numerous agricultural and low-density residential lots that could be annexed into city limits, supporting future growth. The Portland State Population Research Center forecasts that Woodburn will grow slowly over the coming decades, at an average of about 1% per year, reaching approximately 31,121 residents by 2045.

The size of a community and its anticipated growth over time are key indicators of whether existing park and recreation facilities will be sufficient to meet future needs. Population growth can also result in increased residential density and/or the development of currently vacant land within a city, potentially increasing the need for away-from-home recreation opportunities, while simultaneously reducing potential locations for park and open space acquisition. Planning for parks and recreation facilities can help ensure residents can enjoy sufficient, conveniently located parks, open space, and recreation facilities, while the community grows and evolves.

Figure 2. Population Change – Actual and Projected: 1960 – 2045



**27% population
increase
(2000-2022)**



**36% households
with children**



**Increased diversity
(2000-2020)**

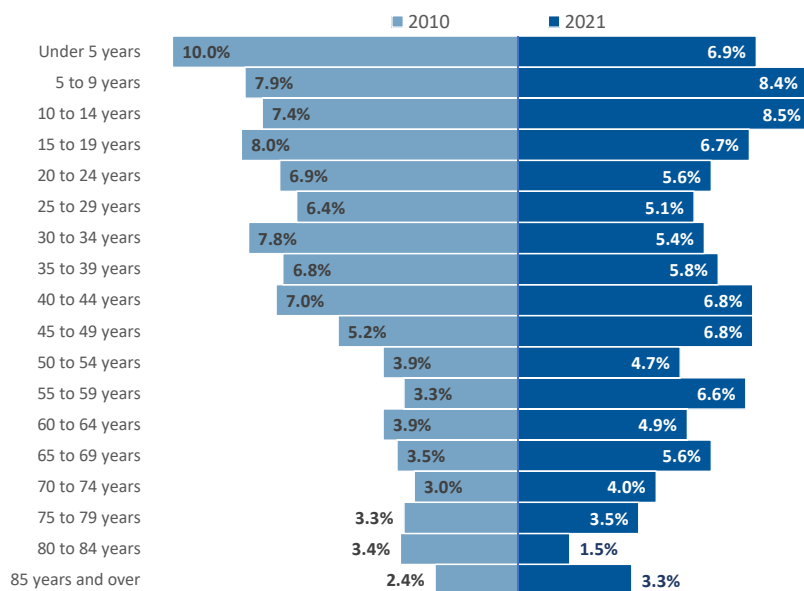


Age Group Distribution

Woodburn's population has a median age of 38.6 (2021), older than Marion County as a whole (37.0) but lower than the statewide average (39.6). Youth under 20 years of age make up the City's largest 20-year population group, comprising 31% of the overall population in 2021. This has important implications for park and recreation needs.

- Approximately 7% of Woodburn's population are youth under 5 years old. This group represents users of preschool and tot programs and facilities, and as trails and open space users, are often in strollers. These individuals are the future participants in youth activities.
- Children 5 to 14 years make up current youth program participants. Approximately 17% of the city's population falls into this age range.
- Teens and young adults, age 15 to 24 years, are in transition from youth program to adult programs and participate in teen/young adult programs where available. Members of this age group are often seasonal employment seekers. About 12% percent of the city's residents are teens and young adults.
- Adults ages 25 to 34 years are users of adult programs. About 11% of residents are in this age category, see Figure 2. These residents may be entering long-term relationships and establishing families. About 36% of households in the city are families with children.
- Adults between 35 and 54 years of age represent users of a wide range of adult programs and park facilities. Their characteristics extend from having children using preschool and youth programs to becoming empty nesters. This age group makes up 24% of Woodburn's population.
- Older adults, ages 55 years plus, make up 29% of Woodburn's population. This group represents users of adult and senior programs. These residents may be approaching retirement or already retired and may be spending time with grandchildren. This group also ranges from very healthy, active seniors to more physically inactive seniors.

Figure 3. Age Group Distributions: 2010 & 2021 ⁵



Sources

- ⁵ <https://www.oregonencyclopedia.org/articles/woodburn/> and <https://www.woodburn-or.gov/museum/page/woodburn-history>
- ⁶ U.S. Census Bureau, 2021.



Race & Ethnicity ⁵

Woodburn is a diverse community whose residents predominantly identify as White or Hispanic/Latino. In 2021, 62% of the population of Woodburn identified as White, 23% as some other race not listed on Census forms, 11% as two or more races, 1.5% as Asian or American Indian and Alaskan Native (each), and 1% as Black or African American. No residents identified as Native Hawaiian or other Pacific Islander. Over half (56%) of residents identify as Hispanic or Latino of any race, with most identifying as Mexican. While Woodburn's population has retained similar overall levels of diversity over the past decade, there has been an increase in the percentage of residents identifying as two or more races and a decline in those identifying as American Indian or Alaskan Native, see Figure 4.

Figure 4. Changes in Racial Composition - 2010 to 2021

| Racial Identification | 2010 ⁷ | 2021 ⁶ |
|--|-------------------|-------------------|
| White | 62.8% | 62.0% |
| Some other race | 28.1% | 23.2% |
| Two or more races | 2.3% | 11.3% |
| Asian | 1.2% | 1.4% |
| American Indian and Alaska Native | 5.3% | 1.4% |
| Black or African American | 0.3% | 0.8% |
| Native Hawaiian and Other Pacific Island | 0.0% | 0.0% |
| Hispanic or Latino (of any race) | 53.9% | 56.3% |

According to the 2021 American Community Survey, about 73% of Woodburn's residents were born in the United States, with about 26% born abroad. The vast majority of foreign-born residents (90%) have lived in the U.S. for at least a decade. Approximately 55% of residents speak a language other than English at home, and significantly, over 23% speak English less than very well. Most of these residents speak Spanish. The City should continue to provide information and programming in Spanish to ensure recreation is accessible to these residents.

People of color and residents who speak languages other than English may face barriers in accessing parks, recreation facilities, and activities. The City's planning for future park and recreational opportunities should prioritize inclusivity and consider how best to meet the diverse recreational needs of its growing and vibrant community. Inclusion will not only enhance social cohesion, but also enrich the community's overall well-being and quality of life.

Persons with Disabilities ⁶

The 2021 American Community Survey reported 15% of Woodburn's population (3,850 persons) have a disability that interferes with life activities. This is on par with county and state averages (14-15% each). Approximately 3% of youth under 18 years of age, 11% of adults 18 to 64, and 46% of residents over age 65 live with a disability, signaling a potential need to design inclusive parks, recreational facilities, and programs.

Planning, designing, and operating a park system that facilitates participation by residents of all abilities will help ensure compliance with Title II of the Americans with Disabilities Act (ADA). In addition to ADA, there are other accommodations that people with disabilities may need to access parks and participate in recreation programs. Woodburn should consider community needs for inclusive and accessible parks, recreational facilities, programs, marketing, and communications.

Household Characteristics ⁶

In 2019, the average household in Woodburn was 2.99 people, higher than the state (2.49) and county (2.76) average. The average family is larger, at 3.59 people. Of the 8,605 households in the City, 36% were families with children under 18, and 26% were individuals living alone.

Most Woodburn households own their home (64%), on par with the average throughout Marion County (61.2%), while 36% rent. This ratio is indicative of the mix of housing stock in the city, which includes both single-family homes and multiple apartment complexes.

Employment & Education ⁶

The 2021 work force population (16 years and over) of Woodburn is 19,314 (75%). Of this population, 56% percent is employed, 3% is unemployed, and 41% is not in the labor force. Residents work in a wide variety of industries - about 22% of employed residents work in manufacturing, while 16% work in the education and health care industry and 12% work in retail trade. Several other industries - professional and management services, construction, and agricultural and forestry sectors - each employ between 7 and 10 percent of workers and contribute significantly to the local economy.

The majority (70%) of Woodburn residents over 25 years of age have a high school degree or higher, significantly lower than the statewide average

(92%). About 16% of city residents have a Bachelor's degree or higher, lower than statewide rates (35%).

Higher levels of employment and educational attainment positively correlate with both the income and health status of a community – both of which have further impacts on the use and need for park and recreation facilities, as described in the next two sections.

Income & Poverty ⁶

A community's level of household income can impact the types of recreational services prioritized by community members as well as their ability to pay for recreational services. In 2021, the median household income in Woodburn was \$54,330. This income level was about \$10,500 (19%) lower than the median income for Marion County households.

Higher income households typically have an increased capacity to pay for recreation and leisure services and often face fewer barriers to participation. Approximately 21% of Woodburn households have household incomes in the higher income brackets (\$100,000 and greater), lower than the county average (29%).

Lower-income residents may face barriers to physical activity, including reduced access to parks and recreational facilities, a lack of transportation options, a lack of time, and poor health. Low-income residents may also be less financially able to afford recreational service fees or to pay for services, such as childcare, that can make physical activity possible. In Woodburn, 19% of households earn less than \$25,000 annually, and 9% of local families live below the poverty level (\$26,500 for a family of four), slightly higher than county rates. Poverty affects 19% of youth under 18 and 14% of adults.

Health Status

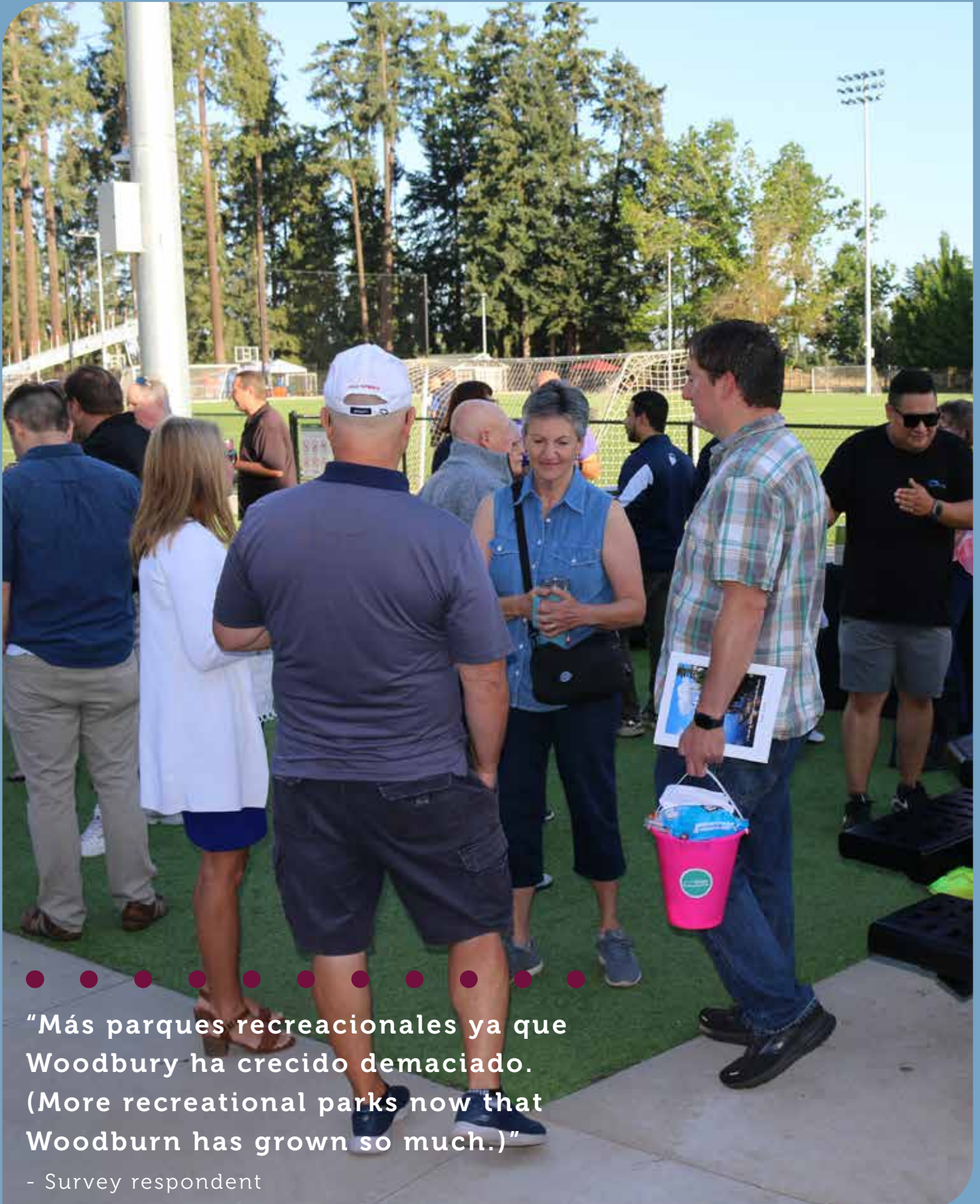
The overall health of a community's residents can impact their ability to participate in recreation and other physical activity and may also reflect, in part, the locality's level of access to appropriate and convenient green spaces, recreation opportunities, and active transportation facilities.

Information on the health of Woodburn's residents is not readily available. However, according to the 2022 County Health Rankings, Marion County ranks in the higher-middle range compared to all Oregon counties for health outcomes, including length and quality of life, and the low-middle quartile for health factors like health behaviors, clinical care, social and economic factors, and the physical environment.⁸

In Marion County, 81% of residents have access to adequate physical activity opportunities, which is also on par with the average for all Oregon residents (80%). This suggests that the County has a reasonable number of places where residents can participate in physical activity, including parks, trails, and public or private community centers, gyms, or other recreational facilities. Approximately 37% of Marion County adults are overweight or obese, higher than the average among all Oregon adults (29%). Also, 29% of Marion County adults aged 20 and older report getting no leisure-time physical activity – a rate similar to the statewide average of 24% and the nationwide average of 26%.

Sources

- ⁶ U.S. Census Bureau, 2021.
- ⁷ U.S. Census Bureau, 2010 American Community Survey, 5-year estimates.
- ⁸ Data on the health status of Marion County and Oregon State residents taken from: University of Wisconsin Population Health Institute. "Oregon Rankings Data". County Health Rankings. Available at <https://www.countyhealthrankings.org/app/oregon/2022/rankings/marion/county/outcomes/overall/snapshot>. Accessed January 2023.



“Más parques recreacionales ya que Woodbury ha crecido demasiado. (More recreational parks now that Woodburn has grown so much.)”

- Survey respondent

Chapter 3

COMMUNITY ENGAGEMENT

COMMUNITY ENGAGEMENT PLAYED AN ESSENTIAL ROLE IN DEVELOPING THE 2024 PARKS AND RECREATION PLAN UPDATE.

Several outreach methods were used to connect with the community, seek their input and provide information about the Plan through convenient online and in-person activities. Public outreach methods were varied and extensive, including:

- Random-sample mail survey and online community-wide survey in English, Spanish and Russian
- One hybrid in-person/virtual public meeting
- One online open house
- Stakeholder group discussions
- Tabling and outreach at multiple community events
- Meetings with Recreation and Parks Board and City Council
- Woodburn city website with plan information and feedback opportunities
- Multiple social media postings, email notifications, and city newsletter articles

Community Survey

A community-wide, online survey was conducted to assess the recreational needs and priorities of Woodburn residents. The survey was available in English and Spanish, and the cover letter accompanying the printed mail survey was written in both languages and included unique QR codes to access each in-language survey online. The City mailed 2,500 surveys to randomly chosen households in Woodburn on March 16, 2023, of which 262 surveys were completed and returned (10.5% response rate, 5% margin of error). Online versions of the survey in English, Spanish and Russian were posted to the City's website on March 27th. An additional 256 surveys were completed from the general, community-wide online surveys. In all, 518 surveys were collected, which includes 44 Spanish surveys.



OVER 700 PARTICIPANTS PROVIDED FEEDBACK

The PRMP update utilized a range of methods to engage with and listen to the Woodburn community



Information about the survey was promoted through several channels, including on the City's website, through multiple social media postings, and through direct outreach to partner organizations and recreation program participants. The survey was closed on June 3, 2023.

The survey measured current levels of satisfaction and which facilities were primarily being used by residents. Residents were asked about future improvements and the types of recreational amenities they would like to see considered for the park system. Survey respondents were asked about:

- Performance and quality of programs and parks;
- Usage of city parks and recreation facilities;
- Overall satisfaction with the value of services being delivered by the city;
- Opinions about the need for various park, recreation, and trail improvements; and
- Priorities for future park and recreation services and facilities.

Survey findings are highlighted below, and a more detailed discussion of results can be found in the needs assessment chapters covering parks and open space, recreation, and trails (Chapters 5 - 7).

Major Survey Findings:

- **Livability:** Nearly all respondents (96%) feel that public parks and recreation opportunities are important or essential to the quality of life on Woodburn.
- **Usage:** Park visitation is high, with 72% of respondents visiting parks or recreation facilities at least once a month. Respondents visit local parks and recreation facilities for a variety of reasons, but the most popular reason is to walk or run (69%). More than one in three respondents visit to use a playground (44%), walk a dog (42%), for fitness or exercise (40%), to relax (39%), or to attend community events or concerts (36%).
- **Park Upgrades:** When asked to prioritize potential improvements, community members ranked improving and upgrading existing parks as their top priority. In other questions, they called for additional walking trails, picnic areas, playgrounds, and sport courts. In open-ended responses, community members also asked for additional amenities like covered basketball courts, pickleball courts, disc golf courses, skateparks, and picnic areas.
- **Walking Trails:** The community seeks an expansion of walking trails and the establishment of bike paths, emphasizing the importance of connectivity between parks. Residents also specifically requested better lighting along trails, wheelchair-friendly paths, and pet-friendly trails.



EXPAND WALKING TRAILS

91% Support & Top Priority

PROVIDE OUTDOOR SPLASHPAD

82% Support



UPGRADED & ADDITIONAL PLAYGROUNDS

80% Support

ADD PICNIC SHELTERS

86% Support



PROVIDE OUTDOOR AMPHITHEATER

81% Support

PROVIDE OFF-LEASH DOG PARK

66% Support



- **Park Maintenance and Safety:** Community members cited maintenance and safety concerns as top reasons why they do not visit more often, and written comments expressed a desire for improved maintenance and safety in existing parks. They advocated for additional cleaning and trash removal in parks, repairs to broken equipment, and increased lighting and enforcement of park rules.

The complete survey summary is provided in Appendix A.



Dual In-Person & Virtual Public Meeting

On May 31, 2023, the City hosted an in-person public meeting from 7:00 - 8:30 p.m. at the Woodburn City Hall. The project team prepared a presentation and informational displays covering the major themes of the Parks Master Plan. These displays included Project Overview, Survey Highlights, Parks & Outdoor Recreation, and Investing in the Future. The meeting was conducted as a hybrid (online & in-person) event and in English and Spanish. Attendees were encouraged to talk to project team members and record their comments. City staff and project team staff engaged with participants to identify general needs and interests for park and recreation in Woodburn. Approximately 12 people attended the meeting to review materials and provide comment. A summary of comments for the first online open house is provided in Appendix B.

Online Open House

The City hosted a second public forum as an online open house to allow community members to participate at their convenience. On September 15, 2023, the City published an online open house in English and Spanish that was open through October 1, 2023. The online open house provided residents an opportunity to respond to a series of questions about Woodburn's recreational opportunities and solicit input about which park and recreation amenities, services and facilities are important to them. The online open house was promoted in multiple languages via social media

posts, email blasts, radio announcements and public meeting announcements. In all, 170 responses were collected.

Online Open House Highlights:

- The majority want to see improved maintenance of existing facilities and parks.
- Building a community center and renovating Settlemier Park and upgrading playgrounds were the top two investment priorities.
- Most people were in favor of building a citywide trail loop, as well as building more trails in natural areas.
- Participants would like to see the following trail amenities installed: trailhead restrooms, benches along trails, and drinking fountains or water bottle filling stations.
- The majority are interested in more program offerings, in general. This included interest in more medium- or large-sized city events, more swim lesson offerings, and more affordable sports programs.

A summary of responses to the second online open house is provided in Appendix C.

Community Event Tabling

City staff, Recreation and Parks Board members and project team members conducted a series of tabling activities at community events and festivals. Tabling occurred between July and September to build awareness of the Plan and solicit input on park and recreation program enhancements. Tabling activities were held at Fiesta Mexicana and Music in the Park events.

Stakeholder Discussions

In-person and online group discussions with external stakeholder were conducted to more broadly assess local needs and opportunities for partnership, coordination and communication. Stakeholders were identified by City staff based on their past coordination their involvement or interest in the future of recreation, park, and sport or trail facilities. Group discussions were held with participants from the Farmworker Housing Development Corporation, an English class for Spanish speakers at Chemeketa Community College, and a mix of local residents with various park and recreation interests.

Many recommended development of a community center, additional sport fields and courts, splash pad, trails and playground upgrades. Other comments included interest in improved restrooms at parks, enhanced maintenance and additional parkland, in general. Specific recommendations are incorporated in the needs assessment sections (Chapters 5 – 7), and a full summary is provided in Appendix D.

Recreation and Parks Board Meetings

The Recreation and Parks Board provided feedback on the development of the PRMP during three regularly scheduled public sessions during 2023. The first session occurred on February 14th, shortly after the planning project was initiated. The Board discussed the update and provided their perspectives on a vision for the system, specific challenges, opportunities and ideas about parks, trails and programs. Subsequent sessions were used to review public feedback and solicit direction from the Board on priorities and recommendations for the new Parks and Recreation Master Plan.

Other Outreach

In addition to the direct outreach opportunities described above, the Woodburn community was informed about the planning process through a variety of media platforms. The following methods were used to share information about the project and provide opportunities to participate and offer their comments:

- City website home page
- Parks and Recreation Master Plan project page
- Email outreach through the City's distribution list and through partner organizations
- Social media via Facebook
- Announcements at Council and Recreation and Parks Board public meetings



¡Acompáñenos virtualmente!
¿No puede asistir en persona?
¡Ningún problema, puede unirse en línea!

¡Vamos a ponerle más diversión a Woodburn! Asista al Open House de la Ciudad para planificar los espacios de recreación.

Miércoles, 31 de mayo, a las 7 p.m.

Woodburn City Hall
270 Montgomery St.
Woodburn, OR 97071

¡Participe y corra la voz!

WOODBURN
INCORPORATED 1884



BENEFITS OF PARKS, RECREATION & OPEN SPACE

A number of organizations and non-profits have documented the overall health and wellness benefits provided by parks, open space and trails. The Trust for Public Land published a report called *The Benefits of Parks: Why America Needs More City Parks and Open Space*. This report makes the following observations about the health, economic, environmental and social benefits of parks and open space:

- Physical activity increases with access to parks.
- Contact with the natural world improves physical and physiological health.
- Value is added to community and economic development sustainability.
- Benefits of tourism are enhanced.
- Trees are effective in improving air quality and assisting with stormwater control.



Physical Activity Benefits

Residents in communities with increased access to parks, recreation, natural areas and trails have more opportunities for physical activity, both through recreation and active transportation. By participating in physical activity, residents can reduce their risk of being or becoming overweight or obese, decrease their likelihood of suffering from chronic diseases, such as heart disease and type-2 diabetes, and improve their levels of stress and anxiety. Nearby access to parks has been shown to increase levels of physical activity. According to studies cited in a 2010 report by the National Park and Recreation Association, the majority of people of all ages who visit parks are physically active during their visit. Also, the Centers for Disease Control and Prevention (CDC) reports that greater access to parks leads to 25% more people exercising three or more days per week.



Community Benefits

Park and recreation facilities provide opportunities to engage with family, friends, and neighbors, thereby increasing social capital and community cohesion, which can improve residents' mental health and overall well-being. People who feel that they are connected to their community and those who participate in recreational, community and other activities are more likely to have better mental and physical health and to live longer lives. Access to parks and recreational facilities has also been linked to reductions in crime, particularly juvenile delinquency.



Economic Benefits

Parks and recreation facilities can bring positive economic impacts through increased property values, increased attractiveness for businesses and workers (quality of life), and through direct increases in employment opportunities.

In Oregon, outdoor recreation generates \$6.5 billion in consumer spending, creates 73,400 direct jobs and results in \$3.6 billion in outdoor recreation wages. According to the 2021 Outdoor Recreation Satellite Account published by the Outdoor Industry Association, outdoor recreation can grow jobs and drive the economy through management and investment in parks, waters and trails as an interconnected system designed to sustain economic dividends for citizens.



Chapter 4

CLASSIFICATIONS & INVENTORY

THIS CHAPTER DESCRIBES THE PARK CLASSIFICATION SYSTEM AND PROVIDES AN OVERVIEW OF THE PARKS AND OPEN SPACES IN WOODBURN.

Classifications

Parkland is classified to assist in planning for the community's recreational needs. The classifications also reflect standards that inform development decisions during site planning, in addition to operations and maintenance expectations for the level of developed facilities or natural lands. The Woodburn park system is composed of a hierarchy of various park types, each offering recreational opportunities and natural environmental functions. Collectively, the park system is intended to serve the full range of community needs.

Classifying parkland by function allows the City to evaluate its needs and to plan for an efficient, cost effective, and usable park system that minimizes conflicts between park users and adjacent uses. Several factors are considered when classifying parks:

- Specific needs in neighborhood, service area, or community;
- Suitability of a site for a particular use;

- Cost and effort of development;
- Possibility for public-private partnerships; and
- Operating and maintenance costs.

Each park classification defines the site's function, expected amenities, and recreational uses. The classification characteristics serve as general guidelines addressing the size and use of each park type. The following six classifications are used in Woodburn's park system:

- Community Parks
- Neighborhood Parks
- Pocket Parks
- Open Space
- Trails / Linear Parks
- Special Use Facilities

COMMUNITY PARKS



Community parks are larger parks, typically between six and 30 acres, providing a wide variety of recreation opportunities that appeal to the entire community. Typically, these sites are designed for active and passive recreation, supported by facilities such as sport fields, outdoor courts, skate parks and recreation centers. Athletic fields may be natural, synthetic turf, or a combination of surfaces, with or without field lighting. Community parks can accommodate large numbers of people and offer a wider variety of facilities than neighborhood parks, such as skate parks, volleyball, tennis courts, performance stages, dog parks and group picnic areas. These parks also may include significant natural areas and trails. For this reason, community parks require support facilities such as restrooms, parking lots and maintenance facilities. Community parks can also serve as local neighborhood parks for their immediate areas, and they may be connected to schools or other community facilities.

Typical Amenities

Passive Recreation

- ☑ Seating
- ☑ Casual Use Spaces
- ☑ Internal Walking Trails
- ☑ Water Access
- ☑ Community Gardens
- ☑ Unique Landscape Features
- ☑ Natural Spaces

Active Recreation

- ☑ Creative Play Attractions
- ☑ Playgrounds
- ☑ Biking Trails
- ☑ Outdoor Fitness / Exercise Facilities
- ☑ Rectangular Fields
- ☑ Diamond Fields
- ☑ Basketball Courts
- ☑ Tennis / Pickleball Courts
- ☑ Volleyball Courts
- ☑ Water Play

Facilities

- ☑ Individual Picnic / Sitting Areas
- ☑ Group Picnic Areas
- ☑ Park Shelters
- ☑ Skateparks / Bike Skills
- ☑ Splash Pads / Spray Parks
- ☑ Outdoor Event Spaces
- ☑ Off-leash Areas
- ☑ Restrooms
- ☑ Parking

Size

- 6 to 30 acres

Service Area

- 2-mile travelshed

Existing Facilities

- Centennial Park
- Legion Park
- Settlemier Park

NEIGHBORHOOD PARKS



A neighborhood park is typically 0.5 to 5 acres in size, depending on a variety of factors including neighborhood need, physical location, and opportunity. Neighborhood parks are intended to serve residential areas within close proximity (up to ½-mile walking or biking distance) of the park and should be geographically distributed throughout the community. Topography and population density can influence the location of a neighborhood park. Access to neighborhood parks is mostly pedestrian, and park sites should be located such that people living within the service area can reach the park safely and conveniently. Connecting and frontage streets should include sidewalks or other safe pedestrian access. Neighborhood parks should be located along road frontages to improve visual access and community awareness of the sites. Additionally, street plans should encourage maximum connectivity and public access to park sites. These parks can offer both active and passive recreation on a limited scale, but they are used primarily for unstructured recreational activities. Amenities may include playgrounds, picnic areas, small facilities for active recreation, open lawn areas, and gathering spaces. Support facilities may include restrooms and off-street parking.

Size

- 0.5 to 5 acres

Service Area

- ½-mile travelshed

Existing Facilities

- Burlingham Park
- Hermanson Park North
- Nelson Park
- North Front St Park
- Senior Estates Park
- Wyffels Park

Future Facilities

- Boones Crossing (undeveloped)
- Dove Landing (undeveloped)

Typical Amenities

Passive Recreation

- ☒ Seating
- ☒ Casual Use Spaces
- ☒ Internal Walking Trails
- ☐ Water Access
- ☒ Community Gardens
- ☒ Unique Landscape Features
- ☒ Natural Spaces

Active Recreation

- ☒ Creative Play Attractions
- ☒ Playgrounds
- ☐ Biking Trails
- ☒ Outdoor Fitness / Exercise Facilities
- ☐ Rectangular Fields
- ☐ Diamond Fields
- ☒ Basketball Courts
- ☒ Tennis / Pickleball Courts
- ☒ Volleyball Courts
- ☒ Water Play

Facilities

- ☒ Individual Picnic / Sitting Areas
- ☒ Group Picnic Areas
- ☒ Park Shelters
- ☒ Skateparks / Bike Skills
- ☒ Splash Pads / Spray Parks
- ☐ Outdoor Event Spaces
- ☒ Off-leash Areas
- ☒ Restrooms
- ☐ Parking

POCKET / MINI PARKS



These are small parks that provide a single purpose such as a garden, historic marker, resting places, benches or civic recognition. These parks are typically located on small parcels and provide passive or limited active recreation opportunities. They are generally less than 0.5 acres in size and provide modest recreational amenity to residents within a ¼-mile walking distance. Development of these types of park spaces will depend on the values of the community and available opportunities to preserve special spaces. No specific numerical development standard is established as this type of park space often comes about as the result of special circumstances (such as a personal dedication of land) that may not lend themselves for advanced planning.

Typical Amenities

Passive Recreation

- ☒ Seating
- ☒ Casual Use Spaces
- ☐ Internal Walking Trails
- ☐ Water Access
- ☒ Community Gardens
- ☒ Unique Landscape Features
- ☐ Natural Spaces

Active Recreation

- ☒ Creative Play Attractions
- ☒ Playgrounds
- ☐ Biking Trails
- ☒ Outdoor Fitness / Exercise Facilities
- ☐ Rectangular Fields
- ☐ Diamond Fields
- ☒ Basketball Courts
- ☒ Tennis / Pickleball Courts
- ☒ Volleyball Courts
- ☐ Water Play

Size

- < 0.5 acres

Service Area

- ¼-mile travelshed

Existing Facilities

- Alvah Cowan Park
- Dahlia Plaza Pocket Park
- Downtown Plaza Park
- Hazel Smith Plaza
- Heritage Park
- Library Square
-

Future Facilities

- Killian's Well Park (undeveloped)

Facilities

- ☒ Individual Picnic / Sitting Areas
- ☐ Group Picnic Areas
- ☒ Park Shelters
- ☐ Skateparks / Bike Skills
- ☐ Splash Pads / Spray Parks
- ☐ Outdoor Event Spaces
- ☐ Off-leash Areas
- ☐ Restrooms
- ☐ Parking

OPEN SPACE



Open spaces are undeveloped lands primarily left in a natural state and typically places that are geographically or geologically unique, with passive recreation use as a secondary objective. Open spaces can provide for connected or linked corridors that can support broader ecological functions than standalone properties. Open spaces can be individual or isolated tracts of open space or connected to a larger natural area network. Open spaces may serve as trail corridors, and low-impact or passive activities, such as walking and nature observation may be allowed, where appropriate. No standards exist or are proposed for open spaces as they are often dependent on characteristics of the natural resources within the City.

Size

- Unique to each site

Service Area

- N/A

Existing Facilities

- Hermanson Pond
- Senecal Creek Park

Typical Amenities

Passive Recreation

- ☒ Seating
- ☒ Casual Use Spaces
- ☒ Internal Walking Trails
- ☒ Water Access
- ☐ Community Gardens
- ☒ Unique Landscape Features
- ☒ Natural Spaces

Active Recreation

- ☐ Creative Play Attractions
- ☐ Playgrounds
- ☒ Biking Trails
- ☐ Outdoor Fitness / Exercise Facilities
- ☐ Rectangular Fields
- ☐ Diamond Fields
- ☐ Basketball Courts
- ☐ Tennis / Pickleball Courts
- ☐ Volleyball Courts
- ☐ Water Play

Facilities

- ☒ Individual Picnic / Sitting Areas
- ☐ Group Picnic Areas
- ☒ Park Shelters
- ☐ Skateparks / Bike Skills
- ☐ Splash Pads / Spray Parks
- ☐ Outdoor Event Spaces
- ☐ Off-leash Areas
- ☐ Restrooms
- ☐ Parking

TRAILS / LINEAR PARKS



The purpose of trails/linear parks is to provide safe and readily accessible connections between neighborhoods, City parks, and centers of local importance to encourage walking, jogging, bicycling, and other forms of non-motorized recreational travel. Trail development may coincide with the installation of sidewalks in some locations where there is a logical connection between activity centers or there is a need to place pedestrian walkways adjacent to City streets. Trails/linear parks help people of all ages incorporate exercise into their daily routines by connecting them with places they want or need to go. The Mill Creek Greenway has some segments completed and will eventually provide a complete north-south connection through Woodburn – linking multiple City parks.

Size

- Unique to each site

Service Area

- N/A

Existing Facilities

- Hermanson Park Middle
- Hermanson Park South
- Mill Creek Greenway

Future Facilities

- Madame Dorion Trail

Typical Amenities

Passive Recreation

- ☒ Seating
- ☐ Casual Use Spaces
- ☒ Internal Walking Trails
- ☒ Water Access
- ☐ Community Gardens
- ☒ Unique Landscape Features
- ☒ Natural Spaces

Active Recreation

- ☒ Creative Play Attractions
- ☐ Playgrounds
- ☒ Biking Trails
- ☒ Outdoor Fitness / Exercise Facilities
- ☐ Rectangular Fields
- ☐ Diamond Fields
- ☐ Basketball Courts
- ☐ Tennis / Pickleball Courts
- ☐ Volleyball Courts
- ☐ Water Play

Facilities

- ☒ Individual Picnic / Sitting Areas
- ☐ Group Picnic Areas
- ☐ Park Shelters
- ☐ Skateparks / Bike Skills
- ☐ Splash Pads / Spray Parks
- ☐ Outdoor Event Spaces
- ☐ Off-leash Areas
- ☒ Restrooms
- ☒ Parking

SPECIAL USE FACILITIES



Special use areas are sites that are occupied by a specialized facility or that fulfill a specialized purpose. Some uses that fall into this park type include recreation or aquatic centers, plazas, historic sites, botanical gardens, community gardens, single purpose sites used for a particular field sport, or other sites that offer indoor recreation opportunities.

Typical Amenities

Passive Recreation

- ☒ Seating
- ☒ Casual Use Spaces
- ☒ Internal Walking Trails
- ☐ Water Access
- ☒ Community Gardens
- ☒ Unique Landscape Features
- ☒ Natural Spaces

Active Recreation

- ☐ Creative Play Attractions
- ☐ Playgrounds
- ☐ Biking Trails
- ☐ Outdoor Fitness / Exercise Facilities
- ☐ Rectangular Fields
- ☐ Diamond Fields
- ☐ Basketball Courts
- ☐ Tennis / Pickleball Courts
- ☐ Volleyball Courts
- ☐ Water Play

Facilities

- ☒ Individual Picnic / Sitting Areas
- ☐ Group Picnic Areas
- ☐ Park Shelters
- ☐ Skateparks / Bike Skills
- ☐ Splash Pads / Spray Parks
- ☐ Outdoor Event Spaces
- ☐ Off-leash Areas
- ☐ Restrooms
- ☐ Parking

Size

- Unique to each site

Service Area

- N/A

Existing Facilities

- Bungalow Theatre
- Frank Scheer Locomotive Park
- Woodburn Aquatic Center
- Woodburn Museum

Future Facilities

- Future Community Center

Park & Open Space Inventory

The park and open space inventory identifies the recreational assets within Woodburn. The City provides 135 acres of public parkland and recreation facilities distributed among 25 parks and natural areas.

Figure 5. Woodburn Park System Inventory

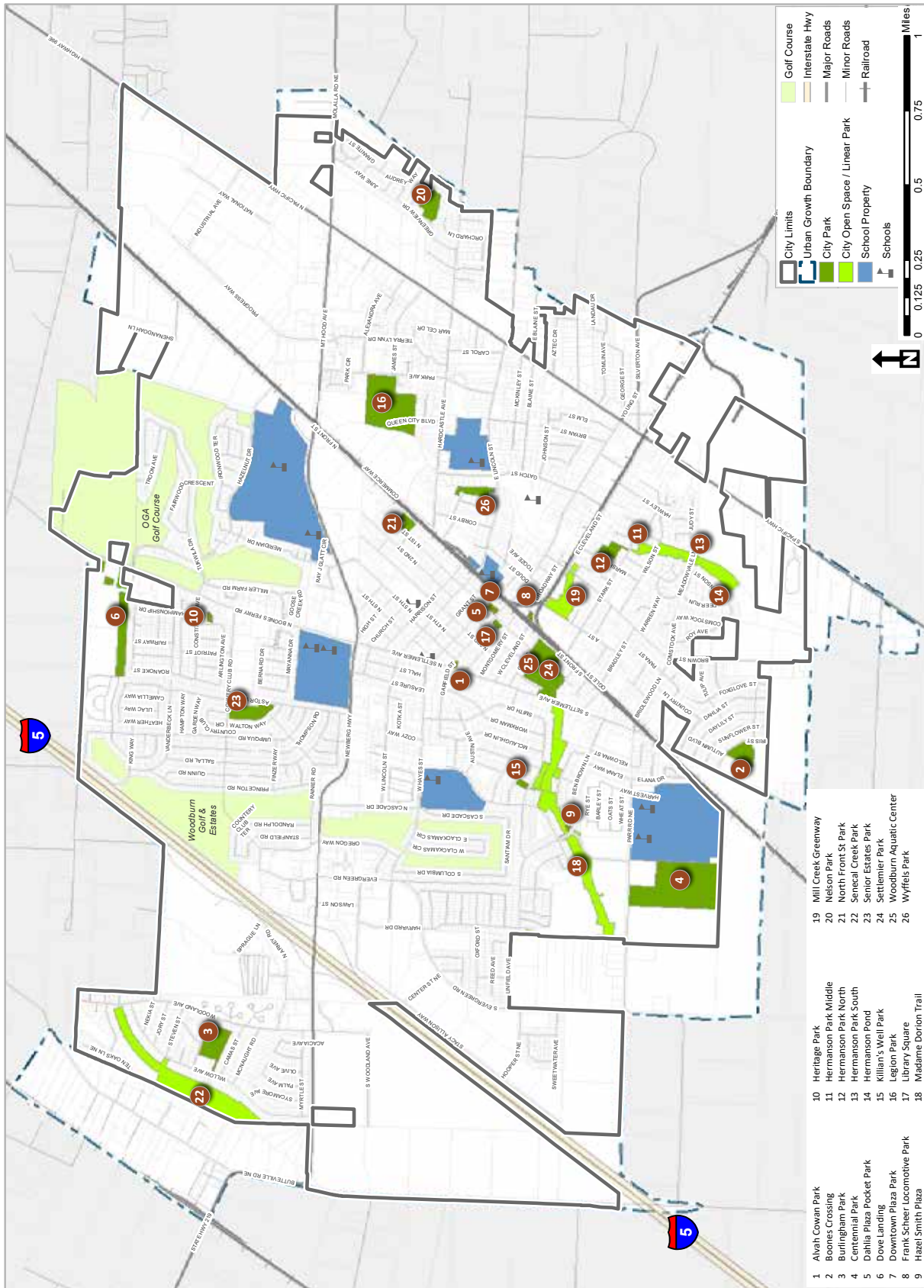
| Park Type / Name | Classification | Status | Acreage |
|--------------------------------------|----------------|-------------|--------------|
| Community Parks | | | |
| Centennial Park | Community | | 24.8 |
| Legion Park | Community | | 16.2 |
| Settlemer Park | Community | | 10.0 |
| Neighborhood Parks | | | |
| Boones Crossing | Neighborhood | Undeveloped | 3.0 |
| Burlingham Park | Neighborhood | | 5.4 |
| Dove Landing | Neighborhood | Undeveloped | 8.0 |
| Hermanson Park North | Neighborhood | | 1.7 |
| Killian's Well Park | Neighborhood | Undeveloped | 0.5 |
| Nelson Park | Neighborhood | | 3.2 |
| North Front St Park | Neighborhood | | 1.1 |
| Senior Estates Park | Neighborhood | | 4.0 |
| Wyffels Park | Neighborhood | | 2.3 |
| Pocket/Mini Parks | | | |
| Alvah Cowan Park | Pocket | | 0.2 |
| Dahlia Plaza Pocket Park | Pocket | | 0.05 |
| Downtown Plaza Park | Pocket | | 0.5 |
| Hazel Smith Plaza | Pocket | | 1.4 |
| Heritage Park | Pocket | | 0.3 |
| Library Square | Pocket | | 0.3 |
| Special Use Facility | | | |
| Frank Scheer Locomotive Park | Special Use | | 0.3 |
| Woodburn Aquatic Center* | Special Use | | |
| Woodburn Museum / Bungalow Theatre** | Special Use | | |
| Trail/Linear Park | | | |
| Hermanson Park Middle | Linear Park | | 1.2 |
| Hermanson Park South | Linear Park | | 3.0 |
| Madame Dorion Trail | Linear Park | | 13.2 |
| Mill Creek Greenway | Linear Park | | 10.6 |
| Open Space | | | |
| Hermanson Pond | Open Space | | 3.8 |
| Senecal Creek Park | Open Space | | 20.0 |
| Total City-Owned Park Acres | | | 135.0 |

* Note: acreage included as part of Settlemer Park

** Note: no outdoor recreation area provided

The following map shows the location of existing parks and open space within the City.

The following sections provide an overview of other nearby recreational opportunities and site-specific inventory information and recommendations for public parklands managed by City of Woodburn.



City-owned Facilities

Woodburn Aquatic Center

The Aquatic Center currently is the only permanent indoor recreation space in Woodburn. Its amenities include a 25 meter x 25 yard lap pool, a wading pool, water slide, rope swing and warm water therapy pool. In addition, there is a fitness room, spa and saunas. The Center offers lifeguard certification classes, swim lessons and runs an entry level swim team. Swim team participation includes coaching on proper swim strokes and options to compete in swim meets. Settlemier Park adjoins the Aquatic Center and the future expansion of a Community Center.

Woodburn Museum & Bungalow Theatre

The Woodburn Museum was founded in 1986 by Woodburn Citizens. Since then the City and Community partners have renovated the Museum and the Bungalow Theatre in a space for history and community gathering reopening in January of 2023.

Settlemier Teen Center (Boys & Girls Club)

The Boys & Girls Club of Woodburn operates the Teen Center located at Settlemier Park. Programs for youth and teens in experiential learning are designed to empower young people's capacity for healthy and successful growth and development. The continuum of services target teenagers in the Woodburn Teen Center, renovated in 2014. The center features free meals, computers and daily activities and is open Monday through Friday from 2-6pm during the school year. Woodburn's programs focus on opportunities for teenagers grades 6-12 to encourage academic success, citizen and character development, and healthy lifestyles.

Non-City Recreation

Woodburn School District

The Woodburn School District comprises one high school, one alternative school, two middle schools and four elementary schools. Spring athletics include baseball, golf, softball, tennis and track. Winter sports programming includes basketball, cheer and wrestling. Fall sports involve cheer, cross country, football, soccer and volleyball. Outdoor sports are supported by the high school football and track facility, one baseball field, one softball fields and two

multi-use sports fields. Four tennis courts and two futsal courts are also on the high school campus. The OGA golf Course is near the high school campus providing support for the spring golf season. The Valor Middle School has a multi-use sport field suitable for football and soccer. The French Prairie Middle School has a multi-use sport field that can support three youth soccer fields. The four public elementary schools in Woodburn have playgrounds, but like the sports fields, these outdoor recreation facilities are not open to the general public during school hours.

Woodburn Family YMCA

The Woodburn Family YMCA, located in the Woodburn Aquatic Center, is part of the Family YMCA of Marion and Polk Counties. Youth sport programs include soccer, volleyball, flag football, basketball and t-ball. Adult sports of kickball and basketball may be available seasonally. Other youth sports programming for gymnastics, cheerleading and cross country may be available within the YMCA outside of Woodburn but within the group of Marion & Polk County's Family YMCA facilities. The Woodburn YMCA collaborates with the City of Woodburn Recreation and Parks Department to provide a robust slate of programming for the Woodburn community.

Other

- The Oregon Golf Association (OGA) Golf Course is one of six amateur golf associations across the country that operates a for-profit public golf course. The 18-hole course encourages the development of the next generation of golfers and offers player development programs throughout the year. The OGA offers lessons, junior golf programs and ladies clinics and hosts a variety of events and tournaments.
- The Senior Estates Golf and Country Club (aka Woodburn Estates & Golf) is affiliated with the 55+ retirement community. This is a private, 18-hole course with a clubhouse with an auditorium, swimming pool, restaurant, billiards room, fitness center and crafts room. The Club offers a variety of social events and activities to its residents.
- The Woodburn Golf Club, a nine-hole golf course, is located outside city limits, west of Senecal Creek and north of Highway 219.
- Woodburn Dragstrip is a ¼-mile National Hot Rod Association dragstrip that hosts annual event on the NHRA Lucas Oil Series. Race track is located about 2 miles west of Woodburn on Highway 219.
- Jesse H. Settlemier House Museum is located on Settlemier Avenue.



Alvah Cowan Park

Alvah Cowan Park is located on the corner of Settlemier Avenue and Garfield Street and was originally adopted by the Settlemier Knott Garden Society. The Society initiated a beautification project in summer 2013 that spruced up the flower beds and added new perennials and flowers. This spring, the diseased roses were replaced, boxwood hedges were planted, and invasive ivy was removed from the Park's trees during an Earth Day event.

The Park was named by a Council Resolution in 1984, recognizing Mr. Cowan's accomplishments and years of service to the community, particularly in the area of recreation and parks. The park's original name was Triangle Park, which, along with Settlemier Park, was one of Woodburn's first two parks.

Design Opportunities

- Site has no ADA accessibility. A paved pathway system could be added to create universal access and help define the garden beds and accentuate the parterre layout.

Management Considerations

- None noted.

Pocket Park

0.2 acres

Amenities

- Bench
- Grass pathways
- Park identification sign
- Planting beds: Boxwood parterre & rose garden
- Shade trees
- Trash receptacle

Neighborhood Park

5.4 acres

Amenities

- Basketball court
- Climbing rockwall
- Lighting
- Mutt Mitt dispenser
- On-street parking
- Open grass field (soccer uses)
- Park identification & rules sign
- Picnic tables
- Playground structure
- Portable toilet
- Shade trees
- Swing set (2 tot & 2 strap)
- Trash receptacles



Burlingham Park

Burlingham Park is located at 3350 Linda Street in West Woodburn. The park has a playground, basketball court, and large play field.

Design Opportunities

- No formal access from Willow Avenue. A side entry could be added with a paved pathway that connects to a perimeter paved loop path connecting to site's amenities.
- Currently, there are no ADA accessible routes to park features. More recreation amenities could be added to the park and a perimeter paved pathway could link to all park areas.
- Consider adding a permanent restroom with small picnic shelter to support longer visits (and soccer uses).

Management Considerations

- Remnant concrete pad in eastern section of wooded area could be removed and additional rec amenities added to the park (further from edge of property).
- As non-native ornamental trees die-off, replace with native Pacific Northwest canopy trees.



Centennial Park

Centennial Park is Woodburn's largest park and includes 4 baseball fields, 2 full soccer fields, a playground, workout stations, a picnic shelter and splash pad. This park is also home to Woodburn's largest dog park.

Centennial Park has many amenities that make it great, but it is also a wonderful gathering place for community events. Each year, Woodburn's Fourth of July Celebration takes place at Centennial Park bringing in food vendors, live music, fireworks and fun to the whole community.

Design Opportunities

- Picnic tables to be added to the ballfield pavilion should have wheelchair seating space to help balance adequate ADA amenities.
- Pave path around soccer field.

Management Considerations

- Basketball court needs fresh striping. Parking lot needs re-striping.
- Newly planted trees exist on site; inspect for need of replacements (at least one appears to be failing)
- Bleachers should all have safety railing to meet International Building Code requirements.
- Restrooms need sign upgrades to improve visibility & meet ADA requirements.
- Batting cages would benefit from wood fiber surfacing.

Community Park

24.8 acres

Amenities

- Ballfields (4) with dugouts, batting cage, bleachers, restroom/concession building, picnic tables, score boards
- Basketball court
- Benches
- Bike rack
- Drinking fountain
- Exercise stations
- Flagpole
- Irrigation
- Informational kiosk
- Lighting
- OLA/dog park (large & small dog area with water & picnic table)
- Open grass area
- Park identification & rules signs
- Parking
- Paved loop path
- Picnic pavilion with electricity
- Playgrounds (2 areas for 2-5 yr olds & 5-12 yr olds with equipment and swing sets)
- Restrooms
- Shade trees
- Soccer field
- Splash pad



Pocket Park

0.46 acres

Amenities

- Benches
- Bike racks
- Chess/checkers table
- Fountain
- Lighting
- Open grass areas
- Park rules sign
- Paved plaza & pathways
- Pavilion
- Picnic tables
- Public art (Children & dog sculpture)
- Drinking fountain
- Shade & palm trees
- Trash cans



Downtown Plaza Park

The Downtown Plaza is located in the heart of downtown Woodburn and is the site of many special events each year. From Taste of Woodburn, to Trunk or Treat, you will always find community gathering here. Not only is it home to some great events, but it is also a great spot to sit and relax among many downtown businesses. You will find benches, picnic tables, and even a community checkers and chess table.

Design Opportunities

- None noted.

Management Considerations

- Some trash cans overflowing; consider more frequent pick-up cycles.
- Plaza has no park identification sign; consider installing one.





Heritage Park

Heritage Park is a lovely neighborhood park with a small play structure and a single hoop basketball court.

Design Opportunities

- Add a formal connection to the Lexington cul-de-sac.
- Add park identification signage.
- Add basketball court striping

Management Considerations

- Play area has access barrier and needs a ramp or other ADA access treatment.
- The play equipment has no ADA accommodations. Provide ADA-compliant play equipment when renovation or replacement is scheduled.
- Tactile warning strip is needed at curb cut into parking area.
- A dedicated handicapped parking space(s) is needed.

Pocket Park

0.34 acres

Amenities

- Basketball ½ court
- Entrance ramp with railing
- Open grass area
- Park rules sign
- Parking
- Playground
- Trash receptacle



Neighborhood / Linear Park

5.8 acres (combined)

Amenities

- Benches
- Mutt Mitt dispensers with can
- Natural riparian areas
- Paved and crushed rock trail
- Picnic tables
- Playground (near Stark St.) with play structure, swing set & climbing boulder
- Trail identification signs (no park identification sign)
- Trash receptacles



Attachment 103

Hermanson Park (North, Middle, South)

Design Opportunities

- South section of pathway has eroded gravel. Sections of boardwalk have uneven connections with trail surface that create tripping hazards & ADA barriers. A fully-paved trail would allow ADA access and eliminate tripping hazards at wood decking connections.
- Play equipment has limited physical play opportunities. When replaced, provide a wider range of play options.
- Picnic tables are free-standing in grass areas without any ADA accessible route. Add paved pathway for ADA compliance to 50% of site furnishings.

Management Considerations

- Tactile warning strip is needed at Stark Street pedestrian crosswalk and grinding of curb cut lip to meet ADA compliance.
- Wood fiber play surfacing needs complete replacement evidenced by lack of buoyancy and weed growth.



Hermanson Pond

Design Opportunities

- Trail at this end of Greenway is surfaced with crushed rock (unpaved). Edges of the gravel have eroded due to the last flooding event. Consider providing paved asphalt to create an ADA-compliant pathway at the pond to connect to rest of paved Greenway Trail.
- Parking can then be reasonably configured to accommodate an ADA handicapped space.

Management Considerations

- Provide permanent informational signage for high water warnings and environment safety education signs.
- The observation deck requires a step up onto the boardwalk – creating an architectural barrier for ADA access. If the gravel pathway was permanently paved that step could be eliminated.

Open Space

3.8 acres

Amenities

- Bench
- Mutt Mitt dispenser with can
- Viewing platform
- Park rules sign
- Parking (for 3 cars)
- Pond
- Trail identification sign
- Trailhead parking for Greenway
- Trash receptacles



Community Park

16.2 acres

Amenities

- 4-square
- Basketball court
- Benches
- Chess board ('life-sized')
- Deck hockey/Futsal court
- Exercise stations
- Hopscotch
- Interactive soccer wall
- Interactive play arch
- Interpretive signs (fossil dinosaurs)
- Lighting
- Mutt Mitt dispensers
- Natural riparian corridor
- Open grass area
- Park identification sign
- Parking
- Paved pathways
- Pavilion with picnic tables & electricity
- Pickleball courts (4)
- Picnic tables
- Playground (dinosaur theme)
- Synthetic turf soccer field with spectator seating, concession stand, lighting & scoreboard
- Wooded area



Legion Park

Legion Park is Woodburn's oldest park site. At nearly 16 acres, Legion Park has a full sized soccer field, stadium, picnic pavilion, numerous picnic tables, grass playfields, and densely wooded Douglas Fir tree grove. An archeologically themed nature play area was installed in May 2013.

Design Opportunities

- Permanent signage needed on restrooms within soccer facility.

Management Considerations

- Poison oak in natural areas adjacent to pathways needs to be controlled. Add plant identification and cautionary signs along the path.
- Picnic tables across the grass are not on accessible routes for universal access. Consider how best to provide access for 50% of those tables.



Library Square

At the corner of First and Garfield, Library Square is a one acre site situated on the grounds of the Woodburn Public Library. The Park hosts the popular “Music in the Park” program, featuring a full schedule of outdoor concerts.

Design Opportunities

- None noted.

Management Considerations

- Trash receptacles were overflowing. Heavy use over the weekend may warrant extra cans and more frequent pick-up cycles.

Pocket Park

0.34 acres

Amenities

- Benches
- Bikes racks
- Elevated stage with seasonal shade cover
- Lighting
- On-street parking
- Open grass area
- Ornamental plantings
- Park identification sign
- Paved pathways
- Picnic tables with umbrellas
- Playground with play structure, spring toy & climbing tunnel.
- Restrooms (exterior of Library)
- Shade trees
- Trash receptacles



Special Use Facility

0.29 acres

Amenities

- Locomotive Engine SP1785
- Interpretive sign
- Railroad 'accessories'
- Perimeter fencing with locked gates
- Cover
- Lighting



Frank Scheer Locomotive Park

In 1957, Woodburn would receive a classic 1902 built steam locomotive through donation by the Southern Pacific Railroad, which is displayed as part of the community's history.

Design Opportunities

- Does not function as a public park space, due to lack of access or other park amenities.

Management Considerations

- None noted.



Mill Creek Greenway

The City's vision for an interconnected trail system through the Mill Creek Greenway corridor dates back to the 1960's, as properties were acquired and set aside for future development. The City furthered its plans with the completion of the Mill Creek Greenway Master Plan in 2006.

The first phase of the trail system, completed in 2011, is approximately one mile in length and runs from Cleveland Street at the North to Deer Run Street at the south. The majority of the trail surface is asphalt, but transitions to gravel in the natural area around Hermanson Pond, south of Wilson Street.

Design Opportunities

- Continue to implement the Mill Creek Greenway Trail Plan.

Management Considerations

- Parking area at trailhead needs fresh striping to identify designated spaces.
- Install solar trail lighting.

Linear Park

4.5 acres

Amenities

- Benches
- Bike rack
- Greenway identification signs
- Light pole in trailhead parking area
- Mutt Mitt dispensers with can
- Parking with handicapped stall (8 + 1 handicapped)
- Paved trail along Mill Creek
- Trash receptacles



Neighborhood Park

3.2 acres

Amenities

- Basketball ½ court
- On-street parking
- Open grass area
- Park identification & rules signs
- Perimeter loop path (wood chips)
- Picnic shelter with tables
- Picnic tables
- Playground (5-12 yr olds structure, climbing rock, swing set, tire swing)
- Shade trees



Nelson Park

Nelson Park is located at 1200 Greenview Drive on the east side of Hwy 99E. The park includes amenities such as a picnic shelter and playground.

Design Opportunities

- Add all-weather accessible routes to recreation amenities.
- Re-align loop path to provide slight meanders and more distance from Pin Oak trees. Replace loop path wood chip surfacing with asphalt pavement.
- Add more native canopy/shade trees.
- Low spot in picnic shelter should be alleviated if perimeter pathway is graded (to help drain shelter pad) when loop path is paved.

Management Considerations

- Pin Oaks growing adjacent to perimeter path will constantly create eye-poking hazard due to genetic branching pattern. Control the hazard until pathway can be relocated further away.
- Create mulch rings around tree trunks to keep mowers and string trimmers from damaging tree bark.
- Check for adequate depth of play safety surfacing.
- Basketball sports court could benefit by adding painted play lines.



North Front Street Park

North Front Street Park is located at 1080 N. Front St. The park has a playground and open play field.

Design Opportunities

- Create a paved pathway connection between 1st Street and Front Street, diagonally through park.
- A lot of room exists for additional recreation amenities. Consider a master plan for park upgrades and paved pathway loop.

Management Considerations

- No ADA compliance within park. Plan for numerous upgrades.
- Play safety surfacing may need to be completely replaced to ensure adequate depth.

Neighborhood Park

1.1 acres

Amenities

- Bench
- On-street parking
- Open grass area
- Picnic table
- Playground (5-12 yr olds structure + tire swing)
- Shade trees
- Trash receptacle



Open Space

20 acres

Amenities

- Natural wooded riparian area - no improvements



Senecal Creek Park

Senecal Creek Greenway is a 20 acre natural wooded riparian area that runs along Senecal Creek near Bulingham Park. Currently this area does not have any functional improvements as the space stays in its natural state.

Design Opportunities

- Limited access.

Management Considerations

- Natural area may need hazard tree management and eventual reforestation efforts if native trees are dying back from root rot.



Senior Estates Park

Senior Estates Park is a great space filled with a paved walking path, benches, beautiful vegetation and an off-leash dog area.

Design Opportunities

- Park has room for more amenities, if desired by immediate neighborhood.
- Provide accessible routes to all park amenities.
- Add new picnic tables and benches with ADA access.

Management Considerations

- Bench replacements needed at horseshoe pits.
- Picnic tables and benches are placed in grass and are not ADA accessible.

Neighborhood Park

4 acres

Amenities

- Benches
- Drinking fountain (new)
- Horseshoe pits (4)
- Mutt Mitt dispensers
- OLA/dog park (new)
- Open grass area
- Park identification signs
- Paved loop pathways
- Picnic shelter (new)
- Picnic tables
- Shade trees
- Trash receptacles



Community Park

10 acres

Amenities

- Ball field (old, unused)
- Benches
- Open grass area
- Lighting
- Park historic monument (Jesse Settlemier)
- Park identification sign
- Parking (2 lots)
- Paved pathways
- Picnic shelters (2)
- Picnic tables
- Playground with swing set
- Restrooms with drinking fountain
- Shade trees
- Richard Jennings Skate Park
- Tennis courts
- Trash receptacles



Settlemier Park

Settlemier Park is a 10 acre site that was donated to the City by the Settlemier Park Association in 1946. The Park has a playground, restrooms, and 2 covered picnic shelters to the north and south of the park. You will find paved walking paths that take you through the grove of mature fir trees. Settlemier Park is nestled behind the Woodburn Aquatic Center and near the Boys & Girls Club Teen Center.

Design Opportunities

- Site has limited ADA access. In conjunction with future community center project, park should get complete upgrade of amenities to provide better park layout and ADA access.
- Ballfield is no longer used (and otherwise would require complete renovation). Park space should be reconfigured when new with future community center is planned/constructed to maximize park amenities and its outdoor recreational value.

Management Considerations

- Pavement repairs needed in parking lot (at Aquatic center) and along pathways. Tennis courts will need resurfacing.
- Replace benches at skate park.
- Parking lot needs fresh striping for spaces & travel aisles for handicapped space. Pathway from parking lot should have tactile warning strip and a bollard.
- Aquatic Center lacks identification signage at street entry.
- Large dead tree could have topmost branches removed to eliminate any potential hazard (while retaining much of the trunk for wildlife value).



Neighborhood Park

2.3 acres

Amenities

- Undeveloped
- Natural riparian area

Wyffels Park

Design Opportunities

- Continue to pursue development of Mill Creek Greenway trail.
- Consider value of restoring this section of the Creek to its historic alignment and character. The 'straightness' of the steam channel on this flat land suggests that the stream was channelized to accommodate past land uses. Most ecological value could come from recreating the historic stream channel.

Management Considerations

- Some neighboring properties are encroaching on public parkland.
- Southernmost neighbor uses vehicle access for his backyard gate.
- Consider identifying the parkland with an identification sign.

Chapter 5

PARKS & OPEN SPACE

ASSESSING COMMUNITY NEEDS FOR PARK AND OPEN SPACE SYSTEM ENHANCEMENTS

The park system planning process assesses recreational needs and priorities for park facilities, active use areas, and trails in Woodburn. The park assessment includes a discussion of specific local needs with consideration given to the City's broader park system. Public input and information on park inventory conditions also were heavily relied upon in the planning process.

Park & Recreation Trends

A review of several recognized park and recreation resources provide a background on national, state, and regional trends, market demands, and agency comparisons. These outdoor recreation trends, combined with community interests in parks, trails, and open space and an assessment of current conditions and levels of service, help identify and shape recommendations for park system improvements. Examining current recreation trends can help inform potential park and recreation improvements and opportunities that may enhance the community and create a more vibrant parks system as it moves into the future.

The following national and state data highlights some of the current park usage trends and may frame future considerations for Woodburn's park system. Additional trend data and summaries are provided in Appendix G.

- 90% of U.S. adults believe that parks and recreation is an important service provided by their local governments. ⁽¹⁾
- 84% of U.S. adults seek high-quality parks and recreation when choosing a place to live. ⁽¹⁾
- Running, jogging, and trail running are the most popular outdoor activities across the nation, based on levels of participation, followed by hiking, fishing, biking, and camping. ⁽²⁾





UPGRADE PARKS AND ADD MORE COVERED, WEATHER-APPROPRIATE AREAS ~ SURVEY RESPONDENT

- A significantly higher percentage of seniors (ages 55+) are participating in outdoor recreation. In 2022, the senior participation rate hit a record high of 35% and is rising. ⁽²⁾
- Participation nearly doubled for pickleball in 2022, increasing by 85.7% year-over-year. In 2022 for the first time in over seven years, every racquet sport increased its total participation number compared to the previous year. ⁽³⁾
- Wildlife viewing and paddle sport participation increased statewide by 28% since 2017. ⁽⁴⁾
- Nationally, outdoor recreation economic activity increased 19% from 2020 to 2022, while the overall U.S. economy only saw a 5.9% increase. ⁽⁵⁾

According to the Sports and Fitness Industry Association, participation nearly doubled for pickleball in 2022, increasing by 85% year-over-year. In 2022 for the first time in over seven years, every racquet sport increased its total participation number compared to the previous year. In terms of team sports, the overall participation rate approached, but did not exceed, the 2019 rate. Basketball, outdoor soccer, and flag football all posted three-year increases of over 4.5%, with basketball leading the way with a 13% increase since 2019. Lifestyle activities generally remained very popular. Golf and tennis have grown more than 20% since 2019, and yoga grew more than 10% in that same time period. Trail running and day hiking participation grew for the fifth straight year.

The 2019-2023 Statewide Comprehensive Outdoor Recreation Plan (SCORP), entitled Outdoor Recreation in Oregon: Responding to Demographic and Societal Change, constitutes Oregon's basic five-year plan for outdoor recreation. The plan addresses five important demographic and societal changes facing outdoor recreation providers in the coming years including:

1. An aging population;
2. An increasingly diverse population;
3. Lack of youth engagement in outdoor recreation;
4. An underserved low-income population; and
5. The health benefits of physical activity.

As part of its SCORP process, the State of Oregon conducted the 2017 Oregon Resident Outdoor Recreation Survey. The survey showed that 95% of Oregonians participated in at least one outdoor recreation activity in Oregon during the past year. Close-to-home activities dominated the total user occasions for Oregon residents, since these activities can occur on a daily basis with limited travel time. Aside from walking, bicycling and jogging on local

streets, top outdoor activities include walking on local trails, dog walking, walking or day hiking on non-local trails. Top activities based on total user occasions for Oregonians in 2017 are provided in the Figure 6. User occasions are the number of times people engage in an activity.

Figure 6. User Occasions and Participation in Outdoor Recreation in Oregon (OR SCORP)

| Top Outdoor Recreation Activities | User Occasions (millions) |
|---|---------------------------|
| Walking on local streets/sidewalks | 313 |
| Walking on local trails/paths | 113 |
| Relaxing, hanging out, escaping heat/noise, etc | 93 |
| Dog walking/going to dog parks/off-leash areas | 78 |
| Taking your children or grandchildren to a play | 57 |
| Sightseeing/driving or motorcycling for pleasur | 55 |
| Bicycling on roads,streets/sidewalks | 51 |
| Walking/day hiking on non-local trails/paths | 44 |
| Jogging/running on streets/sidewalks | 37 |
| Bicycling on paved trails | 26 |

The survey inquired about the top needs in "your community" to help gauge priorities for the future. These responses can help direct park and forest agencies to determine in which outdoor recreation facilities and amenities to invest.

Figure 7. Top Outdoor Recreation Needs Identified for Local Park Systems (OR SCORP)

| Top Local Community Needs |
|---|
| Cleaner restrooms |
| Soft surface walking trails |
| More restrooms |
| Playgrounds with natural materials (natural play areas) |
| Nature and wildlife viewing areas |
| Public access to waterways |

Sources:

- (1) 2022 American Engagement with Parks Report, National Recreation and Park Association
- (2) 2023 Outdoor Participation Trends Report, Outdoor Foundation
- (3) 2023 Sports, Fitness, and Leisure Activities Topline Participation Report, Sports and Fitness Industry Association
- (4) 2022 Assessment of Resident Demand, Washington State 2023 Recreation & Conservation Plan (draft)
- (5) 2022 Outdoor Recreation Satellite Account data, U.S. Bureau of Economic Analysis

Local Insights & Feedback

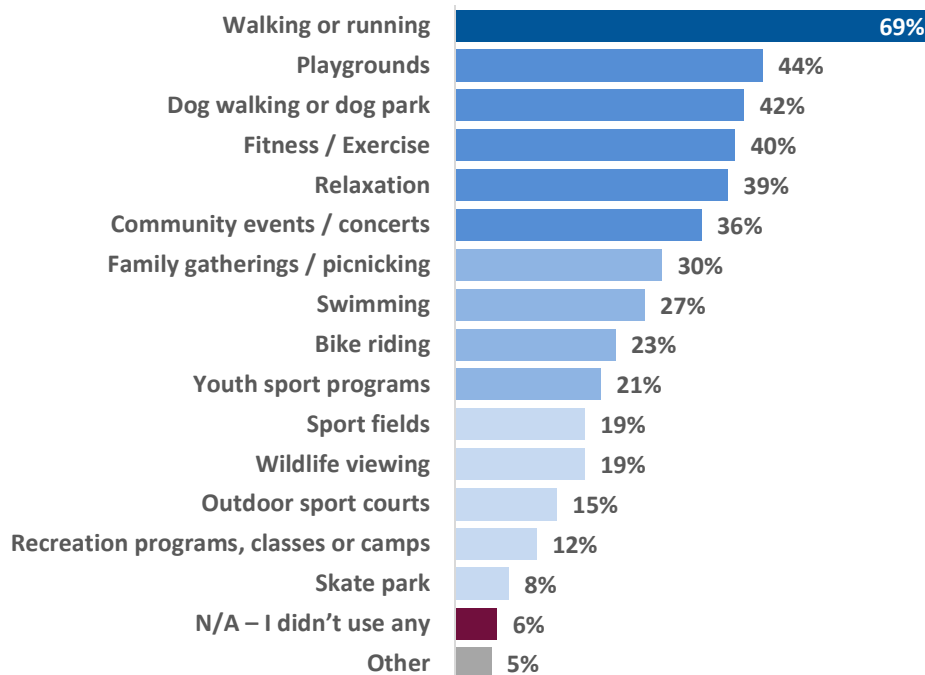
Beyond the broader perspectives of national and state recreation trends, local needs were explored through a community survey, online comments, stakeholder interviews, tabling events, and public open house meetings to gather feedback on priorities, interests, and future needs for Woodburn's park system.

Community Survey

The community survey confirmed that Woodburn residents strongly value their local parks, recreation options and open space opportunities. Virtually all survey respondents (96%) feel that local parks and recreation opportunities are important or essential to the quality of life in Woodburn. Residents of all ages value parks and recreation similarly – there were no significant differences between age groups.

Respondents visit local parks and recreation facilities for a variety of reasons, but the most popular reason is to walk or run (69%). More than one in three respondents visit to use a playground (44%), walk a dog (42%), for fitness or exercise (40%), to relax (39%), or to attend community events or concerts (36%).

Figure 8. Main Reasons for Visiting Local Parks



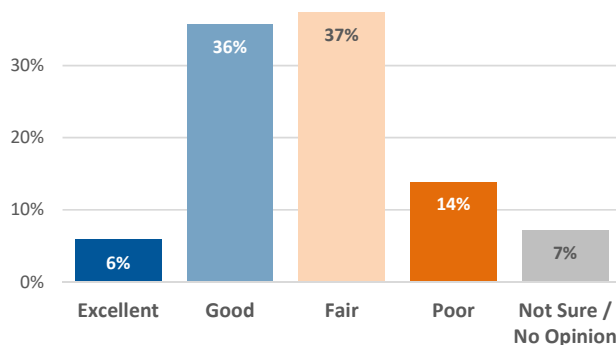
“

Work with what we have already and increase accessibility! It's important that vulnerable groups of people of woodburn still have access to parks, trails, aquatics, programs, etc. And I think making it more accessible would increase interest! Add accessibility information to flyers/notices for events and programs, and a lot more people will be interested in engaging in them without worrying about if they can even participate..”

- Survey respondent

Survey respondents showed a high use of parks regardless of age and location of residence. When asked which parks they visit most, over 60% of respondents cited Centennial Park as most frequented. Woodburn residents, when asked about the overall condition of the parks they have visited, shared a positive view with 79% of responses being fair to excellent, leaving 14% stating poor condition and 7% with no opinion. Although there is a positive perception of the maintenance condition of parks, the community desires more amenities and park upgrades, with only 57% of respondents being satisfied to very satisfied with Woodburn's parks, recreation facilities and open spaces.

Figure 9. Sentiment Toward Condition of City Parks & Facilities

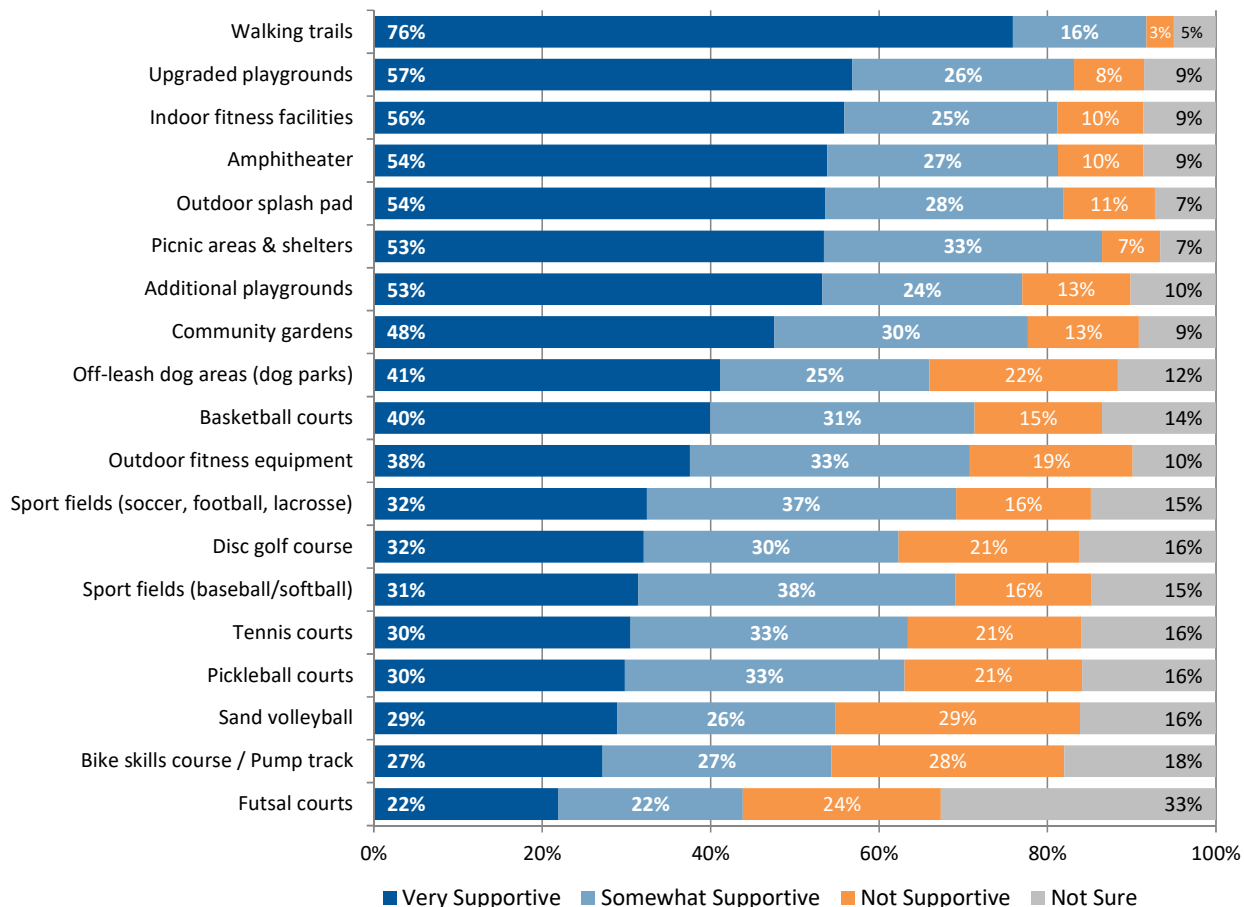


Respondents were asked to rank a list of potential park system investments. Survey respondents identified improving and upgrading existing parks as their top priority, followed closely by expanding trail opportunities. Adding new recreational options in existing parks and acquiring additional land for future parks were moderate priorities.

The survey asked residents about their support for a variety of potential additions to the park system. Virtually all residents are either very or somewhat supportive of additional walking trails (92%), picnic areas and shelters (86%), upgraded or renovated playgrounds (83%), outdoor splash pads (82%), an amphitheater or outdoor performance area (81%), and indoor fitness and exercise facilities (81%).

Large majorities are also supportive of the City adding more playgrounds (77%), community gardens (78%), basketball courts (71%), and outdoor fitness equipment (71%). More than half of residents support the City adding more off-leash dog areas, sports fields, sports courts, a disc golf course, and a bike skills course or pump track.

Figure 10. Relative Priorities for Various Amenities



Respondents were asked to describe one thing that they would like to see the City of Woodburn do to improve parks, trails, aquatics, and/or recreation programs. With over 380 specific comments and ideas, a few themes emerged:

- **Park Maintenance and Safety:** Respondents expressed a desire for improved maintenance and safety in existing parks. Many spoke of concerns about the upkeep of parks, including regular cleaning, lawn care, removal of litter, and repairs to broken equipment. Others mentioned concerns about safety in parks, including issues like drugs, homeless individuals, and the need for police patrols. There were requests for lighting and enforcement of park rules to ensure a safe environment.
- **Park Upgrades:** While community members emphasized the importance of maintaining existing parks and facilities, they also called for upgrades such as improved playgrounds, restroom renovations, and well-maintained walking trails. In their responses, community members also asked for additional amenities like covered basketball courts, pickleball courts, disc golf courses, skateparks, and picnic areas. There are also suggestions to renovate existing facilities and playgrounds to provide safe and enjoyable experiences for all age groups.
- **Dog Parks & Off-Leash Areas:** Enhancing dog parks is a priority, with requests for improvements such as shelters, seating areas, and increased maintenance and cleanliness. The community also desires the creation of more dog parks and off-leash areas to cater to the needs of pet owners.
- **Communication & Information:** Some survey respondents asked for improved communication channels, such as a city cable channel or newsletter, to inform residents about community events, park offerings, and important happenings in town. Others requested a more user-friendly website that provides easy access to information, including programs, activities, and registrations, reducing the need to search through multiple sources.

Stakeholder Discussion Sessions

A series of stakeholder groups were formed to discuss issues, opportunities and needs for city park and recreation amenities. Participants were queried about improvements that are needed in the park system and thoughts for enhanced infrastructure and services for the future. Suggestions were varied and included programming elements, recreational amenities and infrastructure improvements. Common themes were around park maintenance and expanding recreation options. The following highlights the suggestions that were offered:

- Build the new community center

- Conduct more general park maintenance, clean and renovate restroom, and add safety enhancements such as night lights in parks
- Expand the playgrounds and include more games for kids; Provide splash pads for kids
- Add more benches and resting areas with shade; Add more tables and grills for barbecue
- Enhance sport fields and explore options to host tournaments
- Include a bike station or location to fix bicycles
- Buy property to expand or build more parks
- Invest in off leash areas and expand dog parks around the city
- Build more skateboard parks

Public Meetings

The City of Woodburn hosted two public meetings to gather community feedback and identify gaps or deficiencies in the park system. During the first open house, meeting displays included a 'dot' exercise to explore top investment priorities using a list of eight potential project types. The highest rated amenities included additional walking trails, picnic shelters, outdoor splash pad, and shade structures for playgrounds.

Through the second open house (conducted as an online open house), participants indicated interest in maintaining and enhancing existing parks, such as adding or upgrading playground equipment, picnic shelters, splash pads and restroom facilities.

The top priority listed by participants is to build a new community center and renovate Settlemier Park. Other priorities included building additional picnic shelters for group gatherings, building additional paved and/or accessible walking trails in parks, and building sport courts at Nelson and North Front Street Parks. When asked to rank a set of specific project types, the majority identified playground upgrades and replacement, followed closely by improved, permanent restrooms and picnic shelters and tables for gathering.

Participants also commented that they would like to see improved maintenance and upgrades to existing parks and facilities. Participants specifically noted Centennial Park (e.g., fix broken picnic tables, clean splash pad, and power wash picnic shelter), Hermanson Pond and trail, Legion Park (e.g., upgrade playground), Burlingham Park, Nelson Park, Heritage Park, park at Senior Estate and Wyffels Park, as well as the aquatic center, baseball fields, dog park and park or trail bathrooms.

Trends in Playgrounds

Woodburn residents strongly value their parks and recreation facilities and park playgrounds are an important element in outdoor recreation. Reported in Landscape Architect magazine, the top five playground industry trends for 2021 were compiled from data and feedback from parks professionals, landscape architects, and educators.

1. **Inclusive Playgrounds**, increasingly popular over the last few years, have been evolving beyond meeting basic ADA guidelines. Designers are seeking to expand accessible playground equipment, consider multi-generational play, and leverage inclusive play to help overcome societal barriers.
2. **Rope-based Playgrounds**, climbers and playground nets provide a technique for working around natural environments and unusual topography. Their flexibility in placement offers more options for connecting with the landscape rather than working around difficult topography.
3. **Outdoor Fitness** has increased importance during the COVID-19 pandemic as many gyms and indoor fitness centers closed and forced more people to seek outdoor options. Outdoor fitness spaces are being increasingly integrated into park and trail designs to encourage health and physical fitness for all ages.
4. **Outdoor Learning** has been implemented during the pandemic to replace or supplement indoor classrooms. Outdoor classrooms can encourage activity in children to counteract the reduction in recess time due to hybrid class schedules and remote learning. Seating, tables, shelters, hand sanitizer stations and other outdoor products are helping create outdoor classrooms.
5. **Human-powered Play** engages users to provide physical energy to “power-up” the activity, such as turning a handle, pressing foot pedals, rotating wheels. These products often relate to sensory experiences like lights and music, story-telling, or social games.

Spurred on by the social distancing of the pandemic, these five trends in playground design and development point to more human-to-human interactions that reinforce the value of social connections, even in a physically distanced environment.





Update the wonderful spaces we already have, before creating new ones. Restrooms at Centennial Park need a major overhaul, as well as the pool. Then move on to adding other items/facilities.”




- Survey respondent

Park Conditions Assessment

The overall condition of park infrastructure and amenities is one measure of park adequacy and assurance of public safety. Proper stewardship of park infrastructure requires developing a long-term maintenance and capital plan to ensure the safety of park users that aligns with community needs and allocates limited funding resources properly. General park infrastructure include walkways, parking lots, restrooms, drainage and irrigation, lighting systems and vegetation. Amenities include picnic shelters, play equipment, site furnishings, sports courts, sports fields and other recreational assets. Deferred maintenance over a long time period can result in unusable amenities when perceived as unsafe or undesirable by park patrons. Compliance with the Americans with Disabilities Act (ADA) guidelines also provide a measure of acceptable condition.

The current conditions of the Woodburn park system were assessed to identify existing site maintenance issues and opportunities for future capital improvements. The assessment included walkways, parking lots, park furniture, drainage and irrigation, vegetation, and other amenities. The following conditions assessment matrix (Figure 11) summarizes the results of these assessments. These inform developing project prioritization strategy for park improvements, identifying funding strategies, and updating the ten-year Park Improvement Plan.

The matrix on the following page indicates the types of amenities within each park facility, and park infrastructure and amenities are rated based on the following scale:

-  1 – Good Condition: Generally, amenities in ‘good’ condition offer full functionality and do not need repairs. Good facilities have playable sports surfaces and equipment, working fixtures, and fully intact safety features (railings, fences, etc.). Good facilities may have minor cosmetic defects and encourage area residents to use the park.
-  2 – Fair: In general, amenities in ‘fair’ condition are mainly functional, but need minor or moderate repairs. Fair facilities have play surfaces, equipment, fixtures, and safety features that are operational and allow play, but have deficiencies or periods where they are unusable. Fair facilities remain essential amenities for the community but may slightly discourage the use of the park by residents given the current condition.
-  3 – Poor: In general, amenities in ‘poor’ condition are largely or completely unusable. They need significant repairs to be functional. Some examples include athletic fields that are too uneven for ball games, irreparably broken features, buildings that need structural retrofitting, etc. Poor facilities discourage residents from using the park and may present safety issues if left open or operational.

Good conditions should be the goal for the management and stewardship of park facilities. Where infrastructure or amenities are rated as ‘fair,’ strategies should be developed for repair or restoration. Park features, structures, amenities, or landscapes rated as ‘poor’ should receive immediate attention and be prioritized for near-term maintenance, capital repairs, or a new capital project. Facilities in poor condition should also be evaluated and taken out of operation if they are deemed unsafe.

Figure 11. Park Site Conditions Assessment Matrix

| Site Name | Acres | Recreation Amenities | | | | | | | | Site Amenities | | | Park Structures | | | Vegetation | | | ADA | | | | |
|--|-------|----------------------|---------------|---------------|----------------------------|-------------------|-------------------------|------------|-------------------|-------------------|------------------|----------------|-----------------|---------------|-----------|-----------------|------------------|--------|-----|-------------------|------------|-----------------|---------------|
| | | Playgrounds | Sports Courts | Soccer Fields | Baseball / Softball Fields | Pathways / Trails | Splash Pad / Spray Park | Skate Park | Exercise Stations | Other Rec Element | Site Furnishings | Lighting (Y/N) | Signage | Parking Areas | Restrooms | Picnic Shelters | Concession Stand | Kiosks | | Natural Turfgrass | Park Trees | Landscaped Beds | Natural Areas |
| Alvah Cowan Park | 0.2 | - | - | - | - | - | - | - | - | - | 1 | N | 1 | - | - | - | - | - | 1 | 1 | 1 | - | 3 |
| Burlingham Park | 5.4 | 2 | - | 1 | - | - | - | - | - | - | 1 | Y | 1 | - | pt | - | - | - | 1 | 1 | - | - | 3 |
| Boones Crossing (undeveloped) | 3.0 | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - |
| Centennial Park | 24.8 | 1 | 2 | 1 | 1 | 1 | 1 | 1 | - | 1 | 1 | Y | 1 | 2 | 1 | 1 | 1 | 1 | 1 | 2 | - | - | 2 |
| Downtown Plaza Park | 0.5 | - | - | - | - | - | - | - | - | 1 | 1 | Y | 2 | - | 1 | - | - | - | 1 | 1 | - | - | 1 |
| Heritage Park | 0.3 | 2 | 1 | - | - | - | - | - | - | - | - | N | 2 | 2 | - | - | - | - | 1 | - | - | - | 2 |
| Hermanson Greenway | 4.2 | - | - | - | - | 1 | - | - | - | 1 | 1 | N | 1 | - | - | - | - | - | - | - | 1 | 1 | 1 |
| Hermanson Park | 1.7 | 2 | - | - | - | 1 | - | - | - | 2 | 2 | N | 2 | - | - | - | - | - | 1 | - | 1 | 2 | 2 |
| Hermanson Pond | 3.8 | - | - | - | - | 2 | - | - | - | 1 | 1 | N | 1 | 2 | - | - | - | - | - | 1 | - | 1 | 2 |
| Legion Park | 16.2 | 2 | 1 | 1 | - | 1 | - | - | - | 2 | 2 | Y | 1 | 2 | 1 | 1 | 1 | - | 1 | 1 | - | 1 | 2 |
| Library Square (next to Downtown Plaza) | 0.3 | 1 | - | - | - | 1 | - | - | - | 1 | 1 | Y | 1 | - | 1 | - | - | - | 1 | 1 | - | - | 1 |
| Frank Scheer Locomotive Park | 0.3 | - | - | - | - | - | - | - | - | - | - | Y | 1 | 3 | - | - | - | - | - | - | - | - | 3 |
| Mill Creek Greenway | 4.5 | - | - | - | - | 1 | - | - | - | 1 | 1 | Y | 1 | 2 | - | - | - | - | - | - | 1 | 1 | 1 |
| North Front Street Park | 1.1 | 2 | - | - | - | - | - | - | - | 2 | 2 | N | 2 | - | - | - | - | - | 1 | 1 | - | - | 3 |
| Nelson Park | 3.2 | 2 | 1 | - | - | 2 | - | - | - | 2 | 2 | N | 1 | - | - | 2 | - | - | 1 | 1 | - | - | 3 |
| Senecal Creek Park (North & South) | 20.0 | - | - | - | - | - | - | - | - | - | - | N | - | - | - | - | - | - | - | - | - | 1 | - |
| Senior Estates Park | 4.0 | - | - | - | - | 1 | - | - | 1 | 2 | 2 | N | 1 | - | 1 | - | - | - | 1 | 1 | 1 | - | 2 |
| Settlemier Park | 10.0 | 1 | - | - | 3 | 1 | - | - | - | 2 | 2 | Y | 1 | 2 | 2 | 1 | - | - | 1 | 2 | - | - | 2 |
| Smith Creek (Killian's Well Park, Hazel Smith Plaza) | 14.2 | - | - | - | - | 1 | - | - | - | 1 | 1 | Y | 1 | - | 1 | 1 | - | - | 1 | 1 | 1 | 2 | 1 |
| Wyffles Park | 2.3 | - | - | - | - | - | - | - | - | - | - | N | - | - | - | - | - | - | - | - | - | 1 | 3 |
| Average: | | 1.4 | 1.7 | 1.3 | 1.0 | 1.2 | 1.0 | 1.0 | 1.0 | 1.4 | - | 1.2 | 2.1 | 1.2 | 1.1 | 1.0 | 1.0 | 1.0 | 1.0 | 1.2 | 1.0 | 1.1 | 2.0 |

* Note: Does not constitute a comprehensive ADA assessment of every park element

RATING SCALE

Playgrounds:

| | |
|---|---|
| 1 | In good condition: no drainage issues; 0-10% material deterioration safety surfacing with a border at the site. |
| 2 | In fair condition: drainage issues; 10-25% material deterioration; some small compliance issues that could be spot fixed. |
| 3 | In poor condition: drainage issues; 25% or greater material deterioration; needs repair or replacement (but workable). |

Paved Courts:

| | |
|---|--|
| 1 | In good condition: no cracks in surfacing; fencing is functional, free of protrusions, and free of holes/passages; painting and striping are appropriately located, whole, and uniform in color. |
| 2 | In fair condition: hairline cracks to ¼", surfacing required; fencing has minor protrusions, or holes/passages that do not affect game play; painting and striping have flaking or color fading. |
| 3 | In poor condition: horizontal cracks more than ½" wide, surfacing required; fencing has large protrusions, holes/passages or defects; painting and striping are patchy and color has faded dramatically. |

Signage:

| | |
|---|---|
| 1 | In good condition: a signage system for the site, appropriate signs, no damaged signs. |
| 2 | In fair condition; multiple signage system within one site, a few damaged signs (0-10%), need maintenance. |
| 3 | In poor condition; multiple signage systems within one site, signs that are not legible from a reasonable distance, some damaged signs (10-25%), old logos, deteriorated materials, no signage. |

Public Art:

| | |
|---|--|
| 1 | In good condition: no vandalism; no signs of weathering. |
| 2 | In fair condition: minor signs of weathering or wear. |
| 3 | In poor condition: metal leaching/concrete efflorescence/paint peeling/wood chipped or carved into or warping; vandalized. |

Park Structures (Restrooms, Picnic Shelters, Etc.):

| | |
|---|---|
| 1 | In good condition: roof has no leaks; floor shows little sign of wear; finishes are fresh with no graffiti or vandalism; all elements are in working order. |
| 2 | In fair condition: roof shows signs of wear but is structurally sound; floor shows some wear; finishes show some wear with some marks or blemishes. |
| 3 | In poor condition: roof leaks or otherwise needs repair; floor show significant wear and is difficult to maintain; finishes are dull or discolored, have graffiti, or are not easily maintained; some elements not working or in need of repair (e.g., non-functioning sink). |

Park Trees:

| | |
|---|---|
| 1 | In good condition: trees overall have good form and spacing; no topping; free of disease or pest infestation; no vandalism; no hazard trees. |
| 2 | In fair condition; some crowding may exist but overall health is good; less than 5% of trees show signs of topping, disease or pest infestation; vandalism has not impacted tree health (graffiti, not girdling). |
| 3 | In poor condition; Form or spacing issues may exist; evidence of disease or pests; vandalism affecting tree health; some hazard trees or trees in danger of becoming hazard trees. |

ADA Compliance:

| | |
|---|---|
| 1 | Appears to comply with ADA standards. |
| 2 | Some items appear to not comply, but could be fixed by replacing with relative ease. |
| 3 | A number of park assets appear not to comply, including large-scale items like regrading. |

Sport Fields:

| | |
|---|--|
| 1 | In good condition: thick grass with few bare spots; few depressions; no noticeable drainage issues, proper slope and layout; fencing if present is functional, free of protrusions, and free of holes. |
| 2 | In fair condition: grass with bare turf areas in high-use locations, some drainage issues in overuse areas, slope is within one percent of proper field slope, infields have grading problems (bump) at transition to grass and have no additive, may not have proper layout and/or orientation, fencing if present has minor protrusions, or holes/passages that do not affect game play. |
| 3 | In poor condition: bare areas throughout the year, uneven playing surface that holds water in certain places, drainage issues, slopes not uniform and/or more than one percent from proper field slope, improper layout and/or orientation; fencing has large protrusions, holes/passages or defects. |

Pathways / Trails:

| | |
|---|--|
| 1 | In good condition: surface generally smooth and even; proper width and material for type of pathway; proper clearances; minimal drainage issues. |
| 2 | In fair condition: uneven surfaces in places; some drainage issues; some cracking; narrow widths in some places. |
| 3 | In poor condition: uneven surfaces; inadequate width; significant cracking or heaving; clearance issues. |

Turf:

| | |
|---|--|
| 1 | In good condition: lush and full, few weeds, no drainage problems. |
| 2 | In fair condition: some bare spots, some drainage problems. |
| 3 | In poor condition: irrigation problems, bare spots, weeds, soil compacted. |

Site Furnishings:

| | |
|---|---|
| 1 | In good condition; not damaged; free of peeling or chipped paint; consistent throughout park. Trash receptacles, drinking fountain, picnic tables, benches on paved surface. |
| 2 | In fair condition; 0-20% furnishings are damaged and require replacing parts; some peeling or chipped paint; furnishings are not consistent, but are operational. |
| 3 | In poor condition; 20% or more are damaged and require replacing parts; significant peeling or chipped paint; multiple styles within park site require different maintenance. |

Parking Areas:

| | |
|---|---|
| 1 | In good condition: paving and drainage do not need repair; pavement markings clear; pathway connection provided to facility; proper layout. |
| 2 | In fair condition: paving needs patching or has some drainage problems; has wheel stops and curbs. |
| 3 | In poor condition: surfaces (gravel, asphalt, or concrete) needs repair; uneven grading; limited signage; no delineation for vehicles. |

Natural Areas:

| | |
|---|---|
| 1 | In good condition: barely noticeable invasives, high species diversity, healthy plants. |
| 2 | In fair conditions: Noticeable invasives, fewer species but still healthy. |
| 3 | In poor condition: Invasives have taken over, low diversity, unhealthy plants. |

Amphitheater/Stage:

| | |
|---|---|
| 1 | In good condition: paving, stage and stair materials have little to no cracking or peeling; vegetation that is present is healthy; seating and other furnishings show modest signs of wear; views to stage from all seating vantage points. |
| 2 | In fair condition: paving, stage and stair materials have some cracking or peeling; vegetation that is present is healthy, but some soil compaction might be present; seating and other furnishings show signs of wear, but are still usable; stage orientation not be ideal for all viewers. |
| 3 | In poor condition: paving, stage and stair materials have significant cracking or peeling; vegetation is unhealthy (pests, disease, topped trees), compacted soil; seating and other furnishings need repair or replacement; redesign of space is needed for proper viewing and access. |

Landscaped Beds:

| | |
|---|--|
| 1 | In good condition: few weeds; no bare or worn areas; plants appear healthy with no signs of pest or disease infestation. |
| 2 | In fair condition: some weeds present; some bare or worn spots; plants are still generally healthy. |
| 3 | In poor condition: many weeds present; large bare or worn areas; plants show signs of pests or disease; compacted soils. |

Park Conditions Summary

Beyond the individual park facilities, the following summaries offer highlights from park conditions observations as well as some suggestions for improvement and upgrade considerations. More detailed notes are provided within each park summary noted in the previous chapter.

Park Infrastructure

Site Furnishings

Benches, picnic tables, drinking fountains, bike racks, and trash & recycling receptacles are common site furnishings provided in public parks. In Woodburn's park system, there is an assortment of different styles, ages and types of park benches, picnic tables and bike racks. In conjunction with a unified signage system, the City could develop a set of standards for its site furnishings such as benches, picnic tables and bike racks. Coordinated colors and styles can be linked to ADA-compliant designs and allow for simplified replacement processes as different amenities age or need repair. For future park improvements and prior to implementing new master plans for undeveloped parks, it would be beneficial to use the same standard design, style and color for benches, picnic tables, etc.

Pavement & Surfacing

Sections of boardwalk along the Hermanson Park greenway trail have uneven connections with the crushed rock trail surface that create tripping hazards and accessibility barriers. A fully-paved trail would allow ADA access and eliminate tripping hazards at wood decking transitions. In parks where site furnishings are installed on concrete and the pathways are asphalt pavement, aging and settling can create a gap or lip resulting in non-compliance with ADA access.

Pavement/Asphalt management should be identifying pavement cracks as they occur and marking them with paint to alert path users to the tripping hazard, while awaiting repairs or resurfacing. Tennis and other sport courts should be inspected semi-annually to predict the need for resurfacing. The cost for resurfacing warrants inclusion in the capital improvement program. Cracks at Settlemier Park tennis may be affecting quality of play. The City should consider resurfacing these courts. Some parking areas were in need of fresh striping, as well as sports court needing re-applied paint lines.

Wayfinding & Branding

Sign types and signage consistency varies within the park system. Trail signs are typically found at the beginning or ends of existing trail segments. The "Greenway Trail" signs are wood with inset lettering in green. While perfectly adequate for designating the trail, the design is difficult to see from a distance in a vehicle and misses the opportunity to clearly identify this great park system feature and also giving credit to the City for providing the amenity. Hermanson Park has a greenway trail sign identifying the paved pathway, but it lacks a park identification sign. North Front Street Park also lacks a park identification sign.

The Park identification signs used throughout the system also are difficult to read from a distance. Dark lettering on dark wood is not clearly distinguished as approached in a vehicle or from afar on foot. The new Smith Creek greenway and park space is identified as part of the Mill Creek Greenway Trail. Adopting this signage design for all the greenway wayfinding would provide consistency throughout the trail system. The new style could be gradually integrated by using the new style for smaller side entry park identification signs (generally lacking in most parks with secondary access points). Side entry signs could remain at a similar size to those used on Smith Creek's trail and park development sites.

Amenities

Play Equipment

Play equipment in City parks has been installed over different years, and some equipment parts are showing signs of wear. The need for replacements should be based on existing conditions, as well as predicted by charting past installation dates and planning for complete replacements when the assets have reached their expected lifespan. Older structures (greater than 20 years) should be scheduled for replacement in the near future to avoid potential injury and manage play safety risk. Some of Woodburn's parks have old play equipment that needs to be inspected to ensure safe continued use or planned future replacement.

Access to playground areas was not always barrier-free. Several play areas used plastic edging (to contain wood chips) that created accessibility barriers from park pathway pavement to the lower safety surfacing of the playground. The drop-off edges varied, exceeding the maximum ½-inch tolerance.

Play Safety Surfacing

In some play areas, the wood fiber play surfacing needs complete replacement, as evidenced by lack of buoyancy and weed growth. Regular playground inspections should include checking the depth and condition of engineered wood fiber for its resiliency to provide safe fall support. Most playgrounds using wood fiber require additional applications at least every two years. The City should consider transitioning to longer lasting safety surfacing, such as tiled or poured-in-place rubber.

Park Structures

While this planning process does not include any architectural or engineering assessments of built structures, a general recommendation includes regular inspections for structural integrity and operational function. Lights, outlets, roof coverings, surfacing and other elements can be visually inspected. Tracking the age of typical structures, such as restrooms and picnic shelters, can help predict the likelihood and timing for repair, renovation or replacement for the capital investment program.

ADA Compliance

Universal Access

As with many older parks, some architectural barriers were present in the park system. Updating and providing Americans with Disabilities Act (ADA) accessibility and compliance with federal guidelines should be part of a regular capital repair schedule to ensure the reasonable access on older pavements, parking, playgrounds, picnic amenities, restrooms and recreational elements.

ADA compliance issues were observed regarding park access at parking areas, missing tactile warning strips, and barriers to access into playground areas, as well as many benches and picnic tables lacking accessible routes. In several parks, picnic tables are free-standing in grass areas without any accessible route. Trash receptacles also are placed out of reach of paved pathways and may limit access for persons with mobility limitations. In older parks, the picnic shelters and restrooms may lack accessible routes. Picnic tables within the shelters may not provide for wheelchair seating or afford the space for a wheelchair to maneuver between tables. The dog park at Centennial Park could have the pavement extended beyond entry gates to provide improved accessibility.

Standards for park furnishing such as picnic tables, drinking fountains, bike racks, trash receptacles and

other common amenities used throughout the park system can be instrumental in assuring consistent ADA compliance and streamlined maintenance and repairs. The City will want to develop an ADA Compliance Checklist to identify and prioritize these deficiencies and develop a methodology for bringing all their parks into compliance.

Landscape/Environment

Park Trees

Dead or missing trees exist within some City parks and should be scheduled for replacement. Some tree trunks in natural areas could be retained when the trees die to provide nesting sites for birds and small mammals. Parking lot shade trees in Centennial Park were recently planted, and some have died and need replacement. The City should continue to monitor the success of tree establishment to ensure future tree health and good canopy cover.

Park Site Planning, Development & Improvements

Older parks where previous park elements have been removed, are outdated, or need replacement may provide an opportunity to conduct a site planning process to involve the public to help determine the future park amenities to be provided. The proposed Settlemier Park improvements presented in the Community Center plan would provide great new additions to the facility and park. North Front Street, Nelson and Burlingham Parks have room for additional park amenities, and including neighborhoods voices into the design process would be beneficial to identify local preferences for outdoor recreation amenities. Site plans that incorporate significant public involvement weigh favorably with granting agencies when seeking funding for improvement projects.

Safety & Crime Prevention Through Environmental Design (CPTED)

Much of the park layouts and landscapes seemed to meet the basic Crime Prevention Through Environmental Design (CPTED) principles of good visibility and overall positive perceptions of public safety. Park safety conditions were generally good throughout the park system with a few notable exceptions. At Centennial Park, the bleachers did not all have safety railings. The International Building Code (IBC) requires safety rails on any bleacher

seating with two or more tiers. These bleachers should be retrofitted with IBC-compliant designs.

Playground fall safety surfaces were in a range of conditions. The wood chips surfacing at several parks has deteriorated enough to support grass and other vegetative growth. To meet required safety specifications, engineered wood fiber needs to be a minimum of 15 inches in depth. This depth rarely can support plant growth, since it dries very quickly. When weeds are growing beneath play equipment, it is a good indication that the safety material is deteriorating. Hermanson Park and North Front Street Park also appeared to need full replacement of the play safety fall surfacing material.

92%

**Residential areas
within 1 mile of
community or
neighborhood park**

Park Distribution – Gap Analysis

Understanding the known gaps in the park system and evaluating the City's existing levels of service for parks will provide a foundation for strategic planning to ensure that tomorrow's residents have equitable access to a balanced distribution of parks, trails, and recreation amenities to stay healthy and active.

To better understand the distribution of existing recreation amenities and where acquisition efforts should be considered, a gap analysis of the park system was conducted to examine and assess the community's current access to various recreation opportunities across the City.

The gap analysis used travelsheds for each park classification and calculated travel distances along the road network starting from known and accessible access points at each park:

- For pocket/mini parks, travelsheds were derived using a ¼-mile service area with travel distances calculated along the road network starting from known and accessible access points at each park.
- For neighborhood parks, travelsheds were derived using a ¼-mile primary and ½-mile secondary service area with travel distances calculated from known and accessible access points.
- For community parks, travelsheds were derived using ¼-mile, ½-mile, 1-mile and 2-mile travel distances to acknowledge that these park types (including athletic fields) serve a wider array of users and driving to such sites is typical.
- A composite map of these classifications and all City parks and open space illustrate the entirety of City parks to the ½-mile travelshed.

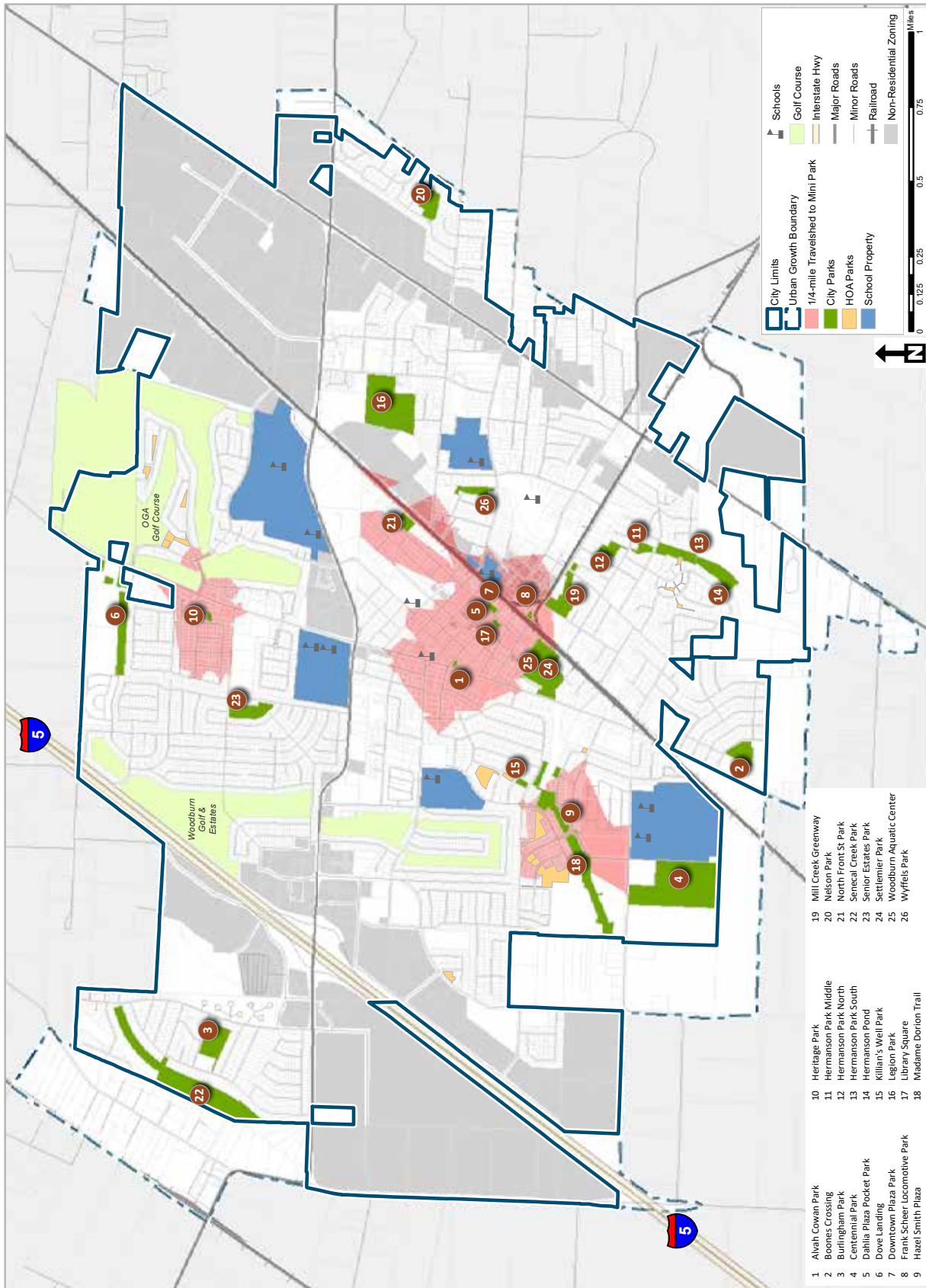
Maps 2 through 5 illustrate the application of the distribution criteria from existing parks. Areas in white do not have a public park within reasonable

distance of their home (½-mile). The illustrated 'travelshed' for each existing Woodburn park highlights that certain areas within the City do not have the desired proximity to a local park. Gaps between these service areas constitute "unserved" neighborhoods.

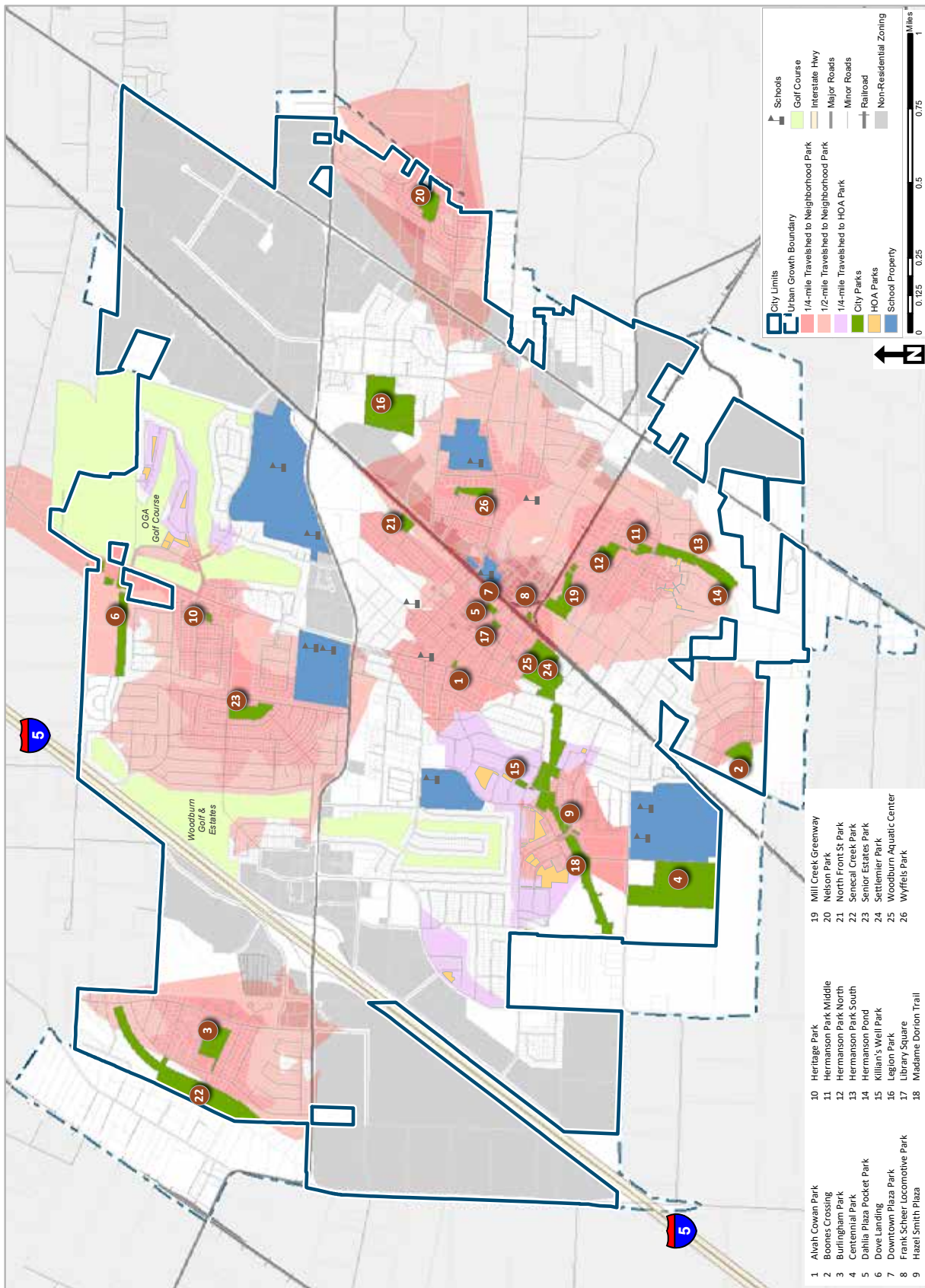
Striving to provide a neighborhood park within a reasonable distance (e.g., ½-mile) may require acquiring new park properties in currently underserved locations or improving multi-modal transportation connections to allow local residents to safely and conveniently reach their local park.

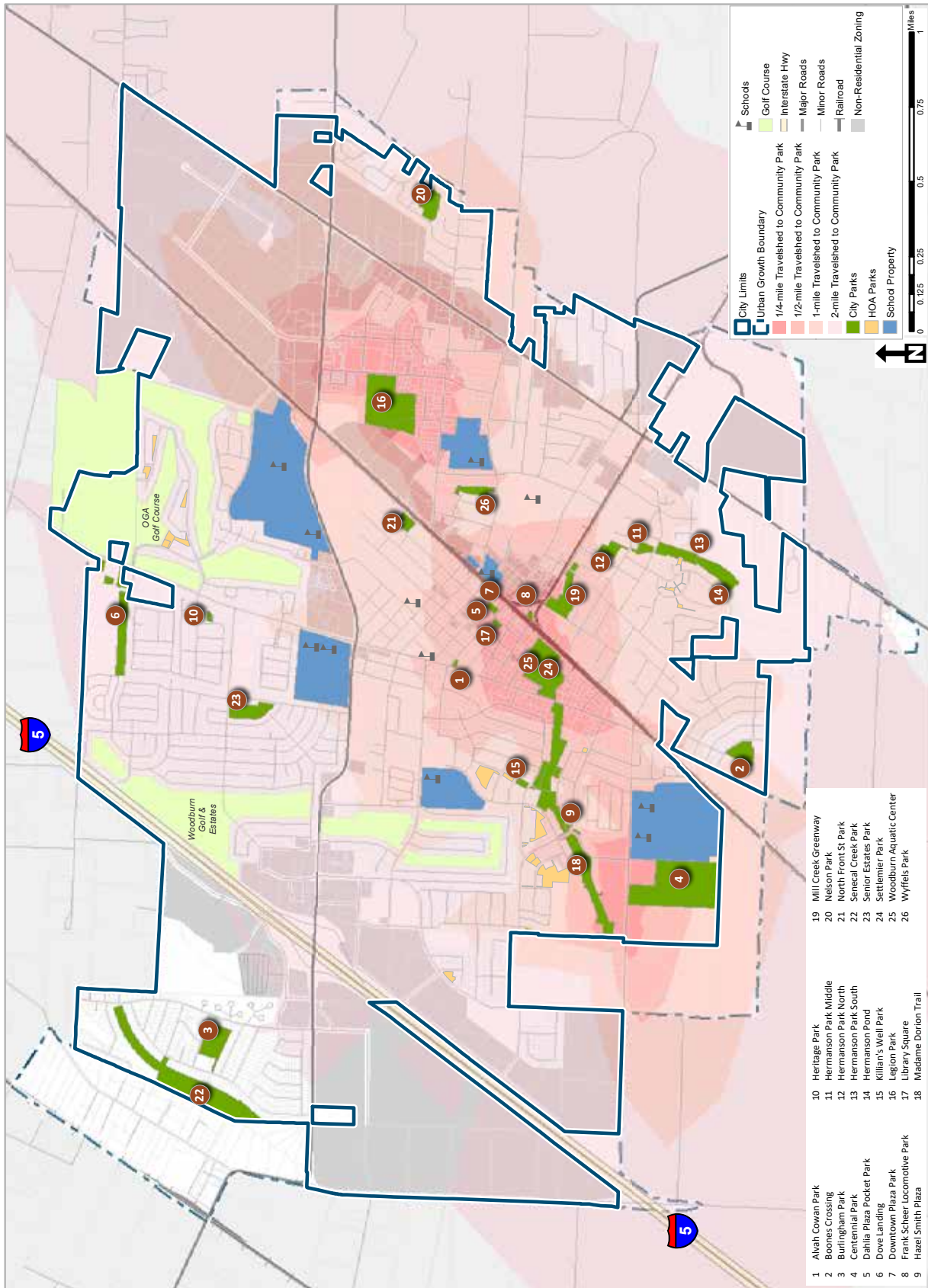
The mapping of park distribution and 'travelsheds' helps to illustrate the underserved parts of Woodburn. Areas of south, east and west Woodburn have limited access to public parks or are in areas of future growth as indicated by white areas on Map 6. These areas of the City should be targeted for future acquisitions to help create more equitable access for all residents. While these generalized acquisition areas do not identify a specific parcel(s) for consideration, the area encompasses a broader region in which an acquisition would be ideally suited.

Gap analysis modeling also assessed the distribution of various recreation amenities, including playgrounds, sport fields, sport courts, and trails, among others. Maps 7 through 14 illustrate the geographic distribution of these amenities, and this information is helpful in future park planning to improve access to the variety of recreation options desired by the community.

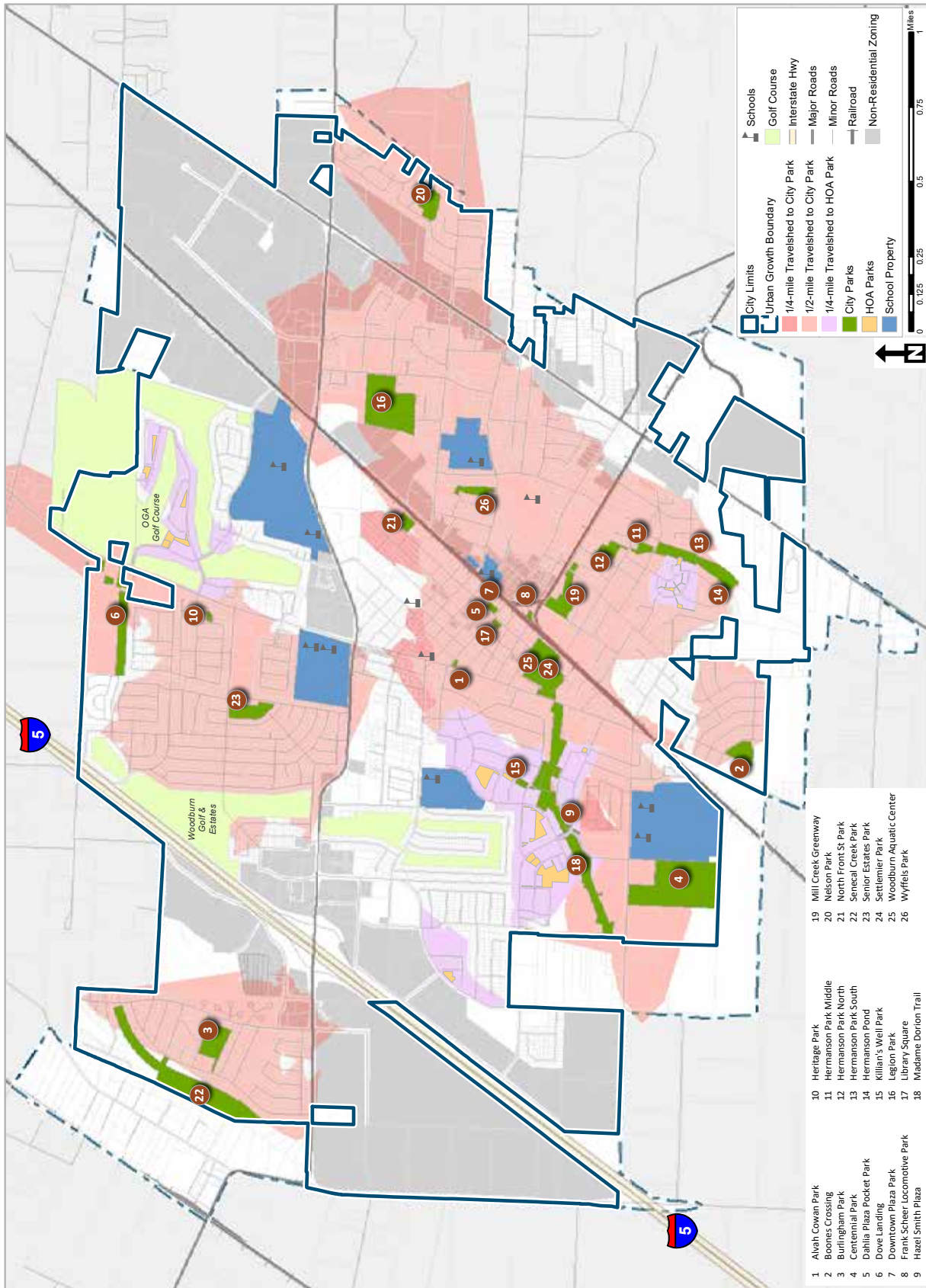


Map 2: Travelsheds for Pocket / Mini Parks (1/4-mile)

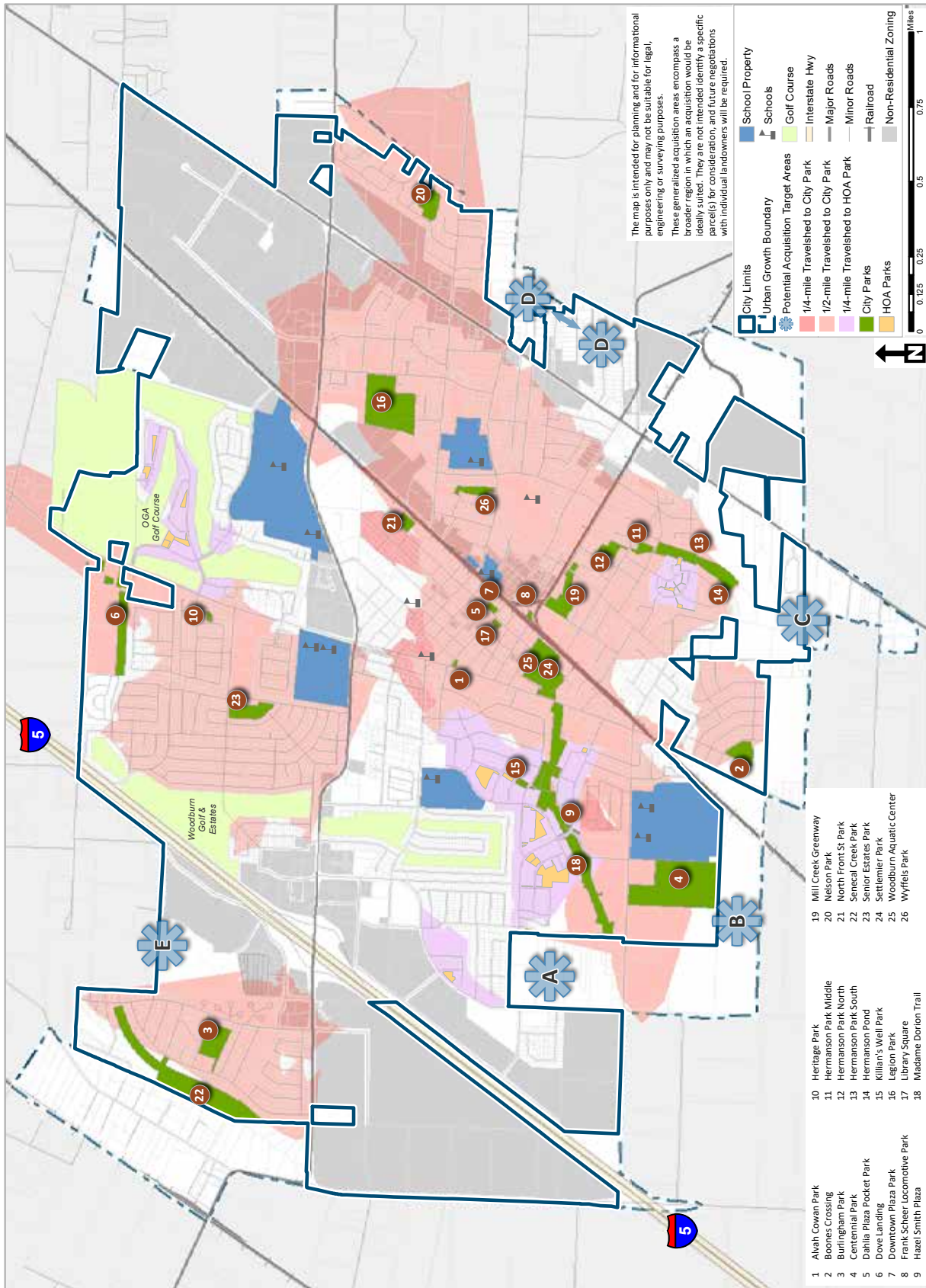




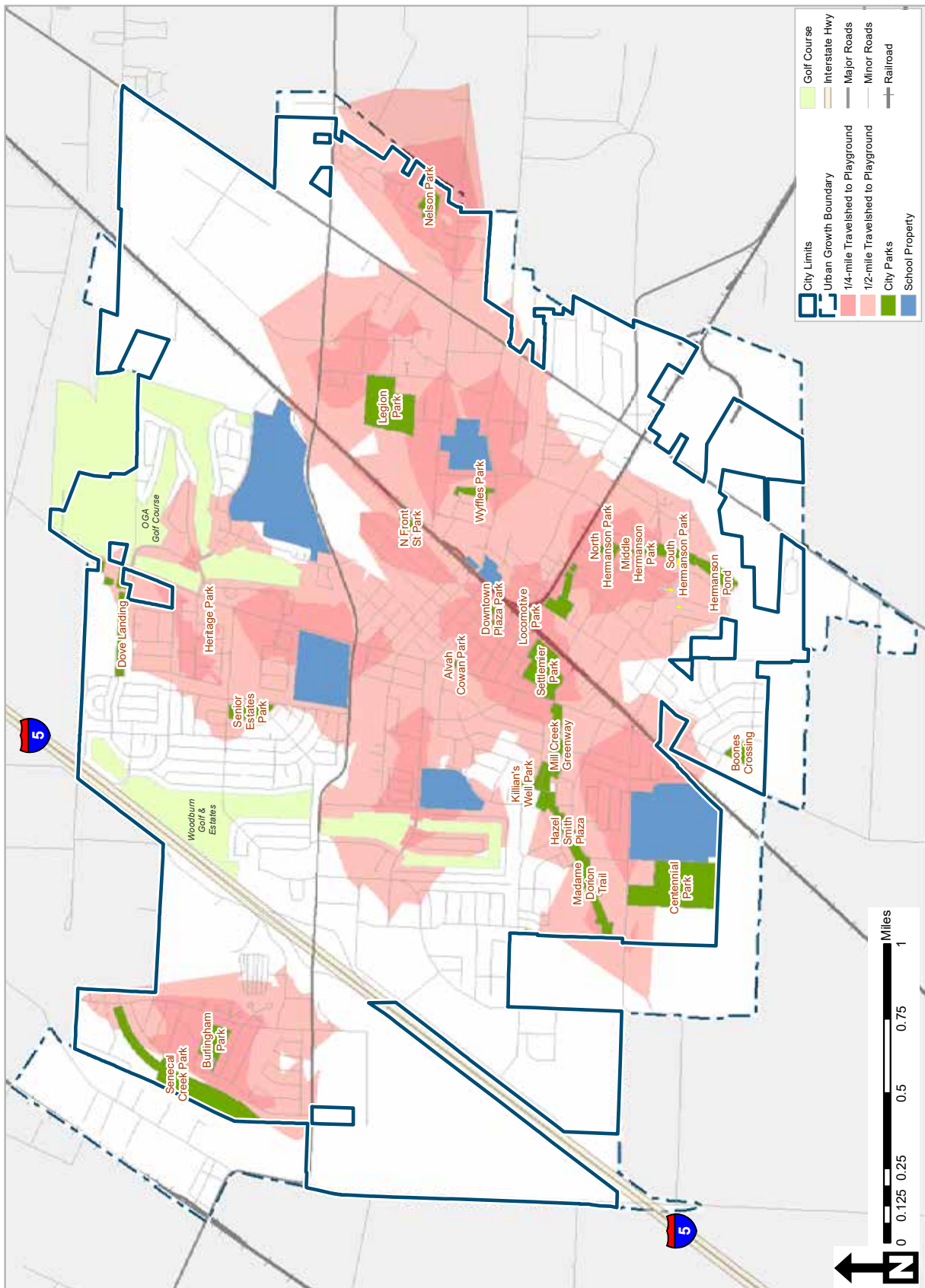
Map 4: Travelsheds for Community Parks (to 2 miles)



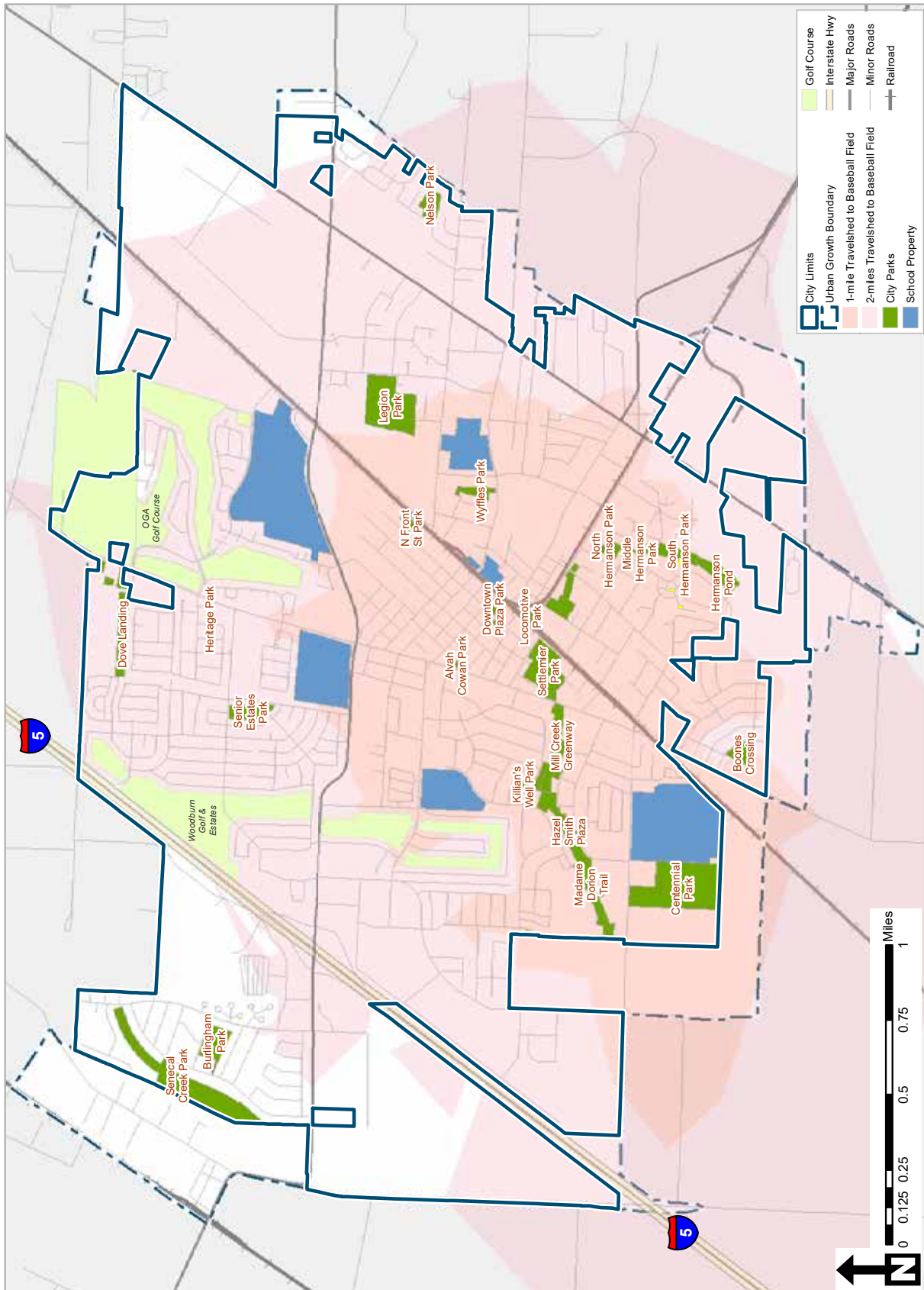
Map 5: Composite Travelsheds for Community, Neighborhood & Pocket Parks (1/4- & 1/2-mile)



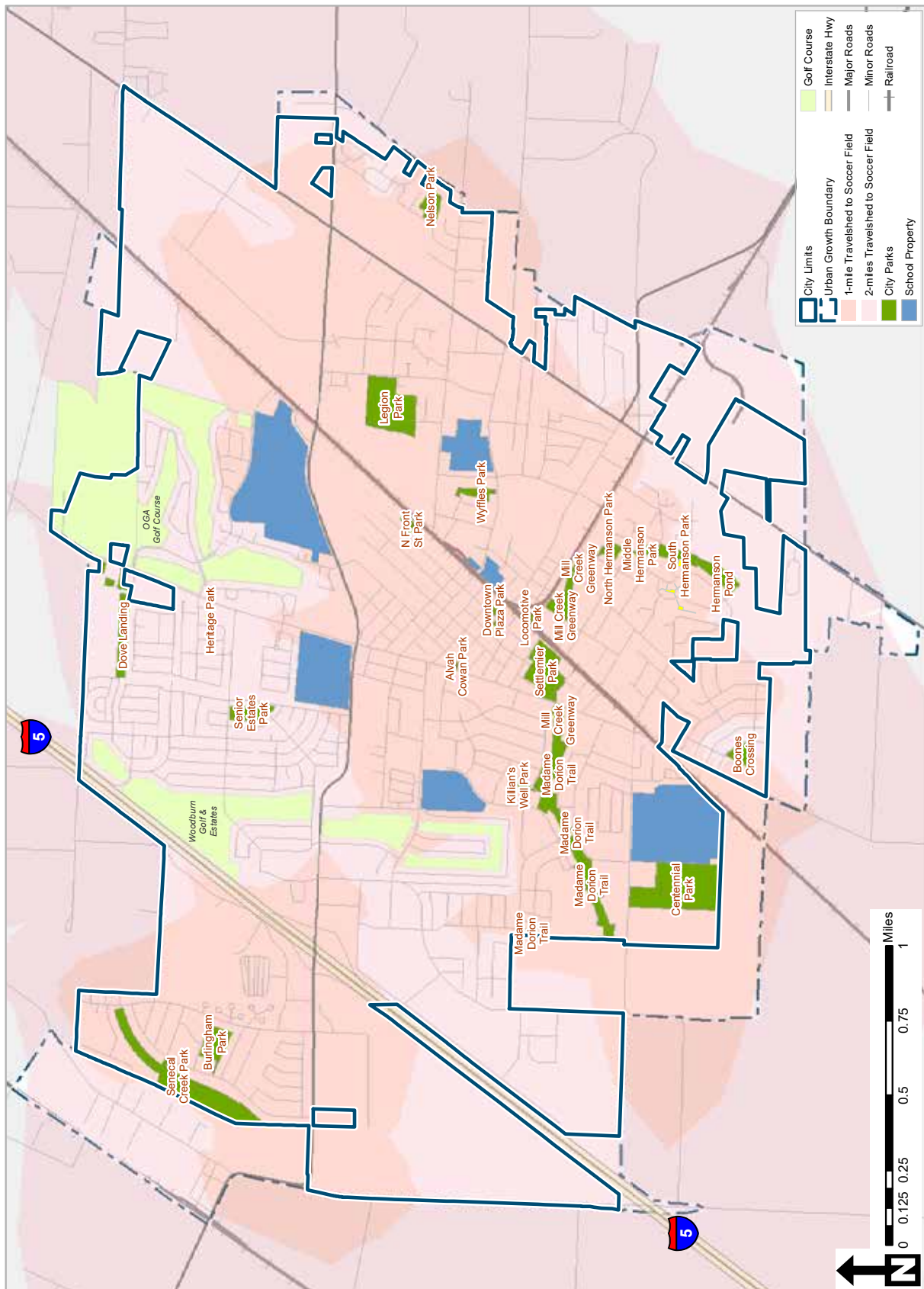
Map 6: Travelsheds & Potential Acquisition Targets

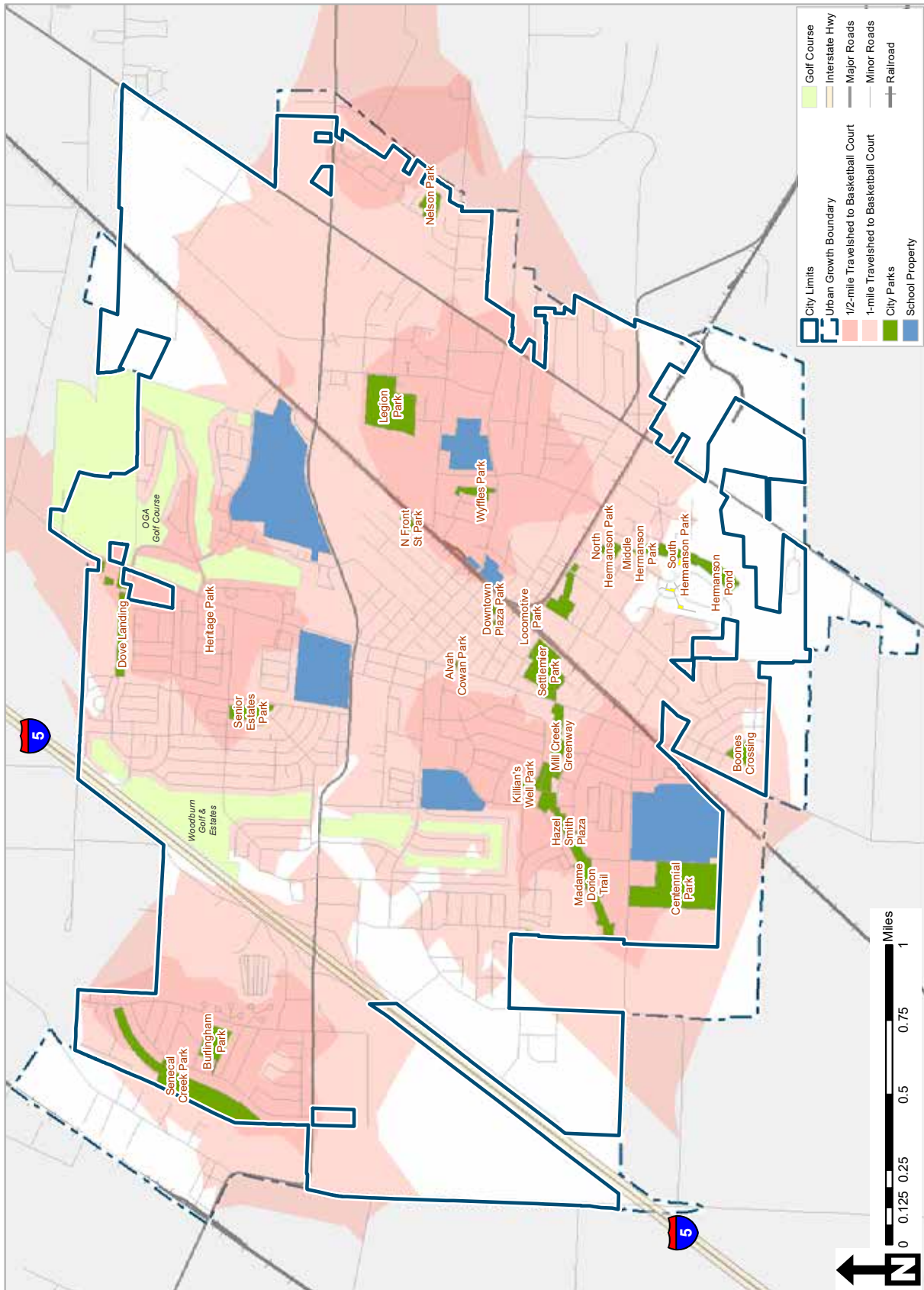


Map 7: Travelsheds: City Park & School Playgrounds (1/2-mile)

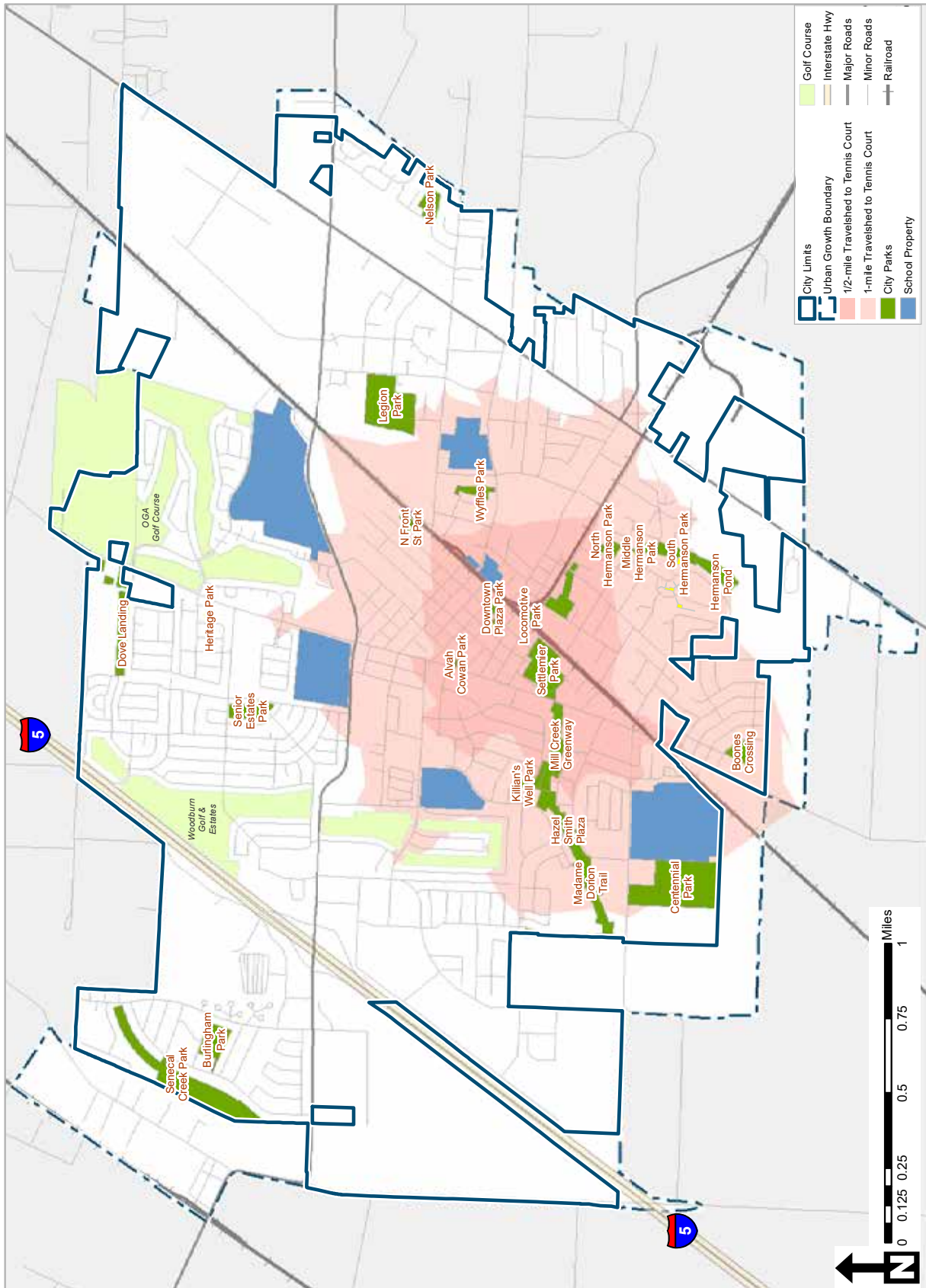


Map 8: Travelsheds: City Park Baseball/Softball Fields (1- & 2-mile)

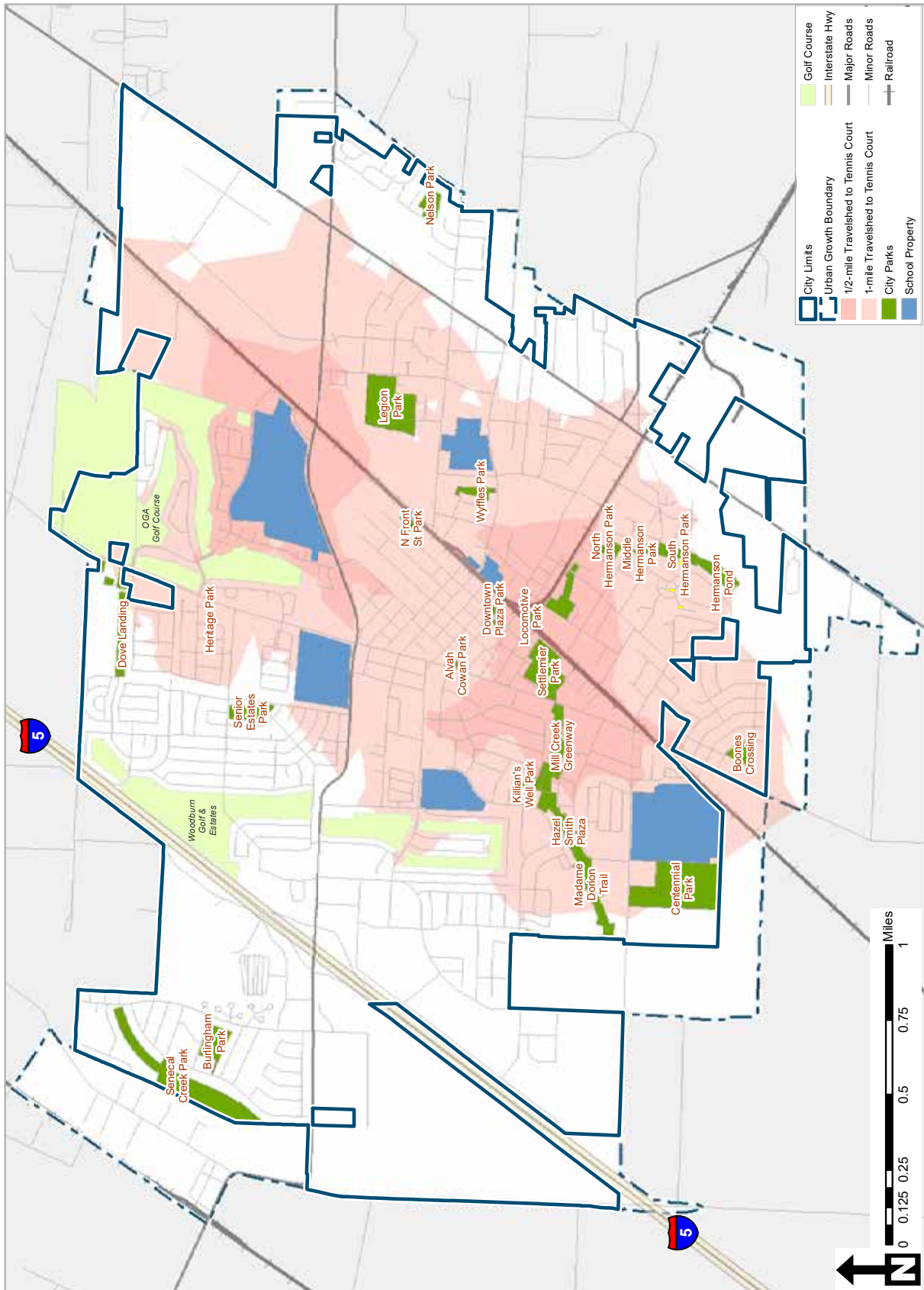




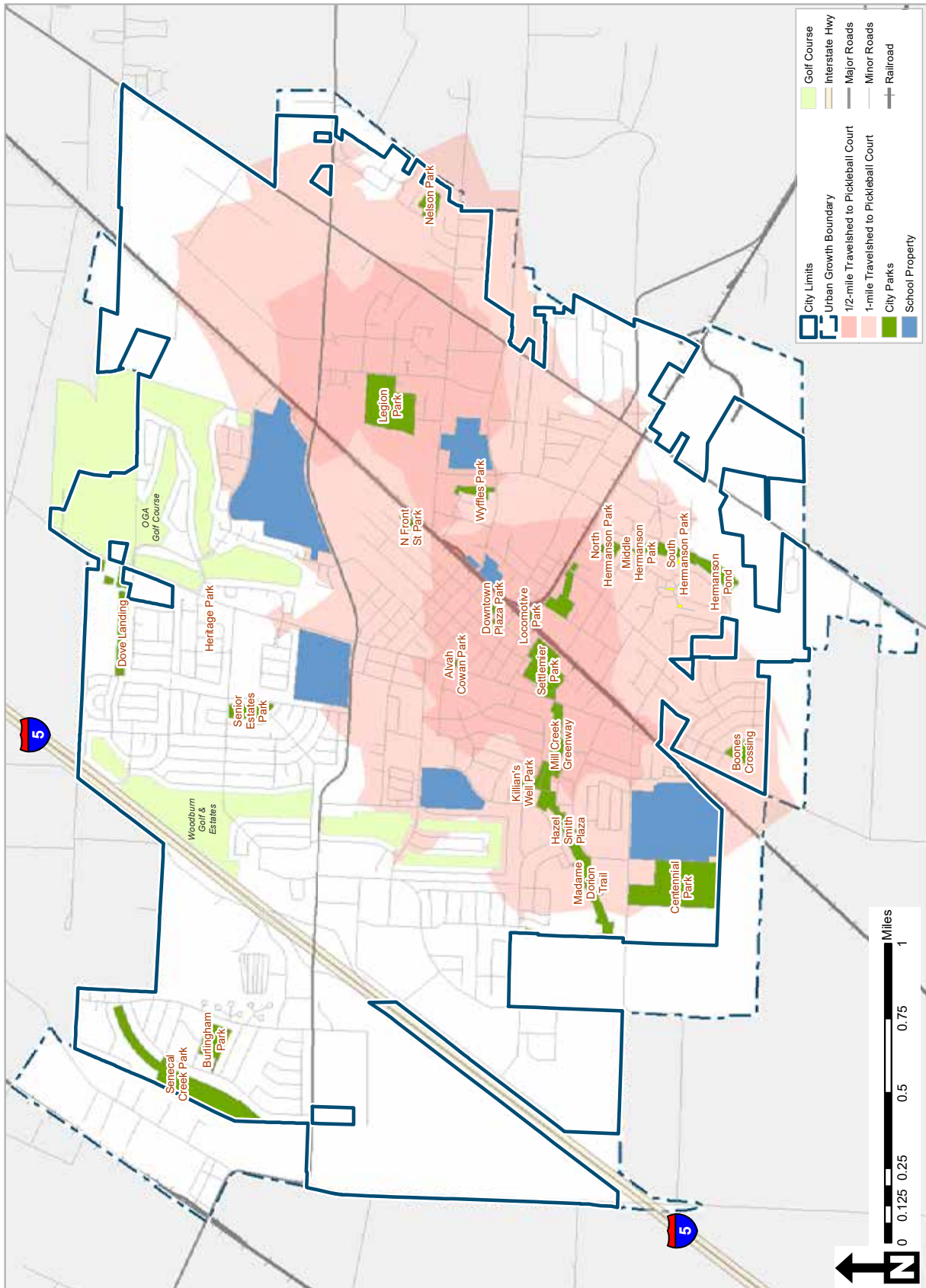
Map 10: Travelsheds: City Park & School Basketball Courts (1/2- & 1-mile)



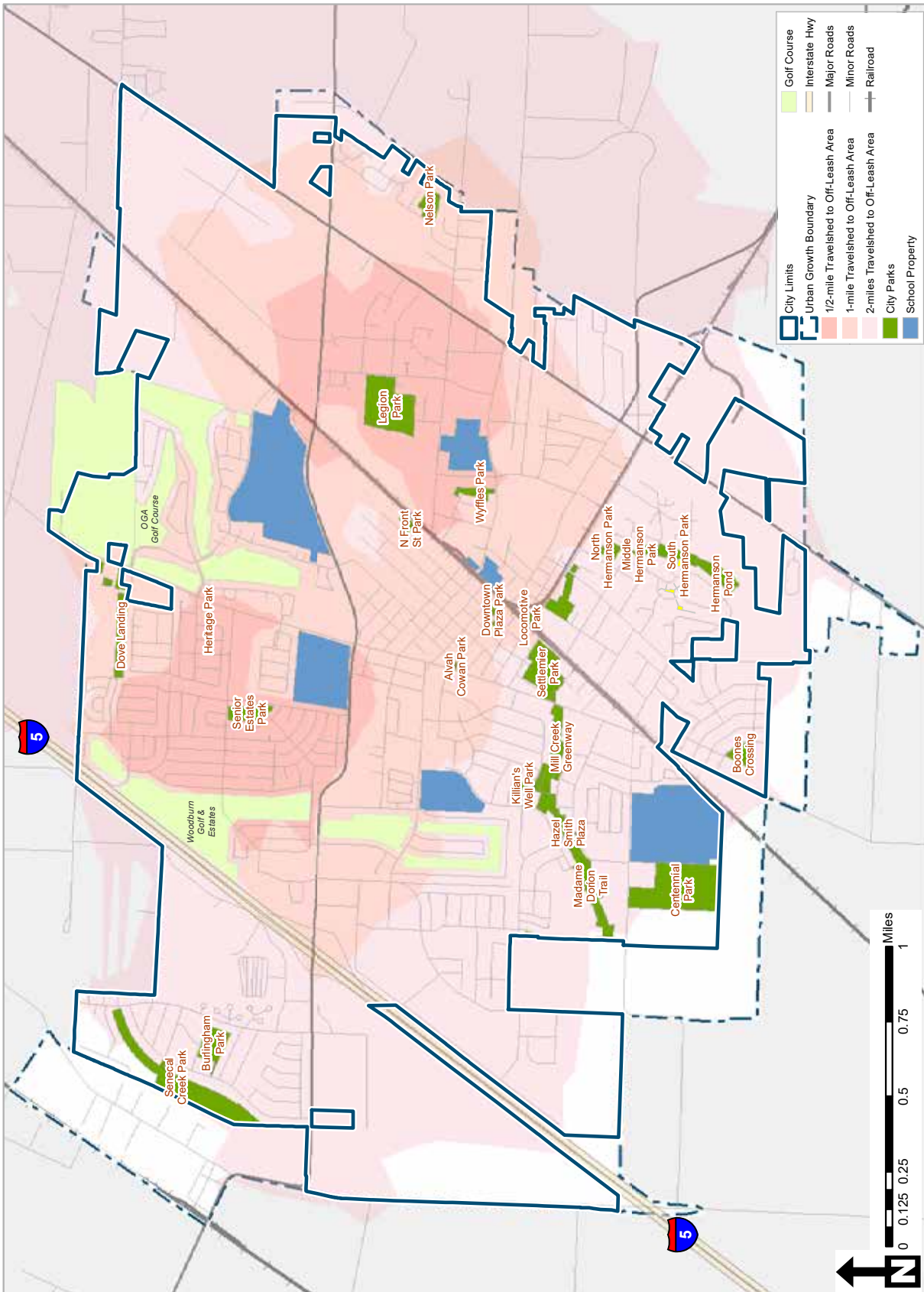
Map 11: Travelsheds: City Park Tennis Courts (1/2- & 1-mile)



Map 12: Travelsheds: City Park & School Tennis Courts (1/2- & 1-mile)



Map 13: Travelsheds: City Park Pickleball Courts (1/2- & 1-mile)



Map 14: Travelsheds: City Park Off-Leash Dog Park (1/2-, 1- & 2-mile)

Levels of Service

Service standards offer a benchmark for measuring how well the City is meeting the expectations for the provisions of parks, open space, and outdoor recreation facilities for the community. As guidance for assessing current quantities and qualities of parklands and facilities, the level of service (LOS) in Woodburn can be compared other agencies across the country. The traditional measurement focused on acres of parkland for the population. While this standard should not be used exclusively, it can offer a starting point for examining a number of more customized and diverse approaches to evaluating the City's current service levels through a variety of metrics.

National Recreation & Parks Association Agency Performance Review

The 2023 National Recreation and Parks Association (NRPA) Agency Performance Review and accompanying Park Metrics provide comprehensive park and recreation-related data to inform park and recreation professionals and key stakeholders about the state of the industry. The 2023 NRPA Agency Performance Review presents data from more than 1,000 unique park and recreation agencies across the United States, as reported between 2020 and 2022. These data provide guidance to inform decisions and demonstrate the full breadth of service offerings and responsibilities of park and recreation agencies across the United States. This

comparison of nationwide data with the City of Woodburn can provide guiding insights rather than target benchmarks.

The NRPA data are used to compare different park and recreation providers in communities across the country; however, the Park Metrics database relies on self-reporting by municipalities. Some agencies only include developed, active parks, while others include natural lands with limited or no improvements, amenities, or access. The comparative standards in the table on the following page should be viewed with this variability in mind.

Acreage-based Metrics

The NRPA Agency Performance Review provides a comparative of parkland acreage metrics across a range of jurisdiction population sizes. Parkland refers to both maintained parks and open space areas, such as greenspaces and plazas. The current population of Woodburn fits within the category of communities 20,000 and 49,999 people. For that population category, the median is 11.3 acres of parkland per 1,000 residents. The current parkland acreage per 1,000 residents in Woodburn is 5.1 acres per 1,000 residents, which is lower than the median and below the lower quartile for comparably-sized communities – based on a parkland inventory of 135 acres and excludes the acreage of local homeowners association open space and golf courses.

Figure 12. NRPA Park Acreage Metrics by Jurisdiction Size per 1000 Population

| | All Agencies | Less than 20,000 | 20,000 to 49,999 | 50,000 to 99,999 | 100,000 to 250,000 | More than 250,000 |
|----------------|--------------|------------------|------------------|------------------|--------------------|-------------------|
| Median | 10.8 | 13.0 | 11.3 | 11.2 | 8.9 | 10.1 |
| Lower Quartile | 5.3 | 6.0 | 5.9 | 5.0 | 4.5 | 5.2 |
| Upper Quartile | 18.4 | 21.1 | 17.9 | 17.3 | 17.1 | 17.7 |



Offer a city map and informational flyer or newsletter to let us all know what's available for free and for a fee with dates of community events or important happenings in town."

- Survey respondent

Staffing & Investment per Capita Metrics

Another method for assessing park levels of service examines the investment in parks and facilities using population and budget allocations. The NRPA data provides a comparison of annual operating expenses with other agencies and jurisdictions with similar population sizes. Applying the City's 2022-2023 budget data for the Community Services Department (expenditures of \$2,447,372, which exclude line items for the Library), the operating expense per capita is \$92.47 per resident, which is slightly less than the \$94.77 median for all agencies

and the \$103.95 median for park providers in cities with 20,000 to 49,999 residents, see Figure 13. With 135 acres of parkland (includes developed and undeveloped sites), Woodburn's operating expenses per parkland acre equates to \$5,703, which also is lower than the median expenditures of all agencies in aggregate and those of other similarly-sized jurisdictions.

Figure 13 also provides the nationwide comparison coupled with aggregate metrics and data of jurisdictions with a similar population size to Woodburn. In most of the listed categories, the City's provision of parks and recreation is within the range of other agencies in terms of residents per park and operating expenses per acres of parkland.

However, the number of full-time equivalent (FTEs) employees and the FTE ratio to population deviate from the NRPA median data, with Woodburn's FTEs slightly lower than comparable agencies. As the park and recreation system expands, the City will need to consider how best to balance the growing demands placed on park maintenance and operations staff to care for parks at the level desired by the community.

The City's capital budget spending over the past five years also is in line with the median of all agencies reporting to the NRPA.

Figure 13. NRPA Agency Performance Comparison

| NRPA Metric | All Agencies | Jurisdiction Size (20,000-49,999) | Woodburn |
|--|--------------|--------------------------------------|---------------------|
| Residents per Park (by jurisdiction size) | 2,287 | 2,014 | 1,059 |
| Acres of Parkland per 1,000 Residents | 10.8 | 11.3 | 5.1 |
| Miles of Trails | 15 | 8 | 4.5 |
| Park & Recreation Staffing (FTEs) | 51.5 | 32.3 | 20.5 |
| Parks & Recreation FTEs per 10,000 Residents | 8.9 | 10.7 | 7.7 |
| Parks & Recreation Annual Operating Expenses | \$5,500,000 | \$3,255,771 | \$2,447,372 |
| Parks & Recreation Operating Expenses per Capita | \$94.77 | \$103.95 | \$92.47 |
| Maintenance Operating Expenses per Park Acre | \$7,388 | \$8,106 | \$5,703 |
| Five-year Capital Budget Spending (prior years) | \$10,000,000 | \$5,000,000 | \$10,596,990 |

Figure 14. NRPA & Woodburn Metrics by Amenity Type

| Amenities | All Agencies | 20,000- 49,999 | Woodburn |
|-------------------------------|---------------------------------|-------------------|---------------|
| Amenities per 1,000 | | | |
| Median Acres per 1,000 | 10.8 | 11.3 | 5.1 |
| Median Trail Miles per 1,000 | 15 | 8 | 4.5 |
| Amenity | Number of Residents per Amenity | | |
| Playgrounds | 3,759 | 3,028 | 2,941 |
| Baseball (youth) | 6,863 | 5,033 | 5,294 |
| Soccer (youth) | 7,228 | 4,947 | 8,823 |
| Rectangular Field (multi-use) | 9,177 | 7,674 | 13,234 |
| Dog Parks | 43,532 | 28,000 | 13,234 |
| Skate Parks | 53,144 | 32,000 | 26,468 |
| Tennis Courts (outdoor) | 5,860 | 5,815 | 13,234 |
| Pickleball Courts (outdoor) | 13,922 | 9,257 | 4,411 |
| Multi-Use Courts (outdoor) | 15,948 | 9,667 | N/A |
| Basketball Courts (outdoor) | 7,404 | 7,117 | 6,617 |

Looking at the provision of recreation amenities within the park system provides another perspective on the adequacy of park service delivery. From the NRPA Park Metrics data, ten amenities were compared with the median values from an aggregate of all agencies across the country, as well as from similarly-sized jurisdictions to that of Woodburn, see Figure 14. The comparisons indicate that Woodburn is not deficient in playgrounds, baseball fields, dog parks, pickleball courts and skate parks. However, the City provides fewer soccer fields, multi-use rectangular fields and tennis courts than the median of agencies reporting. Also, based on the mapping analysis provided earlier in this chapter, several areas of Woodburn do not have easy access to existing recreational amenities, and residents have to drive for access for various activities.

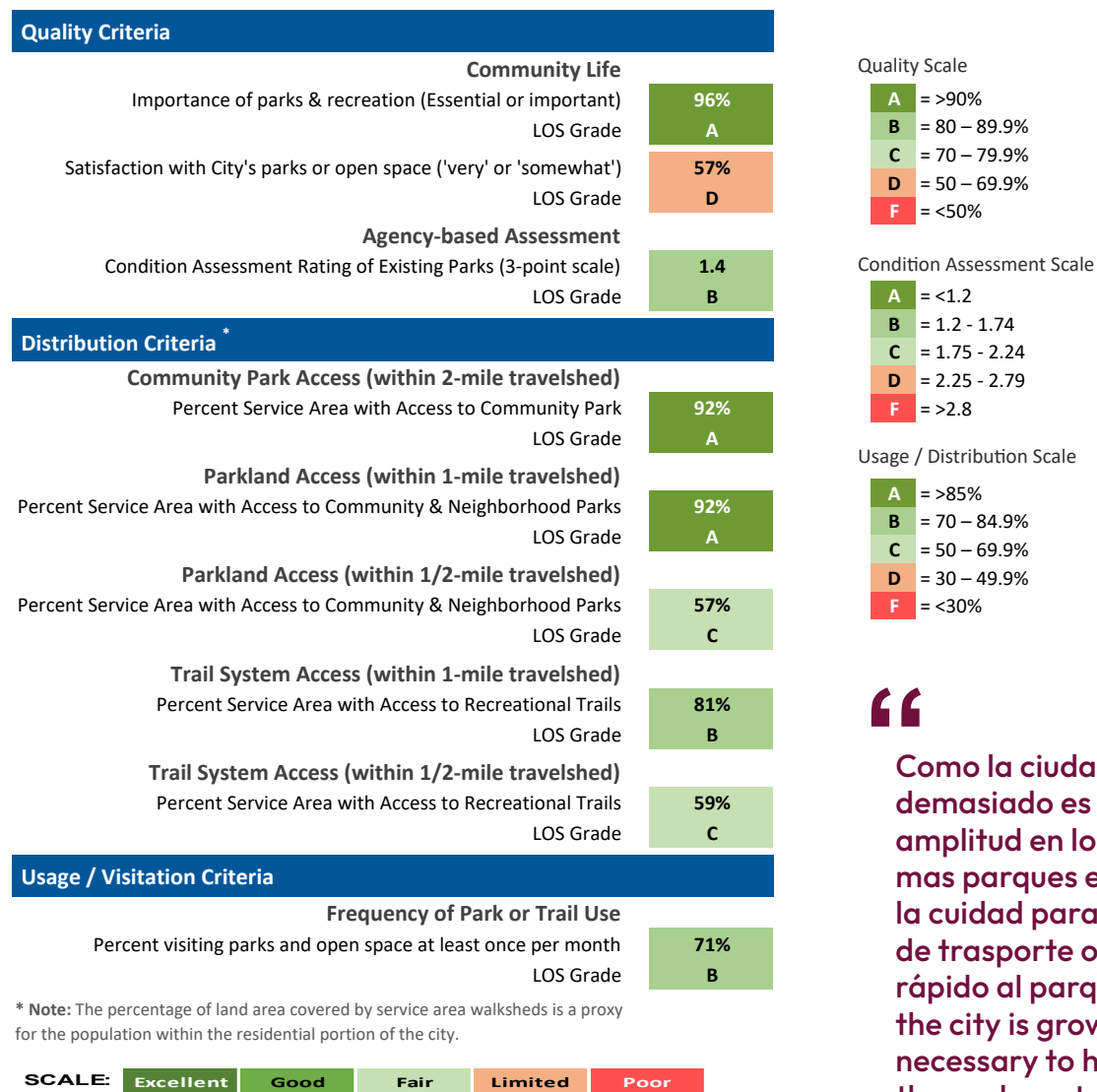
Other Performance Metrics

In reviewing the park system as a whole, Figure 15 illustrates the current levels of service across different performance measurements. From the community survey results, the frequency of park and trail visitation ranked as the strongest indicator for the park system.

These level of service metrics include distribution criteria to reflect the percent of travelshed coverage for each type of park in the community. Based on the gap assessment mapping, the City's community parks within a 2-mile travelshed cover approximately

92% of Woodburn. Areas outside these community park travelsheds are mostly located along the east and southwest perimeters of the City. Coverage measured as a ½-mile walking distance for pocket, neighborhood or community parks was considerably lower, providing access to existing parks for only 36% of the City. The gap analysis conducted for this Plan reinforces the need for new park locations to fill known gaps in parkland distribution.

Figure 15. Distribution & Sentiment Metrics



Como la ciudad esta creciendo demasiado es necesario mas amplitud en los parques o crear mas parques en polos opuestos de la ciudad para acortar el tiempo de transporte o sea llegar mas rápido al parque mas cerca. (As the city is growing too much, it is necessary to have more space in the parks or to create more parks in opposite sides of the city to shorten the transportation time or to get to the nearest park faster.)”

- Survey respondent



Chapter 6

RECREATIONAL TRAILS

Trails and paths provide people with valuable links between neighborhoods, parks, schools, transit, business centers, and other destinations. This chapter provides an overview of the trails system in Woodburn, including recommendations on continuing initiatives.

Completing and expanding trail system connections was identified as one of the priorities during the community engagement process, and walking was the top activity for Woodburn residents. The community seeks an expansion of walking trails and the establishment of bike paths, emphasizing the importance of connectivity between parks. Continuing to manage and invest in the trail system, while also improving trail access to transit options, is essential to maintaining a healthy and livable community and promoting alternatives to vehicle use.

Trail Trends

Walking and hiking continue to be the most popular recreational activities nationally and regionally. Furthermore, national recreation studies have consistently ranked walking and hiking as the most popular forms of outdoor recreation over the last ten years, and summaries of recreation trends are provided in Appendix G.

The Oregon Statewide Comprehensive Outdoor Recreation Plan confirmed that outdoor recreation is an integral part of life for most Oregon residents, with strong participation in the most popular category of activities, which includes walking on local streets/sidewalks (313 million user occasions) and walking on local trails/paths (113 million user occasions). Across the state, outdoor recreation participants rated the development of walking and hiking trails closer to home as high in importance. The most important funding need expressed by public recreation providers was for community trail systems.

The COVID-19 pandemic significantly impacted outdoor recreation activities, including trail use. Local and regional park and recreation agencies that managed trail systems were pressed to adapt to heavy usage and crowded trailhead parking, as many people shifted their daily exercise routines to outdoor activities, such as walking and bicycling.

An August 2020 report from the Outdoor Industries Association revealed that Americans took up new activities in significant numbers, with the biggest gains in running, cycling, and hiking. Walking, running, and hiking were widely considered the safest activities during pandemic shutdowns. Participation rates for day hiking rose more than any other activity.

The 2022 Outdoor Participation Report confirms the increase in outdoor recreation participants into 2021. Participation retained its momentum indicating that once someone begins to participate, they are likely to continue to participate. Hiking and running were the top two outdoor activities, a trend that has continued to build in recent years.

Notably, this 2022 report shares that the number of seniors, ages 65 and older, participating in outdoor activities grew by 16.8% (an astounding 2.5 million) since 2019. Trails and pathways are essential infrastructure to support outdoor recreation.

The annual study from the National Recreation and Parks Association of how Americans use their parks determined that people who live near parks and recreation facilities are more likely to arrive at that park by walking, biking or running, with walking being the most common method of transport.

With the rapid increase in electric-assist mobility and the potential for user conflicts due to increased speeds, Woodburn will want to determine the best approach for ensuring safety for all trail users and how best to promote trail etiquette on shared-use pathways.

Community Insights

As noted in previous chapters, feedback from the community surveys and two public meetings provided a wealth of local insights on current usage and interests in various recreation amenities, including trails. Survey respondents visit local parks and recreation facilities for a variety of reasons, but the most popular reason is to walk or run (69%). About two-thirds of survey respondents would like to see more walking and biking trails (72%).

Respondents were asked about their support for a variety of potential additions to the park system. Virtually all residents were either very or somewhat supportive of additional walking trails (92%). From a list of potential park system investments, respondents identified improving and upgrading existing parks as their top priority, followed closely by expanding trail opportunities.

Respondents were asked to describe one thing that they would like to see the City of Woodburn do to improve parks, trails, aquatics, and/or recreation programs. One of the common themes that emerged from the 380 specific comments was walking trails and connectivity. The community seeks an expansion of walking trails and the establishment of bike paths, emphasizing the importance of connectivity between parks. Residents also specifically requested better lighting along trails, wheelchair-friendly paths, and pet-friendly trails.

The fall 2023 online open house provided additional community input toward trail improvements. Several respondents advocated for safe pathways connecting various parts of the community, schools, and downtown areas. Others mentioned they would like improvements to trail safety with lighting. Regarding potential trail amenities, open house participants more strongly favored trailhead restrooms, benches along trails, and drinking fountains or water bottle filling stations. The top three trail segments include a citywide loop trail around Woodburn, expanding Mill Creek trail between Settlemier Park and Woodburn High School, and connecting Centennial Park to Settlemier Park. Other comments included:

- Installing more seating along paths,
- Adding a bike repair center, and
- Improving trail accessibility.

These community needs are already informing future investments. The City's adopted Budget for 2023-2024 proposes to invest in additional development of the Mill Creek Greenway Trail with an estimated \$850,000, that was made possible by an approved grant application to help fund several proposed segments of the Mill Creek Greenway Trail and connector pathways. The Oregon Community Pathways Grant helps fund off-street, shared use trails to connect employment, social services and school sites. The grant application targets five different trail segments that would help connect to existing trails, neighborhoods and destinations.

Trail Planning

Implementing Woodburn's network of trails will expand access for all community members and support sustainability goals around reducing vehicle dependence. The trail network serves as foundational infrastructure for an interconnected system of outdoor recreation facilities. Connecting trails into and through urban centers and new neighborhoods will allow for alternative modes of accessing goods and services. Several past plans have articulated the need for, and continue to guide, an expanded trail system.

The City of Woodburn Comprehensive Plan recently amended in 2022 states the intent of the City to provide adequate parks, recreation facilities and open space to maintain Woodburn's livability and managed growth, and to provide social, economic and environmental benefits to individuals, families and the community. The Plan articulates policies for acquisition and development of adequate parkland for neighborhood parks, trails and open spaces. The City established a one-third mile walkability target for residents to have easy access to parks, trails, and indoor facilities. The implementation of the Mill Creek Greenway Master Plan and the provision of a continuous public greenway and pathway system is another policy within the Comprehensive Plan.

The Mill Creek Greenway Master Plan drafted in 2007 created system-wide recommendations for trail design, alignments and improvements along the Greenway. The Master Plan provides recommendations for trail routes, transition nodes, and support facilities such as restrooms, trailheads, benches, and signage. The Master Plan also provided a six-year plan for project implementation along sections currently owned by the City. The Plan cited the Marion County Transportation Plan as including a trail route along Mill Creek that would connect Woodburn with the City of Gervais to the south and Hubbard and Aurora to the north. This trail would continue Woodburn's Mill Creek Greenway system to the Pudding River, just north of Aurora.

The previous 2009 Woodburn Parks Master Plan included recommendations that identified the need to improve walkability to parks and recreation facilities and to the community as a whole. The Parks Master Plan also provided a ten-year list of recommended capital projects with proposed implementation timing and estimated costs. The first phase of the Mill Creek Greenway was constructed in 2011. Acquisition of properties and future trail construction projects were identified over the next ten years.

The Highway 99E Corridor Plan was developed for the transportation corridor that runs through the eastern edge of the City of Woodburn for the purpose of facilitating the revitalization of the corridor. The Plan examined pedestrian and bicycle access and safety and promoted redevelopment that would result in a more walkable safe streetscape with connections to adjacent neighborhoods. The Plan includes an access management plan to be implemented incrementally to improve traffic safety for motorists, bicyclists and pedestrians.

The Transportation System Plan (TSP) for the City of Woodburn set the goals for multimodal mobility to provide a multimodal transportation system that includes a network of bike lanes and routes, as well as sidewalks and off-street pathways, that improve bicycle and pedestrian mobility within neighborhoods and link other community destinations. The TSP names the Mill Creek Greenway as a high priority project and numerous connecting pathways as medium priority projects for implementation. The TSP cites the value of wayfinding signs for use on primary bicycle routes and multi-use paths to help define the route and direct users towards destinations with information about distances and average travel times. The TSP projects include a city-wide wayfinding signage system to support bike routes, multi-use paths, parks, schools and other destinations.

Trail Classifications

As Woodburn's trail system grows and the extent of the Mill Creek Greenway Trail connects to neighboring cities, it will be beneficial to adopt a trail classification system to distinguish between types of trails and the standards of maintenance that would be expected. The Mill Creek Greenway Trail currently functions to connect the community across different neighborhoods, parks and destinations. The Greenway Trail also travels through some parks. Individually, some parks have interior paved pathways and trails that provide easy access to park amenities.

The Woodburn recreational trail classification system should be based on a tiered network and includes three primary trail categories: Regional, Connector, and Local/Park Trails. The differences between trail classifications are based on the purpose and intensity of use, which influences the trail width, material, and recommended support facilities.



Regional Trails

Regional trails are typically planned and designed with active transportation and high volume recreation use as their primary purpose. The Mill Creek Greenway Trail future segments are planned as 10' paved pathways with 2' on each side (per current WDO). In general, regional trails are completely separated from roads by distance or barriers, and at-grade crossings of roadways are minimized to avoid conflicts. Regional trails should be a minimum of 10 feet wide under most conditions, with a minimum two-foot wide graded area on both sides that should be flush with the trail. These trails are intended to be long-distance routes that connect to other trails and extend to other cities. Coordination with adjacent jurisdictions including Marion County, community development programs, and transportation planning is central to developing a complete system of regional trails.

Connector Trails

Connector trails are the key linkages between regional trails and other major areas. These trails can be paved or soft surface trails, but these are typically more narrow than regional trails, due to more limited

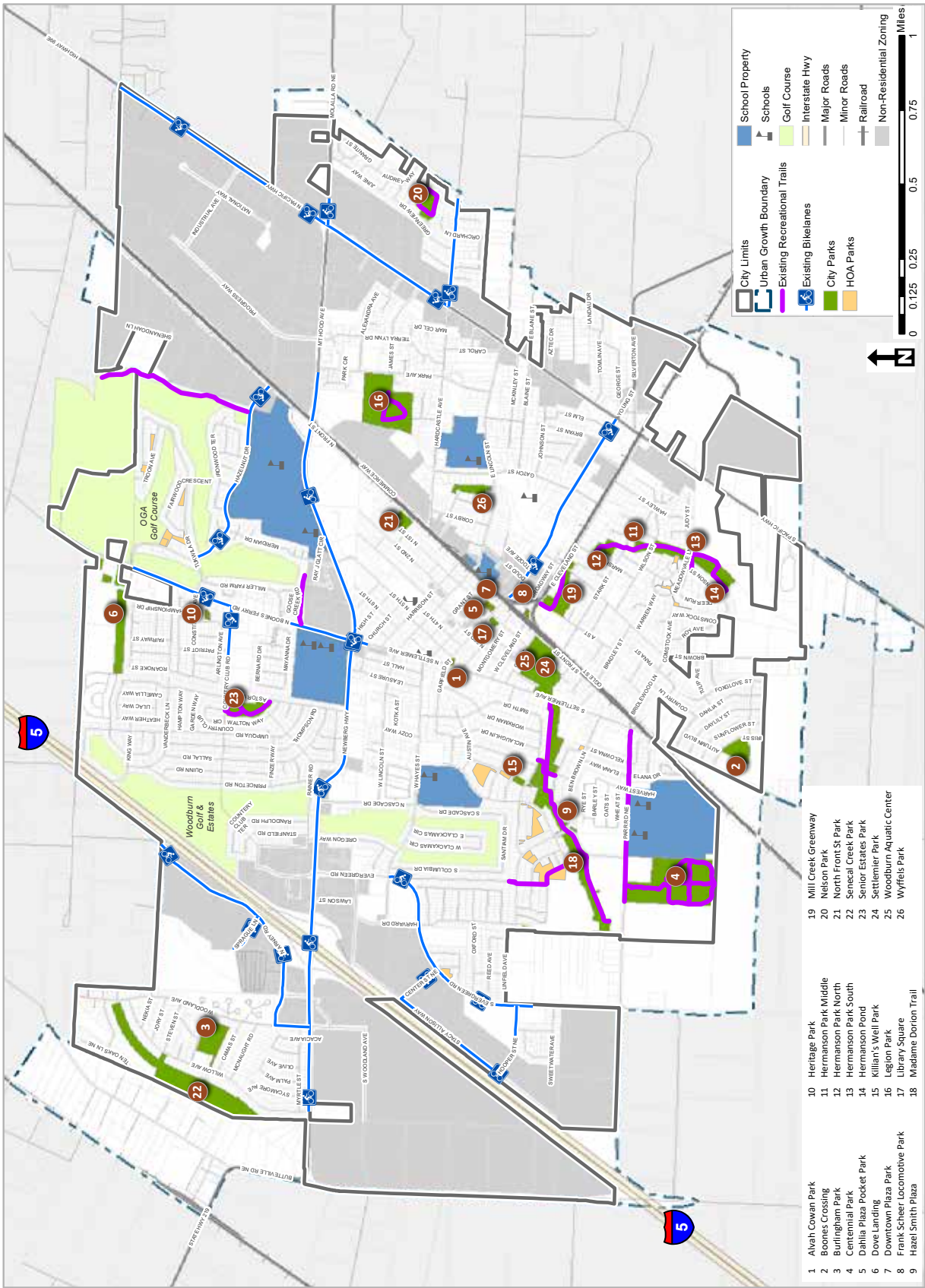
use and possible land access issues. These trails are designed for recreation and transportation uses. Connector trails should meet the City's sidewalk standards at a minimum and have a width of six to eight feet. Where feasible, connector trails could match the width and character of regional trail to provide a smooth transition and meet local demand.

Local/Park Trails

Local trails are typically within or connected to parks and may be paved or soft surface trails that can range from a few feet foot to ten feet wide. These trails are typically designed for recreational uses, such as neighborhood links, park trails, and hiking, off-road bicycling, and equestrian trails. These trails can also meet special interest activities, such as BMX and mountain biking. Park trails are typically paved with concrete or asphalt. Other local trails may be constructed with native soil from the site or with a surface of gravel or wood chip material if additional reinforcement is required. Trail surfaces are graded slightly to reduce the potential for erosion.

Figure 16. Recommended Trail Classifications

| Classification | Function | Use Type | Users | Surfacing | Width |
|---------------------------|---|----------------------|--|---|--------|
| Regional Trail | Major connections through community and beyond | Multi-use | Pedestrians, cyclists, skaters. Equestrians (where feasible) | Asphalt, concrete, boardwalk. | 12-18' |
| Connector Trail | Connects parks, trails, neighborhoods and destinations | Multi-use | Pedestrians, cyclists, skaters. | Asphalt, concrete, boardwalk. Gravel, possible. | 8-12' |
| Local / Park Trail | Interior loops or point-to-point routes in public spaces. | Multi- or single use | Pedestrians, cyclists, skaters. | Asphalt, concrete, boardwalk. Gravel, native soil, forest duff, wood chips also possible. | 2-10' |



Map 15: Existing Recreational Trails

Trail System Inventory

In addition to paved pathways and natural surfaced trails within individual parks and open spaces, Woodburn has a growing network of trails providing outdoor recreation opportunities and connections across the city. These trails generally are part of the Mill Creek Greenway Trail system and offer a variety of surface types and accommodate pedestrians and cyclists. The existing recreation trail segments provide 5 miles for walking and biking.

Figure 17. Woodburn Trail Inventory

| Trail Segment | Classification | Length (ft) | Length (mi) |
|---------------------------|-----------------|---------------|-------------|
| Centennial Park | Park Trail | 5,255 | 1.00 |
| Legion Park | Park Trail | 1,358 | 0.26 |
| Mill Creek Greenway Trail | Regional Trail | 7,065 | 1.34 |
| Nelson Park | Park Trail | 1,174 | 0.22 |
| Right-of-Way Route | Connector Trail | 3,017 | 0.57 |
| Senior Estates Park | Park Trail | 1,311 | 0.25 |
| Smith Creek Trail | Connector Trail | 6,430 | 1.22 |
| Other | Local Trail | 875 | 0.17 |
| Total Length | | 26,486 | 5.02 |



Add walking trails and wildlife preserve areas. The city has a large amount of recent apartment buildings going up. Those people need nice places to get out and enjoy the outdoors.”

- Survey respondent

81%

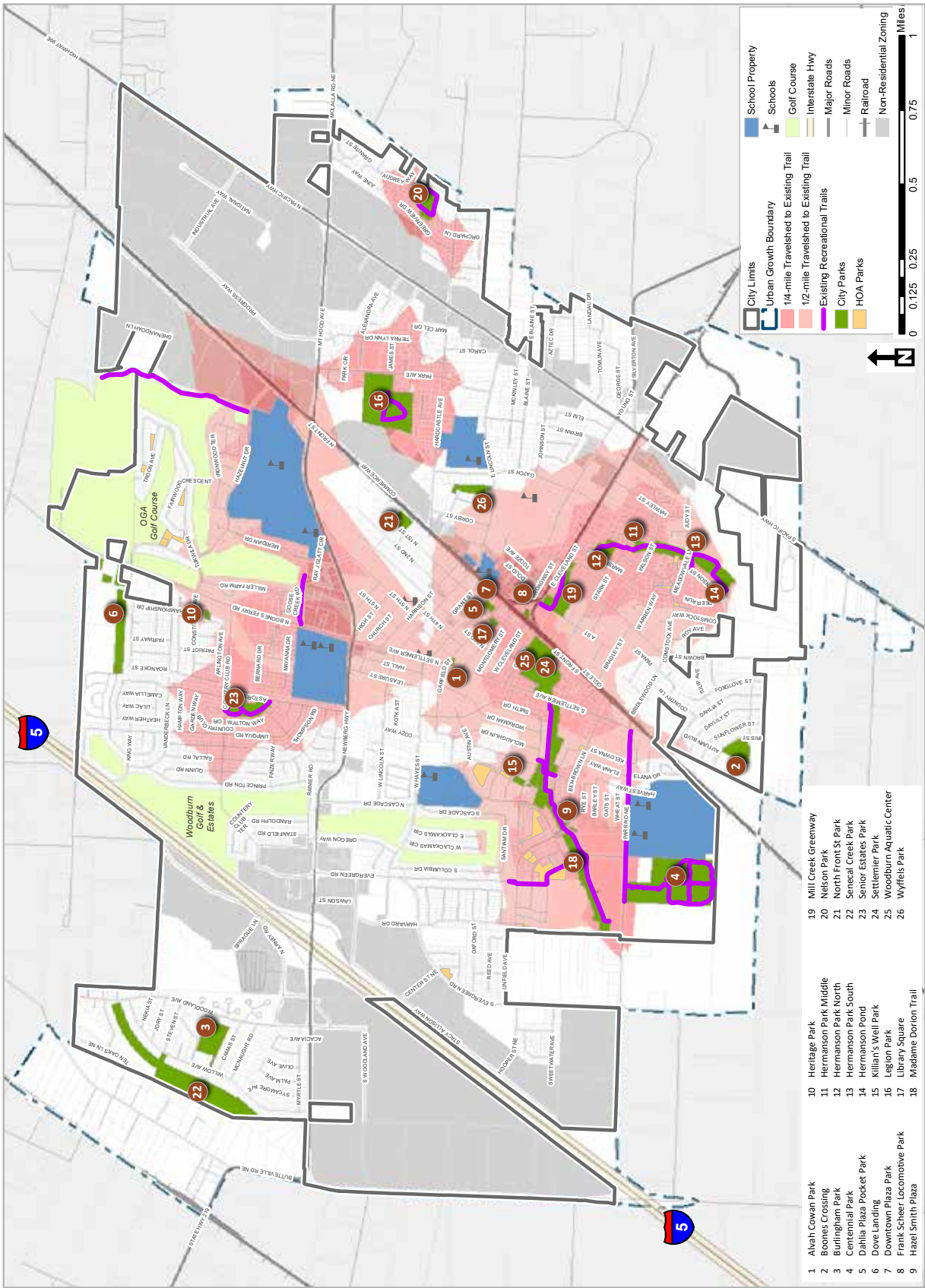
Residential areas within 1 mile of recreational trail

Trail System Gap Analysis

A gap analysis was conducted to examine and assess the accessibility of existing recreational trails. As with the parkland analysis, travel distances were calculated along the road network starting from each existing trail segment's known access points. Local trails within parks were also depicted. Travelsheds were calculated with ¼-mile, ½-mile and 1-mile distances for major trails (e.g., Mill Creek Greenway Trail) and ¼-mile and ½-mile travelsheds for the remainder (e.g., local/park trails). Map 16 illustrates the citywide distribution of recreational trails and the relative access to these corridors within reasonable travel walksheds. Approximately 59% of the City has access to regional and recreational trails within a ½-mile. The service area grows to 81% of the City when the travelshed is expanded to a 1-mile distance for major trails and ½-mile distance for minor trails.

Similar to transportation planning, recreational trail planning should be geared toward connectivity as a system performance metric, rather than mileage. Only considering a mileage standard for paths within the Woodburn park system will result in an isolated and inadequate assessment of community needs with little consideration for better trail connectivity.

This Plan recommends a connectivity goal that re-states and reinforces the desire to improve overall connections across the City to enhance off-street linkages between parks, schools, and major destinations, as feasible. The use of policies and objectives is more appropriate for the expansion of the trails network with a focus on connectivity, rather than the use of a per capita distance metric (e.g., miles per 1,000 population). Therefore, this Plan does not propose a mileage-based trail facility standard. To be clear, the proposed exclusion of a mileage-based standard for trails does not diminish or reduce the importance of or value in continuing to expand and grow the trail network; the intent is merely to orient the City's efforts toward a policy-based approach of trail connectivity.



Map 16: Travelsheds for Existing Trails (to 1/2-mile)

Trail Amenities

Alignments & Connections

The expansion of the trail network should prioritize trail alignments and locations that are optimal from multiple perspectives: trail user, trail experience, and trail connectivity. Cost, regulatory, and site suitability factors are typically incorporated into implementation timing. New trail alignments should strive to accommodate different trail use types (i.e., commuter vs. recreational/destination oriented) and utilize interim solutions, such as widening sidewalks and utilizing existing or planned utility corridors as opportunities for trail improvements. Integration of trail projects with other pedestrian infrastructure projects and other transportation projects implemented by the City is essential for expanding the reach of trail opportunities. Trail alignments for neighborhood and park trails should serve as connections to regional, shared-used trails to provide access and reduce the sole reliance on trailheads for providing access to the trail network. New developments also should provide for connections to nearby trails and pathways, wherever feasible. The Conceptual Recreational Trail System map (Map 17) indicates potential alignments that can vary depending upon landowner willingness, along with environmental constraints and design considerations.

Areas of Respite

Beyond trailheads that can provide access to the trail with parking, restrooms, drinking water or seating, rest areas along trail segments can enhance the trail user's experience to enjoy the natural settings and/or urban dynamics of the trail's environment. Areas of respite are usually available within developed parks connected to the trail system, but longer sections of trails between trailheads and parks could offer places to rest, stop and chat, enjoy wildlife viewing, reconnoiter, meet-up with fellow trail users, etc. Differentiated from trailheads, these 'rest stops' can simply offer pull-offs with benches or picnic tables, observation or viewing platforms, or interpretive signs. These sites should also be included in the emergency response system with an identifying code to provide locator information.



Trails for Walkable Communities

Parks are known to contribute to a healthier community by providing accessible outdoor recreation particularly through the walking trail within each park. Getting to a park by foot or bike can also offer a healthier choice integrated with the park destination and its amenities. In the NRPA publication *Safe Routes to Parks*, the elements of walkable, healthy community design are outlined as convenience, comfort, access and design, safety, and the park itself. Sidewalks, bikeways, and trails should provide an integrated alternative transportation system for residents to access parks and other destinations within their community. As further emphasis for the importance of a walkable community to promote public health, the Surgeon General has issued a Call to Action to "step it up" and promote more walking and build a more walkable world. A more connected network of trails, sidewalks, and bike lanes with links to public transit also provides economic values.



Trails for Aging Populations

Today's active seniors are looking at retirement age differently, as many are retooling for a new career, finding ways to engage with their community, and focusing on their health and fitness. It will be critical for Woodburn's park and recreation system to take a comprehensive approach to the City's aging population needs. Accessibility and barrier-free parking and paths, walkability, and connectivity will be paramount to future planning. Providing experiences for today's older adults includes not only active and passive recreation, but also the type of equipment needed to engage in certain activities. Trails provide the infrastructure for the most popular and frequent outdoor recreation activity of older adults: walking.

Access & Trailheads

Safe, convenient entryways to the trail network expands access for users and are a necessary component of a robust and successful system. A trailhead typically includes parking, kiosks, and signage and may consist of site furnishings, such as trash receptacles, benches, restrooms, drinking fountains, bike repair stations, and bike racks. More recent trailhead installations are adding electric bike charging stations to continue to expand alternative modes of transportation. Trailheads may be within public parks and open space or provided via interagency agreements with partner organizations (e.g., Marion County, Woodburn School District, ODOT, etc.) to increase use and reduce unnecessary duplication of support facilities. Specific trailhead designs and layouts should be created as part of planning and design development for individual projects and consider the intended user groups and unique site conditions.

Trail Development Opportunities

Opportunities to develop additional trails and connections may be limited in areas with existing dense urban development. One underlying tenet of the recreational trail system is to enable the placement of trails within or close to natural features to provide access to the City's unique landscapes and connect outdoor recreational access to parks and natural areas. Mill Creek Greenway Trail follows the alignment of the creek and connects to parks, and new development has added the Smith Creek path system to the Greenway Trail.

The future planning and design of trail routes through natural areas should be based on sensitive and low-impact design solutions that offer controlled access to protect the resource, while providing for a positive experience for all modes of trail user. The determination of future trail alignments should prioritize natural resource and natural hazards planning and protections, in part to meet local land use policies and Oregon State requirements.

Integrating Design Elements

The Monon Trail, a rail trail heading north almost 17 miles from downtown Indianapolis, illustrates some tools for helping visitors find the trail and find their way along the trail. The combination of a signature color, unified logos and icons, matching site furnishing, and signage styles help identify the location and direction of the trail and its support facilities, as part of a unified navigation system.

At crossroads and trailheads, the bright red colors used consistently in signs and furnishings mark the trail's presence. Kiosks and information signs help orient the trail user. Rule signs alert the user to trail behavior expectations and reinforce trail identity. The signage system helps identify place, provide information about trail distances and amenities, locate connections and interpret history and culture.



Trail Signs & Wayfinding

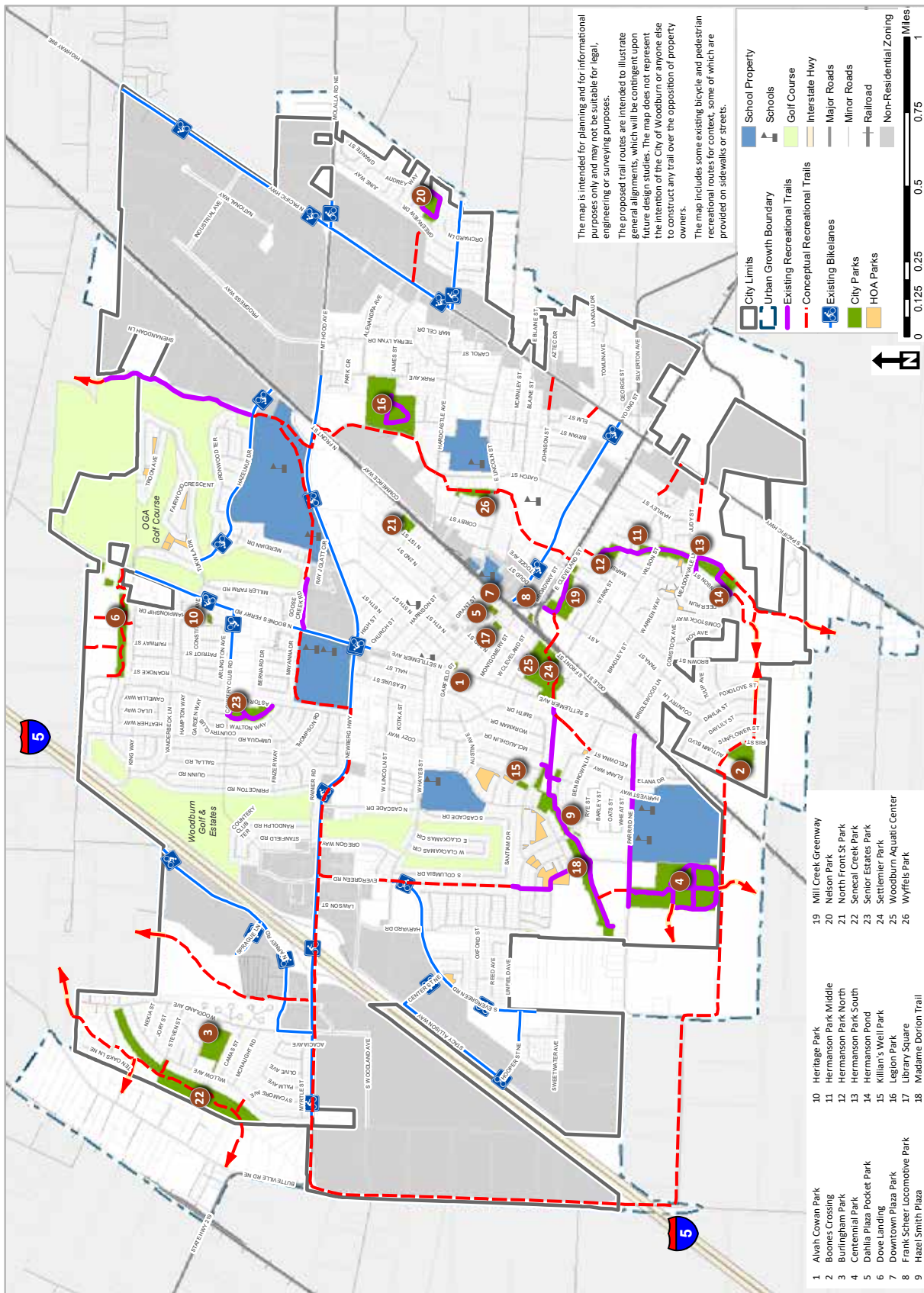
Coordinated signage plays an important role in facilitating a successful trail system. A comprehensive and consistent signage system, implemented according to the type, scale, and site of the trail setting, is a critical component of the trail network. It also is necessary to inform, orient, and educate users about the trail system itself, as well as appropriate trail etiquette. Such a signage system should include trail identification information, orientation markers, safety and regulatory messages, and a unifying design identity for branding.

“

Have a walking path or map to connect to all parks. I'd like to walk the town and stop at parks.”

- Survey respondent

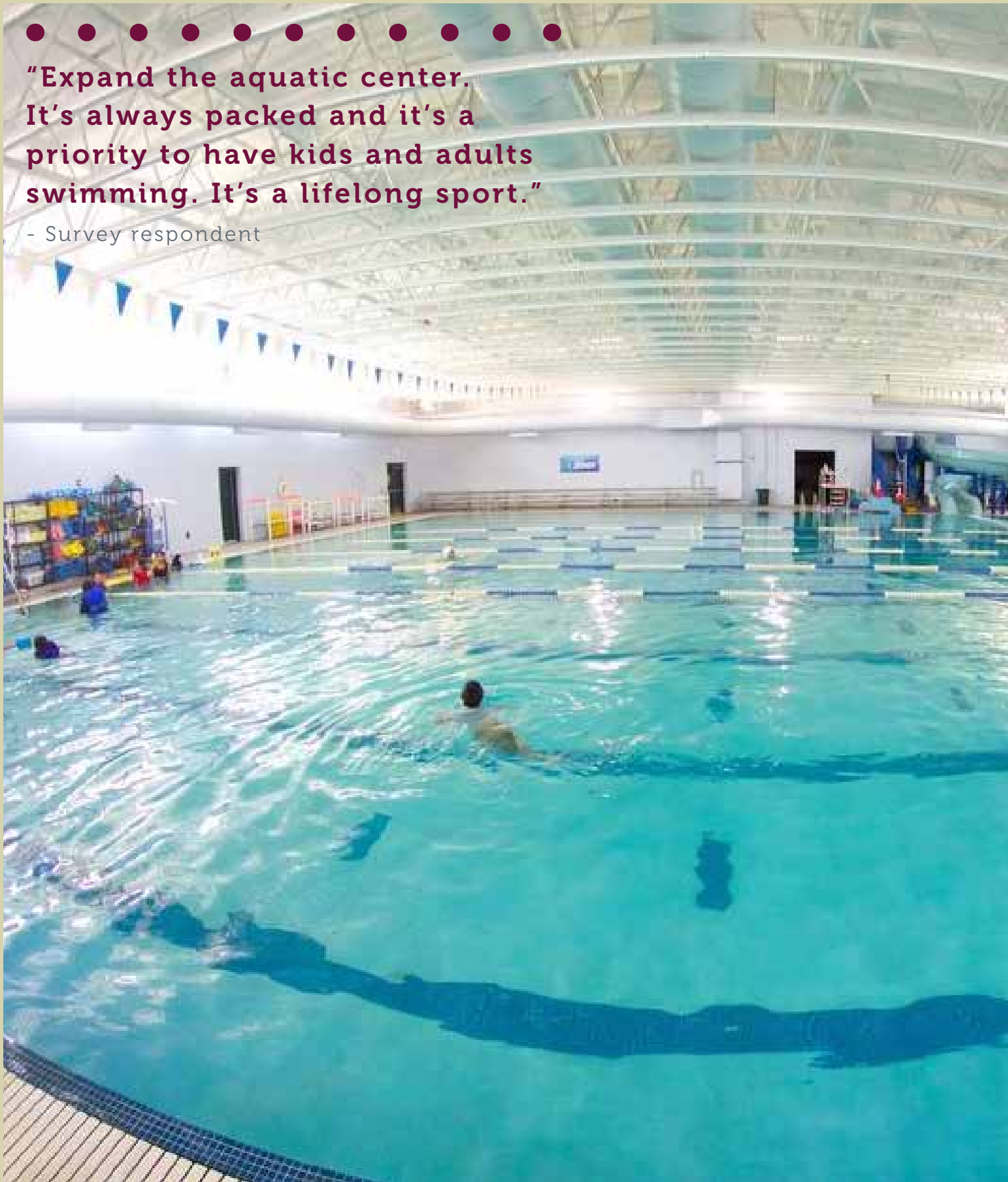




Map 17: Existing & Conceptual Recreational Trail Corridors

"Expand the aquatic center. It's always packed and it's a priority to have kids and adults swimming. It's a lifelong sport."

- Survey respondent



Chapter 7

RECREATION, AQUATICS & EVENTS



The recreation facilities, offerings and events available within Woodburn are a major community asset and support the physical, mental, and social health of community members.

Various recreation options are available through a range of public and private recreation, health and fitness providers and facilities. The City currently provides programming through a mix of City-run programs and through partnerships and program contractors. At the present, the City has limited space and staffing for traditional programming.

Recreation Trends

The following national and state data highlights some of the current trends in recreation and may frame future considerations in Woodburn's recreation offerings, events and partnerships. Additional trend data are provided in Appendix G.

- Nationwide, 82% of U.S. adults believe that parks and recreation are essential. ⁽¹⁾
- 72% of survey respondents indicate that having a high-quality park, playground, public open space or recreation center nearby is an important factor in deciding where they want to live. ⁽¹⁾
- Nearly all (93%) park and recreation agencies provide recreation programs and services. The top five most commonly offered programs include holiday or other special events (65%), educational programs (59%), group exercise (59%), fitness programs (58%), and day or summer camps (57%). ⁽²⁾

- More than eight in ten agencies provide themed special events (90% of agencies), team sports (87%), social recreation events (88%), youth summer camps (83%), fitness enhancement classes (82%), and health and wellness education (80%).⁽³⁾
- America's children are spending more time outdoors over the past decade, and the COVID pandemic accelerated that trend. Overall, the percentage of children participating in outdoor recreation was high in 2021, at just over 70%.⁽⁴⁾
- Over the past two years, participation rates are up across the board for America's youth, with strong growth in participation by girls (4.9% higher for girls ages 6 to 12, and 5.3% higher for girls 13 to 17).⁽⁴⁾
- Yoga continued to have one of the largest gains in fitness activities.⁽⁵⁾
- Activities with the highest 5-year increase in participation include indoor climbing (13%) and pickleball (12%).⁽⁵⁾
- Nearly all park and recreation providers in the U.S. experienced a decline in revenue in 2020 due to the COVID-19 pandemic. As early as May 2020, most providers had to close facilities temporarily in accordance with health and safety directives. Nearly half also furloughed or laid off staff due to the funding and facility impacts of the pandemic.⁽⁶⁾
- Research from the US Bureau of Economic Analysis shows that arts and culture drive 4.2% of the US gross domestic product (GDP), generating \$ 876.7 billion in 2020.⁽⁷⁾
- People who say their neighborhood has easy access to quality arts and cultural activities tend to be more satisfied, identify more with local lifestyle and culture, and invest more time and resources in their communities.⁽⁸⁾



Recreation Management magazine's 2022 Report on the State of the Managed Recreation Industry summarizes information provided by a wide range of professionals working in the recreation, sports, and fitness industry. Regarding program options, respondents from community centers, park departments, and health clubs reported that they plan to add programs over the next few years. The ten most commonly planned program additions were:

- Mind-body balance programs
- Fitness programs
- Group exercise programs
- Educational programs
- Arts and crafts programs
- Teen programs
- Functional fitness programs
- Performing arts programs
- Environmental education
- Holidays and other special events

According to the 2022 Outdoor Participation Report, published by the Outdoor Foundation, just over half (54%) of Americans ages 6 and older participated in outdoor recreation at least once in 2021. The outdoor participant base has increased 6.9% since the COVID pandemic began in early 2020.

Addressing the COVID-19 pandemic required many respondents to either put programs or services on hold (82%) or cut programs or services entirely (34%). Additionally, many respondents have had to rethink their programming portfolios. Two-thirds of respondents (67%) had added online fitness and wellness programming as of May 2020, 39% were involved in programs to address food insecurity, and one in four was involved in programs to provide educational support to out-of-school children.

Sources:

- (1) American Engagement with Parks Survey
- (2) 2020 NRPA Agency Performance Review
- (3) 2022 NRPA Agency Performance Review
- (4) 2022 Outdoor Participation Report
- (5) 2022 Sport & Fitness Industry Association Sports, Fitness, And Leisure Activities Topline Participation Report
- (6) 2020 State of the Industry Report
- (7) US Bureau of Economic Analysis, 2022
- (8) Knight Foundation Community Ties survey Community-Ties-Final-pg.pdf (knightfoundation.org). Builds off Soul of Community Longitudinal Study (2008-2010) conducted by the Knight Foundation found key drivers of community attachment to be social offerings, openness, and aesthetics. <https://knightfoundation.org/sotc/overall-findings/>

Community Feedback

Participants of both open houses and stakeholder group discussions offered feedback on recreation programs, facilities, and cultural activities. Community feedback from the first open house meeting included the following:

- Youth programs & camps, such as pottery, arts, S.T.E.M. or outdoor programs, summer youth camps, and free or low-resource program options for various age groups
- Adult or senior pottery classes
- Offer intergenerational events/classes

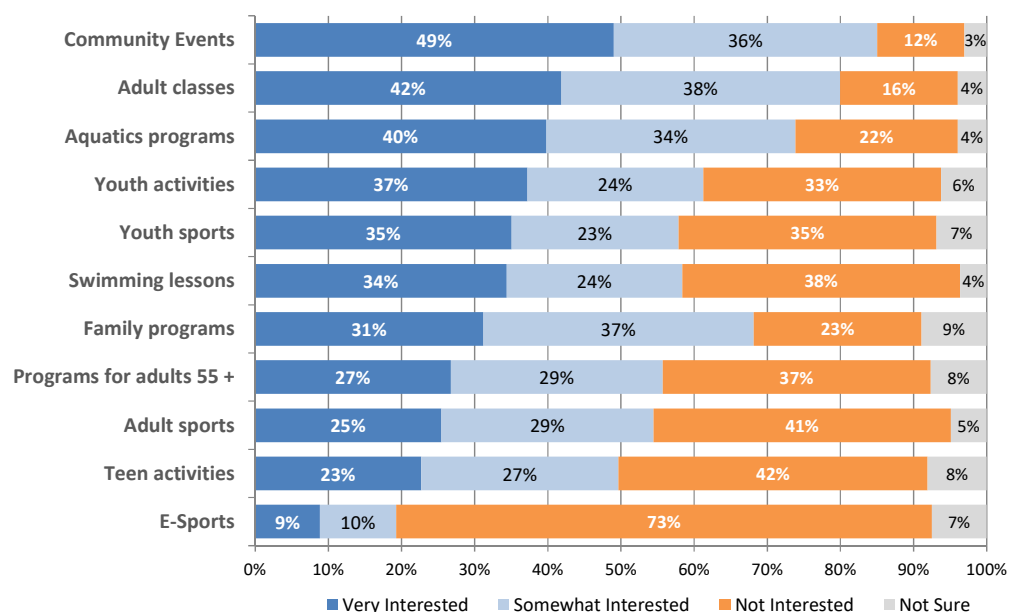
From the second open house meeting (online), the majority (61%) of respondents said they would like more adult or senior classes, adult sports leagues, youth programs, teen activities, and outdoor or nature camps.

Community survey respondents were asked about their level of interest in a variety of recreational programs and activities that the City of Woodburn does, or could, offer. More than three quarters of respondents were very or somewhat interested in seeing more community events, adult classes, and aquatics programs. More than half of respondents were interested in all the other recreational programs and activities listed, with the exception of E-sports, see Figure 18.

Younger residents, particularly those under 44, and those with children at home were more likely than older residents to express interest in youth activities and sports, family programs, adult classes, and swimming lessons. Older respondents showed more interest in programs for adults over 55. Open-ended responses on the survey included other feedback about recreation programs and facilities:

- **Aquatic Center Enhancements:** Community members expressed a desire for upgrades to the aquatic center, including expanded hours, additional aquatic classes, and improved indoor facilities. They also called for the addition of more slides, diving boards, and a wave pool to enhance the overall experience.
- **Community Center and Recreation Programs:** Building a new community center that offers various amenities and recreation programs is another common desire. The community would like to see more options for youth sports leagues, additional fitness facilities, and improved staffing and availability of programs, including swimming lessons and senior activities, to cater to the diverse needs and interests of residents.
- **Communication and Information:** Some survey respondents asked for improved communication channels, such as a city cable channel or newsletter, to inform residents about community events, park offerings, and important happenings in town. Others requested a more user-friendly website that provides easy access to information, including programs, activities, and registrations, reducing the need to search through multiple sources.

Figure 18. Interest for Various Recreation Program Types



“

Anexar más parques y tener un centro comunitario para más actividades dentro y fuera. (Add more parks and have a community center for more activities inside and outside.)”

- Survey respondent

Recreation Facilities

The City of Woodburn provides access to recreation programs and activities in its parks and in several municipal buildings. The day-to-day management, ongoing maintenance, and long-term reinvestment in City facilities are crucial to the success of Woodburn's recreation programs. Additionally, efficient scheduling and use of the facilities ensures that cost recovery, inclusion, program vitality and other goals are met.

Woodburn Aquatic Center

The Woodburn Aquatic Center offers fitness, recreational and learn-to-swim programs for individuals of all ages. Facility amenities include a 10-lane swimming pool with water slide, rope swing, group exercise room, party rental room, basketball hoop, wading pool, spa, fitness equipment and saunas. The Center offers lifeguard certification classes, swim lessons and runs an entry level swim team. Swim team participation includes coaching on proper swim strokes and options to compete in swim meets. The Woodburn Aquatic Center also is part of the Silver & Fit and Renew Active membership programs. These programs provides free pool memberships for seniors (60+) with eligible health care plans.

Settlemier Teen Center

The Boys & Girls Club of Woodburn operates the Teen Center located at Settlemier Park. The center features daily activities and is open Monday through Friday from 3-7pm during the school year. These programs focus on opportunities for teenagers (grades 6-12) to encourage academic success, citizen and character development, and healthy lifestyles.

Woodburn Library

Aside from providing access to books, Periodicals, and digital media materials the Woodburn Library also serves as a venue for youth and community programs onsite at the library as well as remotely across the city with its bookmobile and community outreach. These include story times, cultural performances, ESL classes, arts and crafts, and traditional games and electronic games.

Woodburn Museum & Bungalow Theatre

The Woodburn Historical Museum (formerly known as the Woodburn World's Berry Center

Museum) was constructed in 1905, and the Bungalow Theatre, the town's only remaining historic theater, was established as a theater in 1911. Both structures were recently restored to include seismic updates, facade improvements and interior remodels. Together, the two buildings offer a unique community meeting and event space that houses a stage for plays, presentations, and movies. The space also highlights the rich cinematic, architectural, and cultural history of Woodburn.

Future Community Center

Since 2017, the City has been planning and engaging the community in discussions for a new community center, as an expansion on the current Aquatic Center at Settlemier Park. Through an extensive design process, building footprint and functional spaces were conceptualized, and the future community center is programmed to include the following possible amenities:

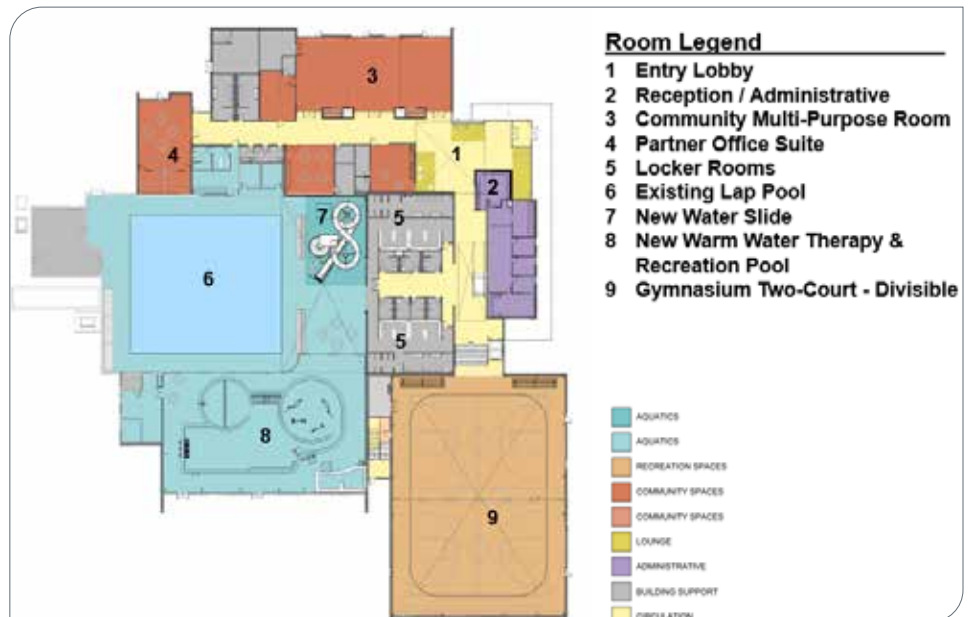
- Gymnasium and a walking/jogging track
- Fitness & cardio/weights space
- Warm water therapy and recreation pool
- Multipurpose classrooms for family, teen, and senior programming
- Community meeting rooms
- Flexible event space
- Arts & crafts classrooms
- Community partners/service providers' spaces

The construction of the future community center is dependent upon financing to support the estimated \$60 million cost for the building. The City is currently reviewing the potential timing for a bond measure election for public financing of the project, and the current timeline suggests a November 2024 election.

Rental Facilities

Several City parks provide amenities or space available for events, parties, or special group visits.

- Aquatic Center pool and party room
- Centennial Park shelter
- Woodburn Museum & Theatre
- Downtown Plaza Gazebo
- Hazel Smith Plaza
- Legion Park shelter
- Senior Estates shelter
- Settlemier Park shelter



Renderings of future Community Center (Credit: Opsis Architecture)

“

Aquatics; I was very excited about the plans for a new recreation center and hope that is something that can be added to our community!”

- Survey respondent

Recreation Programs

The City is the primary provider for aquatic programs and partners with other providers for most other recreation services. The YMCA, Boys & Girls Club, Woodburn Baseball/Softball Association and Woodburn Futbol Club are the primary providers of many programs and services that are associated with recreation, athletics and youth services. There are programs, such as After School Club, are provided by the Woodburn School District.



Restore aquatic program to pre-pandemic status, maximize availability of daily hours, and maintain consistent sanitation in all areas.”

- Survey respondent

Program Area Categories

The categories below represent the major areas of focus for current Woodburn recreation programs. Program lists are based on a review of program offerings between 2018 and 2023.

Figure 19. Existing City Programs by Classification

| Area | Focus | Programs |
|------------------------------|-------------------|---|
| Sports | Youth | Soccer, Co-Ed Tee Ball, Youth Track, Youth Basketball, Volleyball, Basketball Camp, Flag Football, Baseball, Softball, Cheer Camp |
| | Teen+ | Adult Basketball, Co-Ed Volleyball |
| Fitness | Preschool | |
| | Youth+ | Gentle Yoga & Yoga, Youth & Adult Small Group Conditioning, Zumba |
| Cultural Arts | All ages or Teen+ | Día de los Muertos, Hispanic Heritage Month Celebration, Woodburn Fiesta Mexicana |
| Aquatics | Youth | Swim Lessons, Swim Team, Parent/child swim, Open swim |
| | Teen+ | Swim Lessons, Lap Swim, Aquarobics / Water Fitness, Deep Water Fitness, Aqua Zumba |
| Education | Youth | Language Exchange - Intercambios, Babysitting, First Aid CPR Classes |
| Specialty / General Interest | Adult | Adult Trips, ESL Classes, AARP Tax Preparation |
| Adaptive / Special Needs | | |
| Special Events | | City Council BBQ, Taste of Woodburn, Easter Egg Hunt, Fourth of July Fireworks Celebration, Relay for Life Run, Fiesta Mexicana, Underwater Egg Hunt, Water Safety Day, Music in the Park, Bassett Hound Games, Trunk-or-Treat, Mayor's Tree Lighting, Community Connection Day, Community Clean Up Day |
| Outdoor Education | | |
| Self-Directed | Teen+ | Fitness Room Drop-in |
| Senior / Human Services | Adult | Senior-specific programs provided by North Marion Adult Center |

Program Area Definitions (generalized):

- Sports – Team and individual sports including camps, clinics, and tournaments. Also includes adventure/non-traditional sports.
- Fitness – Group fitness classes, personal training, education, and nutrition.
- Cultural Arts – Performing arts classes, visual arts classes, literary arts, music/video production and arts events.
- Aquatics – Swim lessons, aqua exercise classes, swim team, and other programs.
- Education – Language programs, tutoring, science (STEM) classes, computer, and financial planning. Also included is CPR/AED/First Aid.

- Specialty / General Interest – Personal development classes and activities.
- Adaptive / Special Needs – Inclusive and adaptive programs for the physically and mentally impaired.
- Special Events – City wide special events that are conducted throughout the year.
- Outdoor Education – Environmental education, hiking, camping, kayaking, farm activities, and other activities.
- Individual / Self-Directed – This includes the opportunities for individuals to recreate on their own. This can include activities such as drop-ins, open gym, use of weight/cardio space, and lap/recreational swimming. Although not an organized program, time and space must be allocated for this purpose.
- Senior / Human Services – This can include senior nutrition and meal programs, social service support, job training, life skills training, childcare, and other activities such as health screenings.



Make your website easier to navigate and find information especially for programs and activities. I feel like I have to look in at least 3 or 4 different places to find out about things going on. Seasonally it would be great to get a brochure with class and activity offerings to register for.”

- Survey respondent

Programs Available by Age Groups

Below is listed the basic program categories that are available for different age groups.

Figure 20. Segmentation of City Programs by Age Group

| Program Category | Preschool | Youth | Teen | Adult |
|------------------------------|-----------|-------|------|-------|
| Sports | ● | ● ● | ● | ● |
| Fitness | | | ● | ● |
| Cultural Arts | ● | ● | ● | ● |
| Aquatics | ● | ● | ● | ● |
| Education | ● | ● | ● | ● |
| Specialty / General Interest | | ● | ● | ● |
| Adaptive / Special Needs | | | | |
| Special Events | ● | ● | ● | ● |
| Outdoor Education | | | | |
| Self-Directed | | | ● | ● |
| Senior / Human Services | | | | |

- City program
- Partner-provider

Program Classifications

The following are the projected programming classifications for the City. It is important to realize that while certain program areas may be a focus for growth in programs and services, the Department's role in providing the actual service may be different as indicated below.

Classification Definitions

- Core Programs are those programs that are a primary responsibility of the Parks and Recreation Department to provide as City-based activities.

- Secondary Programs are those programs that are a lower priority to be provided directly by the Department, but may be offered by other organizations through contract with the City.
- Support Programs are programs that are not a priority for the Department to be providing directly to the community, but where the City may provide support through facilities, program coordination, and promotion of activities for other organizations.

The following chart identifies and summarizes recommended future core programs, secondary programs and support program areas for the Department.

Figure 21. Future Program Types by Focus Area

| Core Programs | Secondary Programs | Support Programs |
|----------------|--------------------|--------------------------|
| Adult Sports | Education | Adaptive / Special Needs |
| Aquatics | General Interest | Senior / Human Services |
| Cultural Arts | Outdoor Education | |
| Fitness | Youth Sports | |
| Self-Directed | | |
| Special Events | | |



Add indoor recreation opportunities at the Aquatic Center to include more exercise equipment and a walking/running track. It rains A LOT in Oregon!!”

- Survey respondent

Special Events

The Community Services Department is responsible for the coordination of several community and special events throughout the year. These public events provide gathering opportunities, celebrations and activation of the downtown and City parks. While not every event is hosted or run by the City, these special events draw the community together, attract tourists and visitors from across Marion County and are popular with residents. A selection of recent community events include the following:

- Music in the Park
- Easter Egg Hunt
- Community Clean Up Day
- 4th of July Celebration
- Taste of Woodburn
- Hispanic, Latino & Indigenous Heritage Month Celebration
- Woodburn Fiesta Mexicana
- Trunk-or-Treat
- Dia de Los Muertos
- Mayor's Tree Lighting
- Community Connection Day
- Basset Hound Games

Opportunities to connect are clearly crucial to Woodburn's residents. Survey and public meeting responses showed strong interest for additional community events. Additionally, the City could explore ideas for additional events that draw from the diversity of the community; Woodburn Fiesta Mexicana, Dia de los Muertos and Mexican Heritage Month are great current events celebrating Latin American culture. There still may be additional events to celebrate Russian or Native American heritage and traditions. Also, when the new the community center is completed, it can provide another venue to promote cultural gatherings and other family celebrations.

Community gathering and special events should continue to be an area of emphasis; however, the overall number and breadth of City-sponsored special events should be carefully managed to align with the availability of resources and impacts to general park and facility use. This will ensure the City can adequately invest in its overall recreational offerings and maintain high-quality special events. Other community groups should be encouraged to be the primary funders and organizers of as many community-wide events as possible. A structured approach will help the City manage the growth of these popular offerings; ensure high-quality, adequately resourced events; and enlist community sponsorships, partnerships, and support.

In addition to maintaining the various events and program offerings, the City should continue to coordinate with local artists, galleries, and art organizations to periodically refresh the major events and explore other options to engage the community with the arts and attract visitors. Small-scale projects can take the form of electrical box coverings, building murals or temporary art, and larger-scale endeavors can include drone shows or expanded studio or maker space at the library or future community center.

An asset management program and art conservation fund should be considered for the nascent public art collection, in addition to the current Arts and Murals Committee. Each permanent art installation project should be accompanied with an allowance or calculation of future maintenance and costs. Artists should provide technical specifications about best management practices for the materials integrated in the art work, as well as a forecast of likely timing for the necessary cleaning and upkeep of the piece of work. The asset management practice for the public art collection should help track and manage the entire life cycle of each asset, as well as their distribution across Woodburn. In such a system,

the life cycle costs of each asset can be better predicted and managed to help engage appropriate maintenance tasks for each art work.

Program & Facility Considerations

The City's current programming philosophy is to utilize other organizations and providers as the primary sources for many, non-aquatic recreation program services. The City has taken a strong role in coordinating with providers and promoting recreation offerings. To assist with future program planning, staff periodically should request and review participant data from providers to stay abreast of class and program utilization and consider the available program mix.

Also, the Department has demonstrated its commitment to excellence and continuous improvement. Staff should periodically review data from the following sources to determine community needs for programs and services:

- Historical registration trends/success of current programs and services
- Surveys and questionnaires
- Oregon Statewide Comprehensive Outdoor Recreation Plan
- Suggestions provided by current or prospective instructors and current employees

Additional, expanded or new program options may be limited today by indoor facility capacity, staffing, and available instructors. However, with the planned construction of the new community center, the City will be poised to expand recreation program offerings. Doing so will require advance program planning to determine the range of potential programs, scheduling, and the needs for full-time and temporary staff for programming and facility operations. Comments from public outreach indicate a latent demand for additional program options for family programs, adult classes (fitness, art, etc.), and aquatics programs (lap swim, aerobics class, etc.). Considerations about existing and planned programs should gauge performance and priority offerings based on a mix of criteria that include:

- Community interest or deficiencies
- Potential for increased participation
- Fill rates for programs (registrants compared to program capacity)
- Rate of program cancellations
- Availability of qualified and knowledgeable staff or contractors to provide consistency and reliability for program delivery

- Financial performance of individual programs (operating expenses vs. revenues)
- Program lifecycle assessment to balance the suite of new, mature, and declining programs
- Revenue potential, affordability, and accessibility
- Cost of service policy metrics

Also, as noted in the Parks and Open Space chapter, renovations to existing facilities are necessary for proper maintenance and to extend service life. Several components of the Aquatic Center are due for near-term renovations or replacements. These renovations will refresh the Aquatic Center as a main feature of the new community center and extend the life of the facility. These projects are noted in the Park Improvement Plan and include the following:

- Roof repair & replacement
- Ceiling repair & paint
- HVAC system upgrade
- Pool re-plaster (multiple tanks)
- Re-tile pool area
- Replace storefront doors/windows

Communications & Marketing

Feedback from the community survey suggested some limited awareness of the recreation options and amenities available to Woodburn residents. The City should continue to take a strong role in coordinating and promoting recreation services to improve awareness and inclusion for residents. The City's newsletter, website and Facebook page were noted as the three ways survey respondents would prefer to learn about Woodburn's parks, programs, and events. Stronger marketing efforts will be needed to inform and promote the recreation programs that are available and should continue to focus on the following areas:

- Website enhancement to better promote programs and services in addition to the periodic program guide, including searchable program offerings and services offered by other providers;
- Social media, email, flyers, and signage promotions of program registration options;
- Continued cross marketing and/or promotional opportunities with other organizations, such as the Boys & Girls Club, school district, and others; and
- Using appropriate communication channels to effectively market to various demographic segments.

Chapter 8

GOALS & OBJECTIVES

The goals and objectives described in this chapter define the recreation and park services that Woodburn aims to provide. These goals and objectives were derived from input received throughout the planning process, from city staff, the Recreation and Parks Board, and community members.

Taken together, the goals and objectives provide a framework for the Parks and Recreation Master Plan. The City's Comprehensive Plan follows statewide planning goals and provides the overarching direction for the City, while these goals and objectives focus the efforts toward tangible parks and recreation achievements.

Oregon's Statewide Planning Goal 8 on Recreation Planning states:

"The requirements for meeting such needs, now and in the future, shall be planned for by governmental agencies having responsibility for recreation areas, facilities and opportunities: (1) in coordination with private enterprise; (2) in appropriate proportions; and (3) in such quantity, quality and locations as is consistent with the availability of the resources to meet such requirements. State and federal agency recreation plans shall be coordinated with local and regional recreational needs and plans."

These elements are reflected in this Plan, which will guide future efforts for City of Woodburn. The goals and objectives are built on the foundation established in the previous Parks Master Plan, adopted in 2009, but have been updated to reflect feedback from the community, stakeholders and staff during this planning update process.

Also, these goals align with the National Recreation and Parks Association's Three Pillars, which are foundational concepts adopted by the national organization and

help frame recreation advocacy at the national level. These core values (below) are crucial to improving the quality of life for all Americans by inspiring the protection of natural resources, increasing opportunities for physical activity and healthy eating, and empowering citizens to improve the livability of their communities.

- **Conservation** – Public parks are critical to preserving communities' natural resources and wildlife habitats, which offer significant social and economic benefits.
- **Health and Wellness** – Park and recreation departments lead the nation in improving the overall health and wellness of citizens, and fighting obesity.
- **Social Equity** – Universal access to public parks and recreation is fundamental to all, not just a privilege for a few.



Goals

A goal is a general statement that describes the overarching direction for the parks and recreation system.

Objectives

Objectives are more specific and describe an outcome or a means to achieve the stated goals.

Key Projects

Key project recommendations are specific actions intended to implement and achieve the goals and objectives and are contained in the Needs Assessment and Capital Planning chapters of the PRMP.



COMMUNITY ENGAGEMENT & COMMUNICATIONS

Goal 1: Encourage and support public involvement in park and recreation issues.

Objectives:

- 1.1 Involve residents and stakeholders in park and recreation facility planning and design and recreation program development in order to solicit community input, facilitate project understanding and engender public support.
- 1.2 Continue to support and promote the Recreation and Parks Board as the forum for public discussion of park and recreation issues.
- 1.3 Conduct periodic joint sessions between the Recreation and Parks Board and other standing City boards, such as the Planning Commission, Public Art Mural Committee and Tourism Advisory Committee, and with the City Council to improve coordination and discuss policy matters of mutual interest pertaining to recreational resources, opportunities and funding.
- 1.4 Encourage and promote volunteer park improvement and maintenance projects from a variety of individuals, service clubs, local non-profits, faith organizations and businesses.
- 1.5 Develop and expand volunteer programs for office and highly skilled volunteers, including the continued development of internships and creation job-shadowing opportunities.
- 1.6 Track and evaluate recreation trends, park use patterns, and park user needs.
- 1.7 Communicate the value of the City's investment in parks, open spaces, and recreational opportunities and provide information to the public about park and recreation funding and the stewardship of tax dollars.
- 1.8 Continue to use a variety of methods and media to publicize and increase resident awareness about recreational opportunities available in local neighborhoods and citywide.
- 1.9 Develop an evaluation process for marketing media such as newspaper, seasonal brochures, website, direct mail, targeted emails, radio, and television advertising to continuously determine effectiveness of marketing dollars.
- 1.10 Regularly update the City website and mobile interfaces to provide easy access to information about parks, trail routes, activities, events, and maps along with ensuring the website follows best practices for accessibility and inclusion.
- 1.11 Work with the Woodburn Area Chamber of Commerce and the Tourism Advisory Committee to coordinate on information packets that promote City services to tourists and new residents.



COMMUNITY INCLUSION

Goal 2: Provide park and recreation opportunities throughout parks, facilities and programming that engage all members of the community to the best of their ability.

Objectives:

- 2.1 Develop a Culturally and Community focused policy that creates a framework for the removal accessibility barriers (socio-economic, language, physical, geographic, transportation) to activities, facilities, programs, parks and trails.
- 2.2 Provide programming and services, as well as accompanying communications and marketing materials, that reflect City goals around Diversity, Equity and Inclusion.
- 2.3 Design and maintain parks and facilities to offer universal accessibility for residents of all physical abilities, skill levels and age; beyond compliance with the Americans with Disabilities Act (ADA) Standards for Accessible Design. Upgrade existing parks to remove any physical barriers.
- 2.4 Explore unique and/or specialized recreational amenities that expand the range of outdoor play experiences beyond the traditional options.
- 2.5 Have intentional engagement with diverse community groups to create and partner on new diverse events and community celebrations.
- 2.6 Continue to, and expand, translating program, event and communication materials into the most frequently spoken languages and provide additional language translation services upon request.
- 2.7 Pursue opportunities for alternative outreach and education to diverse groups, such as piloting youth parks stewardship programs and active communication through faith-based groups and non-profit organizations that work with minority and underserved communities.
- 2.8 Continue to implement signage and information in multiple languages at parks and trails, and include information about amenities, etiquette, trail length, difficulty, material/accessibility.
- 2.9 Prioritize park and recreation investments in underserved communities to improve equitable access to public amenities.
- 2.10 Identify appropriate locations within parks and public spaces for the installation of public art, interpretive signs or cultural displays while ensuring that these features are incorporated through a diversity, equity and inclusion lens.



MAINTENANCE & SUSTAINABILITY

Goal 3: Maintain Woodburn parks and recreation facilities to ensure longevity of assets, a positive aesthetic and sensory experience, preservation of habitat and natural systems, and safety for park patrons.

Objectives:

- 3.1 Maintain all parks and facilities in a manner that keeps them in safe and attractive condition; repair or remove damaged components immediately upon identification.
- 3.2 Maintain an inventory of assets and their condition; update the inventory as assets are added, updated or removed from the system and periodically assess the condition of park and recreation facilities and infrastructure. Integrate needed replacements into capital planning.
- 3.3 Conduct regular safety inspections of play equipment and play safety surfacing. Schedule replacement of older play equipment to upgrade & update play experiences and assure safe play environments.
- 3.4 Seek opportunities to eliminate barriers at existing facilities and prepare a city-wide ADA Transition Plan for park and recreation assets with budget allocations for annual ADA upgrades.
- 3.5 Standardize the use of graphics and signage to establish a consistent identity at all parks and facilities. Incorporate into a signage and wayfinding plan.
- 3.6 Standardize park furnishings and amenities (trash cans, tables, benches, fencing) to reduce inventory and replacement costs and improve appearance of, and maintenance consistency within the park system.
- 3.7 Develop city-owned or maintained park sites based on site-specific master plans or other adopted strategies to ensure parks reflect local needs, community input, recreational and conservation goals, and available financial resources.
- 3.8 Incorporate sustainable development and low impact design practices into the design, planning, and rehabilitation of new and existing facilities.
- 3.9 Utilize, as appropriate, native and lower resource requiring vegetation for landscaping in parks and city owned properties to minimize maintenance requirements, conserve water, reduce the need for fertilizer, provide native habitat for wildlife, and control invasive vegetation.
- 3.10 Develop tree planting guidelines and protocols to determine planting locations and species selection to foster resilient plant communities that can recover from disturbances and adapt to climate change and its impacts, such as forest fire and drought.
- 3.11 Improve tree management policies and practices and promote tree retention and succession.
- 3.12 Anticipate global climate change and foster climate-resilient landscapes in parks and open space areas. Assess greenway corridor facilities for potential flood-tolerant design to reduce recovery times and potential flood damage to trails and park amenities.
- 3.13 Promote environmental learning through interpretive signage programs in City parks and preserves, including native plant identification signs in and around restoration projects in city parks.



PARKS & OPEN SPACE

Goal 4: Provide a diversity of parks, recreation facilities and open space and a balance of opportunities for both passive and active recreation that meet the needs of different age groups, abilities, and interests.

Objectives:

- 4.1 Provide a distributed park and open space system, such that all residents live within a ½-mile access of a park, trail or open space.
- 4.2 Identify and prioritize lands for inclusion in the park and open space system based on factors such as contribution to level of service, known service gaps, connectivity, preservation and scenic or recreational opportunities for residents.
- 4.3 Evaluate older, existing parks for opportunities to upgrade and increase amenities to expand outdoor recreation experiences and serve wider user types. Revive aging park infrastructure to improve current facilities.
- 4.4 Pursue use or development agreements, easements, fee simple purchases or other arrangements to secure suitable locations for new parks and trails to serve existing and future residents.
- 4.5 Prioritize facility development based on demonstrated demand, population served, local user appeal, fiscal opportunity and revenue-generating potential.
- 4.6 Plan for a range of play types, universal access and a phasing plan when replacing or upgrading playground equipment.
- 4.7 Pursue opportunities to add an additional “destination playground” or a “boundless playground” to the park system.
- 4.8 Develop a wider variety of recreation opportunities and plan for sport fields, courts and specialized recreational facilities (e.g., pump track, splash pad, off-leash area, disc golf, etc.) with consideration of local needs, partner support/capacity, recreational trends, and availability of similar facilities within the city and region.
- 4.9 Consider incorporating alternative sport opportunities for youth and adults in the park system such as disc golf, futsal, bouldering, parkour, and other non-team physical activities.
- 4.10 Pursue opportunities to create an outdoor events/community gathering space to host community-wide events.
- 4.11 Integrate public art and park design from the onset of facility planning to create compelling, engaging, and captivating public places. Prioritize experiences that are interactive and allow for dynamic sensory exploration.
- 4.12 Provide environmental education opportunities in open space areas with creative and interactive interpretation strategies, such as hands-on displays, self-guided walks, and other engaging experiences.



TRAILS & CONNECTIVITY

Goal 5: Expand and develop a network of shared-use trails and bicycle and pedestrian corridors to enable connectivity between parks, neighborhoods, and public amenities.

Objectives:

- 5.1 Pursue the completion of the Mill Creek Greenway Master Plan.
- 5.2 Prioritize trail projects that address gaps between existing paths, create longer, more usable connections, and improve safety.
- 5.3 Work with City departments and community groups to ensure safe pedestrian access across physical barriers to parks and recreation facilities. Incorporate traffic calming strategies at access points to parks, open space, and trailheads. Incorporate traffic calming design techniques into design guidelines, as appropriate.
- 5.4 Integrate the planning for and prioritization of recreational trails with the City's Transportation Master Plan, utilizing the classifications and conceptual alignments provided within this Plan.
- 5.5 Continue to integrate the siting of proposed trail segments into the development review process; require development projects along designated trail routes to be designed to incorporate trail segments as part of the project.
- 5.6 Connect trails to nearby sidewalk facilities, wherever feasible, to facilitate the use of the off-street trail systems for non-motorized transportation and recreation. Where sidewalks are an integrated component of a trail system, sidewalks may be needed and should be designed to accommodate multiple uses.
- 5.7 Establish a maximum spacing standard for trail linkages within new residential developments, such that multiple entry points to a trail corridor are provided to improve access and convenience for residents.
- 5.8 Coordinate construction of trail projects with other capital improvement projects including utility and transportation projects.
- 5.9 Support the implementation of the Marion County Transportation System Plan for pedestrian and bicycle connections and coordinate with County to provide coordinated trail alignments that enable continuous walking and biking access between major local parks and other key destinations.
- 5.10 Work with regional agencies, utilities and private landholders to secure trail rights-of-way and easements and access to open space for trail connections.
- 5.11 Furnish trail systems with appropriate supporting trailhead improvements that may include interpretive and directory signage systems, rest stops, drinking fountains, restrooms, parking and loading areas, water, and other services.
- 5.12 Where appropriate, locate trailheads at or in conjunction with park sites, schools, and other community facilities to increase local area access to the trail system and reduce duplication of supporting improvements.
- 5.13 Develop and implement a system of signs (e.g., trailhead, etiquette, directional, mile markers, emergency location markers, etc.) to mark trails and non-motorized routes that coordinates with the City's streetscape and furniture standards and wayfinding signage program in accordance with best practices.
- 5.14 Create maps and guides with a universal graphic style for parks, trails, recreation facilities, and natural areas.



RECREATION, ART & EVENTS

Goal 6: Provide a varied and inclusive suite of recreation opportunities and experiences to promote health and wellness, year-round activity, and social engagement.

Objectives:

- 6.1 Provide a variety of recreational programs that meet the community's demands for swimming and aquatic activities, sports, and other activities.
- 6.2 Strategically expand and enhance the diversity of recreation programs offered, considering programs that are in high demand, serve a wide range of users, utilize the City's unique indoor and outdoor assets, and complement services of other providers as facilities, staffing levels and partner opportunities allow.
- 6.3 Leverage City resources by forming and maintaining partnerships with other public, non-profit, and private organizations to deliver recreation services and secure access to existing facilities for community recreation.
- 6.4 Periodically evaluate recreation program offerings in terms of attendance, current trends, customer satisfaction, cost-to-subsidy, and availability of similar programs through other providers and make adjustments as necessary.
- 6.5 Provide and develop additional amenities, multi-purpose facilities, and centers that support and accommodate broad recreational usage; Construct a new community recreation center.
- 6.6 Periodically review and update the fee policy for programs, indoor facility uses and rental rates that support operational requirements and are measured against cost recovery goals.
- 6.7 Maintain and enhance program scholarships and other mechanisms to support recreation access for low-income residents.
- 6.8 Monitor local and regional recreation trends to ensure community needs and interests are addressed by available programming.
- 6.9 Foster the City's role as a convener of artists, arts organizations, and community groups to facilitate collaboration and efficiently serve the community through arts and culture programs and experiences.
- 6.10 Partner with the community and local organizations to foster a variety of cultural events and support community cultural celebrations.
- 6.11 Identify and implement opportunities for integrating arts and culture into parks and open space, including, where feasible and appropriate, through permanent and temporary public art installations, arts performance and events, interpretive strategies, and other dynamic expressions.
- 6.12 Encourage the collaboration of arts and culture marketing and communication efforts through shared event calendars, social media management, and other cohesive strategies.



ADMINISTRATION & MANAGEMENT

Goal 7: Provide clear leadership through exceptional management, partnerships, collaborations, and agreements that supports and promotes park, recreation, and open space system.

Objectives:

- 7.1 Assign responsibility and time frames and allocate resources necessary to complete each action identified in annual work plans.
- 7.2 Pursue sufficient financial resources to ensure a vibrant and well-maintained parks and recreation system and allocate adequate funding for maintenance, staffing and asset preservation.
- 7.3 Identify and implement partnerships with other public, private, non-profit, and community organizations to support capital projects, community events, programs, and other special initiatives.
- 7.4 Expand and promote a volunteer program to include recruiting, training, retaining, and rewarding volunteers in all program areas.
- 7.5 Continue to collaborate with developers for future park, facility or trail projects to meet the goals of this Plan.
- 7.6 Continue to develop a strong working relationship with the Police Department to ensure regular patrolling of parks and facilities, quick response times.
- 7.7 Explore "Park Ambassador" or adopt-a-park programs to help with park maintenance, beautification, and civic pride.
- 7.8 Create an annual "Sponsorship Manual" listing all the opportunities for the year and distribute within the community in a menu format that creates a sense of urgency within the business community.
- 7.9 Create and work with a Parks and Recreation Foundation to facilitate the receipt of grant funds and to conduct other fundraising activities.
- 7.10 Pursue alternative funding options and dedicated revenues, such as private donations, sponsorships, partnerships, and grants, along with support through partnerships with service organizations, volunteer groups, businesses and other agencies.
- 7.11 Stay abreast of best practices in technology and implement systems and tools to improve customer service and support efficient operations.
- 7.12 Invest in professional development opportunities that strengthen the core skills and commitment from staff, Board members and key volunteers, to include trainings, materials and/or affiliation with relevant national and regional associations.
- 7.13 Periodically update the Park Improvement Plan to address facility improvement needs.
- 7.14 Periodically review and update the Park System Development Charges and methodology and utilize SDCs to accommodate growth through the expansion of the recreation system.
- 7.15 Update the Parks and Recreation Master Plan periodically and approximately every ten years to ensure facilities and services meet current and future community needs and maintain eligibility for State grants.

Chapter 9

CAPITAL PLANNING & IMPLEMENTATION

Key Project Recommendations

The following is a summary of key project recommendations which will require commitment from the City and its residents for the continued support a healthy park and recreation system that preserves and enhances the safety, livability and character of the Woodburn community.

PARK DEVELOPMENT & ENHANCEMENTS



By securing new parklands through recent developer agreements, the City is poised to implement phased development of Dove Landing and Boones Crossing Parks that will offer residents a more diverse range of recreational experiences. Additionally, planned renovations to Settlemier Park as part of the design layout for a new community center will create an attractive destination and engage future park users. Considering local needs for types of park facilities and national trends, new park designs should include some of the following amenities, in addition to always supporting walking trails:

- Inclusive, boundless, or destination playgrounds,
- Splash pad/water play,
- Picnic areas for small group gatherings,
- Sport courts, including futsal and pickleball, and
- Off-leash dog areas.

Several parks have aging infrastructure that warrants upgrades. As older benches and tables are replaced, they should be re-installed with ADA-compliant versions that also include accessible routes to at least half of the furnishings per park. The City should upgrade playground experiences with new equipment and safety surfacing at sites including Burlingham, North Front Street and Nelson Parks. Also, the sport courts at Centennial and Nelson Parks should be resurfaced and re-stripped for safer play.

Other projects may include adding amenities to existing parks, such as picnic shelters for small gatherings and paved pathway connections to improve user circulation and ADA-compliant routes. A general consideration for the public is to create a park system that provided year-round facilities for all ages and all abilities to gather and recreate in diverse range of safe, clean and well-maintained park facilities that also balance fiscal stability.



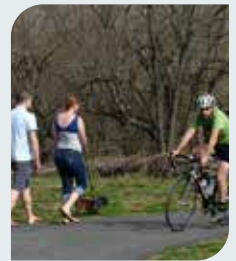
RECREATION FACILITIES

Renovations to existing Aquatic Center is necessary for proper maintenance, to extend service life and to improve accessibility and usage. The City should proceed with a roof replacement and HVAC upgrade for the Aquatic Center. Also, building on the local interest and momentum for a community center at Settlemier Park, the City should continue to pursue financing options to facilitate construction in the near-term. The new center will greatly expand the City's capacity to offer and program indoor recreation for athletics, fitness, classes and community activities for all ages and abilities.



TRAIL CONNECTIONS

Trail connections, including sidewalk and bike lanes improvements, are needed to help link destinations across Woodburn. Acquiring additional lands, easements, and/or rights-of-way for the expansion of the trail network are necessary and should be coordinated with the City's Public Works Department and Marion County. Priority trail segments should include the planned additional phases of the Mill Creek Greenway Trail, as well as linkages that extend existing routes or create looped routes. One potential extended loop route could connect the Mill Creek Greenway Trail along the Smith Creek trail to Centennial Park to Hermanson Pond. The City also should continue to review, comment and coordinate with the Community Development Department on local land development applications to facilitate the inclusion of pedestrian and bicycle routes that connect to the conceptual trail network.



ACQUISITIONS TO FILL PARK SYSTEM GAPS

The acquisition of additional neighborhood parks is necessary to address existing gaps in park services in Woodburn and in anticipation of future growth. As land development continues, opportunities to acquire large park sites will be more difficult and require Woodburn to follow an intentional acquisition program, as well as think creatively and foster partnerships to provide desired public parkland with sufficient room for park amenities. To implement the acquisition program, the City may need to actively search out potential locations and property owners to secure future park sites, ahead of or concurrent with anticipated new development. Additionally, the City should continue to coordinate with local residential developers to include public parks in new subdivisions and utilize tools, such as system development charges, to facilitate the process.



ADA & OTHER ACCESSIBILITY ENHANCEMENTS

Minor improvements to access, such as providing ramped entrances to playgrounds or stable surface access to site furnishings, are necessary to conform to the Americans with Disabilities Act (ADA) and ensure universal accessibility. The site assessment summaries and the capital project list identified and includes upgrades to remove barriers and improve universal access. In general, the City should make improvements to existing parks as needed to ensure proper maintenance, usability, accessibility, and quality of park features and grounds.



WAYFINDING & SIGNAGE

Parks, trails, and other public open spaces are the primary targets for unifying the urban environment into a cohesive, accessible, and connected community through an identifiable wayfinding program. The City currently uses a variety of park identification signs, which lack a unifying identity. To clarify ownership and the managing agency, the City should install additional, graphically-unified signs to help users navigate the outdoor recreation experiences offered by the City. Signage should be installed at key trail nodes and all City parks (primary and secondary entry points) to include directional and mileage information, site and system maps, unique features, and user etiquette information. The new signage installed as part of the Smith Creek greenway and park space provides a good example of clear signage the City could implement across the park system.



Park Capital Improvement Planning

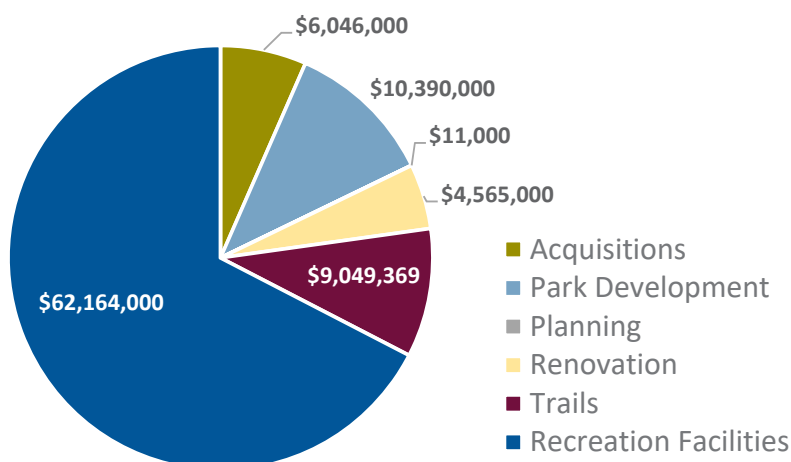
The following Park Improvement Plan (PIP) identifies the park, trail, and facility projects considered for the next ten years, along with brief project descriptions. The majority of these projects entail the maintenance, acquisition, and development of parks, recreational amenities, and trails. Based on survey results and other feedback, Woodburn residents have indicated an interest in park facility upgrades and enhanced trail connections as priorities, and the Park Improvement Plan is reflective of that desire.

The following table summarizes the aggregate capital estimates by park types for the next ten years.

The following Park Improvement Plan provides brief project descriptions and sequencing to assist staff in preparing future capital budget requests.

As projects are phased over the next ten or more years, the planning-level project costs have been inflated at an increase of 6% annually. Overall, the inflated costs for projects identified in the PIP total over \$92 million. The proposed project list focuses primarily on improving existing facilities through timely repairs, replacements, and upgrades to ensure an ongoing, healthy, and safe recreation system for Woodburn.

Figure 23. 10-Year Capital Project Expenditures



Woodburn Parks & Recreation 10-Year Park Improvement Plan

Inflation factor of 6% added to outgoing years to address rising rates and construction costs (rounded to \$1000).

| Project Name | Description | Project Type | 2023 Cost Opinion | 2024 | 2025 | 2026 | 2027 | 2028 | 2029-2034 | Totals |
|----------------------|---|--------------|-------------------|-----------|-----------|-----------|-------------|-----------|-------------|-------------|
| PARK IMPROVEMENTS | | | | | | | | | | |
| Boones Crossing Park | Park development Phase I | D | \$450,000 | \$477,000 | | | | | | \$477,000 |
| | Park development Phase II | D | \$750,000 | | | | | | \$1,195,000 | \$1,195,000 |
| Burlingham Park | Improvement planning | P | \$10,000 | | \$11,000 | | | | | \$11,000 |
| | Rebuild existing shelter | R | \$65,000 | | | \$77,000 | | | | \$77,000 |
| | Paved loop trail -connect all amenities and side entries | D | \$125,000 | | | \$149,000 | | | | \$149,000 |
| | Play equipment upgrade & playground surfacing | D | \$240,000 | | | \$286,000 | | | | \$286,000 |
| | Restroom & drinking fountain | D | \$800,000 | | | \$953,000 | | | | \$953,000 |
| | Interactive play feature | D | \$100,000 | | | \$119,000 | | | | \$119,000 |
| | Sport court resurfacing | R | \$90,000 | | | \$107,000 | | | | \$107,000 |
| | Soccer field upgrade | R | \$45,000 | | | \$54,000 | | | | \$54,000 |
| Centennial Park | Dog off-leash area (OLA) upgrades | R | \$125,000 | \$133,000 | | | | | | \$133,000 |
| | Parking lot repairs | R | \$100,000 | \$106,000 | | | | | | \$106,000 |
| | Restroom upgrade | R | \$50,000 | \$53,000 | | | | | | \$53,000 |
| | Sports field improvmnts | D | \$900,000 | | | | \$1,136,000 | | | \$1,136,000 |
| | Sports court resurfacing & lighting | R | \$300,000 | | | | \$379,000 | | | \$379,000 |
| Dove Landing | Dog Park (drinking fountain, shelter, play features, irrigation, fencing, concrete entry) | D | \$200,000 | | | | | \$268,000 | | \$268,000 |
| | Paved pump track (small and large) | D | \$600,000 | | | | | \$803,000 | | \$803,000 |
| | Playground Surfacing | D | \$120,000 | | | | | \$161,000 | | \$161,000 |
| | Irrigation extension | D | \$60,000 | | | | | \$80,000 | | \$80,000 |
| Heritage Park | Playground replacement, safety surfacing & improved access | R | \$180,000 | | | \$214,000 | | | | \$214,000 |
| | Connecting paved pathway (Lexington Ct. to Jamestown St.) | D | \$30,000 | | | \$36,000 | | | | \$36,000 |
| | Sport court resurfacing & striping | D | \$45,000 | | | \$54,000 | | | | \$54,000 |
| | ADA-compliant picnic table & bench | D | \$12,000 | | | \$14,000 | | | | \$14,000 |
| Hermanson Park | Playground replacement, safety surfacing & improved access | R | \$190,000 | | | | \$240,000 | | | \$240,000 |
| | Paved loop trail - connect all amenities to Trail | D | \$20,000 | | | | \$25,000 | | | \$25,000 |
| Hermanson Pond | Paved trail upgrade | R | \$80,000 | | \$90,000 | | | | | \$90,000 |
| | Viewing platform access improvements | R | \$30,000 | | \$34,000 | | | | | \$34,000 |
| Legion Park | Expand & improve parking areas | D | \$500,000 | | \$562,000 | | | | | \$562,000 |
| | Park and playground improvmnts | D | \$125,000 | \$133,000 | | | | | | \$133,000 |
| North Front St Park | Playground replacement & playground surfacing | R | \$190,000 | | | | \$240,000 | | | \$240,000 |
| | Paved interior loop trail & connecting pathway (N. Front St. to N. 1st St.) | D | \$80,000 | | | | \$101,000 | | | \$101,000 |
| | Sport court | D | \$70,000 | | | | \$88,000 | | | \$88,000 |
| Nelson Park | Paved loop trail, plus connect all amenities & side entries | D | \$100,000 | | | \$119,000 | | | | \$119,000 |
| | Playground replacement & playground surfacing | R | \$190,000 | | | \$226,000 | | | | \$226,000 |
| | Replace shelter | D | \$60,000 | | | \$71,000 | | | | \$71,000 |
| | Sport court resurfacing & striping | D | \$45,000 | | | \$54,000 | | | | \$54,000 |
| Senior Estates Park | Exercise stations | D | \$60,000 | | | | | \$80,000 | | \$80,000 |
| | Picnic tables & benches (ADA-compliant) | D | \$15,000 | | | | | \$20,000 | | \$20,000 |
| Settlemier Park | Sports court complex (replaces ballfield) | D | \$1,250,000 | | | | \$1,578,000 | | | \$1,578,000 |
| | Skate park upgrade | R | \$500,000 | | | | \$631,000 | | | \$631,000 |
| | Restroom replacement | R | \$600,000 | | | | \$757,000 | | | \$757,000 |
| | Replace shelter | R | \$250,000 | | | | \$316,000 | | | \$316,000 |
| | Expand parking lot | D | \$500,000 | | | | \$631,000 | | | \$631,000 |
| | Destination / boundless playground (inclusive) | D | \$750,000 | | | | \$947,000 | | | \$947,000 |

| Project Name | Description | Project Type | 2023 Cost Opinion | 2024 | 2025 | 2026 | 2027 | 2028 | 2029-2034 | Totals |
|---|--|--------------|-------------------|-------------|--------------|--------------|--------------|-------------|-------------|--------------|
| Wyffels Park | Riparian restoration | R | \$200,000 | | | \$238,000 | | | | \$238,000 |
| Systemwide | Wayfinding & signage | D | \$100,000 | \$40,000 | \$30,000 | \$30,000 | | | | \$100,000 |
| | Shade trees & tree replacement | R | \$70,000 | | \$15,000 | \$15,000 | \$15,000 | \$15,000 | \$10,000 | \$70,000 |
| | Security or low-level lighting | R | \$150,000 | | \$30,000 | \$30,000 | \$30,000 | \$30,000 | \$30,000 | \$150,000 |
| | Additional ADA Improvements | D | \$150,000 | \$25,000 | \$25,000 | \$25,000 | \$25,000 | \$25,000 | \$25,000 | \$150,000 |
| | Minor repairs & renovations | R | \$450,000 | \$50,000 | \$50,000 | \$50,000 | \$50,000 | \$50,000 | \$200,000 | \$450,000 |
| Total Park Improvements | | | \$12,122,000 | \$1,017,000 | \$847,000 | \$2,921,000 | \$7,189,000 | \$1,532,000 | \$1,460,000 | \$14,966,000 |
| FACILITY PROJECTS | | | | | | | | | | |
| Woodburn Aquatic Center | Spray features & water slides | D | \$400,000 | | \$400,000 | | | | | \$400,000 |
| | Roof repair & replacement | R | \$150,000 | | | | \$189,000 | | | \$189,000 |
| | Ceiling repair & paint | R | \$45,000 | | | \$54,000 | | | | \$54,000 |
| | HVAC system upgrade | R | \$150,000 | | | \$179,000 | | | | \$179,000 |
| | Pool re-plaster (multiple tanks) | R | \$175,000 | | | \$208,000 | | | | \$208,000 |
| | Re-tile pool area | R | \$75,000 | | | \$89,000 | | | | \$89,000 |
| | Replace storefront doors/windows | R | \$36,000 | | | | \$45,000 | | | \$45,000 |
| Woodburn Community Center | Center Design | P | \$1,000,000 | \$1,000,000 | | | | | | \$1,000,000 |
| Woodburn Community Center | Center construction | D | \$60,000,000 | \$2,500,000 | \$12,500,000 | \$30,000,000 | \$15,000,000 | | | \$60,000,000 |
| Total Facilities Projects | | | \$62,031,000 | \$3,500,000 | \$12,900,000 | \$30,530,000 | \$15,234,000 | \$0 | \$0 | \$62,164,000 |
| PARK ACQUISITIONS (* Acquisition target areas are estimations and will require due diligence & negotiation with current landowners) | | | | | | | | | | |
| Neighborhood Park | Acquisition in SW area (A) | A | \$800,000 | | \$899,000 | | | | | \$899,000 |
| | Acquisition in SW area (B) | A | \$800,000 | | | \$953,000 | | | | \$953,000 |
| | Acquisition in SE area (C) | A | \$1,000,000 | | | | | | \$1,594,000 | \$1,594,000 |
| | Acquisition in E area (D) | A | \$1,000,000 | | | | | \$1,338,000 | | \$1,338,000 |
| | Acquisition in NW area (E) | A | \$1,000,000 | | | | \$1,262,000 | | | \$1,262,000 |
| Total Park Acquisitions | | | \$4,600,000 | \$0 | \$899,000 | \$953,000 | \$1,262,000 | \$1,338,000 | \$1,594,000 | \$6,046,000 |
| TRAILS | | | | | | | | | | |
| Mill Creek Greenway (MCG) Trail | Acquisitions for MCG Trail alignment | A | \$600,000 | \$200,000 | | \$200,000 | | \$200,000 | | \$600,000 |
| | Mill Creek Greenway Oregon Community Pathways grant for trail construction | D | \$1,932,369 | \$500,000 | \$500,000 | \$500,000 | \$250,000 | \$182,369 | | \$1,932,369 |
| MCG Trailhead upgrades | Add restrooms, lighting, drinking fountains, bike racks | D | \$700,000 | | | | \$500,000 | | | \$500,000 |
| Centennial to Hermanson Trail | Acquisitions for alignment | A | \$400,000 | | | \$476,000 | | | | \$476,000 |
| | Trail construction | D | \$1,500,000 | | | | | | \$2,391,000 | \$2,391,000 |
| Hermanson Pond | Hermanson Trail connections westward to Brown Street connections (OCP funds) | D | \$400,000 | | \$400,000 | | | | | \$400,000 |
| Settlemier Park | Trail construction (OCP funds) | D | \$250,000 | | | | \$250,000 | | | \$250,000 |
| Wyffels Park | Trail construction (OCP funds) | D | \$250,000 | | | \$250,000 | | | | \$250,000 |
| Trail System Acquisitions/Easements | Acquisitions or easements to support conceptual trail alignments | A | \$2,000,000 | | | \$500,000 | \$500,000 | \$500,000 | \$500,000 | \$2,000,000 |
| Trail System Management | Pavement & surfacing repairs or rehabilitations | R | \$250,000 | | | \$30,000 | \$30,000 | \$30,000 | \$160,000 | \$250,000 |
| Total Trail Projects | | | \$8,282,369 | \$700,000 | \$900,000 | \$1,956,000 | \$1,530,000 | \$912,369 | \$3,051,000 | \$9,049,369 |
| Total CIP Projects | | | \$87,035,369 | \$5,217,000 | \$15,546,000 | \$36,360,000 | \$25,215,000 | \$3,782,369 | \$6,105,000 | \$92,225,369 |

Acquisition A
Planning/Permitting P
Renovation/Repair R
Development/Expansion D

NOTES:
This list identifies planning-level cost estimates and does not assume the value of volunteer or other non-City contributions.
Detailed engineering, design and/or costing may be necessary for projects noted.
This list is not an official budget and is intended as a guiding document for City staff in the preparation of departmental budgets.

Implementation Tools

A number of strategies exist to enhance and expand park and recreation service delivery for the City of Woodburn; however, clear decisions must be made in an environment of competing interests and limited resources. A strong community will is necessary to bring many of the projects listed in this Plan to life, and the Woodburn City Council has demonstrated its willingness in the past to support parks and recreation and a high quality of life for local residents.

The recommendations for park and recreation services noted in this Plan may trigger the need for funding beyond current allocations and for additional staffing, operations and maintenance responsibilities. Given that the operating and capital budget of the Community Services Department is finite, additional resources may be needed to leverage, supplement, and support the implementation of proposed objectives, programs, and projects. While grants and other efficiencies may help, these alone will not be enough to realize many ideas and projects noted in this Plan, especially regarding the construction of a community center. The following recommendations and strategies are presented to offer near-term direction to realize these projects and as a means to continue dialogue between City leadership, local residents, and partners. The tools presented only capture development of the capital improvements and not the long-term operations of the new assets.

Additionally, a review of potential implementation tools is included as Appendix G, which addresses local financing, federal and state grant and conservation programs, acquisition methods and others.

Enhanced Local Funding

The City of Woodburn could explore a variety of local funding options for parks and recreation acquisition, development, operations and maintenance. The likelihood of success for local funding options depends on the community's willingness and ability to pay additional property taxes or fees to support higher levels of parks and recreation services.

According to the City budget, Woodburn maintains reserve debt capacity for local bonds and voter approved debt. The potential to bundle several projects from the Park Improvement Plan or take advantage of unforeseen opportunities, such

as acquisitions, may warrant a review of debt implications and operating costs for the City, along with the need to conduct polling of voter support for such projects.

General Obligation (G.O.) Bonds

To finance a large capital project, such as a community center, the City explore the use and timing of G.O. bonds, which are debt instruments sold by the City to fund new parks and recreation facilities or to make improvements to existing facilities. Bonds are repaid with property tax revenue generated by a special levy that is outside the limits imposed by ballot Measures #5 (1990) and #50 (1997). Voters must approve G.O. Bond sales either in a General Election, or in another election in which a minimum of 50% of registered voters participate. G.O. Bond revenues may not be used for operations, maintenance or repairs, but they may be used for renovations to existing facilities.

Local Option Levies

Local option levies are separate property tax levies that can be assessed to fund capital improvements or operations and maintenance activities. Such levies are outside of the City's permanent tax rate limit, subject to the combined rate limit imposed under Measure #5. Local option levies require voter approval and are subject to the double majority (50% voter turnout and 50% approval) requirement of Measure #5. If used to fund capital improvements, revenues can be used to secure bonds or complete one or more projects on a pay-as-you-go basis, over a period of up to 10 years. Operations and maintenance levies are limited to a period of five years.

Parks Utility Fee

A parks utility fee is an ongoing fee (often billed monthly) that provides revenue for the needs of the park system. When charged by a city, such a fee can be an additional line item on an existing utility bill. The revenue received can be used for both operational and capital needs, and it can be pledged to the debt service of revenue bonds. Establishment of a parks utility fee in Oregon requires compliance with legal requirements at both state and local levels. Several jurisdictions across Oregon have implemented and utilized a parks utility fee as supplemental funding to maintain and enhance their park systems. Woodburn could consider enacting a parks utility fee for the purpose of providing for the operation and maintenance of parks and facilities within the City and to ensure adequate resources are available for the sound and timely maintenance of existing recreation amenities.

System Development Charges (SDCs)

Park System Development Charges (SDCs) are fees paid by new development to meet the increased demand for parks resulting from the new growth. SDCs can only be used for parkland acquisition, planning and/or development. They cannot be used for operations and maintenance of parks and facilities. The City of Woodburn currently assesses a Parks System Development Charges (SDC) on new residential development to assist with the cost of improvements needed to accommodate new growth. The City should prioritize the usage of Parks SDCs to secure new park properties and finance park or path/trail development consistent with the priorities within this Plan. Also, the City should periodically update the methodology and rate structure, as appropriate, to be best positioned to obtain future acquisition and development financing from residential development.

Parkland Donations & Dedications

Land donations from development projects, individuals, or conservation organizations could occur to complement the acquisition of park and open space lands across Woodburn. Gift deeds or bequests from philanthropic-minded landowners could allow for lands to come into City ownership upon the death of the owner or as a tax-deductible charitable donation. The Department should vet any potential dedications to ensure that such land is located in an area of need and can be developed with site amenities appropriate for the projected use of the property.

Grants & Appropriations

Several state, federal and private grant programs are available on a competitive basis, including those offered by the Oregon State Parks & Recreation Department (such as the Land and Water Conservation Fund). Pursuing grants is not a panacea for park system funding, since grants are both competitive and often require a significant percentage of local funds to match the request to the granting agency, which depending on the grant program can be as much as 50% of the total project budget. Woodburn should continue to leverage its local resources to the greatest extent by pursuing grants independently and in cooperation with other local partners.

Appropriations from state or federal sources, though rare, can supplement projects with partial funding.

State and federal funding allocations are particularly relevant on regional transportation projects, and the likelihood for appropriations could be increased if multiple partners are collaborating on projects

Internal Project Coordination & Collaboration

Internal coordination with the Public Works and Community Development Departments can increase the potential of discrete actions toward the implementation of the proposed trail and path network, which relies heavily on street right-of-way enhancements, and in the review of development applications with consideration toward potential property acquisition areas, planned path corridors, and the need for easement or set-aside requests. However, to expand the extent of the park system and recreation programs, additional partnerships and collaborations should be considered.

Partnerships

Public-private partnerships are increasingly necessary for local agencies to leverage their limited resources in providing park and recreation services to the community. Corporate sponsorships, health organization grants, stewardship programs and non-profit organizations are just a few examples of partnerships where collaboration provides value to both partners. The City has existing partners and should continue to explore additional and expanded partnerships, where feasible, to help implement these Plan recommendations.

Coordination with the Boys and Girls Club, Woodburn School District, YMCA and other private recreation providers should be ongoing to assess the range and type of recreation programs offered in the City and to maximize use of community facilities, such as fields, sport courts, gymnasiums, and other indoor spaces. The City may need to find and coordinate with other recreation program vendors for new programs and services to meet the interests of the community and address current gaps in program coverage.

Health Benefit Partnerships

Woodburn also should explore partnership opportunities with regional health care providers and services, such as Salem Health Medical Clinic, Legacy Medical Group and the Marion County Health & Human Services Department, to further promote wellness activities, healthy living, and

communications about the benefits of parks and recreation. For example, this group could more directly cross-market services and help expand communications about local wellness options, and they could sponsor a series of organized trail walks through Woodburn as a means to expand public awareness of local trail opportunities and encourage residents to stay fit. For example, other communities have been successful with funding requests to regional hospitals for the development and printing of community walking guides that highlight the health benefits of walking and include trail system maps and descriptions.

Volunteer & Community-based Action

Successful volunteer efforts – through volunteer groups, students, neighborhood groups, or sport and service organizations – can result in significant site improvements and can allow community members to gain a sense of ownership in the parks and recreation system. Volunteers and community groups already contribute to a variety of community programs and events, such as youth sport or aquatics support, at the Library, and special events like Fiesta Mexicana. The City could engage volunteers in additional park and recreation projects like tree plantings, trail maintenance, park clean-ups, and other small works or volunteer-appropriate projects. Woodburn currently maintains a webpage of volunteer-appropriate projects, which should continue to be updated and promoted through the website and social media platforms and via partnerships with school district.

While supporting organized groups and community-minded individuals adds value to the Woodburn parks and recreation system, volunteer coordination requires a substantial amount of staff time. Additional resources may be necessary to expand volunteer coordination to more fully utilize the community's willingness to support park and recreation efforts.

Other Implementation Tools

Appendix G identifies other implementation tools, such as voter-approved funding, grants and acquisition tactics, that the City could utilize to further the implementation of the projects noted in the Park Improvement Plan projects List.

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Appendix A: Community Survey Summary

City of Woodburn
Parks & Recreation Master Plan

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To: Jesse Cuomo, Director, Community Services Department
From: Steve Duh, Conservation Technix, Inc.
Date: July 24, 2023
Re: **Woodburn Parks & Recreation Master Plan**
Community Survey Summary Results

Conservation Technix is pleased to present the results of a survey of the general population of the City of Woodburn that assesses residents' recreational needs and priorities.

KEY FINDINGS

Woodburn residents strongly value their parks and recreation facilities.

Nearly all respondents (96%) think parks and recreation are important or essential to quality of life in Woodburn. Very few, about 3%, feel they are useful, but not necessary, or not important at all.

Residents visit Woodburn parks frequently to participate in a range of activities.

Residents of Woodburn frequently use the City's parks and recreation facilities, with more than four in ten visiting at least once a week, if not every day. The most common reasons for park visits included walking or running, using a playground, walking a dog, and for fitness or exercise.

While residents prioritize maintaining existing parks and facilities, they are generally supportive of improving the City's park and recreation system as well.

Woodburn residents, when asked about the overall condition of the parks they have visited, shared a positive view with 79% of responses being fair to excellent, leaving 14% stating poor condition and 7% with no opinion. Although there is a positive perception of the maintenance condition of parks, the community desires more amenities and park upgrades, with only 57% of respondents being satisfied to very satisfied with Woodburn's parks, recreation facilities and open spaces.

Overall, survey respondents would like to see the City prioritize:

- **Park Upgrades:** When asked to prioritize potential improvements, community members ranked improving and upgrading existing parks as their top priority. In other questions, they called for additional walking trails, picnic areas, playgrounds, and sport courts. In open-ended responses, community members also asked for additional amenities like covered basketball courts, pickleball courts, disc golf courses, skateparks, and picnic areas.
- **Walking Trails:** The community seeks an expansion of walking trails and the establishment of bike paths, emphasizing the importance of connectivity between parks. Residents also specifically requested better lighting along trails, wheelchair-friendly paths, and pet-friendly trails.
- **Park Maintenance and Safety:** Community members cited maintenance and safety concerns as top reasons why they do not visit more often, and written comments expressed a desire for

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improved maintenance and safety in existing parks. They advocated for additional cleaning and trash removal in parks, repairs to broken equipment, and increased lighting and enforcement of park rules.

SURVEY METHODOLOGY

In close collaboration with City of Woodburn staff, Conservation Technix developed the 16-question survey that was estimated to take less than ten minutes to complete.

The mail survey was available in English and Spanish, and the cover letter accompanying the printed survey was written in both languages and included unique QR codes to access each in-language survey online. The City mailed 2,500 surveys to randomly chosen households in Woodburn on March 16, 2023, of which 262 surveys were completed and returned (10.5% response rate, 5% margin of error).

Residents who did not receive a mail survey were able to complete the survey online. Online versions of the survey in English, Spanish and Russian were posted to the City's website on March 27th. An additional 256 surveys were completed from the general, community-wide online surveys. In all, 518 surveys were collected, which includes 44 Spanish surveys. The survey was closed on June 3, 2023, and the full dataset was compiled and reviewed.

Information about the survey was promoted through several channels, including on the City's website, through multiple social media postings, and through direct outreach to partner organizations and recreation program participants.

Although households were randomly chosen to receive the mail survey, respondents were not necessarily representative of all city residents. Mail survey responses underrepresent residents under 35 years of age and over-represent residents over the age of 65. See Figure 1 below for age demographics for the mail and online surveys, as well as comparative percentages for Woodburn's population. See page 12 for other demographic subgroup data comparisons.

Figure 1. Age demographics of survey respondents

| Age group | Survey Respondents | | | Woodburn | |
|--------------|--------------------|-------------|----------|----------|---------|
| | Mail | Online-only | Combined | All | Over 20 |
| Under 20 | 4% | 2% | 3% | 31% | -- |
| 20 to 34 | 10% | 23% | 17% | 16% | 23% |
| 35 to 44 | 14% | 30% | 22% | 13% | 18% |
| 45 to 54 | 10% | 17% | 13% | 12% | 17% |
| 55 to 64 | 15% | 12% | 13% | 12% | 16% |
| 65 to 74 | 24% | 12% | 18% | 10% | 14% |
| 75 and older | 22% | 5% | 13% | 8% | 12% |
| Total | 100% | 100% | 100% | 100% | 100% |

This report includes findings of community opinions based on the combined responses from the mail survey and online. Each section also notes key differences between different demographic groups and among responses to the online-only survey, where applicable. Percentages in the report may not add up to 100% due to rounding.

DETAILED FINDINGS

Usage and satisfaction of parks and recreation facilities

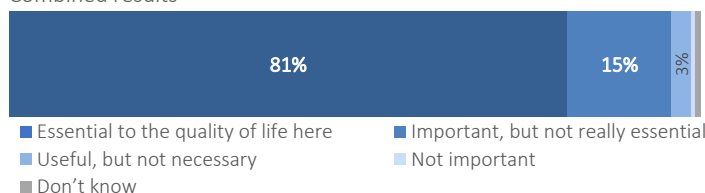
How much do residents value parks and recreation?

Virtually all respondents (96%) feel that local parks and recreation opportunities are important or essential to the quality of life in Woodburn. Eighty-one percent of respondents overall feel that they are essential; while an additional 15% believe that they are important to quality of life, but not essential, see Figure 2. Only about 3% of respondents believe parks are useful, but not important, or not important. Online respondents more frequently rated parks and recreation opportunities as 'essential' to Woodburn's quality of life as compared to mail respondents.

Figure 2A/B. When you think about what contributes to the quality of life in Woodburn, would you say public parks and recreation opportunities are...

| Response options | Mail | Online-only |
|---------------------------------------|------|-------------|
| Essential to the quality of life here | 77% | 83% |
| Important, but not really necessary | 17% | 13% |
| Useful, but not important | 3% | 3% |
| Not important or don't know | 3% | 0% |

Combined results



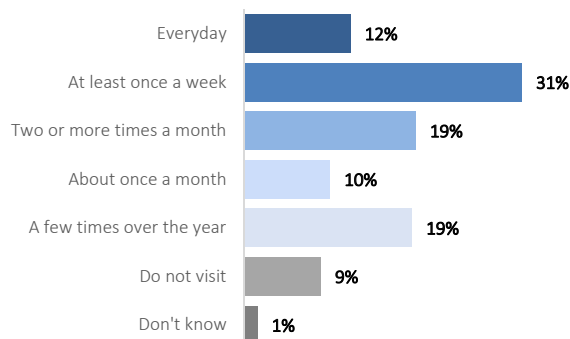
Residents of all ages value parks and recreation similarly – there were no significant differences between age groups. There were also no significant differences based on where respondents live or whether they had children in their home. Online survey respondents were slightly more likely to deem park and recreation opportunities as essential to quality of life than mail survey respondents.

How often do residents use City parks and recreation facilities?

Respondents were asked how often they visit a City park, recreation facility, or open space in a typical year. A plurality of respondents (43%) visit at least once a week, if not every day, see Figure 3. Another 29% visit one to three times per month, while about 19% visit a few times per year. About one in ten respondents (9%) do not visit a park at all.

Survey respondents showed a high use of parks regardless of age and location of residence. Respondents without children at home were significantly more likely to visit every day, while those with children were more likely to visit at least once per week. Online respondents reported more frequent use than mail survey respondents.

Figure 3. In a typical year, how often do you visit or use City of Woodburn parks, recreation facilities or open spaces?



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Which park do residents visit most often?

Respondents were asked, in an open-ended question, which local park they visit most frequently. Of the 399 responses, over 60% listed Centennial Park. Another 20% of respondents listed Legion Park, with smaller numbers mentioning the Woodburn Aquatic Center (11%), Settlemier Park (9%), and Senior Estates Park (7%). A few respondents listed Library Square, Hermanson Park, Burlingham Park, Smith Creek Park, Nelson Park, Downtown Plaza, and Heritage Park as their most frequented park locations, see Figure 4. Other City parks and facilities, including Wyffels Park, the Mill Creek Greenway Trail, Alvah Cowan Park, Dahlia Park, Hazel Smith Park, North Front Street Park, and Frank Scheer Locomotive Park, were not listed by any survey respondents.

Figure 4. Which park or facility do you visit most often? (open-ended)

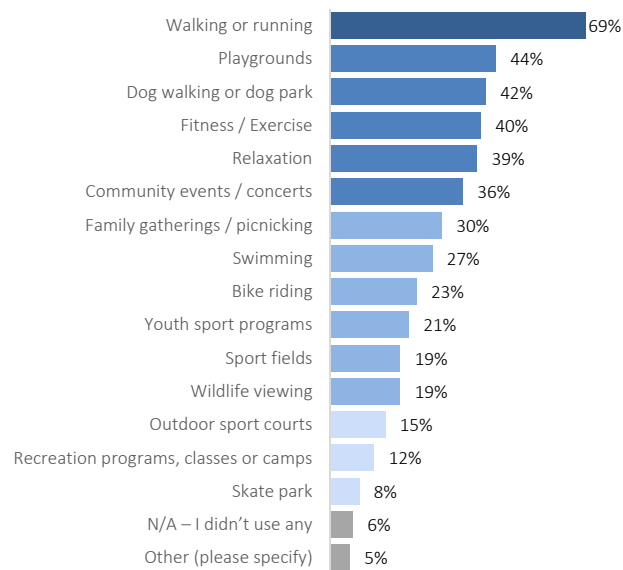
| Location | % listing |
|---------------------|-----------|
| Centennial Park | 61% |
| Legion Park | 20% |
| Aquatic Center | 11% |
| Settlemier Park | 9% |
| Senior Estates Park | 7% |
| Library Square | 3% |
| Hermanson Park | 3% |
| Burlingham Park | 2% |
| Smith Creek Park | 1% |
| Nelson Park | 1% |
| Downtown Plaza | 1% |
| Heritage Park | 1% |

Why do residents visit Woodburn's parks and recreation facilities?

Respondents visit local parks and recreation facilities for a variety of reasons, but the most popular reason is to walk or run (69%). More than one in three respondents visit to use a playground (44%), walk a dog (42%), for fitness or exercise (40%), to relax (39%), or to attend community events or concerts (36%), see Figure 5. Between twenty and thirty percent of respondents visit for family gatherings, swimming, bike riding, or youth sports programs. Fewer than one in five respondents chose sports fields, wildlife viewing, sports courts, recreation programs, or the skate park as a primary reason why they visit local parks.

Approximately one in twenty respondents identified an 'other' reason for visiting parks, such as to play pickleball or tennis, enjoy nature, or horseshoes.

Figure 5. What would you say are the main reasons your household visits Woodburn parks and recreation facilities?



The reasons for visiting city parks and recreation facilities varied slightly between mail and online respondents, with part of the difference attributable to the age group composition between the two. Online respondents were more inclined to visit city parks for most listed activities, including walking and running, playgrounds, sport fields and courts, and community events and festivals. Mail respondents were more likely to visit for wildlife viewing or to state that they didn't use parks.

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Respondents under the age of 44 were more likely than older residents to visit for playgrounds, youth programs, and skate parks. However, many activities, including running and walking, fitness or exercise, relaxation, dog walking, and community events are similarly popular across all age groups.

Respondents with children in their home are more likely to visit parks to visit playgrounds, have family gatherings, participate in youth sports, swim, or use sports fields, compared to respondents without children in the home. Residents who live south of 214 were more likely than residents to the north of 214 to visit to use playgrounds, skate parks, or to ride a bike.

Satisfaction with existing recreation and parks

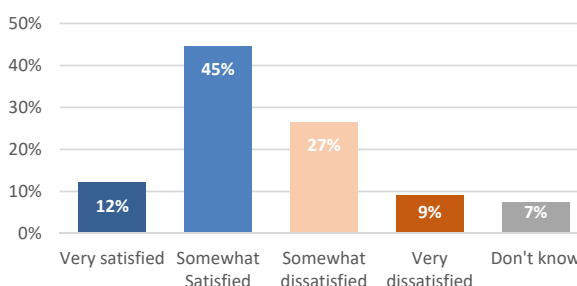
Are residents satisfied with Woodburn's recreation, parks, and open spaces?

Most residents are somewhat to very satisfied with Woodburn's parks, recreation facilities, and open spaces (57%). However, more than one in three survey respondents (36%) are either somewhat or very dissatisfied in the city's park and recreation system, see Figure 6.

There were no significant differences in satisfaction between residents of various ages, between those with versus those without children at home, or between residents living in various areas of the city.

Online respondents had lower overall ratings of satisfaction than mail respondents.

Figure 6. Rate your household's satisfaction with City of Woodburn's parks, recreation facilities, and open spaces.

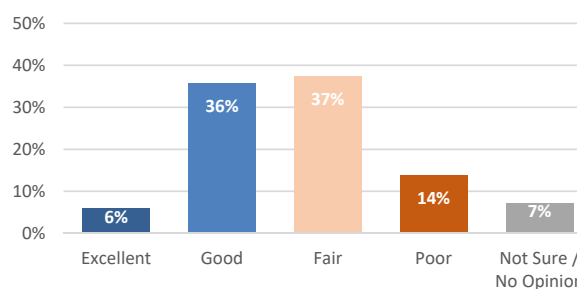


How would residents rate the condition of parks they have visited?

Survey respondents have varying views on the condition of Woodburn's parks, as shown in Figure 7. While 44% of respondents rate the condition of parks they have visited as either excellent or good, 51% rate them as fair or poor. This may reflect a community desire for increased maintenance, cleanliness, and security within parks and/or community needs for additional park amenities, as expressed in other survey questions.

Respondents who live north of 214 were significantly more likely than those to the south to rate the condition of City parks as 'poor'. There were no significant differences in how residents of various ages or household makeup rated the condition of the City's parks.

Figure 7. How would you rate the condition of Woodburn's parks you have visited?



Why don't residents visit more often?

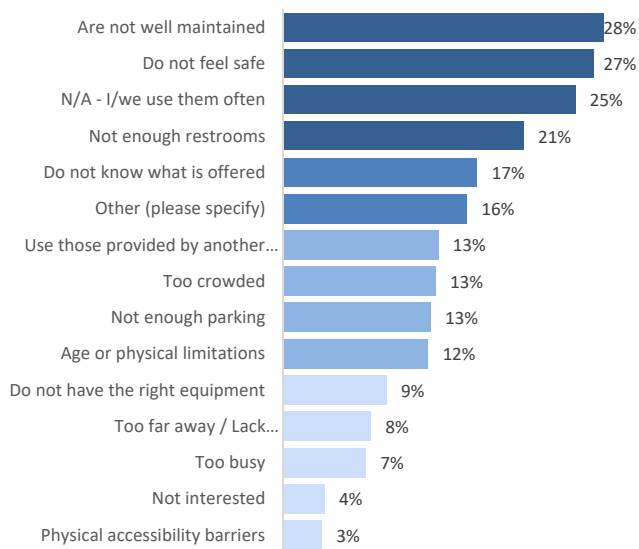
When asked why they do not visit Woodburn's parks, recreation facilities, and open spaces more often, one quarter responded that they do visit often. However, similar numbers do not visit more because they feel parks are not well maintained (28%), don't feel safe in parks or facilities (27%), or because there are not enough restrooms (21%), see Figure 8. Seventeen percent don't know what is offered.

Smaller percentages of respondents noted that parks are too crowded (13%), have insufficient parking (13%), do not have the right equipment (9%), are too far away (8%), or have accessibility barriers (3%) preventing them from visiting local parks more often.

Some residents use parks or facilities provided by other cities or organizations (13%), face age or physical limitations (12%), are too busy (7%), or are generally not interested (3%), suggesting that further improvements may not increase their use of parks.

In addition, about one in six respondents wrote in responses citing needs for improved safety and cleanliness in facilities, expanded pool hours, a lack of well-connected trails, concerns about off-leash dogs, and the weather as reasons why they do not visit more frequently.

Figure 8. Check ALL the reasons why your household does not use Woodburn's recreation facilities, parks or open spaces or attend City events more often. (Check all that apply)



Online respondents were more likely to cite concerns about maintenance and safety or a lack of parking, restrooms, or preferred equipment as reasons they didn't visit more often. Mail respondents were more likely to note a lack of interest, age, or physical limitations – likely attributable to the higher average age of mail respondents. Respondents with children at home were more likely than those without to cite concerns about maintenance, a lack of preferred equipment, a lack of parking, or being too busy as a reason they do not visit parks more frequently. Respondents living to the north of 214 were more likely to cite a lack of parking or restrooms as a reason they don't visit more, compared to those living south of 214. There were no significant differences in responses based on age.

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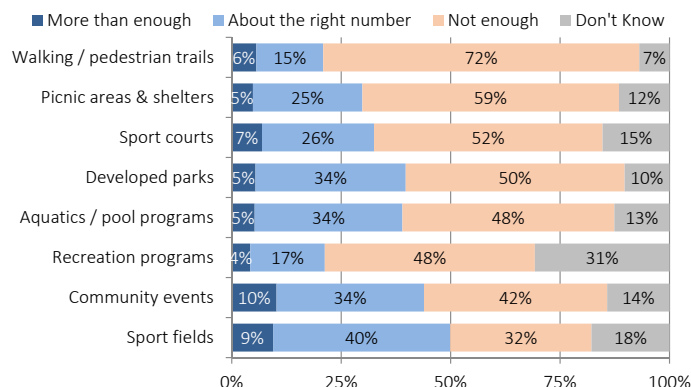
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Does the number of existing park and recreation amenities meet residents' needs?

Residents were generally split on whether they feel the City provides enough park, trails, and recreation facilities.

About two-thirds of survey respondents would like to see more walking and biking trails (72%), while 59% would like the City to provide more picnic areas and shelters, see Figure 9. Approximately half of residents would like to see more sports courts and developed parks with playground. Between 40% and 50% would like to see more aquatics and recreation programs and community events.

Figure 9. When it comes to meeting the needs for park and recreation facilities, how would you rate the availability of each of the following?



Residents with children in their home were more likely than those without to believe there are not enough of every listed amenity except walking trails and picnic areas, where their responses were similar. Respondents who live north of 214 were significantly more likely than those to the south to feel the City did not have enough sports fields. There were no significant differences between respondents based on age.

Investment Priorities

What park and recreation amenities would residents support adding in Woodburn?

The survey asked residents about their support for a variety of potential additions to the park system. More than half of residents were either very supportive or somewhat supportive of adding nearly all listed amenities.

As shown in Figure 10, virtually all residents are either very or somewhat supportive of additional walking trails (92%), picnic areas and shelters (86%), upgraded or renovated playgrounds (83%), outdoor splash pads (82%), an amphitheater or outdoor performance area (81%), and indoor fitness and exercise facilities (81%).

Large majorities are also supportive of the City adding more playgrounds (77%), community gardens (78%), basketball courts (71%), and outdoor fitness equipment (71%). More than half of residents support the City adding more off-leash dog areas, sports fields, sports courts, a disc golf course, and a bike skills course or pump track.

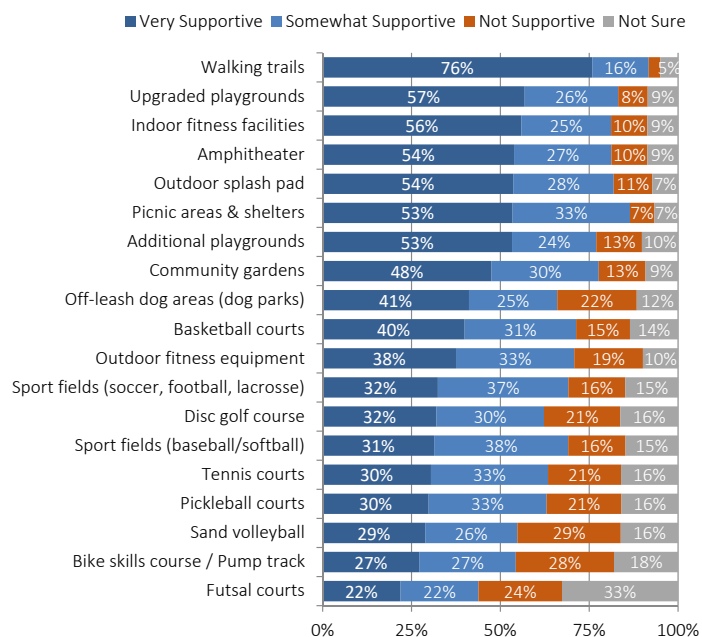
Younger residents, especially those under 45, expressed a greater interest in additional or upgraded playgrounds and outdoor splash pads as compared to older residents. Residents with children at home were more likely to support additional playgrounds, splash pads, and basketball courts, as compared to those without children at home. Those without children in the household were more likely to support additional dog parks and pickleball courts.

While they were still generally supportive, respondents living north of 214 and west of Boones Ferry Road (map area A) were less supportive of additional sports fields, splash pads, and playgrounds as compared to residents of other areas.

What park and recreation investments would residents prioritize?

Respondents were asked to rank a list of potential park system investments. In aggregated survey data, respondents identified improving and upgrading existing parks as their top priority, followed closely by expanding trail opportunities, see Figure 11A. Adding new recreational options in existing parks and acquiring additional land for future parks were moderate priorities. Expanding recreation programs and camps was ranked as the lowest priorities by respondents.

Figure 10. The following list includes additional amenities that the City of Woodburn could consider adding to the park system. Please indicate your level of support for each.



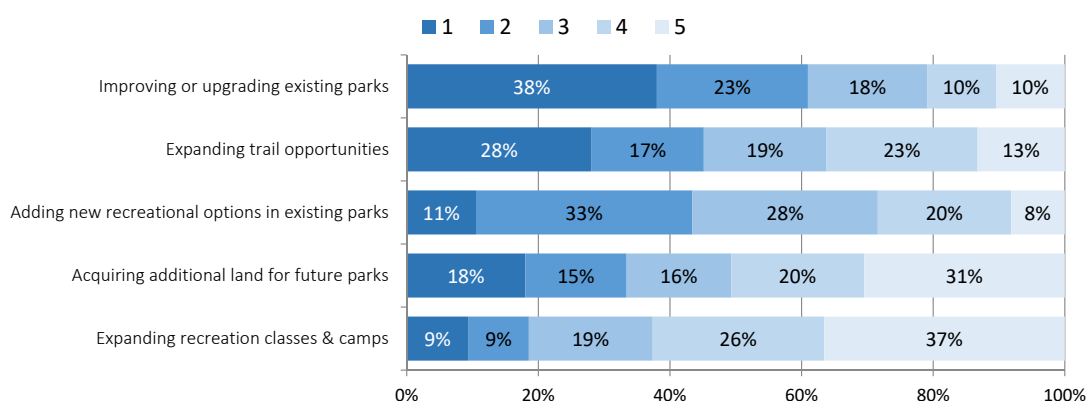
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Respondents to the mail and online surveys differed slightly in their selection of ranked priorities, with online survey respondents more strongly supportive of expanding recreational options in existing parks and mail respondents more supportive of expanding trail opportunities, see Figure 11B.

Respondents from households with children were more likely to prioritize expanding recreation classes and camps compared to those without. There were no significant differences in priorities based on age or location of residence.

Figure 11A/B. For the following list, indicate how you would rank the priority for each (1st priority is highest and 5th priority is lowest). *Chart shows combined data from the mail and online surveys.*



| | Mail | Online |
|---------|---|---|
| Highest | Improving or upgrading existing parks | Improving or upgrading existing parks |
| | Expanding trail opportunities | Adding new recreation options in existing parks |
| | Adding new recreation options in existing parks | Expanding trail opportunities |
| | Acquiring additional land for future parks | Acquiring additional land for future parks |
| Lowest | Expanding recreation classes and camps | Expanding recreation classes and camps |

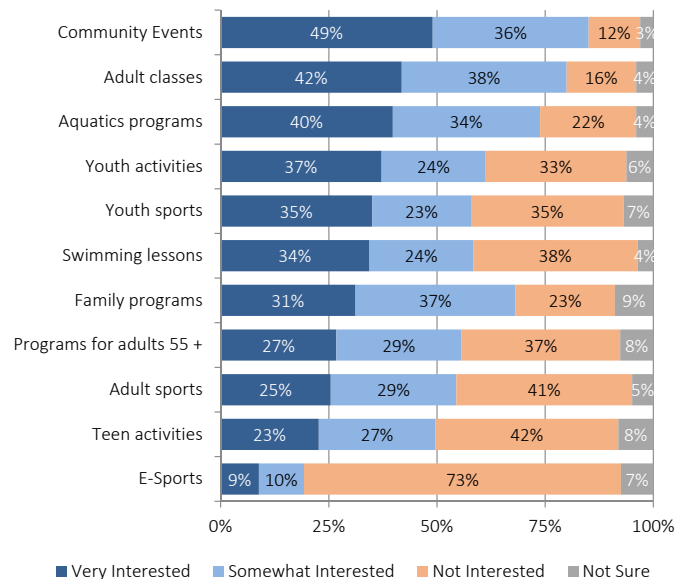
Which recreation programs and activities are of interest to residents?

Survey respondents were asked about their level of interest in a variety of recreational programs and activities that the City of Woodburn does, or could, offer. More than three quarters of respondents were very or somewhat interested in seeing more community events, adult classes, and aquatics programs. More than half of respondents were interested in all the other recreational programs and activities listed, with the exception of E-sports, see Figure 12.

Younger residents, particularly those under 44, were more likely than older residents to express interest in youth activities and sports, family programs, adult classes, and swimming lessons. Older respondents showed more interest in programs for adults over 55.

Survey respondents with children at home were more likely than those without to note interest in family, youth, and teen programs as well as swimming lessons. Residents without children at home were more likely to express interest in programs for adults and people over 55, which reflects the demographics of this group.

Figure 12. ...For each of the following, please indicate the level of interest your household has in the program or activity.



Do residents have specific improvements they would like to see?

Respondents were asked to describe one thing that they would like to see the City of Woodburn do to improve parks, trails, aquatics, and/or recreation programs. While respondents provided 380 specific comments and ideas, a few themes emerged:

- Park Maintenance and Safety:** Community members frequently expressed a desire for improved maintenance and safety in existing parks. Many spoke of concerns about the maintenance and upkeep of parks, including regular cleaning, lawn care, removal of litter, and repairs to broken equipment. Others mentioned concerns about safety in parks, including issues like drugs, homeless individuals, and the need for police patrols. There are also requests for better lighting and enforcement of park rules to ensure a safe environment.
- Park Upgrades:** While community members emphasized the importance of maintaining existing parks and facilities, they also called for upgrades such as improved playgrounds, restroom renovations, and well-maintained walking trails. In their responses, community members also asked for additional amenities like covered basketball courts, pickleball courts, disc golf courses, skateparks, and picnic areas. There are also suggestions to renovate existing facilities and playgrounds to provide safe and enjoyable experiences for all age groups.

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- **Walking Trails and Connectivity:** The community seeks an expansion of walking trails and the establishment of bike paths, emphasizing the importance of connectivity between parks. Residents also specifically requested better lighting along trails, wheelchair-friendly paths, and pet-friendly trails.
- **Aquatic Center Enhancements:** Community members expressed a desire for upgrades to the aquatic center, including expanded hours, additional aquatic classes, and improved indoor facilities. They also called for the addition of more slides, diving boards, and a wave pool to enhance the overall experience.
- **Dog Parks and Off-Leash Areas:** Enhancing dog parks is a priority, with requests for improvements such as shelters, seating areas, and increased maintenance and cleanliness. The community also desires the creation of more dog parks and off-leash areas to cater to the needs of pet owners.
- **Community Center and Recreation Programs:** Building a new community center that offers various amenities and recreation programs is another common desire. The community would like to see more options for youth sports leagues, additional fitness facilities, and improved staffing and availability of programs, including swimming lessons and senior activities, to cater to the diverse needs and interests of residents.
- **Communication and Information:** Some survey respondents asked for improved communication channels, such as a city cable channel or newsletter, to inform residents about community events, park offerings, and important happenings in town. Others requested a more user-friendly website that provides easy access to information, including programs, activities, and registrations, reducing the need to search through multiple sources.

A compilation of write-in comments is on file with the Woodburn Community Services Department.

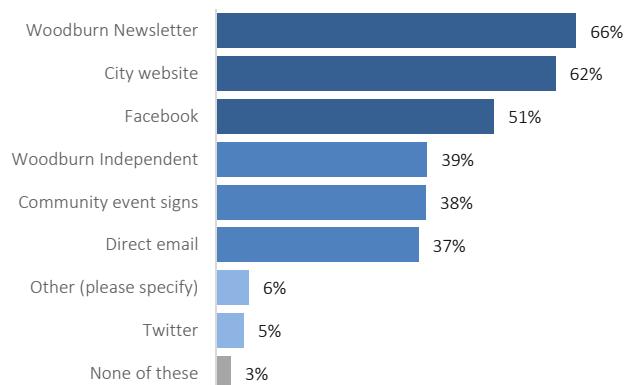
Communication preferences

How do residents want to hear about Woodburn's parks, programs, and events?

A majority of residents prefer to learn about City parks, recreation facilities and special events through the Woodburn Newsletter (66%), the City website (62%), or Facebook (51%), see Figure 13. These methods were popular across all age groups.

The Woodburn Independent, community event signs, and direct email were also popular ways of learning about Woodburn parks, preferred by 37-39% of respondents each. Twitter was less popular. Some residents wrote in other preferred methods of contact, predominately direct mail.

Figure 13. Please check ALL the ways you would prefer to learn about Woodburn's parks, programs, and events.



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Perhaps unsurprisingly, residents who responded to the online survey to prefer online sources of information, notably the City's website and Facebook, as compared to respondents to the mail survey. Residents with children at home were more likely to prefer communication through Facebook than those without children at home. There were no significant differences in communication preferences between residents living in different areas of the city.

City of Woodburn Parks & Recreation Master Plan

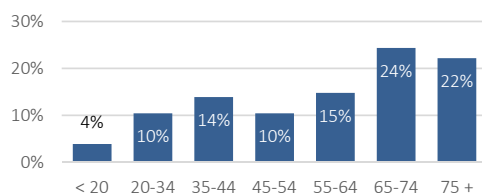
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Demographics

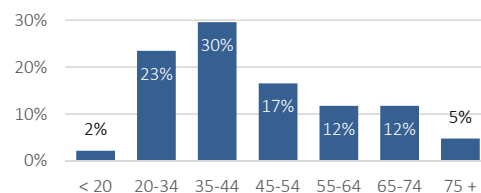
Age groups

Overall, nearly half of mail respondents were above 65 years of age (47%). Online-only survey respondents tended to be younger than mail respondents – 55% were under 44 years and only 17% were over 65.

Mail survey responses



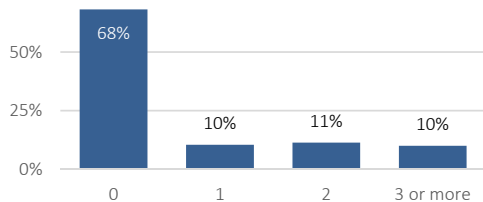
Online-only survey responses



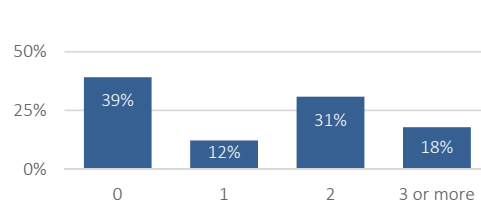
Number of children in household

The majority (68%) of respondents to the mail survey live in households with no children under 18, while about thirty percent live in a household with either one (10%), two (11%), or three or more (10%) children. Online-only survey respondents were significantly more likely to live in households with children than respondents to the mail survey – 61% had children in the home.

Mail survey responses



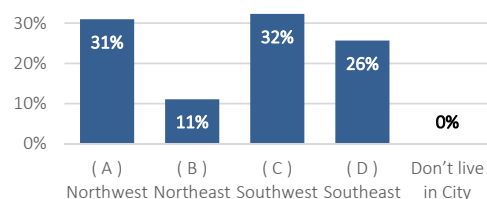
Online-only survey responses



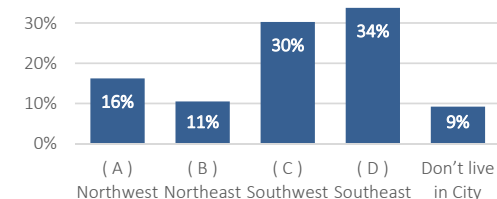
Location of residence

Nearly all survey respondents live within the City of Woodburn. About 42% of mail respondents live to the north of 214 (map areas A and B) and 58% live to the south (map areas C and D). The largest portion of respondents to the mail survey, 32%, live in the southwest portion of the City (map area C). Online survey respondents were more likely to live south of 214 (64%). See map on following page.

Mail survey responses



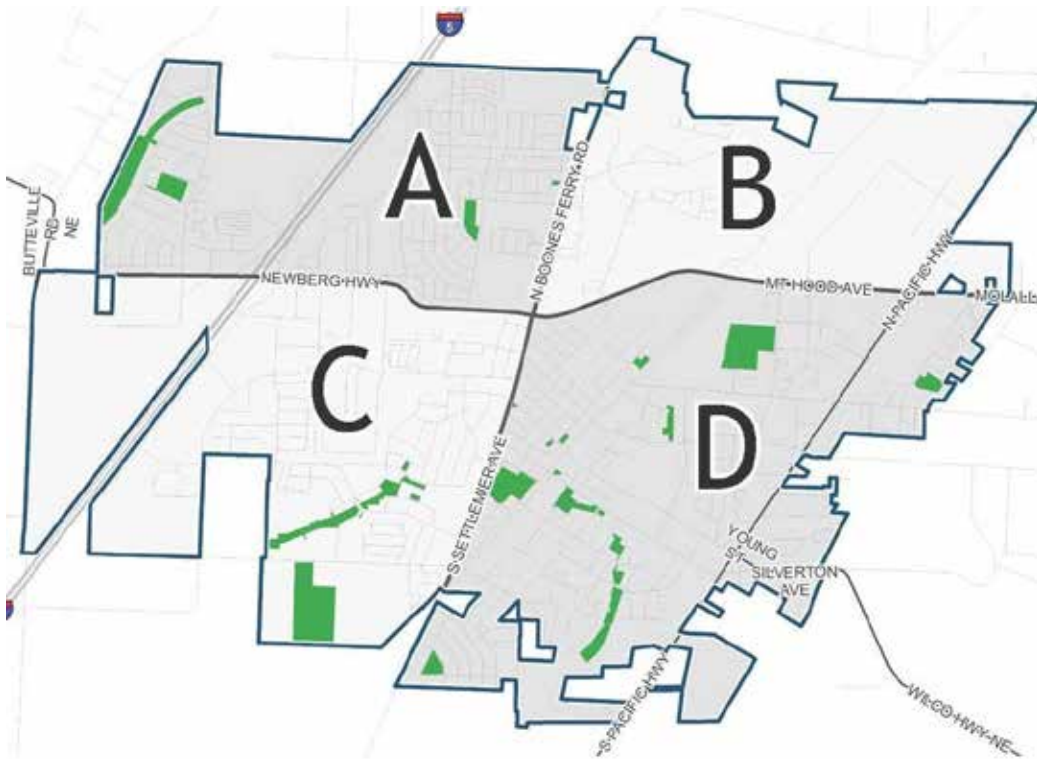
Online-only survey responses



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Survey map for location responses



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ATTACHMENT 1. SURVEY INSTRUMENT

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Community Survey on Parks and Recreation

Dear Woodburn Resident:

The City of Woodburn has started a community-led process to update its citywide Parks and Recreation Master Plan. We need your help to determine how to prioritize projects and what we should focus on to keep our parks and programs thriving for the next 10 years. As an initial step, the City is conducting this short survey to assess the community's recreation needs. We ask that you consider your needs for the future as you evaluate recreation amenities. Your opinions are important to the City.

The survey has 16 questions and will only take a few minutes to complete. Use the QR code to take this survey online at <https://www.surveymonkey.com/r/HM6932N>



1. When you think about what contributes to the quality of life in Woodburn, would you say that public parks and recreation opportunities are...

- ☐ Essential to the quality of life here ☐ Not Important
☐ Important, but not really essential ☐ Don't know
☐ Useful, but not necessary

2. When it comes to meeting the needs for park and recreation facilities, how would you rate the availability of each of the following? (Check only one box in each row)

| | More than Enough | About the Right Amount | Not Enough | Don't Know |
|---|--------------------------|--------------------------|--------------------------|--------------------------|
| Developed parks with playgrounds | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Walking / biking trails | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Picnic areas & shelters | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Sport fields (soccer, baseball, softball, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Sport courts (basketball, tennis, pickleball, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Aquatics / pool programs (classes, family & open swims) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Recreation programs (camps & classes) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Community events (such as Fiesta Mexicana) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

3. In a typical year, how often did you visit or use City of Woodburn parks, recreation facilities or open space?

- ☐ Everyday ☐ A few times over the year
☐ At least once a week ☐ Do not visit facilities / parks / open spaces
☐ Two or more times a month ☐ Don't know
☐ About once a month

4. Which park or facility do you visit most often?

5. Rate your household's satisfaction with the City of Woodburn's parks, recreation facilities or open space.

- ☐ Very Satisfied ☐ Somewhat Dissatisfied ☐ Don't Know
☐ Somewhat Satisfied ☐ Very Dissatisfied

City of Woodburn Parks & Recreation Master Plan

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Save a stamp! Use the QR code and take this survey online:

<https://www.surveymonkey.com/r/HM6932N>

Or send it back in the enclosed Return-Reply envelope provided. **Thank you in advance for participating!**



6. How would you rate the condition of City of Woodburn parks or recreation facilities?
- ☐ Excellent ☐ Fair ☐ Not Sure / No Opinion
☐ Good ☐ Poor
7. What would you say are the main reasons your household visits Woodburn parks or recreation facilities? (CHECK ALL THAT APPLY)
- ☐ Fitness / Exercise ☐ Skate park
☐ Playgrounds ☐ Sport fields
☐ Walking or running ☐ Outdoor sport courts
☐ Bike riding ☐ Wildlife viewing
☐ Dog walking or dog park ☐ Swimming
☐ Family gatherings / picnicking ☐ Relaxation
☐ Community events / concerts ☐ N/A – I didn't use any Woodburn facilities
☐ Recreation programs, classes or camps ☐ Other: _____
☐ Youth sport programs
8. Check ALL the reasons why your household does not use Woodburn's recreation facilities, parks or open spaces more often. (CHECK ALL THAT APPLY)
- ☐ N/A - Does not apply; I/we use them often ☐ Not enough parking
☐ Age or physical limitations ☐ Not enough restrooms
☐ Are not well maintained ☐ Too busy to go to parks or open spaces
☐ Barriers related to physical accessibility ☐ Too crowded
☐ Too far away / Lack transportation ☐ Not interested in park or recreation activities
☐ Do not know what is offered ☐ Use facilities of another city, organization, or private club
☐ Do not have the right equipment ☐ Other: _____
☐ Do not feel safe in park or open space
9. Currently, the City of Woodburn offers aquatics programs, events, adult trips and special classes, such as babysitting. Program offerings may need to change over time to reflect community interests. For each of the following, please indicate the level of interest your household has for the programs or activities below.

| | Very Interested | Somewhat Interested | Not Interested | Not Sure |
|---|--------------------------|--------------------------|--------------------------|--------------------------|
| Community Events (Music in the Park, Fiesta Mexicana, Trunk-or-Treat, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Family programs | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Youth activities (crafts, classes, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Youth sports (basketball, t-ball, soccer, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| E-Sports or electronic gaming leagues | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Teen activities (game nights, trips, arts & crafts, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Adult classes (fitness, art, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Adult sports (basketball, volleyball, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Programs for adults 55 and over (drop-in activities, trips, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Aquatics programs (lap swim, aerobics class, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Swimming lessons | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Community Survey on Park & Recreation Preferences

10. The following list includes additional amenities that the City of Woodburn could consider adding to the park system. Please indicate your level of support for each.

| | Very Supportive | Somewhat Supportive | Not Supportive | Not Sure |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| Picnic areas & shelters for group gatherings | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Upgraded or renovated playgrounds | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Additional playgrounds | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Walking trails | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Community gardens | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Indoor fitness & exercise facilities | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Outdoor fitness equipment | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Bike skills course / Pump track / BMX | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Outdoor splash pad / water spray park | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Off-leash dog areas (dog parks) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Sport fields for soccer, football & lacrosse | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Sport fields for baseball / softball | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Futsal courts | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Tennis courts | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Pickleball courts | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Basketball courts | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Disc golf course | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Sand volleyball | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Amphitheater / Outdoor performance areas | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

11. For the following list, indicate how you would rank the priority for each (1st priority is highest and 5th priority is lowest). Rank in priority each of the following. (Check one box per item).

| | Select each priority ONLY ONCE. Highest priority → Lowest priority | | | | | Don't know / No opinion |
|---|---|--------------------------|--------------------------|--------------------------|--------------------------|----------------------------|
| | 1 st | 2 nd | 3 rd | 4 th | 5 th | |
| Adding new recreational options in existing parks | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Acquiring additional land for future parks | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Expanding trail opportunities | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Expanding recreation classes & camps | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Improving or upgrading to existing parks | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

City of Woodburn Parks & Recreation Master Plan

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12. Please check ALL the ways you would prefer to learn about Woodburn's parks, programs and events.

- | | |
|---|--|
| <input type="checkbox"/> City website | <input type="checkbox"/> Direct email |
| <input type="checkbox"/> Woodburn Newsletter | <input type="checkbox"/> Community event signs |
| <input type="checkbox"/> Facebook | <input type="checkbox"/> None of these |
| <input type="checkbox"/> Twitter | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Woodburn Independent | |

13. If you wanted the City of Woodburn to do just one thing to improve parks, trails, aquatics, and/or recreation programs, what would it be?

The following questions help us understand whether we have gathered responses from a broad segment of the community. It's important that you provide a response to each question.

14. How many children under age 18 live in your household?

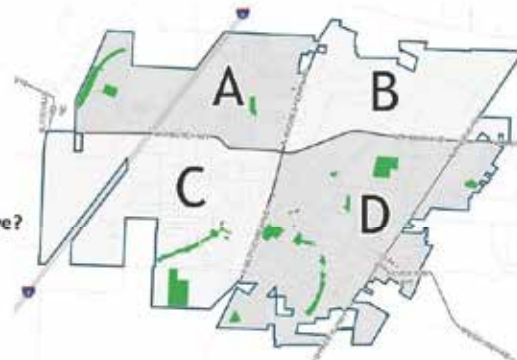
- | | |
|----------------------------|------------------------------------|
| <input type="checkbox"/> 0 | <input type="checkbox"/> 2 |
| <input type="checkbox"/> 1 | <input type="checkbox"/> 3 or more |

15. What is your age?

- | | |
|--|---------------------------------------|
| <input type="checkbox"/> Younger than 20 | <input type="checkbox"/> 55 to 64 |
| <input type="checkbox"/> 20 to 34 | <input type="checkbox"/> 65 and 74 |
| <input type="checkbox"/> 35 to 44 | <input type="checkbox"/> 75 and older |
| <input type="checkbox"/> 45 to 54 | |

16. Using the map, in which section of Woodburn do you live?

- | |
|---|
| <input type="checkbox"/> (A) North of 214 & West of N Boones Ferry Road |
| <input type="checkbox"/> (B) North of 214 & East of N Boones Ferry Road |
| <input type="checkbox"/> (C) South of 214 & West of N Settlemier Avenue |
| <input type="checkbox"/> (D) South of 214 & East of N Settlemier Avenue |
| <input type="checkbox"/> Don't live in Woodburn |



Thank you for taking the time to complete this survey!

Your input will help guide the development of the Woodburn Parks & Recreation Master Plan.

Save a stamp! Take this survey online with the QR code or at:

<https://www.surveymonkey.com/r/HM6932N>

Learn more about Woodburn parks, trails and programs and stay informed about the Parks & Recreation Master Plan process at www.woodburn-or.gov



The City of Woodburn is using the services of a consultant team who specializes in park and recreation planning.

Please return your completed survey in the enclosed Return-Reply Envelope addressed to:

Conservation Technix Inc.
PO Box 12736
Portland, OR 97212

Appendix B: Hybrid Open House Summary



MEETING NOTES

PROJECT NUMBER: #22-148PLN ISSUE DATE: June 4, 2023
PROJECT NAME: Woodburn Parks & Recreation Master Plan

RECORDED BY: Steve Duh
TO: FILE
PRESENT: Members of the public
City staff
Project team members from Conservation Technix and Izo PR & Marketing

SUBJECT: Parks & Recreation Master Plan: Open House #1 Meeting Notes (May 31st)

Community members were invited to an open house for citywide Woodburn Parks and Recreation Master Plan on Wednesday, May 31, 2023 from 7:00 - 8:30 p.m. at the Woodburn City Hall. The project team prepared a presentation and informational displays covering the major themes of the Parks Master Plan. These displays included Project Overview, Survey Highlights, Parks & Outdoor Recreation, and Investing in the Future. The meeting was conducted as a hybrid (online & in-person) event and in English and Spanish.

Attendees were encouraged to talk to project team members and record their comments. City staff and project team staff engaged with participants to identify general needs and interests for park and recreation in Woodburn. Approximately 12 people attended the meeting to review materials and provide comment.

PUBLIC COMMENTS

The following represents a summary of the comments received during the evening meeting.

Recreation Program Area Ideas

- Youth Programs & Camps: Extremely necessary / Pottery, arts / STEM outdoor / Summer youth camps, School-engaged year round events / ¡Sí! Gratuitos o de bajos recursos y varias edades (Yes! Free or low-resource and various ages) / S.T.E.M. or outdoor programs
- Adult Sport Leagues: Great!
- Adult or Senior Classes: Pottery
- Aquatic Classes: Becas para natación (swimming gowns) / Transporte es un problema o horario (Transportation is a problem or schedule)
- Other: Would love to see intergenerational events/classes

Targeting Future Needs (Are there types of experiences you would like to see?)

- Indoor pickleball
- Great fields!
- Year-round access / covered areas
- Trees; shaded areas with different sitting options; reading/drawing outside

Parks & Recreation Master Plan: Open House #1 Meeting Notes (May 31st)

Woodburn Parks & Recreation Master Plan

Project Number #22-148PLN

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Targeting Future Needs (map comments)

- Indoor pickleball close to Estates
- Senior exercise at Senior Park (classes)
- Disc golf (at Hermanson Pond)
- Skatepark
- Parks here with restrooms. There are minimal parks this side of 99E (near NE section of 99E & 214)
- Develop wetland area to eliminate homelessness in residential backyards (near SE section of 99E & 211)
- I would like to see additional parks, structures or trails in East woodburn on the other side of 99e. Many people have to cross 99 in order to get to park that meets their needs. There are also many apartment complexes being built on that side of Woodburn and there is only 1 park located on that side.



Parks & Recreation Master Plan: Open House #1 Meeting Notes (May 31st)

Woodburn Parks & Recreation Master Plan

Project Number #22-148PLN

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Targeting Future Needs - Walking & Biking Trails

- Lighted trails
- Emergency access plans
- Wider trails for strollers/wheelchairs/mobility devices
- Tree lined walking trails
- More trails this side (east of 99E; NE corner of city)
- Expand trail system from 3 miles to 20 miles (not on streets)
- In addition to connecting trails, wider trails would benefit people who use wheelchairs or other mobility devices as well as help parents or caregivers with strollers

Exploring Investment Priorities (dot exercise)

- 7 - Additional walking / biking trails
- 6 - Picnic shelters
- 5 - Shade structures for playgrounds
- 5 - Outdoor splash pad / water spray park
- 3 - Outdoor fitness equipment
- 3 - Pickleball / futsal / multi-sport courts
- 2- Additional art in parks
- 1 - Additional sport fields
- 1- Other (write-in: disc golf)

Other Comments

- Year round access to parks that are renewed
- More picnic tables
- Community parties (block-like parties) in different parts of town or park
- Museo de informacion (information museum)
- Mas accessible para conectar a gente de fuera (More accessible to connect with people from outside)
- Lots of trees to make walking more pleasing
- More shade and toilets for camping
- Additional lighting for evening events and physical activities in current parks

Every effort has been made to accurately record this meeting. If any errors or omissions are noted, please provide written response within five days of receipt.

-- End of Notes --

cc: Jesse Cuomo, Community Services Director
File

Appendix C: Online Open House Summary

WOODBURN PARKS AND RECREATION MASTER PLAN 2023

FALL 2023 ONLINE OPEN HOUSE SUMMARY

Prepared for



City of Woodburn

Prepared by



JLA Public Involvement, Inc.

Date

October 2023

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INTRODUCTION

The City of Woodburn held an online open house from September 15 to October 1, 2023, to share information about the Parks and Recreation Master Plan update (PRMP). The purpose of the online open house was to:

- Share project details, timeline and plan progress.
- Share what we've heard so far through previous outreach efforts and field assessments.
- Share information about proposed park improvement projects, new trail connections and programs being considered.
- Gather feedback from the community.

The online open house was made available in English and Spanish. Feedback received from the online open house will help refine the PRMP.

OVERALL PARTICIPATION AND NOTIFICATION

Overall, 170 people participated in the online survey. Additionally, the project page received 282 visitors while the online survey was open.

Community members were informed about the online open house through the following:

- Social media posts to the City's Facebook page.
- 11,819 postcards were sent to residents living in the City of Woodburn
- A digital flyer was shared with the Woodburn School District's Director of Communication and various organization for distribution to their communities.
- A press release distributed to local media.
- An email to the City's E-blast list.

FEEDBACK SUMMARY

Key Takeaways

The following themes emerged from the online open house responses.

Potential Park Improvements

- The majority want to see improved maintenance of existing facilities and parks.
- Several people mentioned they would like additional facilities like sport courts and turf fields.
- Others want to see improvements to existing parks, such as adding or upgrading playground equipment, picnic shelters, splash pads and restroom facilities.
- Most people were in favor of building a community center and renovating Settlemier Park.
- Others noted feeling unsafe and asked for additional lighting at parks.

Potential Trail Connections

- Most people were in favor of building a citywide trail loop as well as building more trails in natural areas.

- Participants would like to see the following amenities to be installed in the near term: trailhead restrooms, benches along trails, and drinking fountains or water bottle filling stations.
- Several people advocated for safe pathways connecting various parts of the community, schools, and downtown areas.
- Others mentioned they would like improvements to trail safety with lighting.
- Others advocated for upgrading trail accessibility.

Potential Recreation Programming Improvements

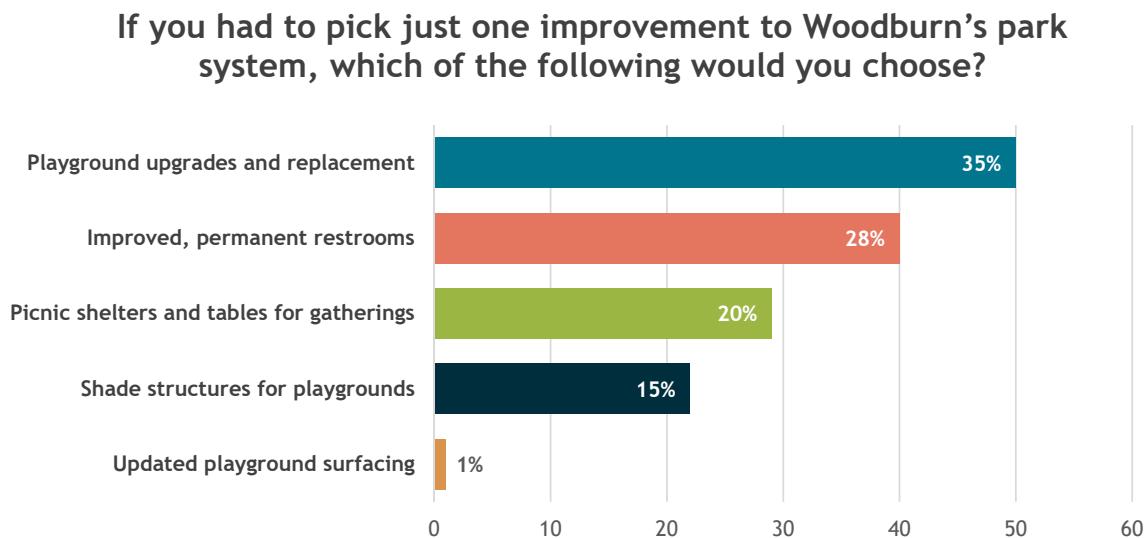
- The majority are interested in more program offerings, in general.
- Participants were interested in more medium- or large-sized city events.
- Several participants would like more swim lesson offerings and more affordable sports programs.

Detailed Summary

Below is a summary of the feedback received through the online open house.

1. If you had to pick just one improvement to Woodburn's park system, which of the following would you choose?

The majority (35%) want **playground upgrades and replacement**, followed closely by improved, permanent restrooms and picnic shelters and tables for gathering (28%).

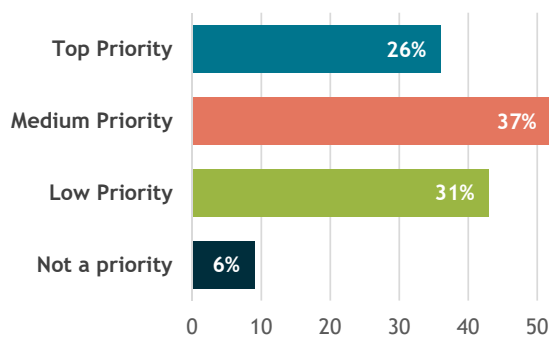


2. The following is a partial list of improvements and facilities that may be considered for the future. For each item, please tell us if it should be a Top Priority, a Medium Priority, a Low Priority or Not a Priority at all. Costs are estimated as somewhat expensive (\$), moderately expensive (\$\$), expensive (\$\$\$), or very expensive (\$\$\$\$).

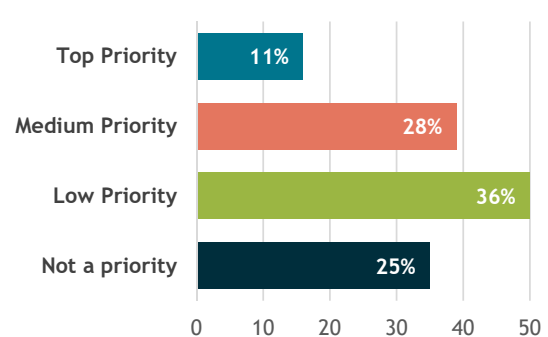
The top priority listed by participants is to **build a new community center and renovate Settlemier Park** (54%). The majority (approximately 45%) ranked the following three improvements as medium priorities: build additional picnic shelters for group gatherings, build additional paved and/or accessible walking trails in parks, and build sport courts at Nelson and North Front Street Parks.

Participants rated upgrading playgrounds at North Front Street, Heritage, and Burlingham Parks as either medium or low priority and add a splash pad to a park as either a low or medium priority (with a quarter of participants noting it as not a priority).

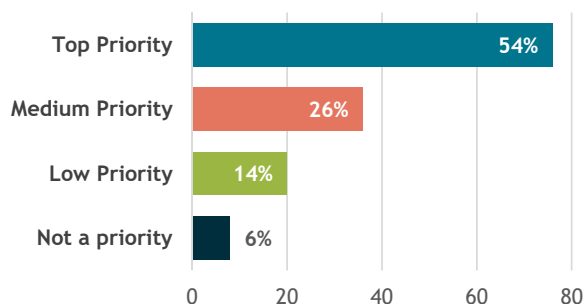
Upgrading playgrounds at North Front Street, Heritage and Burlingham Parks (\$\$)



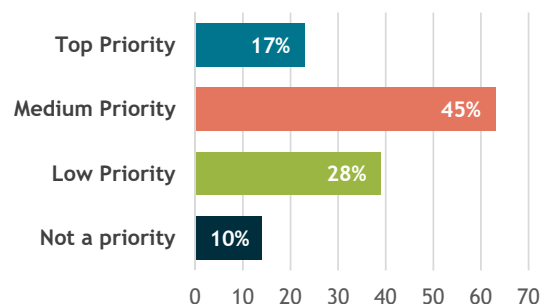
Add a splash pad to the park (\$\$\$)



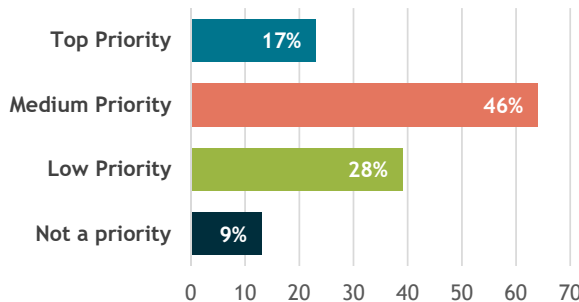
Build a new community center & renovate Settlemier Park (\$\$\$\$)



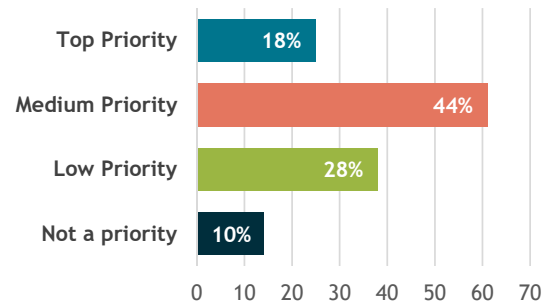
Build additional picnic shelters for group gatherings (\$)



Build additional paved and/or accessible walking trails in parks (\$\$)



Build sport courts at Nelson and North Front Street Parks (\$\$)



3. Are there other improvements you would like to see at existing City parks?

Many participants commented that **they would like to see improved maintenance and upgrades to existing parks and facilities**. Participants specifically noted Centennial Park (e.g., fix broken picnic tables, clean splash pad, and power wash picnic shelter), Hermanson Pond and trail, Legion Park (e.g., upgrade playground), Burlingham Park, Nelson Park, Heritage Park, park at Senior Estate and Wyffels Park as well as the aquatic center, baseball fields, dog park and park or trail bathrooms.

Other improvements mentioned frequently included the addition of **basketball courts, tennis courts, frisbee golf and a second turf field**. **Several people asked for additional lighting and noted feeling unsafe in the parks**. Others asked for more trees or shaded structures, more walking trails, and more all-inclusive park features or handicap accessible parks. Additional suggestions include:

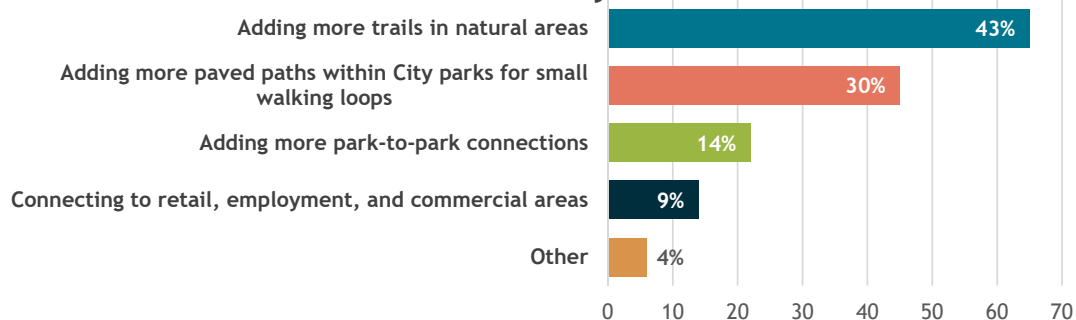
- Offer more youth sports programs.
- More seating along paths.
- Add exercise machines.
- Build a bigger dog park.
- Add moveable tables and chairs.
- Offer more bike trails.
- Build a senior center.
- Add trail mileage signage.
- Add Oregon leash law signage.
- Start a volunteer litter pick up crew.
- Add a community garden.
- Add more drinking fountains.
- Add a bike repair center.

For a complete list of comments, see [Appendix A](#).

4. As the City plans to grow and improve the recreational trail system, which of the following options are most important to you?

The majority (43%) want the City to **add more trails to natural areas**, followed closely by adding more paved paths within City Parks for small walking loops (30%). For those that selected “Other,” they mentioned maintaining existing facilities, prioritizing youth sports programs, adding more trails and buying more land to convert into parks or green space.

As the City plans to grow and improve the recreational trail system, which of the following options are most important to you?

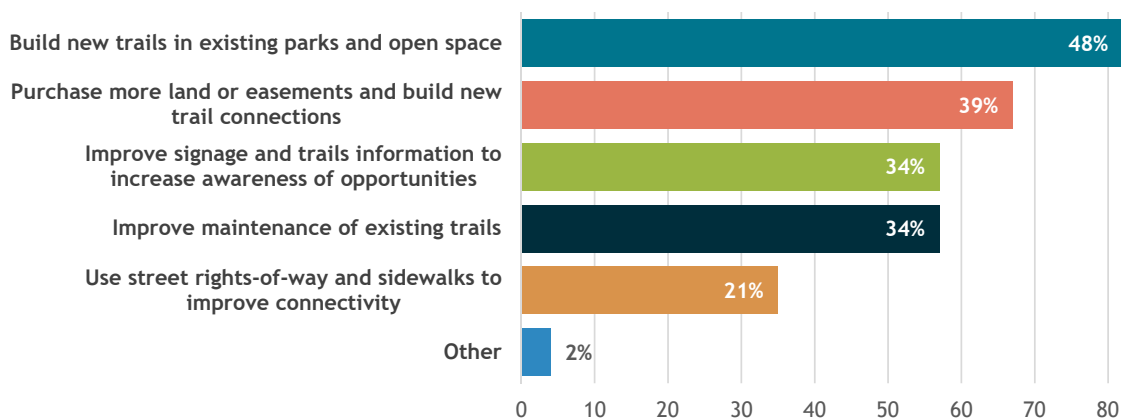


5. Expanding the City's trail system was identified as the highest priority for improving the Woodburn park system. What is most important to you for improving trails in Woodburn? (Select all that apply.)

The majority (48%) would like the City to **build new trails in existing parks and open spaces**, followed closely by purchase more land or easements and build new trail connections (39%).

For those that selected "Other," they are interested in more bike lanes, more swimming lessons and youth programs, safer walking routes from Woodburn Estate/Broughton Way to Centennial Park, and better response times on inquiries.

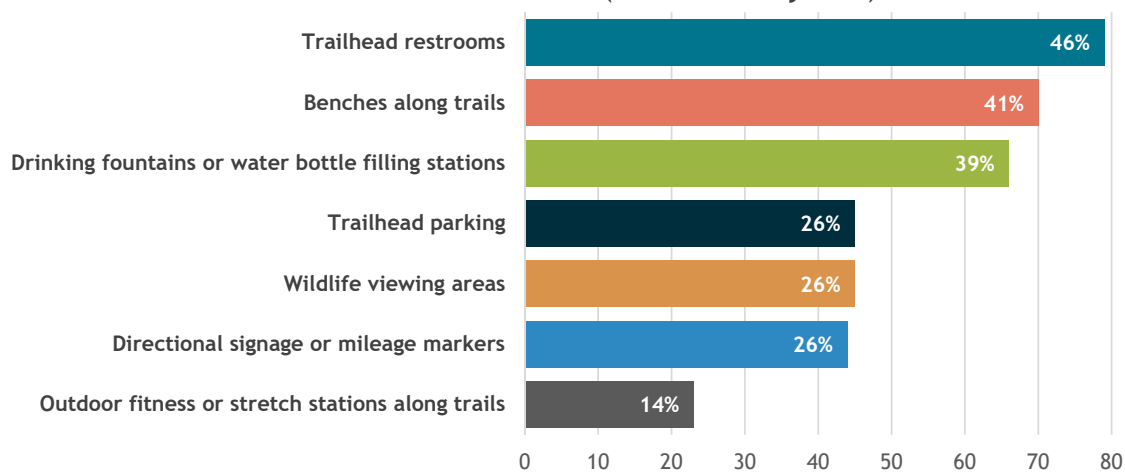
If you had to pick just one improvement to Woodburn's park system, which of the following would you choose?



6. In addition to making new trail connections, a variety of amenities could be installed to improve the trail system. Which of the following projects should be implemented in the immediate future (next 1 to 3 years)? (Choose your top three.)

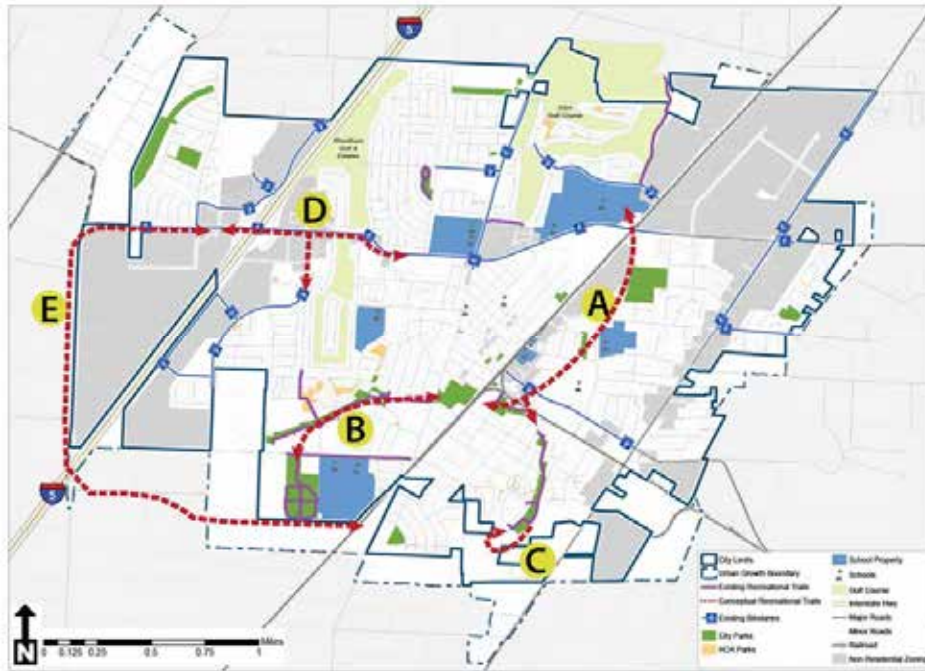
The majority (approximately 42%) rated **trailhead restrooms, benches along trails, and drinking fountains or water bottle filling stations** as their top three amenities.

In addition to making new trail connections, a variety of amenities could be installed to improve the trail system. Which of the following projects should be implemented in the immediate future (next 1 to 3 years)?

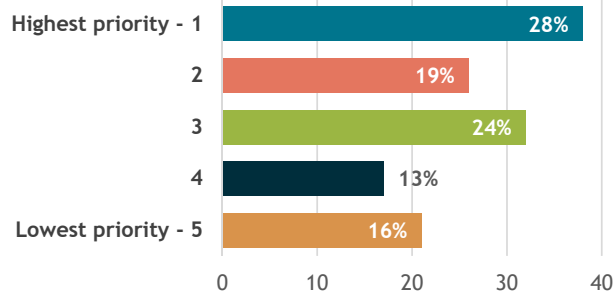


7. Thinking about trails and paths, which potential trail connections are the highest priority for your household? Rank the trails by selecting from the drop-down menus.

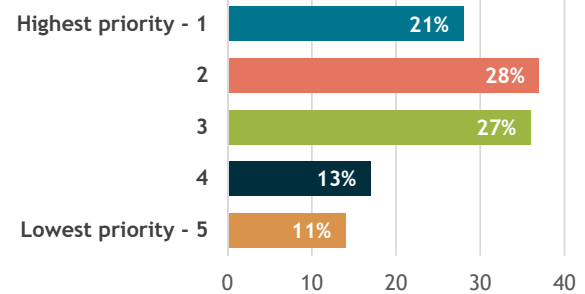
The majority (39%) said **creating a citywide loop trail around Woodburn is their top priority**. They also ranked expanding Mill Creek trail between Settlemier Park and Woodburn High School as another priority, followed closely by connecting Centennial Park to Settlemier Park.



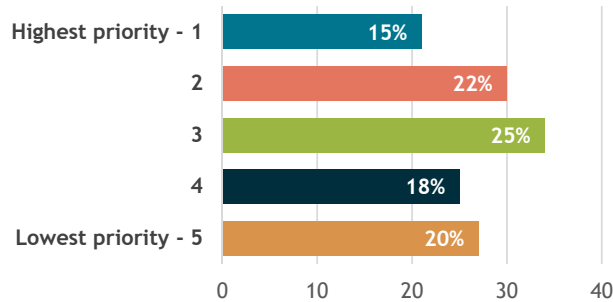
Expanding Mill Creek Trail between Settlemer Park & Woodburn High School



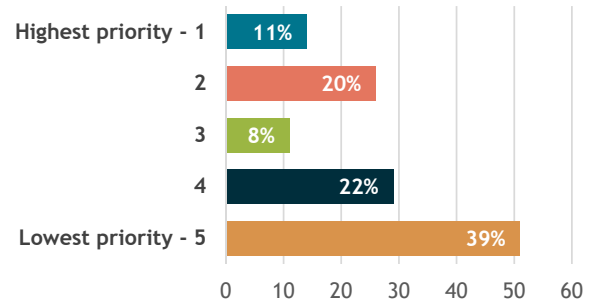
Connecting Centennial Park to Settlemer Park



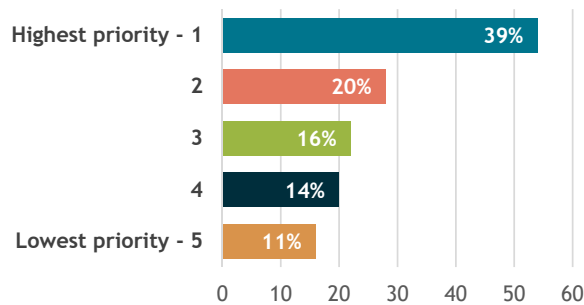
Expanding Hermanson Pond Trail and adding a walking loop



Connecting to retail, employment and commercial areas



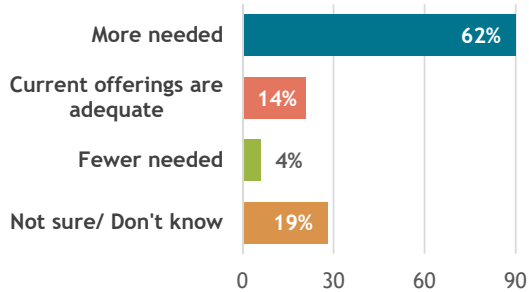
Creating a citywide loop trail around Woodburn



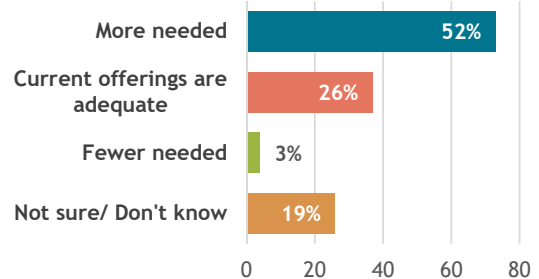
8. As the City plans for future recreation programming, should there be more or less of the following activities or programs available in the future?

The majority (61%) said **they would like more adult or senior classes, adult sports leagues, youth programs, teen activities, and outdoor or nature camps**. The majority (87%) said the current offering of aquatic classes and programs are either adequate or are needed.

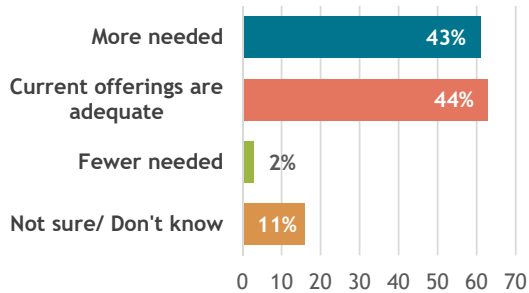
Adult or senior classes, such as arts, music, fitness or wellness



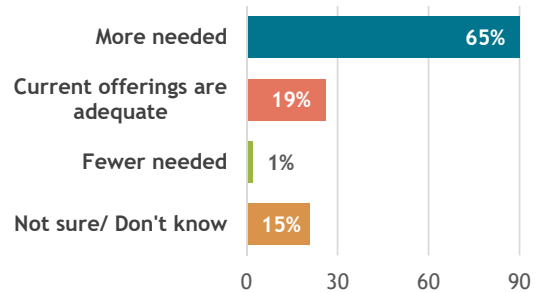
Adult sports leagues, such as volleyball, pickleball or softball



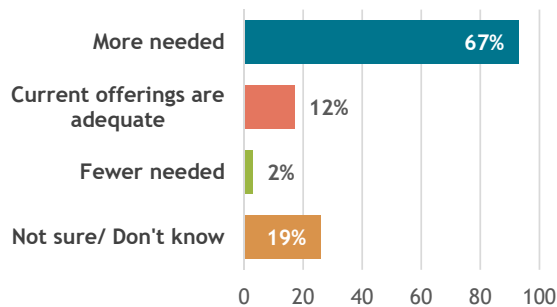
Aquatic classes & programs



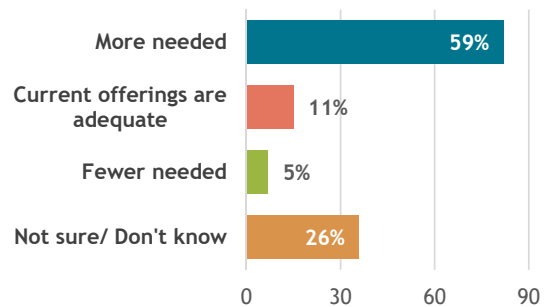
Youth programs, such as summer day camps, arts or gymnastics



Teen activities, such as game nights, trips or camps during school breaks



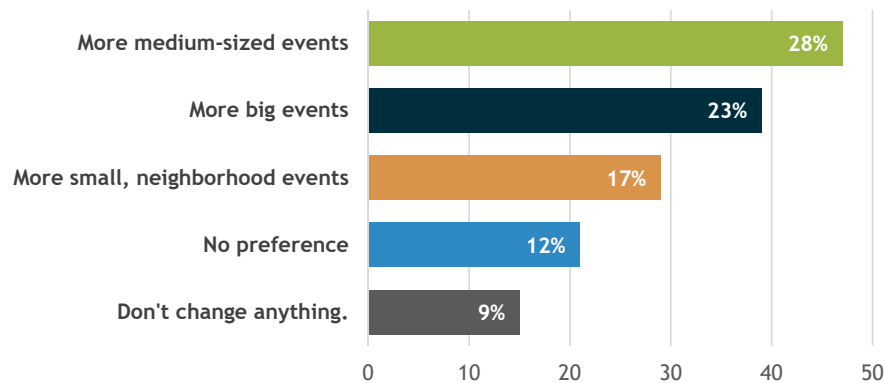
Outdoor or nature camps, including environmental education



9. We heard interest in additional community events. What types of events should the City focus on? (Choose one.)

The majority (51%) wanted **more medium-size or big events**.

We heard interest in additional community events.
What types of events should the City focus on?



10. Is there anything else you'd like us to know about parks, trails and programs improvements?

Overall, **people seemed enthusiastic about park updates** and several people expressed gratitude for current park offerings and recent improvements.

Below are the main themes from participants' comments:

- **Maintain current parks and trails.**
 - Examples include vegetation maintenance, trash bins, dog waste bag stations and a City-wide campaign to encourage cleaning up litter.
- **Buy more land for future parks and green spaces.**
 - One person recommended finding grant funding and focusing on ADA improvements.
- **Improve or update current parks.**
 - Examples included expanding Legion Park and the Aquatic Center, building a new community center, adding a gym facility to the Aquatic Center and building an indoor track and pickleball courts.
 - Others asked for improved safety with lighting.
- **Offer more programming.**
 - Examples included an improved farmers market, more swim lessons, more affordable classes or sports programs and adult day trips like "Out and About."

Additionally, a few people asked for improved bike and walking facilities to access the parks and others asked for a community garden. One person asked for a connection from West Woodburn to Woodburn parks and recreation facilities, as there are currently none. Another person suggested we discuss park improvements with vulnerable communities and apartment communities that currently don't have access to parks. One person wanted to know if there are any plans for Burlingham Park.

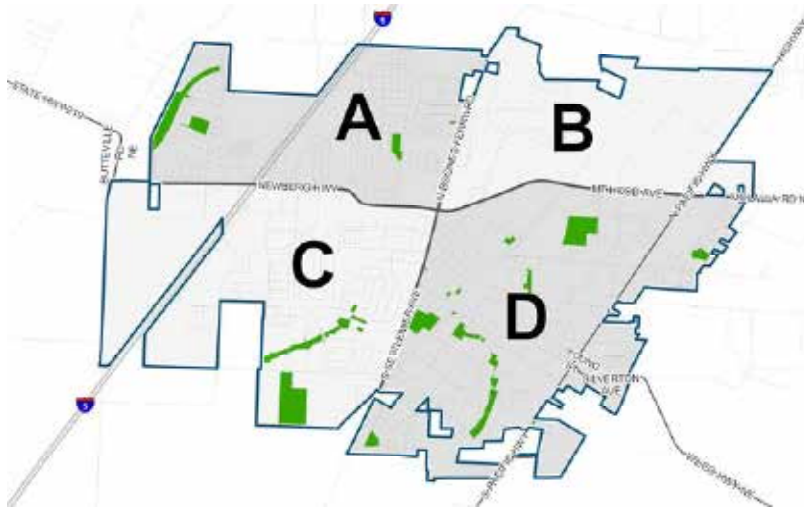
For a complete list of comments, see [Appendix A](#).

Demographics Information

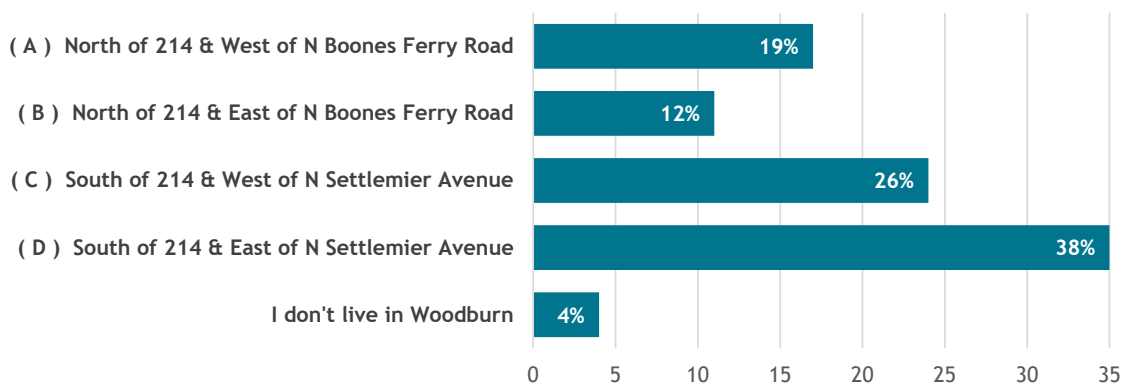
Out of the 170 participants, 93 people completed the demographics information below.

1. Using the map, in which section of Woodburn do you live?

38% of participants live south of 214 and east of N Settlemier Avenue, followed closely by south of 214 and west of N Settlemier Avenue (26%).

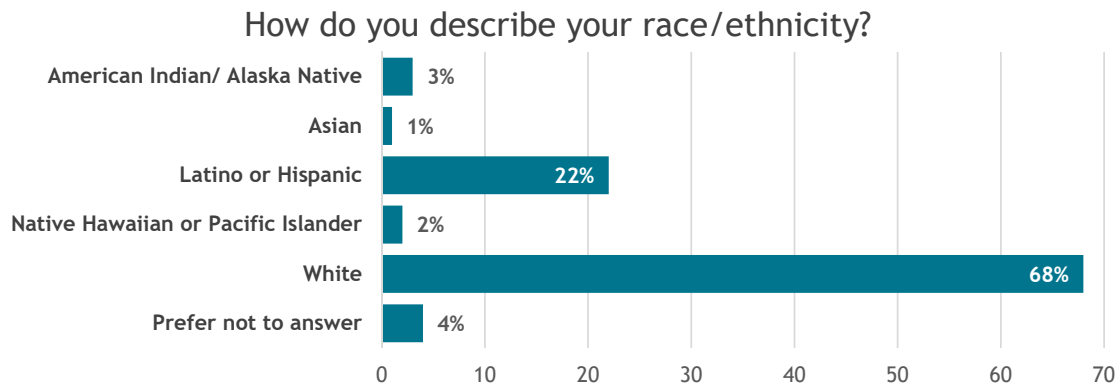


Using the map, in what section of Woodburn do you live?



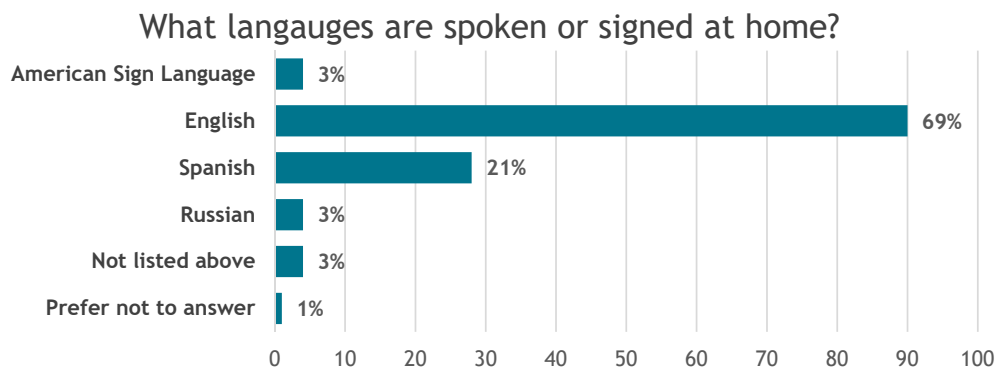
2. How do you describe your race/ethnicity? (Check all that apply.)

The majority (68%) identified as White.



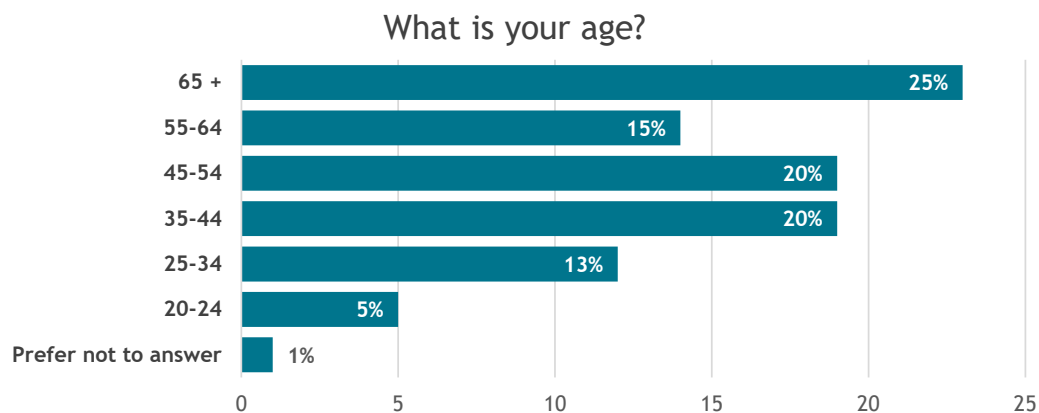
3. What languages are spoken or signed at home? (Check all that apply.)

The majority (69%) speak English at home and almost a fifth speak Spanish. For those that answered “Other,” they listed the following languages: Mixteco, French, Spanglish, and Tongan.



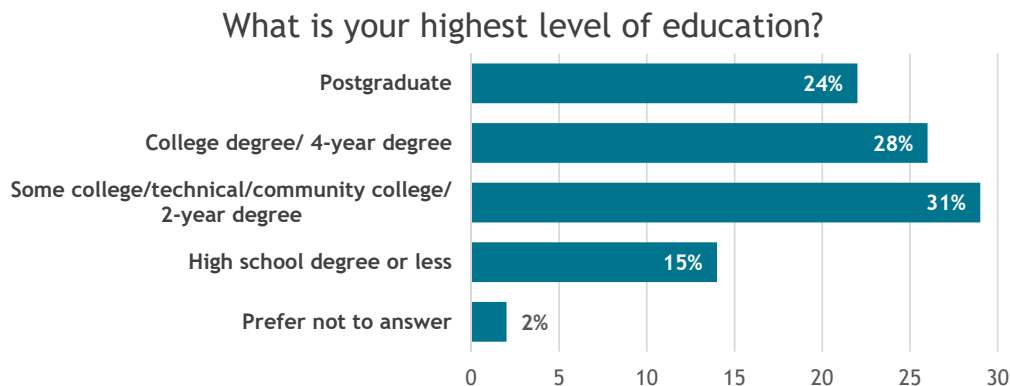
4. What is your age?

Almost half (40%) identified as either 45-54 years old or 35-44 years old and a quarter (25%) identified as 65 years or older.



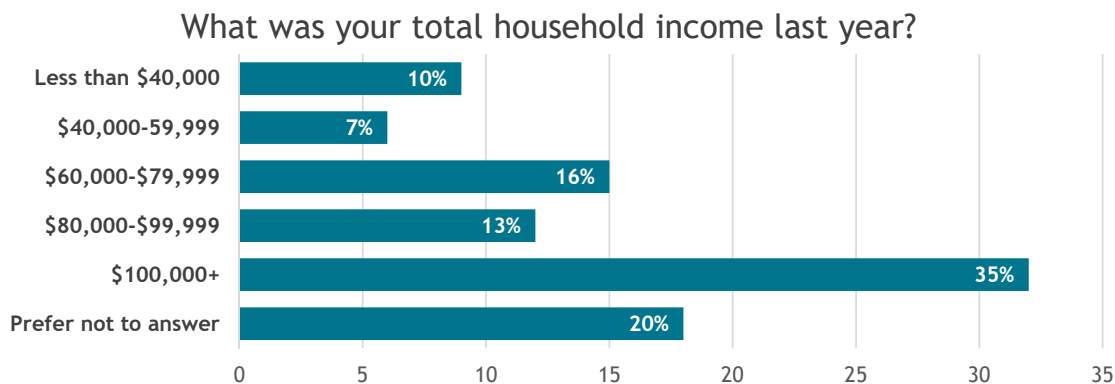
5. What is your highest level of education?

The majority (59%) have some college / technical / community college / 2-year degree or a college degree / 4-year degree.



6. What was your total household income last year before taxes? (Select one.)

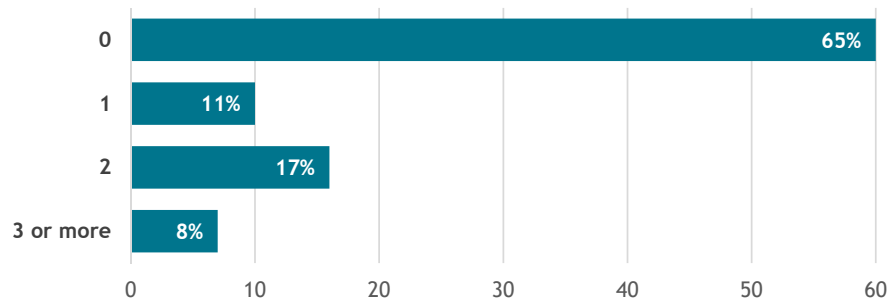
The majority (48%) make at least \$80,000 a year.



7. How many children under age 18 live in your household?

The majority (65%) said they do not have any children under the age of 18 in their household.

How many children under age 18 live in your household?



NEXT STEPS

The City will review the online open house feedback and refine the draft Parks and Recreation Master Plan (PRMP) then present the draft plan to the City Council in fall 2023. Once approved, the PRMP will be incorporated into the City of Woodburn's Comprehensive Plan and guide future recreation projects and programs.

APPENDIX A: OPEN-ENDED COMMENTS

Below are the unabridged, unedited responses to the open-ended survey questions.

Question 3. Are there other improvements you would like to see at existing City parks?

1. Would love to have a more inclusive cultural involvement other than all Spanish festivities and activities. Many other cultures and holidays are being left out. Makes us feel supremely unwelcomed in the community you're trying to build.
2. I believe that Woodburn has awesome parks. I think that Legion Park is marked off the list, and is a good park (No need for construction). Centennial Park can use better bathroom, but overall I think it's a good park, I go jogging there 2-3 times a week. I do believe that Settlemier Park needs the most improvement. I rarely go there, a majority of the trees need to be cut, and it needs improvement in its playground (Not including the aquatic center)
3. I would love to see an upgraded playground at Legion Park, with more things for the kids to play on. Also, a splash pad would be nice to see there as well.
4. At times a little better weed and pest abatement would be nice at Heritage Park. Otherwise our little neighborhood park here in Heritage Park could just use a little play structure upgrade and maybe a picnic table or two for gatherings. Thank you for asking and taking our input.
5. A bike repair center (air refill center) like the one Canby and Tualatin have.
6. Not letting adults drink and maybe having patrol at night I have four countless needles and stuff
7. The restrooms at the parks are dark and unsafe. Not sure exactly what can help change that but it is needed with all the kiddos
8. Improve the baseball fields at centennial!!
9. Turf the infields at centennial baseball fields make them useful and more kids will want to play !!
10. Improve the baseball fields and restroom facilities at Centennial park. Field has so many holes it's dangerous for kids to play. These fields are also used for little kid soccer. Bathrooms at Centennial need updating and maintenance
11. More maintenance of bathrooms
12. Anything at Nelson park. Including parking, better playground, infrastructure, sports area, except Soccer. There is already plenty of soccer fields around Woodburn already.
13. Lighting should be adequate for safety
14. Better maintenance at Burlingham park
15. Accessible playground for children with needs. I was at centennial one time and a little girl was in a wheelchair, she could not go into the playground due to the bark dust. She watched everyone play as she was just in the shelter area. All children should be able to enjoy the park. We as a city should have more disability friendly areas.
16. Keep them clean and free of dangers
17. Better landscaping and more walking paths
18. Wildlife safe/observation areas. We need to protect our wildlife. They are losing their habits due to construction.

19. Community garden
20. Community garden!
21. Improve dog park sections at the parks, turf fields at centennial
22. Lighting upgrade and shelter picnic area replacement at Burlingham.
23. Tennis, pickle ball courts. Racquet or hand ball courts.
24. Hermanson park. The pond needs to be revitalized. That area could become a wonderful natural area, with native plantings and effective management of the pond. Right now it's a stagnant pond whose trails are frequently underwater in the rainy months.
25. Yes, our roads going to the parks.
26. The park in the Heritage Park Neighborhood is inadequate and could be improved.
27. Wouldn't it be cool to have a doggy water fountain and their own play yard next to the kiddos? Also consider installing community bathrooms nearby. Thank you for your consideration.
28. 1) Adding Gardens
Also need to continue buying land for additional parks even if unable to make improvements at the current time
29. Settlemire Park
30. Is there a way to organize volunteers to regularly pick up litter at the parks? I notice this is an issue in general in Woodburn, lots of litter. Possibly provide recycling receptacles at the parks as well? Also wondering if the picnic shelter ground can be power washed at Centennial Park? It's a nice facility, I think a good spray down would go far! Ideally new or cleaner public restrooms at Centennial Park also. Thank you.
31. Pothole repair on all city streets.
32. Improve safety and clean up (drug paraphernalia) at existing parks.
33. Water park for kids for the summer and more walk trails
34. We need to significantly improve and maintain our baseball fields. While we have made a wonderful and very appreciated effort with our soccer resources, our baseball program is struggling to develop in town, and part of that is due to the condition of the fields.
35. Disc golf course
36. WE NEED COMMUNITY CENTER FOR CLASSES FOR SENIORS, GATHERINGS, CONCERTS ETC WITH USABLE KITCHEN, POSSIBLE POOL
37. Signage about OR State leash laws
38. Sign that say DOGS ON LEASH
39. Brush clearing and better lighting for safety. Too many secluded areas and insufficient lighting. Doesn't matter how much resources are put in place to improve walking paths, shelters, restrooms, playgrounds and sports courts if residents don't feel safe visiting those locations
40. Any improvement related to walking trails.
41. lighting for the evenings, cleanliness, landscaping to make parks look more inviting
42. Access Logs Via Mobile Devices for Facilities that are Subjected to Vandalism to Enable Police Investigations
43. I would like to see improvement made at our aquatic centre.
44. Regular cleaning of playground surfaces and pick up of litter in the park
Clean splash pad at Centennial park

- Enforce a fine for people who do not pick up their dog's poop
- A complete revamp of Legion park playground, one slide? Seriously?
45. Fixing broken water pipes and more vegetation
 46. More Trees.
 47. Just a comment: our goal should be to make all parks equal so that everyone in our community has access to the same amenities. I know that is expensive but it's equitable.
 48. More waking trails and green ways!
 49. I would love to see a nature park like Wilsonville's nature park. There is not a park in Woodburn like it. There is Hermanson Pond but it's not easily accessible due to homes and there is no official public parking. We need paved nature trails on large plots of land and restored habitats. The trails currently are all cut up and split up by busy roads. Woodburn is growing and there are mature trees being cut to make way for homes.
 50. There needs to be more cooling gardens. Whatever gets built needs to include shade trees and water features for the 100°+ days. Many people in our town don't have air conditioning and don't know how to swim, which is a danger combination for area rivers. We need safe places to cool off, and honestly, there needs to be a lot more swim lesson spots available, especially free lessons.
 51. Let's get a tennis court with some shade in there. Also build some few payphones that are for emergency just in case someone feels unsafe while they are there or on their trail run or walk
 52. Please place splash pads farther away from play structures. Also add communication boards and more sensory toys/experiences
 53. Wyffels Park desperately needs work
 54. Turf fields at centennial.
 55. Updates that would allow people with disabilities to access the parks.
 56. I would like to see bike paths
 57. Signage to inform walkers how many laps are a mile in all of our walking trails. For example the new walking trail around Legion Park soccer field. Create a downtown walking trail with signage on mileage etc.
 58. The youth sports needs to completely re done before parks
 59. You can not place a community center and park upgrades in the same survey, as it's not comparable. People will clearly choose a community center, leaving city parks in their continued poor condition. The 5500+ children in Woodburn need access to shaded parks in their neighborhoods. Families should not need to travel to another city to have access to a park.
 60. We can't afford to pay any more taxes. Woodburn is in the top for taxes @ just shy of \$20.00 per 1000. We, the tax payers, cannot afford another bond measure. You are simply choking most property owners to death.
 61. Updating settlemier park is useless if it doesn't feel safer and less secluded. Bringing less isolation and sunlight would help as well as activity/more people. It could be a great area for a frisbee golf course. Also, broken picnic tables need to be fixed, especially at centennial.
 62. Our city needs an accessible park for children with disabilities, such as adaptive swings, wheelchair accessible play areas and swings, and safe soft ground surfaces
 63. More turf soccer fields and basketball courts. Centennial baseball and softball fields hardly ever are used. More parking.

64. Improvements to the Baseball fields and facilities at Centennial Park, in very bad shape and have been neglected for many years.
65. Basketball courts
66. A senior center for seniors to socialize, have resources, classes, games, meals, etc.
67. Plant more trees and improve the quality of the grass at Senior Estates Park. Most users of the park are older and some of the areas have hidden problems that have been neglected and could lead to injuries if people trip or fall. More trees in the northern area of park might help reduce the soggy soil during rainy seasons.
68. All inclusive parks for our disabled children!
69. Regular Landscape Maintenance
70. More restrooms, drinking fountains on trails if possible, supervised dog parks with little to no gopher holes, covered dog play areas, more handicapped and senior access.
71. Leveling the ground and putting in a water spigot and shade/cover at the dog park(s)
72. I would like to see the flower and shrub beds around the city and especially the city buildings trimmed, weeded, and cleaned up. Too many of the city properties are in need of work. Why is the city focused on building more when they cannot keep up with the cleaning, weeding, trimming of the properties and open spaces they now have???
73. Community Center!!!
74. Consistently good maintenance, taking good care of trees and ensuring security and safety in the parks should be the top priorities.
75. Bike trails
76. Improve the park at Senior Estates. Maintain it.
77. More seating along paths
78. Bigger dog Park
79. Top thing, moveable tables and chairs for eating. Next a few more drinking fountains. Old fashioned ornamental fountains like at the plaza downtown. Old fashioned band shells (covered podiums for musical acts).
80. You need to maintain what you have, especially the Aquatic Center, before making new investments!
81. Another Turf field. Legion Park Turf field gets overcrowded and not enough parking spaces.
82. I think every park should have a basketball hoop added somewhere.
83. More trees!!!
84. Expand Hermanson Pond and its walking trails. Create a true park with picnic tables, playgrounds and open grasslands.

Question 10. Is there anything else you'd like us to know about parks, trails and programs improvements?

1. Create more programs for all religions would be great
2. I think Woodburn has some pretty great parks and we definitely have the need and it seems ability to take the resources we already have and improve the places of nature and beauty as well as recreational and educational use areas even better!

3. It be great to expand Legion Park or even have the community center in the empty space between Legion and Police Station
4. It would be great to have indoor spaces for basketball and volleyball and fitness
5. For safety of the kids the trail priority should be towards the high school to downtown. We were sad to see all the summer swim lessons fill up this year. It isn't fair that I pay property taxes here and more than half of the families who signed up for swim lessons live OUTSIDE of Woodburn
6. Nope
7. Farmers markets and such
8. Focus on conserving nature so less habitats are lost.
9. Community garden
10. We'd really like a community garden
11. Big celebrations are great already! Having more smaller events would be fun.
12. The classes/sports programs that are offered feel over priced. Especially when you consider that families have multiple children who they would like to enroll
13. Please connect West Woodburn to our beautiful parks and recreation system with a safe path. Apply for grants, ADA compliance enhancement funding, anything out there! I'll help! We know how it's plotted for development already. Land and right of way costs will never be cheaper than now. Let's lock in business/vibrancy attracting connectivity by connecting our parks. Our walking/biking scores are beyond pale but just one vital link away from being exceptional.
14. Please buy land for more parks.
15. Need more attract such as amusement parks.
16. The trimming and removal of dangerous dead trees. Would love to see more community gardens around also.
17. Would like to see a new community center including a senior center.
18. Really hoping for the expansion of Woodburn Aquatic Center! I feel like the city does a great job overall providing a lot of family friendly events. I feel like the parks are nice here and there are many, especially considering the size of Woodburn, so no complaints there. My one critique would be to somehow encourage less littering at the parks.
19. Give maintenance and take care of it. not just built and neglect it.
20. There are so many great ideas here!
21. Heritage park would be better used as covered area for gatherings and maybe a sports court. Not a playground.
22. KEEP THE NEIGHBORHOOD FAMILY UNITED
23. I wish you wouldn't water the designated off-leash dog parks first thing in the morning when people actually would like to use them before it gets too warm. When they are just watered, they are muddy and slippery and dangerous for your dog when they run. If you could water in the middle of the night or late evening, that would be better. Thank you.
24. We should leverage public money where we can obtain multiple good effects on the community. Look for multiple benefits combine public safety & health & recreation & livability that is marketable to both residents and visitors
25. Is there anything we can do to improve and clean up our down town area?
26. A bike share program would be awesome. A shaded park for summer

27. For a festival, we ought to have a berry festival. Didn't we used to be the berry capitol of the world?
28. Is there any plans Burlington park?
29. Is there any plans Burlington park?
30. Improve swimming lessons, always full, never any teachers, pool manager doesn't return calls or is never there. Youth sports registration closes way too early and we have never been able to get into a sport because you ended registration for a sport in November. We are not thinking about a sport in august that's in November. It's ridiculous. We don't even use the parks or programs here because it's so chaotic and you can't even get ahold of any one, or get into anything unless it's 3-4 months in advance. This is why lots of kids in this community lose out on youth sports/swimming in this community. Money need to go to this. Ymca run is too expensive and not run very well. I miss my small town park and rec department without big ymca. Why do we have money for these giant parks and trails but not money for actually getting the youth involved in organized sports???
31. I think it's important to consider your audience; who is completing your survey as the survey response may not include what is best for the community. I hope you consider your most vulnerable population and consider their need for parks, access to parks, and what parks can provide, such as access to physical movement. Especially, considering the many apartment complex's and children/adult lack of physical movement. Exposure to green space and nature is known to have positive impact on physical and mental health. We also know that the most vulnerable families in Woodburn currently don't have access to a neighborhood park. I hope you are able to see current park locations and make up of residents in those areas as well as access to current parks before making informed decisions.
32. Woodburn basically only has one safe and usable play structure currently which is centennial and it's very disappointing and boring to have so few options.
33. More trees in the parks and maintain cleans more trails for the people, for walking specially lights for the nigh .
34. Make sure they are wheelchair accessible
35. Would like to see pickleball courts with nets and lighting for night play as well.
36. It would be nice to have other activities other then Mexican heritage activities. Something Anglo folks would be interested
37. More adult activity trips. In the past we've been to places like Crater Lake, Tillamook County Museum, Lincoln city outlets, and my favorite was a balloon ride. It's understandable that these trips stopped during the covid shutdown for safety. But hope the city will sponsor more of these adult day trips year round. I also miss the "Out and About " flyers that came in the mail.
38. We need a bigger & better Farmers Market, that isn't hosted by a religious school
39. Yes. The four new PICKLEBALL COURTS are fantastic. Congratulations on serving the players who had no place to play between Wilsonville and Salem.
40. We need inclusive parks for the disabled!
41. I'm thankful for what we currently have but with all the new housing going on we will definitely need more parks, trails & programs.
42. Would really like an indoor place to walk in bad weather. Seniors need to keep active. What happened to the plans for the aquatic center? Was going to have walking area, meals on wheels etc.
43. Increased placement of garbage cans and doggie bags (recycling options as well) may help decrease litter.

44. trim the shrubs , mow the grass, pull the weeds, clean up the garbage surrounding the parks
45. Consistently good park maintenance, including taking care of trees, and ensuring security and safety in the parks should be the top priorities.
46. I will be honest, I have not been to the 4th of July celebration here in Woodburn in a long time. I think last time I went there was a stage set up on Centennial park. I've been to other places for 4th of July, such as Independence, OR, and Longview, WA. I like how they have vendors selling all sorts of things in the locations in which they will have the fireworks show, making it an all day event that leads to the fireworks show.
47. Would like to see a full gym facility to partner with the pool. Pool needs upgraded locker room facilities.
48. Bathrooms of some sort along walking trails.
49. Please don't let new growth on the edge of Woodburn take all the land without new parks and shortcut trails (trails not in parks, that go past or behind private land and between streets.) An empty field as a city park is better than no park at all.
50. I Support the community center idea and the trail loop to attract people to Woodburn - A complete loop for walking, cycling and nature watching with restrooms.
51. Create a town that its current residents want to continue living in. Make it safe to walk, shop and use its park systems anytime during the day and evening. Stop building low income housing and selling or granting land for that purpose. Expand and create more wildlife sanctuaries with connecting walking trails. Strive to create a Woodburn that is both clean and beautiful that its residents enjoy its wealth of beauty and are proud to live in. There's currently enough strip malls, thrift shops, drug houses, etc. There isn't enough good dining options, quality small businesses and places to take a stroll and see the wildlife that is still prevalent. Living together with indigenous wildlife with open green spaces throughout the town will begin to disappear if care isn't taken.
52. Más iluminación en parques para poder caminar con seguridad (*Translation: More lighting in parks to be able to walk safely*).

Appendix D: Stakeholder Discussion Notes



CONSERVATION
TECHNIX

STAKEHOLDER DISCUSSION SUMMARY

| | | | |
|----------------------|---|------------------------|---------------------------------|
| Project Name: | Woodburn Parks & Recreation Master Plan | Project No.: | Proj-# 22-148PLN |
| Location: | Microsoft Teams | Interview Date: | May 24, 2023 |
| Notes by: | Steve Duh | Time: | 11:30am |
| Participants: | Jenne Marquez | | Randi Garcia Cruz |
| | Karen Linton | | Emily Duran, City of Woodburn |
| | Becki Hayes | | Brian Powers, City of Woodburn |
| | Dylan Wells | | Steve Duh, Conservation Technix |
| Subject: | Parks & Recreation Master Plan: Stakeholder Discussion | | |

PURPOSE

To discuss current issues, opportunities and needs for city park and recreation amenities. The discussion occurred on March 24, 2023, virtually via Microsoft Teams.

DISCUSSION

The discussion began with a brief introduction and an overview of the city's Park & Recreation Master Plan process. A set of questions were used to initiate the discussion and explore ideas about system planning and local recreation needs.

General Comments & Values about Woodburn's City Park System

- Love the city!
- Need more greenery around seniors complex
- Add more trails and splash pad (a 2nd, other than Centennial Park)
- Make it equitable – provide spaces for everyone to access
- Link pedestrians with trails
- Very important to maintain existing parks, even small areas OK like a bench with greenery
- As it expands, there are less trees; senior area near I-5 feels separated from the rest of city
- Older areas and newer have no greenery, no sidewalks; walkability is important
- City does well bring all the cultures together to celebrate

What's Missing or Needs to be Improved?

- Overuse at new Legions Park field. Consider adding more fields
- Re-vamp Centennial Park for multi-use turf; what does maintenance/use look like if we can add tournaments

Interview Notes (continued)

- Soccer tournament concept – field maintenance is horrible; recruiting for a tournament was dead-ended due to poor field condition. Poor maintenance means Woodburn is missing out on revenue. Drainage is poor at Centennial; field pools when it rains. Grants are great, but need operations and maintenance money for consistent maintenance
- Return on investment – invest in our city; keep the money in the community through improvements to parks like Legion. Look at Wilsonville as an example. Tourism potential – hotels, gas, snacks, etc.
- Community center rebuild, market to public what the improvements are. Project has been quiet for a while
- Aquatic center – kiddie pool and locker room are out of shape. Operations need improvement and more staff needed for more hours
- Outdoor auditorium – Library space can only handle 100-200 people
- Larger areas needed to host fiesta and other large events
- Parking often full at Legion Park and Centennial. Woodburn draws from other areas, like Gervais
- Tough for people to come into park because parking is limited
- Overflow parking areas needed, consider utilizing Park & Ride space near transit center as overflow
- Centennial Park needs trees, needs to be easier to get to
- Hard to get to Centennial from Legion to use splash pad
- Smith addition – good access to walk to parks, walk past Settlemier Park to Centennial Park, maintenance needed, so update
- Trails – park to park for walking and biking
- Community Development should look at how to fill gaps in sidewalk network
- Legion Park – expansion has been great, but playground needs space for little kids to play when others are there at the park
- For recreation programs, add more adult activities – softball leagues, volleyball, basketball; Infant to toddler group is hard to serve
- Marketing plan for volunteers
- Invest in off leash areas
- Consider adding solar where you can, i.e., roofs of picnic shelters, covered parking lots

Priority Project Ideas for Next 5+ Years

- Build the new community center
- Enhance walkability – trail expansion
- More marketing/PR/info about what is offered and available
- Do roundtables with partners on programs; coordinate don't duplicate; find opportunities to co-marketing

-- End of Notes --

Discussion Group 1 - May 16, 2023

English class for Spanish speakers at Chemeketa Community College in Woodburn.

13 participants

Do you currently use any of Woodburn's Parks or Recreation Programs? If so, which ones?

- Legion Park
- Settlemier Park
- Centennial Park - Feels the most complete with all the amenities.

Could you describe your preferred activities to engage in while at the park?

- Running
- Soccer
- Walking trails
- Basketball
- Tennis

Which activities motivate you to visit or participate in programs?

- Bike routes
- Basketball tournaments
- Exercising
- May 5th event
- Kids playground

A wide array of amenities exists today - from sport fields and courts, to aquatics, to walking/running trails to playgrounds to water access to dog parks. What recreation opportunities are missing or should be improved?

- More basketball courts in the parks.
- Improve the playground for kids and include more activities.
- Improve the maintenance of existing parks.
- Provide more bicycle routes
- Add more water fountains to existing parks.
- Provide more swimming pool locations.
- Include exercise stations in parks.
- Include meditation spaces in the parks for relaxation.
- Improving the parks safety by installing cameras
- Provide artistic activities during the weekends.
- Include soft-fall rubber to kids playgrounds
- Provide more activities for children

- Provide more rest spaces with shades
- Plant more trees in the parks, in particular in Centennial Park.

Any recommendations on repair upgrades or improvements? What would you like to see in 5 years?

- More BBQ stations.
- Build more aquatic centers locations.
- Upgrade the restrooms.
- Become more diligent with the parks maintenance.
- Include a bike station.
- Include night lights in the park.
- Provide a location to fix bicycles.
- Free wifi.
- Expand the size of the parks.

Do you have any comments or experiences that you would like to share?

- A participant shared that they stopped visiting the park because they saw people drinking and believed there should be more surveillance for people to feel safe.
- The participants would like to be better informed of the city's social media accounts as well as the city's website to look for events and city news. A good place to provide information is at the aquatic center, library and in schools.

Discussion Group 2 - May 22, 2023

FHDC - Farmworker Housing Development Corporation in Woodburn.

9 participants

Do you currently use any of Woodburn's Parks or Recreation Programs? If so, which ones?

- Legion Park
- Centennial Park

Could you describe your preferred activities to engage in while at the park?

- Fiesta Mexicana (Festivals)
- Walking
- Sports

Which activities motivate you to visit or participate in programs?

- Walking
- Running
- Exercising
- Kids playground
- Soccer team
- Meditation

A wide array of amenities exists today - from sport fields and courts, to aquatics, to walking/running trails to playgrounds to water access to dog parks. What recreation opportunities are missing or should be improved?

- Provide splash pads for kids.
- Buy property to expand parks or plan on building more parks around town.
- Expand the playgrounds and include more games for kids.
- Add more benches and resting areas with shade.
- Add and renovate restrooms.
- Add more tables and grills for barbecue.
- Free internet access.
- Include a space to play volleyball.
- Include more water fountains.
- Expand dog parks around town.
- Build more skateboard parks.

Any recommendations on repair upgrades or improvements? What would you like to see in 5 years?

- Provide more security at the parks.
- Provide more park locations.
- Maintain clean bathrooms.

Do you have any comments or experiences that you would like to share?

- n/a

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Appendix E: Tabling & Other Outreach

IZO Public Relations & Marketing
Woodburn Parks Master Plan 2023
Community Feedback Report
September 12, 2023

City Events

Incorporating music into events has the power to attract larger crowds. The community expresses a strong desire for more musical events. Such an effort would not only enhance community engagement but also serve as a wonderful means of connecting neighborhoods.

Enhancements to Recreational Facilities

1. **Picnic Shelters:** The community has strongly requested additional picnic shelters in various parks, as they would provide residents with more comfortable space for outdoor gatherings.
2. **Walking Trails with resting Areas:** Expanding walking trails and ensuring the presence of resting areas with shade would encourage more outdoor activities, even on sunny days.
3. **Park Expansion:** Community members would like to expand walking trails, include bicycle racks, and add more playground activities such as a splash pad, mechanical chime, and spring rider for kids. These enhancements would enrich the experience for children and also involve expanding the parking area.
4. **Amenities:** The community has requested renovated and well-maintained restrooms across all parks. Additionally, there is a desire to make water fountains more accessible throughout the parks and consider replacements where necessary.

Aquatic Center Improvements

The expansion of the Aquatic Center is essential, especially considering the expanding population in Woodburn. The current pool size is inadequate to accommodate various activities and gatherings. Therefore, it is necessary to expand the building, the pool itself, as well as the changing areas and washing facilities. Additionally, ensuring adequate staffing is crucial, as the center frequently

experiences understaffing issues. Furthermore, installing a prominent sign to guide both the community and visitors to the Aquatic Center's location is recommended.

Outdoor Facilities and Accessibility

1. **Outdoor Splash Pads:** Integrating outdoor splash pads in every park would provide a playful water feature for people of all ages. Many parks in other cities in Oregon already have splash pads. Numerous community members have mentioned traveling to these parks for this specific reason. Implementing splash pads in various parks throughout Woodburn would cater to this demand.
2. **Multi-Sport Courts:** Addressing the high demand for basketball courts, tennis courts, soccer fields, and baseball fields is vital. Ensuring that each park has multi-sport courts would help meet this demand. Many community members have noticed that the addition of multi-sport courts in Legion Park has encouraged more community members to spend time playing basketball, tennis, and badminton. Many believe that implementing these multi-sport courts in other parks around Woodburn is necessary.
3. **Water Access:** The community members have mentioned many water fountains in the parks do not work or are old. The parks need to upgrade and provide more water fountains as parks are improved more community members will visit the park and the demand now and in the future for water access will increase.

Community Engagement

Due to the influx of families resulting from new housing developments, outdoor recreation facilities should prioritize meeting their needs. This involves integrating outdoor exercise equipment, coordinating community events, and creating playgrounds and park activities for all age groups. To ensure effective communication, the City should disseminate updates and news not only online but also through physical locations like stores, parks, libraries, and other places frequently visited by individuals who might not be as comfortable with technology.

Legion Park and Recreational Activities

The community has shown keen interest in the expansion of current parks, with a specific focus on Legion Park. Given its strategic location near downtown, which draws numerous visitors, it is recommended to enhance the walking trail within Legion Park. Moreover, expanding the park's parking space ranks high on the priority list.

Overall

The community has expressed a desire for more courts and fields, encompassing basketball, tennis, soccer, and baseball. Providing clear and easily accessible information about joining leagues for both kids and adults is essential to encourage community involvement.

Although Legion Park has undergone remodeling, the community feels that there is still room for further improvements to enhance the fun and gathering experience for all park attendees.

The addition of water stations in parks, increased shading along walking trails, the installation of benches and playgrounds, and the incorporation of outdoor fitness equipment would significantly elevate the overall park experience.

Appendix F: Summaries of Past Plan

Review of Past Community Plans

Past community plans and other relevant documents were reviewed for policy direction and goals as they pertain to the provision and planning for parks, trails and recreation opportunities in Woodburn. The development of each involved public input and adoption by their respective responsible legislative body.

Woodburn Comprehensive Plan, 2022

Most recently amended in June 2022, the Comprehensive Plan for the City of Woodburn is the controlling land use document that provides the framework and vision for implementing the City's goals and future land uses. The Woodburn Comprehensive Plan is documented in two volumes. Volume I includes goals and policies with specific direction for land use decisions. Volume I also includes the comprehensive plan map that must conform to the stated goals and policies. Volume II includes the background information that served as the foundation for the goals and policies adopted by the City. The Plan states in intent of the City to provide adequate parks, recreation facilities, and open space to maintain Woodburn's livability and managed growth, and to provide social, economic and environmental benefits to individuals, families and the community. Library Park, the Downtown Plaza, Woodburn Aquatic Center, Settlemier Park, the Woodburn World's Berry Center Museum, and Locomotive Park are intended to be used as catalysts for downtown revitalization.

To meet the goals for their parks and recreation system, the Plan articulates policies for acquisition and development of adequate parkland for neighborhood parks, trails and open spaces. Parks system development charges and coordination with development review processes are policies to help ensure the park system can keep up with population growth. The City established a one-third mile walkability target for residents to have easy access to parks, trails, and indoor facilities. The implementation of the Mill Creek Greenway Master Plan and the provision of a continuous public greenway and pathway system is another policy within the Comprehensive Plan. The Plan also establishes the policy for adequate maintenance of the park system with the determination of maintenance level of service standards and adequate annual budgets to meet those established service levels.

Woodburn Transportation System Plan, 2019

The Transportation System Plan (TSP) for the City of Woodburn serves as the Transportation element of the City's Comprehensive Plan sets the vision for the transportation facilities and services needed to accommodate future growth and development. The TSP 2019 update provides a list of projects to address local transportation needs and deficiencies. The TSP set the goals for multimodal mobility to provide a multimodal transportation system that avoids or reduces a reliance on one form of transportation and minimizes energy consumption and air quality impacts. The goal incorporates objectives to develop a network of bike lanes and routes as well as sidewalks and off-street pathways that improve bicycle and pedestrian mobility within neighborhoods and link residential areas to schools, parks, commercial areas, and employment centers. Safety and connectivity are also overarching goals within the TSP. For multi-use paths and trails the TSP recommends a minimum width of 10 feet for low-pedestrian/bicycle-traffic contexts and 12 to 20 feet in areas with moderate to high levels of bicycle and pedestrian traffic. The TSP names the Mill Creek Greenway as a high priority project and numerous connecting pathways as medium priority projects for implementation. The TSP cites the value of wayfinding signs for use on primary bicycle routes and multi-use paths to help define the route and direct users towards destinations with information about distances and average travel times. The TSP projects include a city-wide wayfinding signage system to support bike routes, multi-use paths, parks, schools and other essential destinations.

Highway 99E Corridor Plan, 2012

The Highway 99E Corridor Plan was developed for the transportation corridor that runs through the eastern edge of the City of Woodburn. The purpose of the Plan was to facilitate revitalization of the corridor as a business district addressing economic development, motor vehicle mobility & safety, pedestrian & bicycle access & safety, property access, aesthetics and neighborhood connections. The Highway 99E Corridor Plan identifies needed transportation improvements, recommends appropriate land uses, and illustrates the urban design vision for the section of Highway 99E running through the City of Woodburn. Implementation measures include amending the City's Transportation System Plan (TSP), Comprehensive Plan, and Development Code to implement the land use, urban design, access management, and transportation improvements associated with the Corridor Plan. The corridor plan centers on a mixed use village concept intended to provide an activity node on Highway 99E and a sense of connection to Downtown Woodburn. Over time, redevelopment would result in a more walkable safe streetscape with connections to adjacent neighborhoods. The Plan includes an access management plan to be implemented incrementally to improve traffic safety for motorists, bicyclists and pedestrians.

Mill Creek Greenway Master Plan, 2007

The National Park Service's (NPS) Rivers, Trails & Conservation (RTCA) agreed to provide staff assistance to help draft a master plan for the Mill Creek corridor and tributaries. Together with a 15-member Task Force, NPS and city staff conducted the master planning process to create system-wide recommendations for trail design standards, alignments, and improvements proposed for the five different planning units located along the Greenway. The establishment of a Mill Creek Greenway and Trail system has been a goal of the City since the 1960's when the City began acquiring and setting aside properties along Mill Creek. The Master Plan provides recommendations for trail routes, transition nodes, support facilities such as restrooms, trailheads, benches, and signage. The master plan also provided a six-year plan for project implementation along sections currently owned by the City.

Woodburn Parks and Recreation Master Plan Update, 2009

The 2009 Woodburn Parks and Recreation Master Plan Update evaluated existing parks and recreation facilities and provided direction for enhancing the park and recreation system to manage existing and future community needs. The top three maintenance priorities identified during the planning update were restrooms, trash pickup, and amenities care. The top overall park and recreation priorities to be addressed included increasing youth programs, improving existing parks and facilities, improving security, and increasing communications on services and programs. Recommendations from the 2009 PMP update identified the need to create a master plan for Burlingham Park, update playground equipment throughout the park system, continue to develop parks according to established master plans and improve walkability to parks and recreation facilities and to the community as a whole. The PMP also provided a ten-year list of recommended capital projects with proposed implementation timing and estimated costs.

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Appendix G: Recreation Trends

The following summaries from recognized park and recreation resources provide background on national, state and local park and recreation trends. Examining current recreation trends may inform potential park and recreation improvements and opportunities to enhance programs and services.

2023 NRPA Agency Performance Review

In the 2023 National Recreation and Parks Association (NRPA) Agency Performance Review and its accompanying Park Metrics share comprehensive park and recreation-related data collected and analyzed to inform park and recreation professionals and key stakeholders about the state of the industry. The 2023 NRPA Agency Performance Review presents data from more than 1,000 unique park and recreation agencies across the United States as reported between 2020 and 2022. These resources provide guidance to inform decisions and demonstrate the full breadth of service offerings and responsibilities of park and recreation agencies throughout the United States. This data can offer a perspective for Sammamish Parks and Recreation to compare their service provision to other agencies across the country. However, every park & rec agency has its own unique characteristics, combination of responsibilities and community composition. This comparison of nationwide data with the City of Sammamish can provide guiding insights rather than target benchmarks. The agency performance report indicated recent trends in staffing and volunteers for park and recreation agencies show that numbers of authorized full-time positions has steadily rebounded since 2011.

Key Findings & Characteristics

Park facilities and operations vary greatly across the nation. The typical agency participating in the NRPA park metric survey serves a jurisdiction of approximately 45,000 people, but population size varies widely across all responding jurisdictions. The typical park and recreation agency has jurisdiction over 22 parks comprising over 571 acres. When including non-park sites (such as city halls and roadway medians), the median management scale for park agencies increases to 30 sites encompassing 676 acres. Park facilities also have a range of service levels in terms of acres of parkland per population and residents per park. These metrics are categorized by the agency's population size.

Park Facilities

The typical park and recreation agency has:

- One park for every 2,287 residents
- One playground for every 3,759 residents
- 10.8 acres of park land for every 1,000 residents in its jurisdiction
- 15 miles of trails for walking, hiking, running and/or biking
- 8.9 full-time equivalent employees per 10,000 residents

Figure G1. Median Residents per Park Based On Population Size

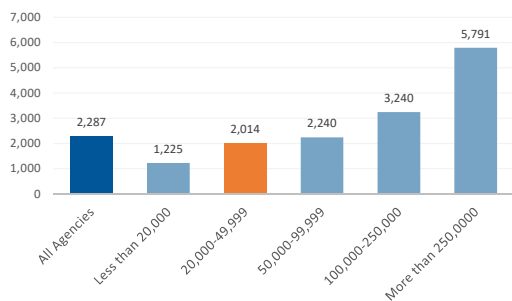
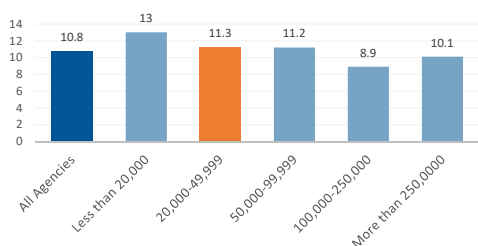


Figure G2. Acres of Parkland per 1,000 Residents based on Population Size



A large majority of park and recreation agencies provide playgrounds (95%) and basketball courts (86%) in their portfolio of outdoor assets. Most agencies (three in five) offer community and/or recreation centers. Recreation centers (63%) are provided more often than community centers (59%). Senior centers (41%), performance amphitheaters (37%) and nature centers (33%) are also common.

The typical park and recreation agency that manages or maintains trails for walking, hiking, running and/or biking has 15 miles of trails. Agencies serving more than 250,000 residents have a median of 89 miles of trails under their care.

Park and recreation agencies often take on responsibilities beyond their core functions of operating parks and providing recreational programs. Other responsibilities may include tourist attractions, golf courses, outdoor amphitheaters, indoor swim facilities, farmer's markets, indoor sports complexes, campgrounds, performing arts centers, stadiums/arenas/racetracks, fairgrounds and/or marinas.

Programming

At least seven in ten agencies provide themed special events (89% of agencies), team sports (86%), social recreation events (88%), youth summer camps (82%), fitness enhancement classes (81%), and health and wellness education (80%).

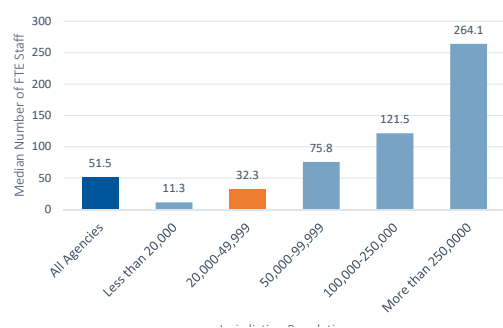
Staffing

Park and recreation employees are responsible for operations and maintenance, programming and administration. The typical park and recreation agency has:

- 51.5 full-time equivalent staff (FTEs) on payroll
- 8.9 FTEs on staff for every 10,000 residents in its jurisdiction

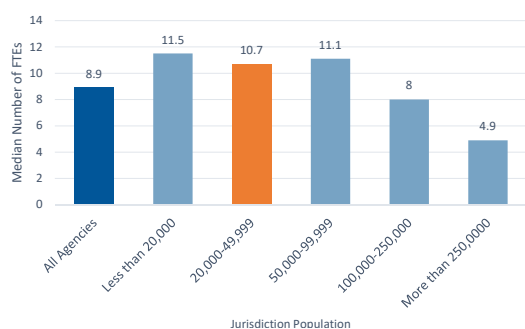
Median FTE counts also positively correlate with the number of acres maintained, the number of parks maintained, operating expenditures, and the population served. For example, agencies that serve populations between 20,000 and 49,999 residents employ an average of 32.3 FTE, while agencies that serve 50,000 to 99,000 people employ an average of 75.8 FTE.

Figure F3. Park and Recreation Agency Staffing: Full-Time Equivalents (By Jurisdiction Population)



Another way of comparing agency staffing across different park and recreation agencies examines number of staff per 10,000 residents. These comparative numbers hold fairly steady across population sizes with the median for all agencies at 8.9 FTEs.

Figure G4. Park and Recreation Agency FTEs Per 10,000 Residents



Capital and Operating Expenses

For capital expenses, the typical park agency:

- Dedicates about 56% to renovation projects and 30% to new development projects.
- Plans to spend about \$8 million on capital expenditures over the next five years.

For operations, the typical park agency spends:

- \$5.5 million per year on total operating expenses
- \$7,823 on annual operating expenses per acre of park and non-park sites managed by the agency
- \$94.77 on annual operating expenses per capita
- \$105,484 in annual operating expenditures per employee
- 55% of the annual operating budget on personnel costs, 38% on operating expenses, and 5% on capital expenses not included in the agency's capital improvement plan
- 46% of its operating budget on park management and maintenance, 41% on recreation, and 13% on other activities

Agency Funding

The typical park and recreation agency:

- Derives 61% of their operating expenditures from general fund tax support, 22% from generated revenues, 8% from dedicated taxes or levies, 3% from other dedicated taxes and 6% from grants, sponsorships and other sources
- Generates \$21.71 in revenue annually for each resident in the jurisdiction

2022 State of the Industry Report

Recreation Management magazine's 2022 Report on the State of the Managed Recreation Industry summarizes the opinions and information provided by a wide range of professionals (with an average 21.9 years of experience) working in the recreation, sports, and fitness industry.

Partnerships

The 2022 report indicated that most (82.3%) recreation, sports, and fitness facility owners form partnerships with other organizations as a means of expanding their reach, offering additional programming opportunities or as a way to share resources and increase funding. Local schools are shown as the most common partner (59.6%) for all facility types. Youth-serving organizations (Ys, JCC, Boys & Girls Clubs) and park and recreation organizations were the most likely to report that they had partnered with outside organizations, at 98% and 94% respectively.

Revenue Outlook

The year 2020 represented a dramatic departure from the norm, with nearly two-thirds (64.9%) of respondents indicating that their revenues for the year were lower than the previous year. By 2021, the number reporting a drop in revenue fell to 26.7%—still a dramatically different result from most survey years, but an obvious improvement over 2020. At the same time, while only 13.4% of respondents saw their revenues increase in 2020, by 2021, more than half (51.7%) were reporting revenues on the rise again. Respondents were much more optimistic about 2022 and 2023, with 60% indicating they expect to see higher revenues in both years. At the same time, 9.8% still expect revenues to fall in 2022.

Facilities & Improvements

A majority of park respondents (43%) reported plans to add features at their facilities and were also the most likely to be planning to construct new facilities in the next few years (39%).

The top 10 planned features for all facility types include:

1. Splash play areas (21.4% of respondents with plans to add features are planning to add splash play)
2. Synthetic turf sports fields (19.5%)
3. Playgrounds (17.7%)
4. Fitness centers (15.5%)
5. Park shelters (14.1%)
6. Dog parks (13.6%)
7. Park restroom structures (12.7%)
8. Fitness trails and outdoor fitness equipment (12.3%)
9. Exercise studio rooms (11.8%)
10. Disc golf courses (11.8%)
11. Concession areas (11.8%)

Programming

Nearly all respondents (96.4%) offer programming of some kind. The top 10 most commonly offered programs include: holiday events and other special events (provided by 57% of respondents); day camps and summer camps (54%); group exercise programs (53%); fitness programs (53%); educational programs (51%); youth sports teams (50%); mind-body balance programs such as yoga and tai chi (43%); arts and crafts programs (41%); adult sports teams (38%); and programs for active older adults (38%).

Respondents from community centers, parks and health clubs were the most likely to report that they had plans to add programs at their facilities over the next few years. The ten most commonly planned program additions were:

1. Mind-body balance programs (29.9%, up from 23.4% in 2021)
2. Fitness programs (27.9%, up from 25.5%)
3. Group exercise programs (27.9%, up from 25.7%)
4. Educational programs (25.9%, up from 20.8%)
5. Arts and crafts programs (21.9%, up from 17.4%)
6. Teen programs (21.9%, down from 23.7%)
7. Functional fitness programs (21.4%, up from 17.8%)
8. Performing arts programs (21.4%, up from 17.4%)
9. Environmental education (20.9%, up from 20%)
10. Holidays and other special events (20.4%, down from 21%)

General Challenges

Facility managers were asked about the challenges they anticipated impacting their facilities in the future. Generally, overall budgets are the top concern for most respondents including staffing (63%) and their ability to support equipment and facility maintenance needs (50%).

With COVID-19's impact on the wane, we asked respondents to tell us about their top goals for their facilities in the coming year. The most common responses centered around increasing participation and membership, as well as building and renovating facilities. Recruiting and training staff, as well as just "getting back to normal" also made up a large number of the responses.

2023 Outdoor Participation Report

According to 2023 Outdoor Participation Trends Report, published by the Outdoor Foundation in Boulder, Colorado, the outdoor recreation participant base grew 2.3% in 2022 to a record 168.1 million Americans (55%) ages 6 and older. The number of outdoor participants has grown over the last eight years, however, the number of outings per participant declined in 2022 for the first time since the pandemic began in 2020. Key Insights include the following:

Diversity

The recreational participant base is much more diverse than ever before. New and young outdoor participants are significantly more diverse than the current outdoor base and are accelerating quickly. The participation rate for Hispanic people has increased from 34% in 2015 to 56% in 2022.

Seniors

A significantly higher percentage of seniors (ages 55+) are participating in outdoor recreation. In 2022, the senior participation rate hit a record high of 35% and rising. This equates to 1 in every 5 outdoor participants and a total of 1 million new participants in 2022.

Gateway Activities & Growth Trends

Gateway activities, one of the first outdoor recreation activities people participate in at any age, serve as magnets to outdoor activity and commonly lead to more activity in niche categories like backpacking and

adventure racing. Gateway activities continue to drive new entrant outings and frequency of participation. Hiking is the most popular activity. Running, bicycling, fishing and camping round out the top five. Running has the highest average outings per runner at 54 per year. Camping has the highest growth rate over the past three years at 29.1% per year.

The outdoor activity categories with the highest growth rates among kids included backpacking, snowshoeing, canoeing, climbing, and off-road triathlon.

Participation Rate Decline

The frequency of participation is declining across outdoor recreation. In 2013, the average number of outings per participant was 84.6. Over the last ten years, average number of outings has dropped to 71.8 per participant.

Demographics are changing quickly in the U.S. population, and the outdoor recreation market has lagged behind. Park and recreation agencies are recognizing the need for increased diversity in the participant base of park and recreation users. The new and young outdoor participant bases are significantly more diverse than the total participant base, a formula for long-term growth in diversity for outdoor recreation. Monitoring progress on diversity is key to understanding if outreach is being effective.

2023 Sports, Fitness & Leisure Activities Topline Participation Report

Prepared by a partnership of the Sports and Fitness Industry Association (SFIA) and the Physical Activity Council (PAC), this February 2023 participation report summarizes levels of activity and identifies key trends in sports, fitness, and recreation in the US. The report is based on over 18,000 online interviews of a nationwide sample that provides a high degree of statistical accuracy using strict quotas for gender, age, income, region, and ethnicity. The study looked at more than 124 different team and individual sports and outdoor activities, including a section dedicated to the impact of COVID-19 on participation results.

Compared to 2017, activity increased by 9.2% in total participation rates. Activity in the U.S. continues to increase for the fifth consecutive year. In 2022, 77.6% of all Americans, or 236.9 million people participated in at least one activity during the 2022 calendar year.

There were more things to do as outdoor activities thrived, fitness at home became more popular, and team sports started back up after the COVID-19 hiatus. Participation nearly doubled for pickleball in 2022, increasing by 85.7% year-over-year. In 2022 for the first time in over seven years, every racquet sport increased its total participation number compared to the previous year.

In terms of team sports, the overall participation rate approached, but did not exceed, the 2019 rate. Basketball, outdoor soccer, and flag football all posted three-year increases of over 4.5%, with basketball leading the way with a 13% increase since 2019.

Lifestyle activities generally remained very popular. Golf and tennis have grown more than 20% since 2019, and yoga grew more than 10% in that same time period. Trail running and day hiking participation grew for the fifth straight year. However, facility-based fitness activities like elliptical, group stationary cycling, and weight resistance machines, which suffered as clubs were shuttered during COVID, have struggled to return to pre-pandemic levels.

Figure G5. 2021 Total Participation Rate by Activity Category (U.S. population, ages 6+)

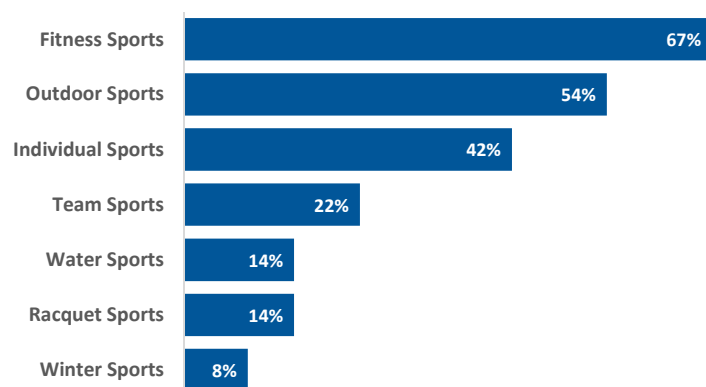
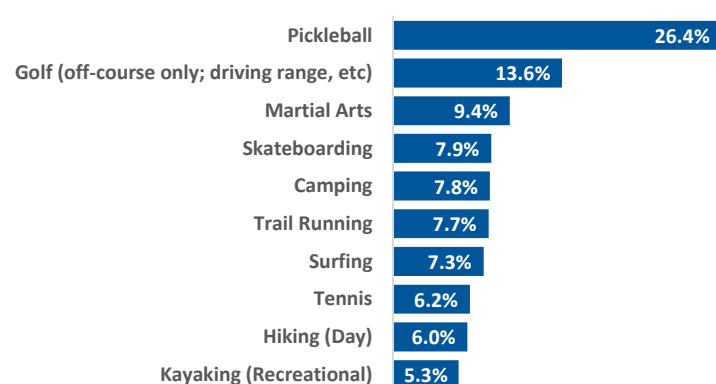


Figure G6. Activities with the Highest 5-year Increase in Participation (average annual growth, 2018-2022)



OREGON STATE OUTDOOR RECREATION TRENDS

The 2019-2023 Statewide Comprehensive Outdoor Recreation Plan (SCORP), entitled Outdoor Recreation in Oregon: Responding to Demographic and Societal Change, constitutes Oregon's basic five-year plan for outdoor recreation. The plan addresses five important demographic and societal changes facing outdoor recreation providers in the coming years including:

1. An aging population;
2. An increasingly diverse population;
3. Lack of youth engagement in outdoor recreation;
4. An underserved low-income population; and
5. The health benefits of physical activity.

As part of developing the SCORP, the Oregon Parks and Recreation Department (OPRD) conducted a statewide survey of Oregon residents regarding their 2017 outdoor recreation participation in Oregon, as well as their opinions about park and recreation management. This data can help local park and recreation providers better understand public opinions and the preferences of outdoor recreation participants.

Fifty six (56) recreation activities were identified as important recreation activity types. These activities were grouped into eight (8) categories including Non-motorized Trail or Related Activities, Motorized Activities, Non-motorized Snow Activities, Outdoor Leisure and Sporting Activities, Nature Study Activities, Vehicle-based Camping Activities, Hunting and Fishing Activities, and Non-motorized Water-based and Beach

Activities. The top three activities with the largest annual user occasions include Walking on local streets / sidewalks (313 million); Walking on local trails / paths (113 million); and Dog walking / going to dog parks / off-leash areas (78 million).

Figure G7. User Occasions for Oregon Residents in Outdoor Activities

| Activity | Total (millions) |
|---|------------------|
| Walking on local streets / sidewalks | 313 |
| Walking on local trails / paths | 113 |
| Relaxing, hanging out, escaping heat / noise, etc. | 93 |
| Dog walking / going to dog parks / off-leash areas | 78 |
| Taking your children or grandchildren to a playground | 57 |
| Sightseeing / driving or motorcycling for pleasure | 55 |
| Bicycling on roads, streets / sidewalks | 51 |
| Walking / day hiking on non-local trails / paths | 44 |
| Jogging / running on streets / sidewalks | 37 |
| Bicycling on paved trails | 26 |

Figure G8. Participation Rates for Oregon Residents in Outdoor Activities

| Activity | Percent |
|--|---------|
| Walking on local streets / sidewalks | 83 |
| Walking on local trails / paths | 74 |
| Sightseeing / driving or motorcycling for pleasure | 59 |
| Relaxing, hanging out, escaping heat / noise, etc. | 59 |
| Beach activities – ocean | 57 |
| Walking / day hiking on non-local trails / paths | 55 |
| Attending outdoor concerts, fairs, festivals | 50 |
| Visiting historic sites / history-themed parks | 49 |
| Picnicking | 49 |
| Beach activities - lakes, reservoirs, rivers | 40 |

Figure G9. Frequency per Household for Oregon Residents in Outdoor Activities

| Activity | Times / Year |
|---|--------------|
| Walking on local streets / sidewalks | 204 |
| Walking on local trails / paths | 75 |
| Relaxing, hanging out, escaping heat / noise, etc. | 60 |
| Dog walking / going to dog parks / off-leash areas | 51 |
| Taking your children or grandchildren to a playground | 37 |
| Sightseeing / driving or motorcycling for pleasure | 36 |
| Bicycling on roads, streets / sidewalks | 34 |
| Walking / day hiking on non-local trails / paths | 29 |
| Jogging / running on streets / sidewalks | 24 |
| Bicycling on paved trails | 17 |

The survey also asked about priorities for local community needs revealing the top six (6) local (close to home) needs as

- Cleaner restrooms.
- Soft surface walking trails.
- More restrooms.
- Playgrounds with natural materials (Natural Play Areas).
- Nature and wildlife viewing areas.
- Public access to waterways.

When asked about recreation priorities for dispersed recreation opportunities, survey respondents indicated their top priorities as

- Cleaner restrooms.
- Soft surface walking trails.
- Nature and wildlife viewing areas.
- More restrooms.
- Public access to waterways.
- More places and benches to observe nature and others.
- Picnic areas and shelters for small visitor groups.

Outdoor recreation participants were asked what their local parks and recreation agency could do to improve/increase participation and value. Across the state, providing more free-of-charge recreation opportunities was the most important action, with ensuring clean and well-maintained parks and facilities, and developing walking / hiking trails closer to home also high in importance.

OPRD also conducted a statewide survey of Oregon public recreation providers to determine outdoor recreation funding priorities for OPRD grant programs and identify top management issues and challenges faced by public recreation providers. The survey showed that across the state within urban growth boundaries, the most important funding need was for community trail systems; restrooms; children's playgrounds and play areas built with manufactured structures like swing sets, slides, and climbing apparatuses; picnic areas and shelters for small visitor groups; trails connected to public lands; and picnicking/day use and facilities. In rural areas across the state, the most important funding need was for restrooms, RV/ trailer campgrounds and facilities, day-use hiking trails, connecting trails into large trail systems, interpretive displays, and tent campgrounds and facilities (car camping). Creating new park and recreation facilities was the greatest maintenance/management challenge for urban and urban growth areas. Other pressing issues were maintaining existing local parks in the community, addressing Americans with Disabilities Act (ADA) issues, and providing safe walking and biking routes to parks and trails. More rural, dispersed setting park providers faced challenges maintaining existing park and recreation facilities. Adequate funding was lacking by most park and recreation providers for renovation, rehabilitation; updating facilities for universal access (ADA compliance); growing homeless population pressures, responding to new recreation trends and technology. In many cases, park and recreation providers were concerned that inadequate funding would increase safety and security issues associated with public use of park and recreation facilities and services.

Americans Engagement with Parks Survey

This annual study from the National Park and Recreation Association (NRPA) probes Americans' usage of parks, the key reasons that drive their use, and the greatest challenges preventing greater usage. Each year, the study examines the importance of public parks in Americans' lives, including how parks compare to other services and offerings of local governments. The survey of 1,000 American adults looks at frequency and drivers of parks/recreation facilities visits and the barriers to that prevent greater enjoyment. Survey respondents also indicate the importance of park and recreation plays in their decisions at the voting booth and their level of support for greater funding. Key findings include:

- Eighty-four percent of U.S. adults seek high-quality parks and recreation when choosing a place to live.
- Nearly 3 in 4 U.S. residents have at least one local park, playground, open space or recreation center within walking distance of their homes.
- Nine in ten people agree that parks and recreation is an important service provided by the local government.
- Nearly 3 in 4 adults agree that equity should be an extremely or very important goal for their local park and recreation agency.

People who live near parks and recreation facilities are more likely to be park and recreation users. Individuals living near at least one park are much more likely to arrive at that park by an “active” means (e.g., walking, biking, running), with walking being the most common method of transport. Conversely, 80 percent of U.S. adults who do not live within a walkable distance to parks or recreation opportunities travel to those amenities by car. The typical adult in the United States visits their local parks or recreation facilities every other month. Four main reasons for visiting local parks and recreation facilities stand out: being with family and friends, exercising and being physically fit, taking a break from day-to-day stresses, and being closer to nature. Park and recreation agencies can customize their offerings to the specific needs, wants and desires of their community members by knowing their motivation for visiting parks.

Figure G10. NRPA Park Engagement: Key Reasons for Park Visits

| Key Reasons Why We Go to Parks | % of Survey Respondents |
|---|-------------------------|
| To have someone care for my children while I am at work | 5% |
| To learn a skill or craft | 13% |
| to connect with members of my community | 22% |
| To experience excitement/adventure | 30% |
| To be closer to nature | 50% |
| To have a break from day-to-day stresses | 52% |
| To exercise or be physically fit | 53% |
| To be with family or friends | 54% |

According to the Americans Engagement with Parks report,

“Parks and recreation’s success results from its vast offerings of parks, trail networks and other recreation facilities that deliver critical programs for every segment of a community. Each person’s relationship with parks and recreation is unique. Some people flock to their local park to stay physically fit, meet with friends and family, or reconnect with nature. Others depend on their local park and recreation agency for indispensable services that improve their lives.

But there remains much work to do. One-hundred million people do not live within a walkable distance of at least one park or recreation facility. Further, many survey respondents indicate they have felt unwelcome at a park or recreation facility or say the infrastructure and programming are not inclusive. Parks and recreation is for everyone — regardless of age, income, race, ethnicity, ability, gender identity or sexual orientation. Professionals, advocates and political leaders have the opportunity to narrow any accessibility or inclusivity gaps through greater community engagement and addressing inequitable funding and infrastructure investments that have deprived millions of people of access to parks and recreation.”

Outdoor Recreation Economy

In November 2022, the U.S. Bureau of Economic Analysis (BEA) released its annual report on the economic impact of the outdoor recreation industry at national and state levels. The gross economic output for the outdoor recreation economy was \$862 billion in 2021, accounting for 1.9% of the gross domestic product that year. Outdoor recreation economic activity showed an 18.95% increase from 2020 while the overall U.S. economy only saw a 5.9% increase. People finding employment in the outdoor recreation industry increased by 13.1% from 2020 to a total of 4.5 million people.

The research group Headwaters Economics, in collaboration with the State Outdoor Recreation Business Alliance, published a report in 2021 on the state of the outdoor recreation economy nationally. The outdoor recreation industry employed nearly 5.2 million people in the U.S. in 2019 and contributed \$459.8 billion to the economy. The report emphasizes that investments in outdoor recreation directly result in visitor spending that supports jobs, businesses, and industries across the country.

Inclusion & Universal Access

Across the country, local municipalities and park and recreation providers with older public infrastructure have been upgrading their facilities to comply with the outdoor recreation guidelines for universal access and the Americans with Disabilities Act (ADA). The removal of existing architectural barriers in park facilities has been ongoing and should continue until renovations, upgrades and newer construction provide barrier-free access to all users. Access and inclusion in public parks extends beyond the physical amenities and incorporates considerations of language, technology, wayfinding, program equity and equitable geographic distribution of facilities.

Park and recreation agencies are in a unique position to champion efforts that advance diversity, equity and inclusion (DEI). By assuring representation of diverse life experiences and voices, park and recreation professionals will better reflect the communities their agencies serve. Inequity is the ultimate challenge facing the nation, and parks and recreation can make a profound difference.

Parks for Climate Resiliency

Numerous studies have been documenting the contributions of parks and public lands to better climate resiliency. Parks, open space and natural lands can cool urban heat islands, buffer flood impacts, improve water quality and improve air quality. Urban tree canopy in parks can remove air pollution and sequester carbon. Parks and greenways along storm-affected coastlines are being created to help buffer impacts of anticipated flooding due to sea level rise, storm surges, and increased precipitation. Climate resilience strategies involving parks can focus on resilient shoreline development, green stormwater infrastructure and increased tree groves.

As the climate changes, outdoor recreation opportunities and availability can become more inconsistent. Wildfires, flooding, reduced snowpack and other environmental impacts from climate changes can directly and indirectly affect visitor-use patterns. Recreation planners and managers play a role in climate resiliency by protecting vulnerable resources that can impact outdoor recreation opportunities.

Appendix H: Implementation Tools & Tactics

The City of Woodburn possesses a range of local funding tools that could be accessed for the benefit of growing, developing and maintaining its parks and recreation system. The sources listed below represent likely potential sources, but some also may be dedicated for other local purposes which limit applicability and usage. Therefore, discussions with city leadership is critical to assess the political landscape to modify or expand the use of existing city revenue sources in favor of parks and recreation efforts.

LOCAL FUNDING OPTIONS

General Obligation Bond

These are voter-approved bonds with the authority to levy an assessment on real and personal property. The money can only be used for capital construction and improvements, but not for maintenance. This property tax is levied for a specified period of time (usually 15-20 years). Passage requires a simple majority in November and May elections, unless during a special election, in which case a double majority (a majority of registered voters must vote and a majority of those voting must approve the measure) is required.

Cities in Oregon have a legal debt limit on general obligation (GO) debt equal to 3% of their real market value. For the City of Woodburn, this limit calculates to \$61.7 million. At the beginning of 2022-2023 budget cycle, the City had \$1.2 million in GO Debt. The available amount of additional debt the City can incur is \$60.4 million.

Park Utility Fee

A park utility fee provides dedicated funds to help offset the cost of park maintenance and could free up general fund dollars for other capital project uses. Most city residents pay water and sewer utility fees. Park utility fees apply the same concepts to city parks, and a fee is assessed to all businesses and households. The monthly fee would be paid upon connection to the water and sewer system. Woodburn does not assess a park utility fee.

System Development Charges

Woodburn currently assesses a parks system development charge (SDC). SDCs are charged for new residential development to help finance the demand for park facilities created by the new growth.

Fuel Tax

Oregon gas taxes are collected as a fixed amount per gallon of gasoline purchased. The Oregon Highway Trust Fund collects fuel taxes, and a portion is paid to cities annually on a per-capita basis. By statute, revenues can be used for any road-related purpose, which may include sidewalk repairs, ADA upgrades, bike routes and other transportation-oriented park and trail enhancements.

FEDERAL / STATE GRANTS & CONSERVATION PROGRAMS

Rivers, Trails and Conservation Assistance Program - National Park Service

The Rivers, Trails and Conservation Assistance Program, also known as the Rivers & Trails Program or RTCA, is a community resource administered by the National Park Service and federal government agencies, so they can conserve rivers, preserve open space and develop trails and greenways. The RTCA assists communities and public land managers in developing or restoring parks, conservation areas, rivers, and wildlife habitats, as well as creating outdoor recreation opportunities and programs that engage future generations in the outdoors.

Urban and Community Forestry Grants - Oregon Department of Forestry

The Oregon Department of Forestry provides a range of grants and incentives for private landowners and municipalities. Program areas range from community forestry to weed control to conservation and resiliency efforts.

North American Wetlands Conservation Act Grants Program - US Fish & Wildlife Service

The North American Wetlands Conservation Act of 1989 provides matching grants to organizations and individuals who have developed partnerships to carry out wetland conservation projects in the United States, Canada, and Mexico for the benefit of wetlands-associated migratory birds and other wildlife. Both are Two competitive grants programs exist (Standard and a Small Grants Program) and require that grant requests be matched by partner contributions at no less than a 1-to-1 ratio. Funds from U.S. Federal sources may contribute towards a project, but are not eligible as match.

The Standard Grants Program supports projects in Canada, the United States, and Mexico that involve long-term protection, restoration, and/or enhancement of wetlands and associated uplands habitats. In Mexico, partners may also conduct

projects involving technical training, environmental education and outreach, organizational infrastructure development, and sustainable-use studies.

The Small Grants Program operates only in the United States; it supports the same type of projects and adheres to the same selection criteria and administrative guidelines as the U.S. Standard Grants Program. However, project activities are usually smaller in scope and involve fewer project dollars. Grant requests may not exceed \$75,000, and funding priority is given to grantees or partners new to the Act's Grants Program.

Local Government Grant - Oregon Parks and Recreation

Local government agencies who are obligated by state law to provide public recreation facilities are eligible for OPR's Local Government Grants, and these are limited to public outdoor park and recreation areas and facilities. Eligible projects involve land acquisition, development and major rehabilitation projects that are consistent with the outdoor recreation goals and objectives contained in the Statewide Comprehensive Outdoor Recreation Plan.

Land and Water Conservation Fund (LWCF) Grant - Oregon Parks and Recreation

LWCF grants are available through OPR to either acquire land for public outdoor recreation or to develop basic outdoor recreation facilities. Projects must be consistent with the outdoor recreation goals and objectives stated in the Statewide Comprehensive Outdoor Recreation Plan and elements of local comprehensive land use plans and park master plans. A 50% match is required from all successful applicants of non-federal funds, in-kind services and/or materials.

Recreational Trails Program Grant - Oregon Parks and Recreation

Recreational Trails Grants are national grants administered by OPRD for recreational trail-related projects, such as hiking, running, bicycling, off-road motorcycling, and all-terrain vehicle riding. Yearly grants are awarded based on available federal funding. RTP funding is primarily for recreational trail projects, rather than utilitarian transportation-based projects. Funding is divided into 30% motorized trail use, 30% non-motorized trail use and 40% diverse trail use. A 20% minimum project match is required.

Oregon Heritage Grants - Oregon Parks and Recreation

Oregon Heritage offers a variety of grant programs for heritage projects from historic building preservation to oral history projects and more. Grant programs focus on specific foci, including façade renovation, main street revitalization, Veterans' and War Memorials, the preservation of historic resources, among others.

Bicycle & Pedestrian Program Grants - Oregon Department of Transportation

The Pedestrian and Bicycle Grant Program is a competitive grant program that provides resources to Oregon cities, counties and ODOT regional and district offices for design and construction of pedestrian and bicycle facilities. Proposed facilities must be within public rights-of-way. Grants are awarded by the Oregon Bicycle and Pedestrian Advisory Committee. Project types include sidewalk infill, ADA upgrades, street crossings, intersection improvements, minor widening for bike lanes.

Oregon Watershed Enhancement Board Grant

The Oregon Watershed Enhancement Board focuses on projects that approach natural resources management from a whole-watershed perspective. OWEB encourages projects that foster interagency cooperation, include other sources of funding, provide for local stakeholder involvement, include youth and volunteers and promote learning about watershed concepts. There are five general categories of projects eligible for OWEB funding: watershed management (restoration and acquisition), resource monitoring and assessment, watershed education and outreach, and technical assistance.

Arts Grants - Oregon Arts Commission

The Oregon Arts Commission funds arts programs and individual artistic innovation throughout Oregon. Grant programs serve as investments in our state's culture. They are supported by contributions from the State of Oregon, the Oregon Cultural Trust, and the National Endowment for the Arts.

OTHER METHODS & FUNDING SOURCES

Private Grants, Donations & Gifts

Many trusts and private foundations provide funding for park, recreation and open space projects. Grants from these sources are typically allocated through a competitive application process and vary dramatically in size based on the financial resources and funding criteria of the organization. Philanthropic giving is another source of project funding. Efforts in this area may involve cash gifts and include donations through other mechanisms such as wills or insurance policies. Community fund raising efforts can also support park, recreation or open space facilities and projects.

Meyer Memorial Trust

The Meyer Memorial Trust seeks opportunities to make program-related investments in Oregon and Clark County, WA. General Purpose Grants support projects related to arts and humanities, education, health, social welfare, and a variety of other activities. Proposals may be submitted at any time under this program, and there is no limitation on the size or duration of these grants.

REI in the Community - Non-Profit Partnerships and Grants

Partnerships begin with store teams who may connect with nonprofits by promoting or partnering for events and service projects, raising visibility with REI customers, offering product donations, and inviting and selecting organizations for an REI grant.

Kaiser Permanente Healthy Environments - Community Benefit Programs

These programs work with community-based organizations, public agencies, businesses and residents to translate their vision for healthy communities into visible, concrete changes — and ultimately healthier neighborhoods. Kaiser has several assistance programs that encompass support for Environmental Stewardship, Community Health Initiatives, Every Body Walk!, and Physical Activity Guiding Principles.

Business Sponsorships/Donations

Business sponsorships for programs may be available throughout the year. In-kind contributions are often received, including food, door prizes and equipment/material.

Interagency Agreements

State law provides for interagency cooperative efforts between units of government. Joint acquisition, development and/or use of park and open space facilities may be provided between parks, school districts, other municipalities and utility providers.

ACQUISITION TOOLS & METHODS

DIRECT PURCHASE METHODS

Market Value Purchase

Through a written purchase and sale agreement, the city purchases land at the present market value based on an independent appraisal. Timing, payment of real estate taxes and other contingencies are negotiable.

Partial Value Purchase (or Bargain Sale)

In a bargain sale, the landowner agrees to sell for less than the property's fair market value. A landowner's decision to proceed with a bargain sale is unique and personal; landowners with a strong sense of civic pride, long community history or concerns about capital gains are possible candidates for this approach. In addition to cash proceeds upon closing, the landowner may be entitled to a charitable income tax deduction based on the difference between the land's fair market value and its sale price.

Life Estates & Bequests

In the event a landowner wishes to remain on the property for a long period of time or until death, several variations on a sale agreement exist. In a life estate agreement, the landowner may continue to live on the land by donating a remainder interest and retaining a "reserved life estate." Specifically, the landowner donates or sells the property to the city, but reserves the right for the seller or any other named person to continue to live on and use the

property. When the owner or other specified person dies or releases his/her life interest, full title and control over the property will be transferred to the city. By donating a remainder interest, the landowner may be eligible for a tax deduction when the gift is made. In a bequest, the landowner designates in a will or trust document that the property is to be transferred to the city upon death. While a life estate offers the city some degree of title control during the life of the landowner, a bequest does not. Unless the intent to bequest is disclosed to and known by the city in advance, no guarantees exist with regard to the condition of the property upon transfer or to any liabilities that may exist.

Option to Purchase Agreement

This is a binding contract between a landowner and the city that would only apply according to the conditions of the option and limits the seller's power to revoke an offer. Once in place and signed, the option agreement may be triggered at a future, specified date or upon the completion of designated conditions. Option agreements can be made for any time duration and can include all of the language pertinent to closing a property sale.

Right of First Refusal

In this agreement, the landowner grants the city the first chance to purchase the property once the landowner wishes to sell. The agreement does not establish the sale price for the property, and the landowner is free to refuse to sell it for the price offered by the city. This is the weakest form of agreement between an owner and a prospective buyer.

Conservation Easements

Through a conservation easement, a landowner voluntarily agrees to sell or donate certain rights associated with his or her property – often the right to subdivide or develop – and a private organization or public agency agrees to hold the right to enforce the landowner's promise not to exercise those rights. In essence, the rights are forfeited and no longer exist. This is a legal agreement between the landowner and the city (or private organization) that permanently limits uses of the land in order to conserve a portion of the property for public use or protection. Typically, this approach is used to provide trail corridors where only a small portion of the land is needed or for the strategic protection of natural resources and habitat. The landowner still owns the property, but the use of the land is restricted. Conservation easements may result in an income tax deduction and reduced property taxes and estate taxes. The preservation and protection of habitat or resources lands may best be coordinated

with the local land trust or conservancy, since that organization will likely have staff resources, a systematic planning approach and access to non-governmental funds to facilitate aggressive or large scale transactions.

LANDOWNER INCENTIVE MEASURES

Density Bonuses

Density bonuses are a planning tool used to encourage a variety of public land use objectives, usually in urban areas. They offer the incentive of being able to develop at densities beyond current regulations in one area, in return for concessions in another. Density bonuses are applied to a single parcel or development. An example is allowing developers of multi-family units to build at higher densities if they provide a certain number of low-income units or public open space. For density bonuses to work, market forces must support densities at a higher level than current regulations.

Transfer of Development Rights

The transfer of development rights (TDR) is an incentive-based planning tool that allows land owners to trade the right to develop property to its fullest extent in one area for the right to develop beyond existing regulations in another area. Local governments may establish the specific areas in which development may be limited or restricted and the areas in which development beyond regulation may be allowed. Usually, but not always, the “sending” and “receiving” property are under common ownership. Some programs allow for different ownership, which, in effect, establishes a market for development rights to be bought and sold.

IRC 1031 Exchange

If the landowner owns business or investment property, an IRC Section 1031 Exchange can facilitate the exchange of like-kind property solely for business or investment purposes. No capital gain or loss is recognized under Internal Revenue Code Section 1031 (see www.irc.gov for more details).

OTHER LAND PROTECTION OPTIONS

Land Trusts & Conservancies

Land trusts are private non-profit organizations that acquire and protect special open spaces and are traditionally not associated with any government agency. The Greenbelt Land Trust is the local land trust serving the Woodburn area. Other national organizations with local representation include the Nature Conservancy, Trust for Public Land and the Wetlands Conservancy.



270 Montgomery Street
Woodburn, OR 97071
woodburn-or.gov

February 12, 2024

TO: Honorable Mayor and City Council through City Administrator

FROM: Curtis Stultz Public Works Director
McKenzie Granum, City Attorney's Office

SUBJECT: **Ordinance regulating the detection and elimination of illicit discharges in the City's storm water system**

RECOMMENDATION:

Adopt a new ordinance regulating the detection and elimination of illicit discharge in the City's storm water system, providing for enforcement, and repealing in-part Ordinance 2556.

BACKGROUND:

Oregon Department of Environmental Quality (DEQ) adopted regulations in 2008 requiring all Designated Management Agencies (DMA), including Woodburn and other communities of our size now being referred to as DMAs, to develop Water Quality Management Plans addressing water quality issues related to the Total Maximum Daily Load Implementation Plan (TMDL) for the Molalla-Pudding River Sub-basin.

Woodburn's water quality management plan (WQMP) has minimum requirements for addressing specific pollutants and steps the city must take to show compliance over time to eliminate non-storm water pollutants from being discharged into our system. Each year benchmarks are required to be met in the WQMP and every three years a report is sent to DEQ for review to ensure compliance.

The most recent reporting and benchmark deadline in the WQMP requires the city to develop, implement, and enforce a program to detect and eliminate illicit discharges [as defined in 40 CFR,122.26(b)(2)] into the DMA's system, including hazardous pollutants, pathogens, pesticides, etc. This regulatory step requires that, to the extent allowable under State or Local law, we prohibit, through ordinance or other regulatory mechanism, non-storm water discharges into the City's storm sewer system and implement appropriate enforcement procedures.

Agenda Item Review: City Administrator ___x___ City Attorney ___x___ Finance ___x___

Under the proposed ordinance, enforcement remedies could include mandatory monitoring, reporting, and elimination of illicit connections or discharges, as well as monetary fines and abatement relief.

DISCUSSION:

This ordinance will enable the city to better regulate and eliminate illicit discharges into the city's stormwater system moving forward and achieve compliance with DEQ regarding the WQMP.

Previously, language in City Ordinance 2556 also addressed certain stormwater regulation issues, so as part of adoption of this new ordinance, it is proposed that the City remove references to stormwater systems in Ordinance 2556. This modification will prevent confusion between the ordinances moving forward. Ordinance 2556 will only regulate discharges into the sanitary sewage system and the new ordinance will regulate discharges into the storm sewer/drainage system.

FINANCIAL IMPACT:

There are no specific costs associated with the adoption of this ordinance.

COUNCIL BILL NO. 3240

ORDINANCE NO. 2620

AN ORDINANCE REGULATING THE DETECTION AND ELIMINATION OF ILLICIT DISCHARGE IN THE CITY'S STORM WATER SYSTEM; PROVIDING FOR ENFORCEMENT; REPEALING IN-PART ORDINANCE NO. 2556; AND DECLARING AN EMERGENCY

WHEREAS, the Willamette River and numerous tributaries, such as the Molalla-Pudding River Sub-basin do not currently meet several water quality standards including bacteria, mercury and temperature established by the Federal Clean Water Act; and

WHEREAS, when water quality standards are not met, a Total Maximum Daily Load Implementation Plan ("TMDL IP") is required to be established; and

WHEREAS, the Oregon State Department of Environmental Quality ("DEQ") has adopted a Water Quality Management Plan for the Willamette River Basin and the Molalla-Pudding River Sub-basin (the "Plans"), which are meant to provide the framework for management practices to attain and maintain water quality standards within the Willamette Basin; and

WHEREAS, pursuant to DEQ's Plans, the City is assigned as a Designated Management Agency, and must therefore establish its own TMDL IP that provides the framework for management practices to both attain and maintain water quality standards; and

WHEREAS, the City has already adopted certain standards and regulations governing the discharge of wastes to the sanitary and storm sewer systems of the City, and limited such discharges only to those of acceptable types, characteristics, or concentrations, and established a system of waste discharge permits (Woodburn Ordinance 2556); and

WHEREAS, as part of the implementation of the City's TMDL IP and the City's forthcoming updates to its Storm Drainage Master Plan, the City has been advised by DEQ that it must also update its regulatory standards for illicit discharges, and the detection and elimination of such discharges into the City's storm water system; **NOW THEREFORE**,

THE CITY ORDAINS AS FOLLOWS:

Section 1. Purpose and Intent. The purpose and intent of this Ordinance is to provide for the health, safety, and general welfare of the citizens of

Woodburn through the regulation of non-storm water discharges to the City's storm drainage system to the maximum extent practicable as required by federal and state law. The objectives of this Ordinance are to (i) regulate the contribution of pollutants to the municipal storm water system; (ii) prohibit illicit connections and discharges to the municipal storm water system; and (iii) establish the legal authority to carry out inspections, surveillance, and monitoring procedures necessary to ensure compliance with this ordinance.

Section 2. Definitions. For purposes of this ordinance, the following mean:

(A) "Bank" means that portion of a waterway that is exposed from the ordinary high water line (OHWL) and extends to upland.

(B) "BMP" means best management practices.

(C) "City" means the City of Woodburn, a municipal corporation of the State of Oregon, acting through its City Council or any board, committee, body, official, or person to whom the Council shall have lawfully delegated the power to act for or on behalf of the City of the Woodburn.

(D) "Clean Water Act" means the Federal Water Pollution Control Act (33 U.S.C. 1251 et seq.), and any subsequent amendments thereto.

(E) "Construction activity" means activities subject to NPDES construction permits. Such activities include but are not limited to clearing and grubbing, grading, excavating, and demolition.

(F) "DEQ" means the Oregon Department of Environmental Quality or where appropriate, the term may also be used as a designation for the director of the department or other duly authorized official of the department.

(G) "Illicit Discharge" means any direct or indirect non-storm water discharge to the storm drain system, except as exempted in Section 7 of this Ordinance.

(H) "Illegal Connections" means either of the following: (1) any drain or conveyance, whether on the surface or subsurface, which allows an illicit discharge to enter the storm drain system including but not limited to any conveyances which allow any non-storm water discharge including sewage, process wastewater, and wash water to enter the storm drain system and any connections to the storm drain system from indoor drains and sinks, regardless of whether said drain or connection had been previously allowed, permitted, or

approved by a government agency; or (2) any drain or conveyance connected from a commercial or industrial land use to the storm drain system which has not been documented in plans, maps, or equivalent records and approved by the city.

(I) "National Pollutant Discharge Elimination System (NPDES) Storm Water Discharge Permit" means general, group, and individual storm water discharge permits which regulate facilities defined in federal NPDES regulations and regulated through the Oregon Department of Environmental Quality.

(J) "Non-storm water discharge" means any discharge to the storm drain system that is not composed entirely of storm water.

(K) "Ordinary high water line" (OHWL) means the line on the bank or shore to which the high water ordinarily rises annually in season. The OHWL excludes exceptionally high water levels caused by large flood events (e.g., one-hundred-year events).

(L) "Person" means any individual, association, organization, partnership, firm, corporation or other entity recognized by law and acting as either the owner or as the owner's agent.

(M) "Person Responsible" or "Responsible Person" means any person in actual or constructive possession of a property, including, but not limited to, an owner, lessee, tenant or occupant of property under the person's dominion, ownership or control, or the person in charge or persons directly or indirectly responsible for an act.

(N) "Pollutant" means anything which causes or contributes to pollution. Pollutants may include, but are not limited to: paints, varnishes, and solvents; oil and other automotive fluids; nonhazardous liquid and solid wastes and yard wastes; refuse, rubbish, garbage, litter, or other discarded or abandoned objects, articles, and accumulations, so that same may cause or contribute to pollution; floatables; pesticides, herbicides, and fertilizers; hazardous substances and wastes; sewage, fecal coliform and pathogens; dissolved and particulate metals; animal wastes; wastes and residues that result from constructing a building or structure (including but not limited to sediments, slurries, and concrete rinsates); and noxious or offensive matter of any kind.

(O) "Premises" means any building, lot, parcel of land, or portion of land whether improved or unimproved including adjacent sidewalks and parking strips.

(P) "Public Works Director" means the Public Works Director of the City of Woodburn, Oregon, or their duly authorized agent or designee.

(Q) "Storm Drain(age) System" means publicly-owned facilities under the jurisdiction of the City by which storm water is collected and/or conveyed, including but not limited to any roads with drainage systems, municipal streets, gutters, curbs, inlets, piped storm drains, pumping facilities, retention and detention basins, natural and human-made or altered drainage channels, reservoirs, and other drainage structures.

(R) "Storm Water" means any surface flow, runoff, and drainage consisting entirely of water from any form of natural precipitation, and resulting from such precipitation.

(S) "Waters of the State" means lakes, bays, ponds, impounding reservoirs, springs, wells, rivers, streams, creeks, estuaries, marshes, inlets, canals, the Pacific Ocean within the territorial limits of the State of Oregon, and all other bodies of surface or underground waters, natural or artificial, inland or coastal, fresh or salt, public or private (except those private waters that do not combine or effect a junction with natural surface or underground waters) that are located wholly or partially within or bordering the state or within its jurisdiction.

(T) "Waterway" means a body of water (whether natural or man-made) that periodically or continuously contains Waters of the State and has a definite bed and banks that serve to confine the water.

Section 3. Applicability. This Ordinance shall apply to all water entering the storm drain system generated on any developed and undeveloped lands unless explicitly exempted by the City.

Section 4. Responsibility for Administration. The City's Public Works Director, or their designee, shall administer, implement, and enforce the provisions of this Ordinance.

Section 5. Regulatory Consistency. This Ordinance shall be construed to ensure consistency with the requirements of the Clean Water Act, Oregon Revised Statutes, Oregon Administrative Rules, DEQ, and any applicable implementing regulations.

Section 6. Ultimate Responsibility of Discharger. The standards set forth herein and promulgated pursuant to this Ordinance are minimum standards; therefore this Ordinance does not intend nor imply that compliance by any

person will ensure that there will be no contamination, pollution, nor unauthorized discharge of pollutants.

Section 7. Prohibition of Illegal Discharges. No person shall discharge or cause to be discharged into the municipal storm drain system or watercourses any materials, including but not limited to pollutants or waters containing any pollutants that cause or contribute to a violation of applicable water quality standards, other than storm water.

The commencement, conduct or continuance of any illegal discharge to the storm drain system is prohibited except as described as follows:

(A) The following discharges are exempt from discharge prohibitions established by this ordinance: water line flushing or other potable water sources, landscape irrigation or lawn watering, diverted stream flows, rising ground water, ground water infiltration to storm drains, uncontaminated pumped ground water, foundation or footing drains (not including active groundwater dewatering systems), crawl space pumps, air conditioning condensation, springs, non-commercial washing of vehicles, natural riparian habitat or wet-land flows, swimming pools (if de-chlorinated - typically less than one PPM chlorine), firefighting activities, and any other water source not containing Pollutants.

(B) Discharges specified in writing by the City as being necessary to protect public health and safety.

(C) Dye testing is an allowable discharge, but requires a verbal notification to the City prior to the time of the test.

(D) The prohibition shall not apply to any non-storm water discharge permitted under an NPDES permit, waiver, or waste discharge order issued to the discharger and administered under the authority of the Federal Environmental Protection Agency, provided that the discharger is in full compliance with all requirements of the permit, waiver, or order and other applicable laws and regulations, and provided that written approval has been granted for any discharge to the storm drain system.

Section 8. Prohibition of Illicit Connections. The construction, use, maintenance or continued existence of illicit connections to the storm drain system is prohibited. This prohibition expressly includes, without limitation, illicit connections made in the past, regardless of whether the connection was permissible under law or practices applicable or prevailing at the time of connection.

Section 9. Waste Disposal Prohibitions. No person shall throw, deposit, leave, maintain, keep, or permit to be thrown, deposited, left, or maintained, in or upon any public or private property, driveway, parking area, street, alley, sidewalk, component of the storm drain system, or Waters of the State, any refuse, rubbish, garbage, litter, or other discarded or abandoned objects, articles, and accumulations, so that the same may cause or contribute to pollution. Wastes deposited in proper waste receptacles for the purposes of collection are exempted from this prohibition

Section 10. Industrial or Construction Activity Discharges. Any person subject to an industrial or construction activity NPDES storm water discharge permit shall comply with all provisions of such permit. Proof of compliance with said permit may be required in a form acceptable to the City prior to the allowing of discharges into the municipal storm drain system.

Section 11. Waterway Protection. Every person owning property through which a waterway passes shall keep and maintain that part of the waterway within the property free of trash, debris, and contamination that would pollute the water flowing through the waterway.

Section 12. Monitoring of Discharges & Inspections.

(A) The Public Works Director shall have the right to set up, or require a discharger to install, on any facility such devices as are necessary in the opinion of the City to conduct monitoring and/or sampling of the facility's storm water discharge. The facility's sampling and monitoring equipment shall be maintained at all times in a safe and proper operating condition by the discharger at its own expense. All devices used to measure storm water flow and quality shall be calibrated to ensure their accuracy.

(B) The Public Works Director shall be permitted to enter and inspect facilities subject to regulation under this ordinance as often as may be necessary to determine compliance with this Ordinance. If a discharger has security measures in place which require proper identification and clearance before entry into its premises, the discharger shall make the necessary arrangements to allow access to representatives of the City. Facility operators shall allow the Public Works Director ready access to all parts of the premises for the purposes of inspection, sampling, examination and copying of records that must be kept under the conditions of any NPDES permit to discharge storm water, and the performance of any additional duties as defined by state and federal law.

(C) If the City has been refused access to any part of the premises from which storm water is discharged, and it is able to demonstrate probable cause to believe that there may be a violation of this Ordinance, or that there is a need to inspect and/or sample as part of a routine inspection and sampling program designed to verify compliance with this Ordinance or any order issued hereunder, or to protect the overall public health, safety, and welfare of the community, then the City may seek issuance of an administrative search warrant from any court of competent jurisdiction.

Section 13. Notification of Illicit Discharge & Spills. Notwithstanding other requirements of law, as soon as any person responsible for a facility or operation, or responsible for emergency response for a facility or operation has information of any known or suspected release of materials which are resulting or may result in illegal discharges or pollutants discharging into storm water, the storm drain system, or Water of the State, said person shall take all necessary steps to ensure the discovery, containment, and cleanup of such release.

In the event of such a release of hazardous materials said person shall immediately notify emergency response agencies of the occurrence via emergency dispatch services. In the event of a release of non-hazardous materials, said person shall notify the Public Works Department of the City in person or by phone or facsimile no later than the next business day. Notifications in person or by phone shall be confirmed by written notice addressed and mailed to the City within three business days of the phone notice. If the discharge of prohibited materials emanates from a commercial or industrial establishment, the owner or operator of such establishment shall also retain an on-site written record of the discharge and the actions taken to prevent its recurrence. Such records shall be retained for at least three years.

Section 14. Administrative Enforcement Remedies. Whenever the City finds that a person has violated a prohibition or failed to meet a requirement of this Ordinance, the City may initiate enforcement action against said person.

If the City believes a violation has occurred or is occurring, the Public Works Director shall make reasonable effort to notify the responsible person and may order compliance by written notice of violation to the responsible person. The "Notice of Violation" shall be delivered to the responsible person's premises or be sent by certified mail to the address of the responsible person. Such notice may require without limitation:

- (A) The performance of monitoring, analyses, and reporting;
- (B) The elimination of illicit connections or discharges;

(C) That violating discharges, practices, or operations shall cease and desist;

(D) The abatement or remediation of storm water pollution or contamination hazards and the restoration of any affected property;

(E) Payment of any fine to cover administrative and remediation costs; and

(F) The implementation of source control or treatment BMPs.

If a written notice requires submittal of a response, the response shall include an explanation of the cause of the violation, a plan for satisfactory correction and prevention of future such violation, and specific corrective or preventive actions. Submission of this plan in no way relieves the responsible person of liability for any violation occurring before or after receipt of the notice of violation.

If abatement of a violation and/or restoration of affected property is required, the notice of violation shall set forth a deadline within which such remediation or restoration must be completed.

Section 15. Abatement. If the Public Works Director determines that a violation of this Ordinance is a threat to public health, safety, and welfare, and requires abatement or remediation pursuant to Section 14(D), it shall be declared and deemed a nuisance and subject to the abatement and lien procedure contained in the City of Woodburn Nuisance Ordinance (Ordinance No. 2338).

Section 16. Civil Fines. In addition to, and not in lieu of any other enforcement mechanisms, a violation of any provision of this Ordinance or a Notice of Violation issued hereunder, will be subject to a civil penalty of not less than one hundred twenty-five dollars (\$125), nor more than twenty-five hundred dollars (\$2,500) for each offense, which shall be processed in accordance with the procedures contained in the Woodburn Civil Infraction Ordinance (Ord. No. 1998). A violation will be deemed to exist separately for every section violated and be assessed each and every day during which a violation exists.

Nothing in this Ordinance will be construed as limiting any judicial or other remedies the City may have at law or in equity, for enforcement of this Ordinance, including those Civil Infractions that may be imposed under Ordinance 1998.

Section 17. Judicial Relief. Whenever a person has violated, threatens to violate, or continues to violate the provisions of this Ordinance or a Notice of Violation issued hereunder, the City may petition the courts for the issuance of a temporary or permanent injunction, as may be appropriate, which restrains or compels the specific performance of said person. Such other action as may be appropriate for legal and/or equitable relief may also be sought by the City.

Section 18. Severability. The sections and subsections of this Ordinance are severable. The invalidity of any section or subsection shall not affect the validity of the remaining sections and subsections.

Section 19. Repeal References to "Storm Sewer" under Ordinance No. 2556. The purpose of Woodburn Ordinance 2556 is to regulate the discharge of wastes into the City's Sanitary Sewer System, however, it also includes certain references to and regulations for the City's "Storm Sewer System." Since the purpose of this Ordinance is to better regulate discharges into the City's storm drainage system, the following references and sections of Ordinance 2556 are hereby repealed:

- (A) **ORDINANCE TITLE.** Reference to "Storm Sewer"; and
- (B) **Section 1.1.** References to "storm water collection."

After this Ordinance is adopted, the City Recorded shall correct Ordinance No. 2556 to incorporate all revisions, amendments, and additions contained herein.

Section 20. Emergency Clause. This Ordinance being necessary for the immediate preservation of the public peace, health and safety, and so the City may meet a State regulatory timeline for implementation, an emergency is declared to exist and this ordinance shall take effect immediately upon passage and approval by the Mayor.

Approved as to form: _____
City Attorney Date

Approved: _____
Frank Lonergan, Mayor

Passed by the Council _____
Submitted to the Mayor _____

Approved by the Mayor

Filed in the Office of the Recorder

ATTEST:

Heather Pierson, City Recorder
City of Woodburn, Oregon

February 12, 2024

TO: Honorable Mayor and Council through City Administrator

FROM: Anthony Turley, Finance Director

SUBJECT: **FY 2023-2024 Supplemental Budget Request for the Transfer of Part-Time Management Analyst Position from the Transit Fund to the General Fund's Finance Department**

RECOMMENDATION:

Adopt the Resolution authorizing the transfer of a part-time (.40) FTE Management Analyst from the Transit Fund to the Finance Department in the General Fund and consolidate with an unutilized half (.50) FTE within the Finance Department, creating a new full time (1.0) FTE Management Analyst position within the Finance Department for the remainder of the 2023 -2024 fiscal year.

BACKGROUND:

ORS 294.388(5) provides that, as part of the budgeting process, public entities must provide the number of full-time equivalent (FTE) positions for each organizational unit of the budget. ORS 294.463 provides that transfers of appropriations may be made from one fund to another fund when authorized by Resolution of the City Council.

The Transit Fund is primarily funded with State and Federal formula and grant funds. The Transit Fund added a new part-time Management Analyst position in FY 2023-2024 for integrated financial management of these funds.

DISCUSSION:

Providing budgetary and financial management support to the departments of the City is a critical function of the Finance Department. As City services have grown and the desire to seek additional grant funding opportunities heightens, the workload of the one Analyst in the Finance department has become untenable. By moving the part-time Analyst position from Transit to Finance and combining it with Finance's underfilled part-time position to create a full-time Analyst position, existing financial management can be streamlined, and additional support can be provided to departments, particularly in grant management and budget processes.

FINANCIAL IMPACT:

With savings in the Finance Department's personnel budget, there will be no financial impact in FY 2023-2024. This position will be included in the Finance Department's FY 2024-2025 budget.

COUNCIL BILL NO. 3241

RESOLUTION NO. 2228

A RESOLUTION AUTHORIZING THE TRANSFER OF ONE HALF (.40) FTE FROM THE TRANSIT FUND TO THE GENERAL FUND FOR THE FISCAL YEAR 2023-2024

WHEREAS, on June 12, 2023, the Woodburn City Council approved a Resolution adopting a budget for the fiscal year 2023-2024, wherein funds and FTE were appropriated; and

WHEREAS, ORS 294.388(5) provides that, as part of the budgeting process, public entities must provide the number of full-time equivalent (FTE) positions for each organizational unit of the budget; and

WHEREAS, as part of the City's FY 2023-2024 budget, the City approved 11.2 FTE positions for the City's Finance Department and 14.4 FTE positions for the City's Transit Department; and

WHEREAS, the Finance Department has, year-to-date, underfilled a full time, (1.0) FTE Cashier position with a half time (.50) FTE Cashier position and the Transit Department currently houses a half time (.40) FTE Management Analyst position; and

WHEREAS, ORS 294.463 provides that transfers of appropriations may be made from one fund to another fund when authorized by Resolution of the City Council; and

WHEREAS, the City's Finance Director is requesting to transfer the half time (.40) FTE Management Analyst from the City's Transit Department to the City's Finance Department for the remainder of the FY 2023-2024 budget year; and

WHEREAS, the City's Finance Director desires to consolidate the transferred half time (.40) FTE Management Analyst position from the Transit Department with the existing underfilled half (.50) FTE within the Finance Department to create a new full time (1.0) FTE Management Analyst position housed within the Finance Department; and

WHEREAS, the changes contemplated in this Resolution are necessary to streamline Management Analyst support for all City departments in light of

increased grant activity, increased reporting and budgeting requirements associated with this, and Finance's support of these activities; and

WHEREAS, no financial transfers are being proposed or requested as part of the FTE consolidation and there is no net fiscal impact to either the Transit Fund or the General Fund; and

WHEREAS, the transfer of FTE contemplated by this Resolution will not extend beyond the end of the current fiscal year and the additional FTE position will subsequently be proposed in the FY 2024-2025 budget; **NOW, THEREFORE,**

THE CITY OF WOODBURN RESOLVES AS FOLLOWS:

Section 1. The City hereby approves the transfer of a half time (.40) FTE Management Analyst from the Transit Fund to the Finance Department in the General Fund to be consolidated with an existing underfilled half (.50) FTE within the Finance Department to create a new full time (1.0) FTE Management Analyst position within the Finance Department for the remainder of the 2023 -2024 fiscal year.

Approved as to form: _____
City Attorney Date

Approved: _____
Frank Lonergan, Mayor

Passed by the Council _____
Submitted to the Mayor _____
Approved by the Mayor _____
Filed in the Office of the Recorder _____

ATTEST: _____
Heather Pierson, City Recorder
City of Woodburn, Oregon

February 12, 2024

To: Honorable Mayor and City Council through City Administrator

From: Chris Kerr, Community Development Director *CK*

Subject: **Council Briefing of Planning Commission approval of a Design Review, Street Adjustment, and Variance application package for the Grating Pacific Building C project at 2775 N. Front Street (DR 23-08, SA 23-05, & VAR 23-06)**

RECOMMENDATION:

Staff recommends no action and briefs the Council on this item pursuant to Woodburn Development Ordinance (WDO) Section [4.02.02](#). The Council may call up this item for review if desired and, by majority vote, initiate a review of this decision.

PROPOSED DEVELOPMENT:

The subject property is 2775 N. Front Street, a 6.22-acre property in the Light Industrial (IL) zoning district. It is already developed with two industrial buildings that are occupied by Grating Pacific, a company that specializes in manufacturing industrial flooring and specialty metal products.

The proposal was a Design Review application to construct a 22,600 square foot warehouse building in the front of the property near N. Front Street. A Street Adjustment application was included to request a modified cross-section for N. Front Street. A Variance application was also included, with requests to not meet standards related to street improvements, street lighting, pedestrian access, landscaping, overhead power lines, and exterior lighting.

PUBLIC HEARING SUMMARY:

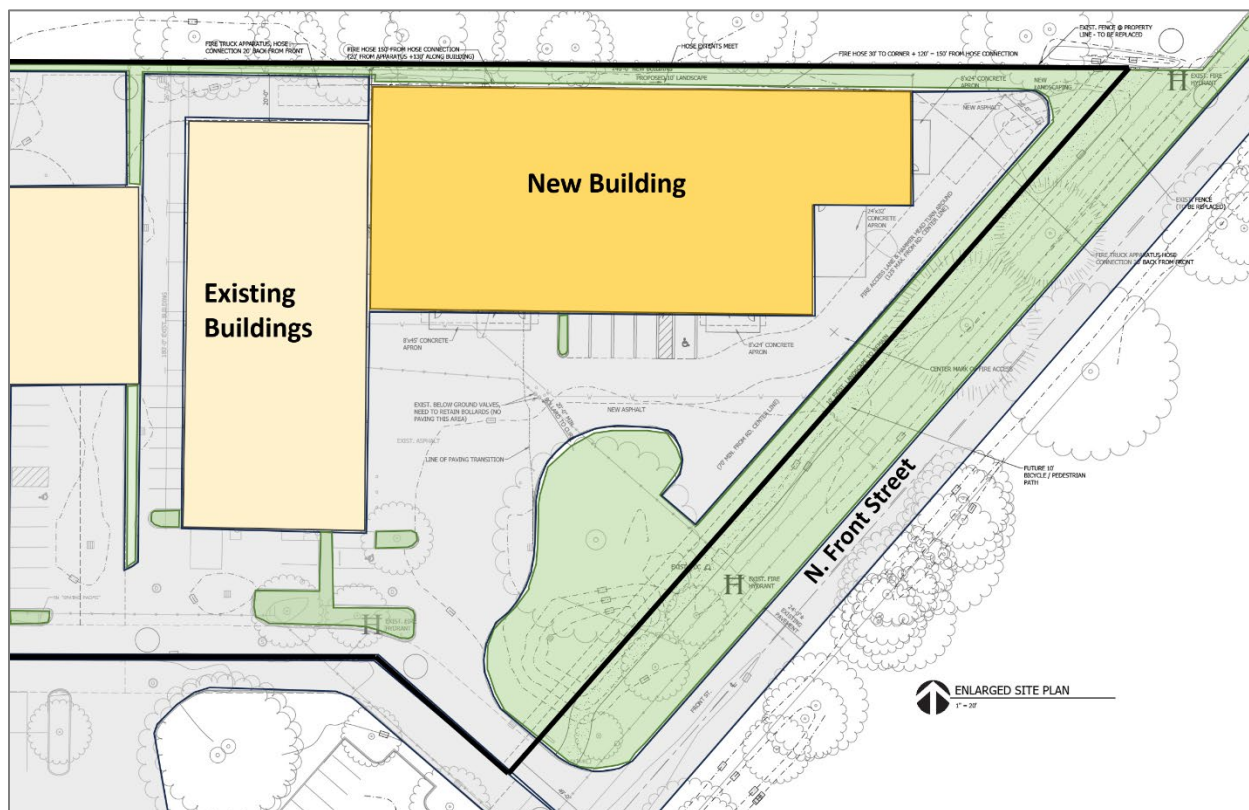
On January 11, 2024, the Planning Commission held a public hearing for this Type III application package. Written testimony was received by the applicant's

Agenda Item Review: City Administrator ___x___ City Attorney ___x___

civil engineering consultant (William Pease, MSC Engineers, 3470 Pipebend Place NE, Suite 120, Salem, OR 97301). Mr. Pease shared concerns about exterior lighting requirements and the timing of required improvements for N. Front Street. No testimony was received in opposition. After hearing all testimony, the Chair closed the record and, because of the lateness of the hour, the Commission voted to continue the item to the next meeting.

On January 25, 2024, the Planning Commission considered a staff memo that responded to the concerns brought up by Mr. Pease and the applicant, deliberated, and ultimately voted unanimously to approve the application package with the conditions recommended by staff in the staff report, except with modifications to several conditions outlined within the staff memo. Instead of requiring street improvements as part of this development, the property owner will enter into an improvement agreement with the City. The owner will be responsible for their share of the improvements when a neighboring property redevelops or when the City moves forward with a Capital Improvement Project for this part of N. Front Street.

The applicant's Variance and Street Adjustment requests were all approved.



Site Plan