



Staff Report

To: Planning Commission

Through: Chris Kerr, Community Development Director *C.K.*

From: Dan Handel, AICP, Associate Planner

Meeting Date: June 25, 2020 (Prepared June 18, 2020)

Item: DR 2020-04 "Heritage Addition" at 440 Parr Road

Tax Lot(s): 052W13 00500

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Issue before the Planning Commission

Action on a land use application, Design Review DR 2020-04 for an addition of two classrooms for the Heritage Elementary School annex building.

Executive Summary

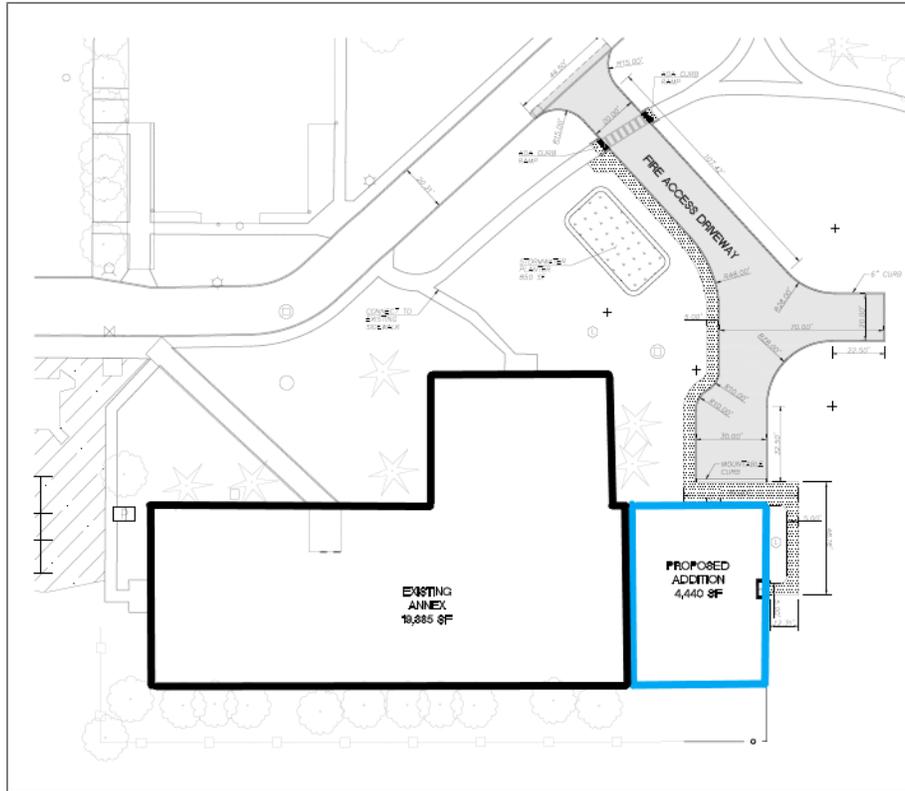
The subject property is located at 440 Parr Road, east of Centennial Park and within the Public/Semi-Public (P/SP) zone. Heritage Elementary School and Valor Middle School occupy the property.

On October 24, 2019, the Planning Commission approved a land use package (CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01) for the subject property. Prior to this approval, Heritage had 40 classrooms spread between the main building, annex building, and six portable modulars with a student capacity of 930. This approval consisted of a four-classroom addition to the annex building to replace the six modular classrooms that were required to be removed (a net loss of two classrooms with no change to student capacity) and upgrades to parking, landscaping, and street frontage.

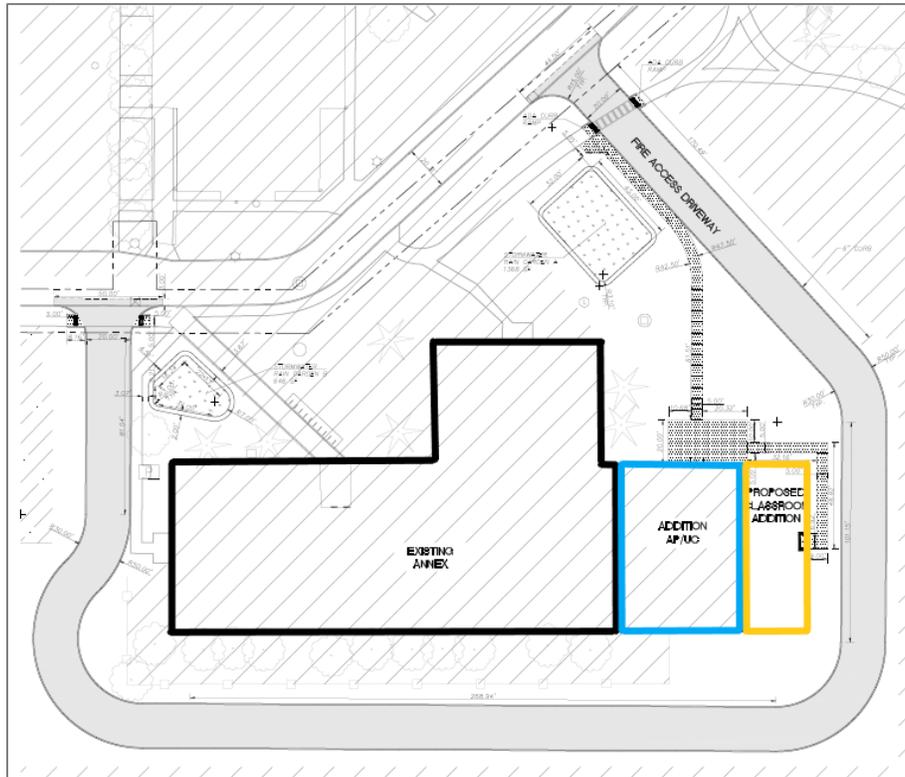
The proposal now before the Planning Commission includes a 2,200 square foot addition to the annex building for two new classrooms and a shared learning space. Student capacity will remain unchanged and the total classroom count will be equal to what existed prior to the 2019 approval. Minor alterations will be made to landscaping, utilities, and fire access to serve the addition; no modifications are proposed to the right-of-way improvements and parking layout previously approved.



Vicinity Map



2019 Approval (black outline is the existing building, the addition outlined in blue was approved in 2019)



2020 Proposal (black outline is the existing building, blue outline was approved in 2019, yellow outline is proposed)

Recommendation

Approval with conditions: Staff recommends that the Planning Commission consider the staff report and its attachments and approve the application with the conditions recommended by staff below. The conditions can also be found towards the end of the Analyses & Findings (Attachment 101).

Recommended Conditions of Approval

General

G1. Approval of DR 2020-04 does not abrogate or supersede any of the conditions of approval in the Final Decision for CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01 dated October 24, 2019.

G2. The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G3-PW. Public Works: Follow the attached "Public Works Conditions June 8, 2020" (Attachment 101A).

Design Review

DR-1. Bike parking: Revise plans to include four new bike parking stalls, in conformance with Condition C1 of the final decision document for CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01.

Actions

The Planning Commission may act on the land use application to:

1. Approve per staff recommendations,
2. Approve with modified conditions, or
3. Deny, based on WDO criteria or other City provisions.

If the Planning Commission were to act upon the recommendation, staff would prepare a final decision for approval with the conditions that staff recommends.

Attachment List

101. Analyses & Findings
- 101A. Public Works Conditions June 8, 2020
102. Site plans excerpted
103. Traffic Assessment Memorandum dated May 26, 2020

Analyses & Findings

This attachment to the staff report analyzes the application materials and finds through statements how the application materials relate to and meet applicable provisions such as criteria, requirements, and standards. They confirm that a given standard is met or if not met, they call attention to it, suggest a remedy, and have a corresponding recommended condition of approval. Symbols aid locating and understanding categories of findings:

<i>Symbol</i>	<i>Category</i>	<i>Indication</i>
✓	Requirement (or guideline) met	No action needed
✗	Requirement (or guideline) not met	Correction needed
⊖	Requirement (or guideline) not applicable	No action needed
▲	<ul style="list-style-type: none"> Requirement (or guideline) met, but might become unmet because of condition applied to meet separate and related requirement that is not met Plan sheets and/or narrative inconsistent Other special circumstance benefitting from attention 	Revision needed for clear and consistent records

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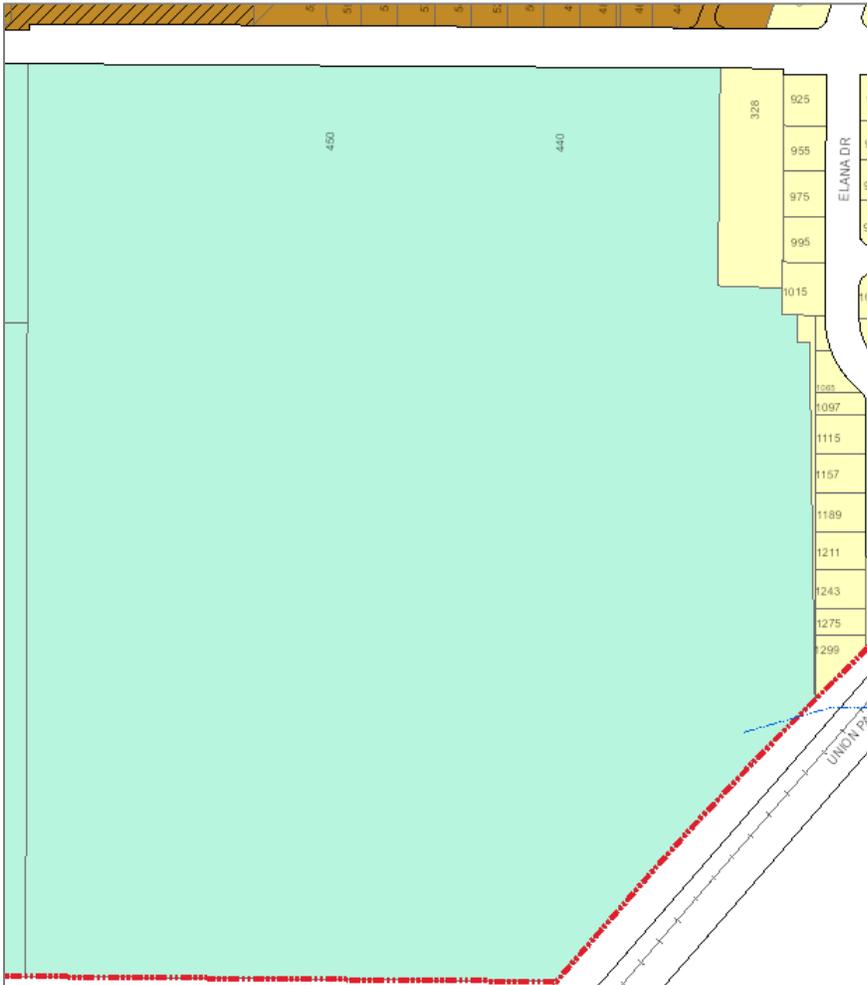
Location

<i>Address</i>	440 Parr Road
<i>Tax Lot(s)</i>	052W13 00500
<i>Nearest intersection</i>	Parr Road and Elana Drive

Land Use & Zoning

<i>Comprehensive Plan Land Use Designation</i>	Public Use
<i>Zoning District</i>	Public/Semi-Public (P/SP)
<i>Overlay District(s)</i>	none
<i>Existing Use(s)</i>	Woodburn School District Heritage Elementary School and Valor Middle School

For context, the subject property and adjacent zoning are illustrated and tabulated below:



Zoning Map Excerpt

<i>Cardinal Direction</i>	<i>Adjacent Zoning</i>
North	Easterly: Medium Density Residential (RM) Westerly: Nodal Medium Density Residential (RMN)
East	Residential Single-Family (RS)
South	none - outside City limits
West	Public/Semi-Public (P/SP)

The subject property is not part of any partition or subdivision plat. The Marion County Assessor describes it as “Acres 48.32” and notes that the main school building was built in 1998. The City adopted its first land division requirements earlier, effective April 16, 1963 as referenced in Woodburn Development Ordinance (WDO) 1.02 “Lot”. Staff surmises that the subject property is a legal lot of record.

Section references on the following pages are to the [Woodburn Development Ordinance \(WDO\)](#).

Statutory Dates

The application was submitted on May 28, 2020 and deemed complete as of June 5, 2020, making the 120-day decision deadline October 2, 2020.

Design Review Provisions

5.03.02 Design Review, Type III

B. Type III Design Review is required for the following:

1. Non-residential structures in residential zones greater than 1,000 square feet in the RS, R1S, RM, and P/SP zones.

The proposal is a 2,200 square feet (sq ft) addition in the P/SP zoning district, making the DR a Type III review.

✓ The requirement is met.

2.04 Industrial and Public Zones

Public/Semi-Public (P/SP) - Site Development Standards Table 2.04D			
Lot Area, Minimum		No minimum	
Lot Width, Minimum		No minimum	
Lot Depth, Minimum		No minimum	
Street Frontage, Minimum		No minimum	
Front Setback and Setback Abutting a Street, Minimum (feet)		20 ¹	
Side or Rear Setback, Minimum (feet)	Abutting P/SP zone or a residential zone or use	20	
	Abutting a commercial or industrial zone	0 or 5 ²	
Setback to a Private Access Easement, Minimum (feet)		5	
Lot Coverage, Maximum		Not specified ³	
Building Height, Maximum (feet)	Primary or accessory structure	Outside Gateway subarea	35
		Gateway subarea	50
	Features not used for habitation		No minimum
<ol style="list-style-type: none"> 1. Measured from the Special Setback (Section 3.03.02), if any. 2. A building may be constructed at the property line, or shall be set back at least five feet. 3. Lot coverage is limited by setbacks, off-street parking, and landscaping requirements. 			

The P/SP zone has no minimum lot size, width, depth, street frontage, or maximum lot coverage.

The front, west side, and rear setbacks are unchanged by the proposed addition, while the east side setback is 176 ft. Because the application materials indicate no private access easement, the 5-foot setback is not applicable. The applicant's narrative indicates the addition will have a roof height of 17 ft.

✓ The provisions are met.

2.05 Overlay Districts

None apply.

2.06 Accessory Structures

None proposed.

2.07 Special Uses

None apply.

3.01 Streets

The proposal does not include any modifications to the right-of-way (ROW) improvements approved via CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01.

The provisions are met.

3.02 Utilities & Easements

The proposal does not include any modifications to the utilities or easements approved via CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01.

The provisions are met.

3.03 Setbacks and Open Space

The proposal complies with setbacks and does not encroach into vision clearance areas.

The provisions are met.

3.04 Vehicular Access

Access Requirements Table 3.04A		
		5 or More Dwelling or Living Units, School, or House of Worship ⁶
Paved Width of Driveway (feet) ^{3,4}	1-way	12 minimum 20 maximum
Curb Flare Radius (feet)		25 minimum
<p>3. Driveways over 40 feet long and serving one dwelling unit may have a paved surface 12 feet wide. 4. Notwithstanding the widths listed in this table, the minimum clearance around a fire hydrant shall be provided (See Figure 3.04D). 6. Maximum of 4 individual lots can be served from single shared driveway (See Figure 3.01D).</p>		

The proposal does not include any modifications to vehicular access approved via CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01, except a revised fire access lane serving the annex building. The applicant's narrative (page 20) states:

"This project is proposing to modify the fire access lane that was approved in 2019. The 2019 approved design features a hammerhead turn-around design that would extend to the eastern edge of the annex building. This project is proposing to modify that design to feature a fire access lane that extends around the full perimeter of the annex building. The perimeter design will be paved with a 20-foot cross section and will be one-directional, in conformance with City standards."

Staff concurs with the applicant; the requirements of Table 3.04A are met for the modified fire access lane.

✓ The provisions are met.

3.04.04 Improvement Standards

The portion of a driveway on private property shall be paved with:

- A. Portland cement concrete to a minimum depth of six inches, or**
- B. Asphalt concrete to a minimum depth of two inches, or**
- C. Brick or pavers with a minimum depth of two and one-fourth inches.**

The applicant's narrative states the modified fire access lane will be paved with asphalt pavement.

✓ The provision is met.

3.04.05 Traffic Impact Analysis

A. A Traffic Impact Analysis (TIA) may be required by the Director prior to the approval of a City access permit when the Director estimates a development proposal may generate either 100 or more additional, peak hour trips, or 1,000 or more additional daily trips, within ten years of a development application.

The applicant's Traffic Assessment Memorandum (Attachment 103) indicated that the proposal would not generate over 100 AM peak hour trips. Student capacity will not change and the total number of classrooms will equal that which existed prior to the 2019 land use approval.

⊖ The provision is not applicable.

3.05 Off-Street Parking and Loading

3.05.02 General Provisions

Excepting the revised fire access lane around the annex building, the proposal does not include any modifications to the parking, loading, and circulation areas approved via CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01.

✓ The provisions are met.

3.05.03 Off-Street Parking

A. Number of Required Off-Street Parking Spaces

1. Off-street vehicle parking spaces shall be provided in amounts not less than those set forth in this Section (Table 3.05A).

2. Off-street vehicle parking spaces shall not exceed two times the amount required in this Section (Table 3.05A).

B. Accessible parking shall be provided in amounts not less than those set forth in Table 3.05B. The number of accessible spaces shall be included as part of total required vehicle parking spaces.

C. A maximum of 20 percent of the required vehicle parking spaces may be satisfied by compact vehicle parking spaces.

D. Off-street vehicle parking spaces and drive aisles shall not be smaller than specified in this Section (Table 3.05C).

E. All uses that are required to provide 10 or more off-street parking spaces and residential structures with four or more dwelling or living units shall provide a bicycle rack within 50 feet of the main building entrance. The number of required rack spaces shall be one space per ten vehicle parking spaces, with a maximum of 20 rack spaces.

Off-Street Parking Ratio Standards Table 3.05A	
Use ¹	Parking Ratio - spaces per activity unit or square feet of gross floor area
COMMERCIAL / PUBLIC	
42. Elementary or middle school	2/ classroom
1. The Director may authorize parking for any use not specifically listed in this table. The applicant shall submit an analysis that identifies the parking needs, and a description of how the proposed use is similar to other uses permitted in the zone. The Director may require additional information, as needed, to document the parking needs of the proposed use.	

Accessible Parking Ratio Standards Table 3.05B			
Total Spaces	Minimum Total Accessible Spaces ¹	Minimum Van Accessible Spaces	Minimum "Wheelchair User Only" Spaces
201 to 300	7		1
1. "Van Accessible Spaces" and "Wheelchair User Only" are included in "Total Accessible Spaces."			

Because the subject property includes both Heritage Elementary School and Valor Middle School, the applicant opted to calculate parking requirements for the whole property. The schools have a combined total of 75 classrooms (including the two proposed with this application), making the minimum parking requirement 150 stalls and maximum 300 stalls.

The approval for CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01 included 203 parking stalls, exceeding the minimum requirement and below the maximum. No changes are proposed to the 2019 approval.

Because the approval for CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01 included a condition requiring two bike parking stalls per classroom (Condition C1), staff adds Conditions of Approval G1 and DR-1 to revise plans to bring this proposal in conformance with that condition.

▲ The provisions are met with *Conditions G1 and DR-1*.

Parking Space and Drive Aisle Dimensions Table 3.05C							
Parking Angle	Type of Space	Stall Width (feet)	Curb Length (feet)	Stripe Length (feet)	Stall to Curb (feet)	Drive Aisle Width (feet)	
						1-way	2-way
A		B	C	D	E	F	G
45°	Standard or Accessible	9.0	12.7	28	19.8	15.0	24.0
	Compact	7.5	10.6	22.5	15.9		
	Car Accessible Aisle	6.0	8.5	25.0	17.7		
	Van Accessible Aisle	8.0	11.3	27.0	19.1		
90°	Standard or Accessible	9.0	9.0	19.0	19.0	24.0	24.0
	Compact	7.5	7.5	15.0	15.0	22.0	
	Car Accessible Aisle	6.0	6.0	19.0	19.0	24.0	
	Van Accessible Aisle	8.0	8.0	19.0	19.0		
<ol style="list-style-type: none"> 1. A parking space may occupy up to two feet of a landscaped area or walkway. At least four feet clear width of a walkway must be maintained. 2. Space width is measured from the midpoint of the double stripe. 3. Curb or wheel stops shall be utilized to prevent vehicles from encroaching on abutting properties or rights-of-way. 4. The access aisle must be located on the passenger side of the parking space, except that two adjacent parking spaces may share a common access aisle. 5. Where the angle of parking stalls differ across a drive aisle, the greater drive aisle width shall be provided. 							

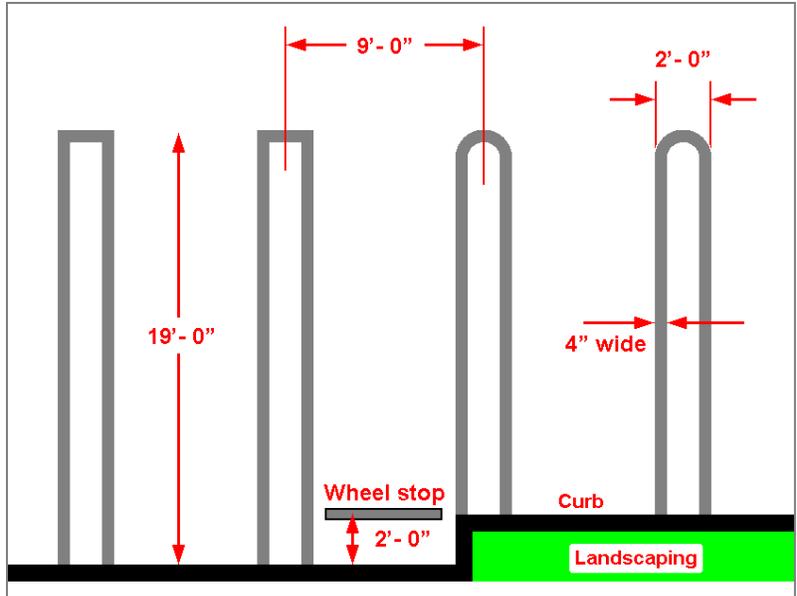


Figure 3.05C - Parking Space Striping

The proposal does not include any modifications to parking layout approved via CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01, which was shown to meet the dimensional requirements of Table 3.05C as well as the double-striping and curbing requirements illustrated in Figure 3.05C.

✓ The provisions are met.

3.05.04 Off-Street Loading

Because the subject property is zoned P/SP, the table is not applicable.

⊖ The provisions are not applicable.

3.06 Landscaping

3.06.02 General Requirements

3.06.03 Landscaping Standards

Planting Requirements Table 3.06A		
Location	Planting Density, Minimum	Area to be Landscaped, Minimum
Setbacks abutting a street	1 PU/15 square feet	Entire setback excluding driveways
Buffer yards	1 PU/20 square feet	Entire yard excluding off-street parking and loading areas abutting a wall

Planting Requirements Table 3.06A		
Location	Planting Density, Minimum	Area to be Landscaped, Minimum
Other yards	1 PU/50 square feet	Entire yard, excluding areas subject to more intensive landscaping requirements and off-street parking and loading areas
Off-street parking and loading areas	<ul style="list-style-type: none"> • 1 small tree per 10 parking spaces; or¹ • 1 medium tree per 15 parking spaces; or¹ • 1 large tree per 25 parking spaces¹ and <ul style="list-style-type: none"> • 1 PU/20 square feet excluding required trees² 	<ul style="list-style-type: none"> • RS, R1S, RSN, RM, RMN, P/SP, CO, CG and MUV zones: 20% of the paved surface area for off-street parking, loading and circulation • DDC, NNC, IP, IL, and SWIR zones: 10% of the paved surface area for off-street parking, loading and circulation • Landscaping shall be within or immediately adjacent to paved areas
Common areas, except those approved as natural common areas in a PUD	3 PU/50 square feet	Entire common area
<ol style="list-style-type: none"> 1. Trees shall be located within off-street parking facilities, in proportion to the distribution of the parking spaces. 2. Required landscaping within a setback abutting a street or an interior lot line that is within 20 feet of parking, loading and circulation facilities may also be counted in calculating landscaping for off-street parking, loading and circulation areas. 		

Plant Unit (PU) Value Table 3.06B		
Material	Plant Unit (PU) Value	Minimum Size
1. Significant tree ¹	15 PU each	24" Diameter
2. Large tree (60-120 feet high at maturity) ¹	10 PU each	10' Height or 2" Caliper
3. Medium tree (40-60 feet high at maturity) ¹	8 PU each	10' Height or 2" Caliper
4. Small tree (18-40 feet high at maturity) ¹	4 PU each	10' Height or 2" Caliper
5. Large shrub (at maturity over 4' wide x 4' high) ¹	2 PU each	3 gallon or balled
6. Small to medium shrub (at maturity maximum 4' wide x 4' high) ¹	1 PU each	1 gallon

Plant Unit (PU) Value Table 3.06B		
Material	Plant Unit (PU) Value	Minimum Size
7. Lawn or other living ground cover ¹	1 PU / 50 square feet	
8. Berm ²	1 PU / 20 lineal feet	Minimum 2 feet high
9. Ornamental fence ²	1 PU / 20 lineal feet	2½ - 4 feet high
10. Boulder ²	1 PU each	Minimum 2 feet high
11. Sundial, obelisk, gnomon, or gazing ball ²	2 PU each	Minimum 3 feet high
12. Fountain ²	3 PU each	Minimum 3 feet high
13. Bench or chair ²	0.5 PU / lineal foot	
14. Raised planting bed constructed of brick, stone or similar material except CMU ²	0.5 PU / lineal foot of greatest dimension	Minimum 1 foot high, minimum 1 foot wide in least interior dimension
15. Water feature incorporating stormwater detention ²	2 per 50 square feet	None
<p>1. Existing vegetation that is retained has the same plant unit value as planted vegetation.</p> <p>2. No more than twenty percent (20%) of the required plant units may be satisfied by items in lines 8 through 15.</p>		

The narrative and landscape plans illustrate and note that the general provisions are met, including irrigation, curbing, and appropriateness of plant materials.

The proposal does not include any modifications to the street trees approved via CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01. The proposal modifies the landscaping area around the annex building, which is an "Other yard" per Table 3.06A, from a minimum of 193 PUs (required landscaping per the CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01 approval) to a new minimum of 145 PUs due to the additional building area reducing the landscape area. The landscape plans note and illustrate the proposal exceeding the minimum with 148 PUs proposed.

✓ The requirements are met.

3.06.05 Screening

⊖ The proposal does not require any screening.

3.07 Architectural Design

3.07.06 Standards for Non-Residential Structures in Residential, Commercial and Public/Semi-Public Zones

B. Architectural Design Guidelines

1. Mass and Bulk Articulation Guidelines

a. Building facades visible from streets and public parking areas should be articulated, in order to avoid the appearance of box-like structures with unbroken wall surfaces.

b. The appearance of exterior walls should be enhanced by incorporating three-dimensional design features, including the following:

- (1) Public doorways or passage ways through the building**
- (2) Wall offsets or projections**
- (3) Variation in building materials or textures**
- (4) Arcades, awnings, canopies or porches**

2. Materials and Texture Guidelines

a. Building exteriors should exhibit finishes and textures that reduce the visual monotony of bulky structures and large structural spaces. Building exteriors should enhance visual interest of wall surfaces and harmonize with the structural design.

b. The appearance of exterior surfaces should be enhanced by incorporating the following:

- (1) At least 30% of the wall surface abutting a street should be glass.**
- (2) All walls visible from a street or public parking area should be surfaced with wood, brick, stone, designer block, or stucco, or with siding that has the appearance of wood lap siding.**
- (3) The use of plain concrete, plain concrete block, corrugated metal, plywood, T-111 and sheet composite siding as exterior finish materials for walls visible from a street or parking area should be avoided.**
- (4) The color of at least 90 percent of the wall, roof and awning surface visible from a street or public parking area should be an “earth tone” color containing 10 parts, or more of brown or a “tinted” color, containing 10 parts or more white.**
- (5) Fluorescent, “day-glo,” or any similar bright color shall not be used on the building exterior.**

3. Multi-Planed Roof Guidelines

a. The roof line at the top of a structure should establish a distinctive top to the building.

b. The roof line should not be flat or hold the same roof line over extended distances. Rather, the roof line should incorporate variations, such as:

- (1) Offsets or jogs in the plane of the roof;**
- (2) Changes in the height of the exterior wall for flat roof buildings, including parapet walls with variations in elevation or cornices**

4. Roof-Mounted Equipment Guidelines

All roof-mounted equipment, except solar collectors, should be screened from view by:

- a. Locating roof-mounted equipment below the highest vertical element of the building, or**
- b. Screening roof-mounted equipment using materials of the same character as the structure’s basic materials**

5. Weather Protection Guidelines

All building faces abutting a street or a public parking area should provide weather protection for pedestrians. Features to provide this protection should include:

a. A continuous walkway at least eight feet wide along the face of the building utilizing a roof overhang, arcade, awnings or canopies

b. Awnings and canopies that incorporate the following design features:

- (1) Angled or curved surfaces facing a street or parking area**
- (2) A covering of fabric, or matte finish vinyl**

(3) A constant color and pattern scheme for all buildings within the same development

(4) No internal back lighting

6. Solar Access Protection

Obstruction of existing solar collectors on abutting properties by site development should be minimized.

C. Building Location Guidelines

1. Within the prescribed setbacks, building location and orientation should compliment abutting uses and development patterns.

2. The maximum yard abutting a street should be 150 feet.

The elevations show largely what the provisions describe and are consistent with the design approved via CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01.

✓ The requirements are met.

3.08 Partitions and Subdivisions

⊖ The proposal does not include a partition or subdivision.

3.09 Planned Unit Developments

⊖ The proposal does not include a planned unit development.

3.10 Signs

⊖ The proposal does not include any signage.

Recommended Conditions of Approval

General

G1. Approval of DR 2020-04 does not abrogate or supersede any of the conditions of approval in the Final Decision for CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01 dated October 24, 2019.

G2. The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G3-PW. Public Works: Follow the attached "Public Works Conditions June 8, 2020" (Attachment 101A).

Design Review

DR-1. Bike parking: Revise plans to include four new bike parking stalls, in conformance with Condition C1 of the final decision document for CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01.

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Records: Staff recommends that the applicant retain a copy of the subject approval.
2. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
3. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
4. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
5. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
6. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.
7. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.
8. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.

9. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a “Hot Tap” method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
10. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
11. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
12. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.

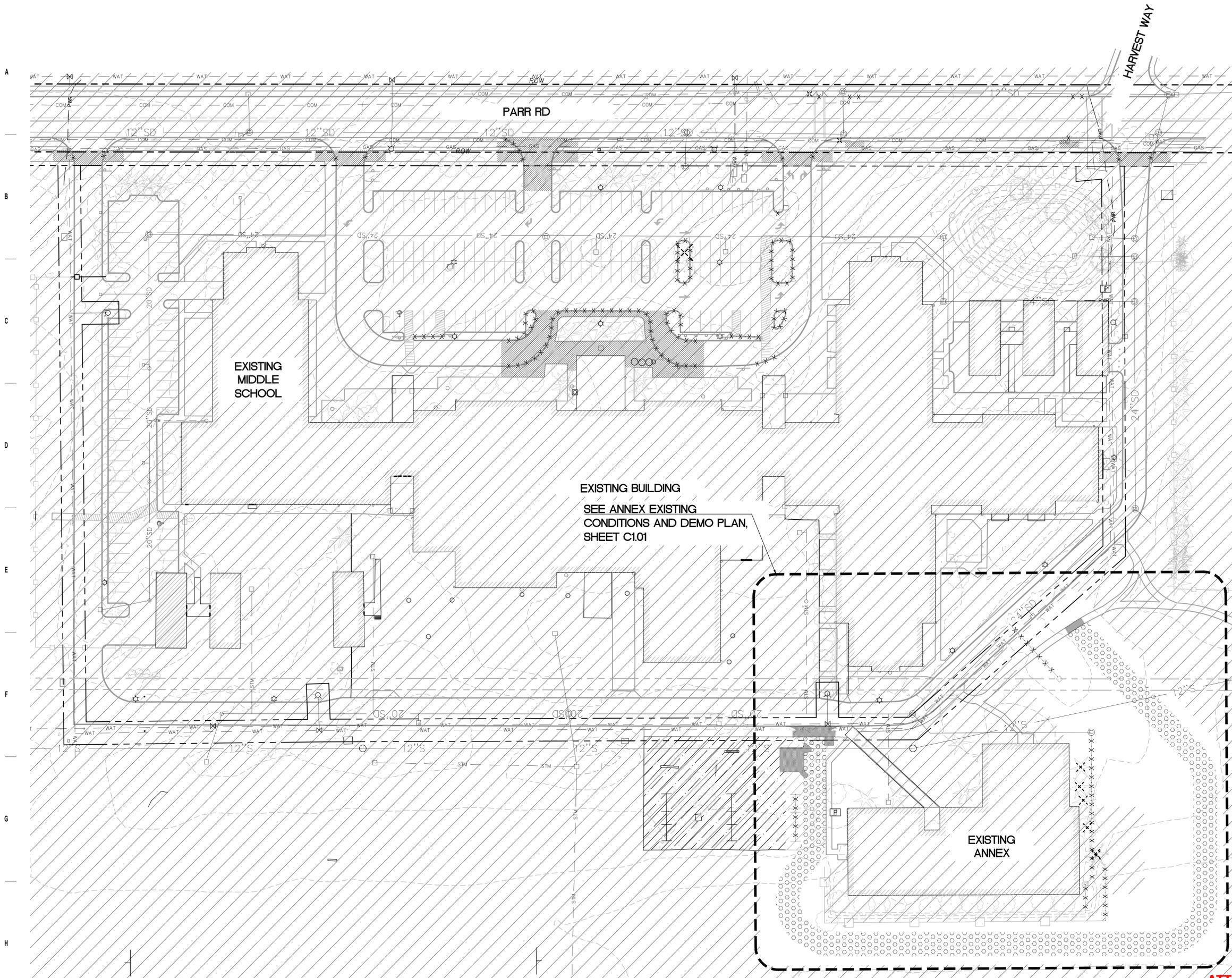


**DR 2020-04 HERITAGE ADDITION
440 PARR ROAD (TAX LOT 052W1300500
Public Works Conditions**

June 8, 2020

General Conditions:

1. The applicant, not the City, is responsible for obtaining approval for permits from any local, state and/or federal agencies which may be required.
2. Prior to construction of any facilities to be maintained by the City, the applicant shall provide to the Woodburn Public Works Engineering Division civil plans prepared by a registered engineer for the required public infrastructure. In accordance with Ordinance No 1795, permits shall be obtained for construction of the public infrastructure from the Public Works Engineering Division prior to installation.
3. The storm sewer system and on-site detention for this Development shall comply with the City's Storm Water Master Plan. A preliminary hydraulic analysis for the storm runoff has been provided and reviewed by the city.
4. Fire hydrant locations and fire protection requirements shall be as per the Woodburn Fire District and City of Woodburn requirements. Fire hydrant locations and line valves will be determined at the time of building permit if required.
5. Final review of the Civil Plans will be done during the building permit application; a Professional Engineer shall stamp the plans.
6. System Development fees shall be paid at the time of building permit issuance.



EXISTING MIDDLE SCHOOL

EXISTING BUILDING
SEE ANNEX EXISTING CONDITIONS AND DEMO PLAN, SHEET C1.01

EXISTING ANNEX

ITEM	DESCRIPTION
	DEMOLISH A.C. PAVEMENT, CURB AND SIDEWALK TO SAWCUT LINE, AND EXISTING STRUCTURE
	REMOVE EXISTING TREE
	DEMO EXISTING FEATURE
	AREA OF PREVIOUS CONTRACT - NO CHANGE
	CLEAR AND GRUB PROPOSED FIRE LANE

H Humber Design Group, Inc.
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HERITAGE ELEMENTARY SCHOOL
WOODBURN SCHOOL DISTRICT

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 505 W Riverside Suite 500 Washington 98101 509.221.5060
 1000 SW 5th Avenue Suite 1100 Oregon 97204 503.553.0707
 404 SW Columbia Suite 200 Oregon 97002 541.330.6506
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Drawing Title:
EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL

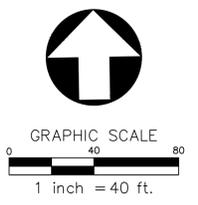
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Revised :	Project No. 1748P
Stamp	Sheet No.

PRELIMINARY - NOT FOR CONSTRUCTION

C1.00

of

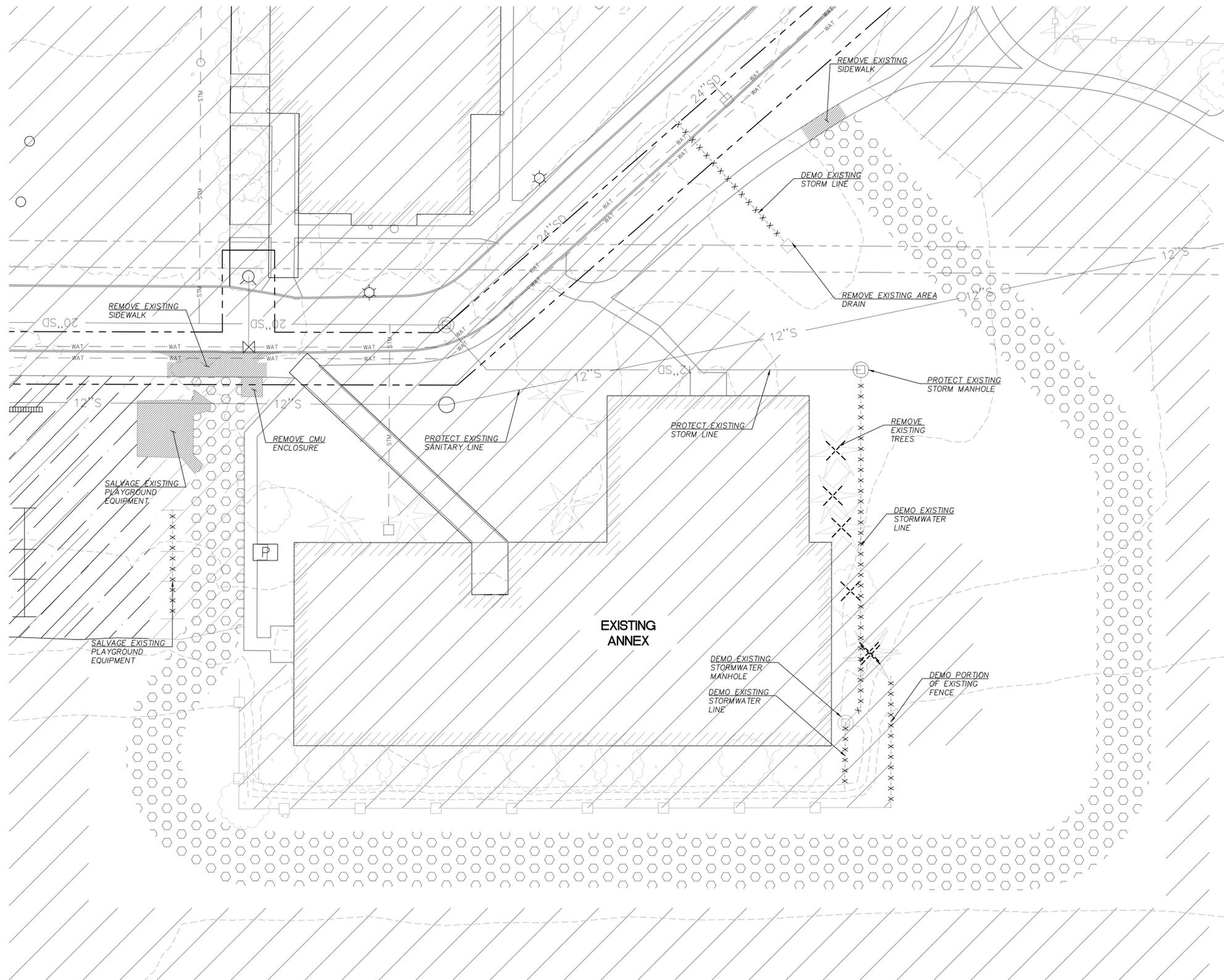
BLRB ARCHITECTS, P.S.



11/15/2006 1:40:30 PM

1 EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL
1" = 40'

ATTACHMENT 102 EXHIBIT A



SHEET LEGEND	
ITEM	DESCRIPTION
	DEMOLISH A.C. PAVEMENT, CURB AND SIDEWALK TO SAWCUT LINE, AND EXISTING STRUCTURE
	REMOVE EXISTING TREE
	DEMO EXISTING FEATURE
	AREA OF PREVIOUS CONTRACT - NO CHANGE
	CLEAR AND GRUB PROPOSED FIRE LANE



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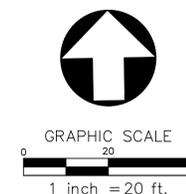
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Drawing Title:
EXISTING CONDITIONS AND DEMOLITION PLAN - ANNEX ADDITION

Date :	Drawn By : BAG/RXN/ACX
Revised :	Project No. 1748P
Stamp	Sheet No.
PRELIMINARY - NOT FOR CONSTRUCTION	C1.01

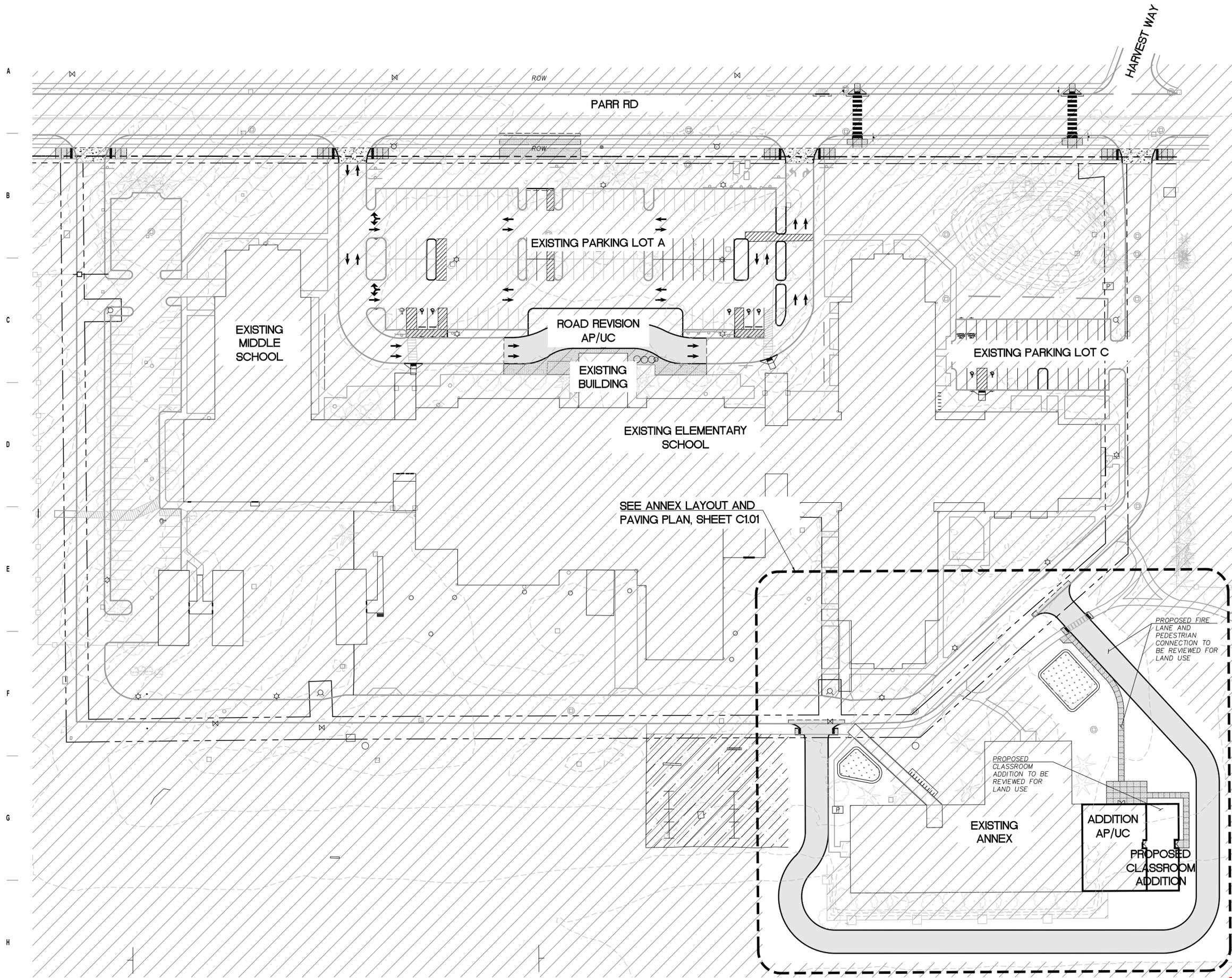
of

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1 EXISTING CONDITIONS AND DEMOLITION PLAN - ANNEX ADDITION
 1"=40'

ATTACHMENT 102 EXHIBIT B



SHEET LEGEND		
	CONCRETE SIDEWALK	6 C5.00
	ASPHALT PAVEMENT	5 C5.00
	STANDARD CONCRETE CURB	7 C5.00
	SAWCUT	
	LANDSCAPING	
	STORMWATER PLANTER	8 C5.00
	AREA OF PREVIOUS CONTRACT - NO CHANGE	
AP/UC	AREA PERMITTED AND CURRENTLY UNDER CONSTRUCTION	

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Drawing Title:
LAYOUT AND PAVING PLAN - OVERALL

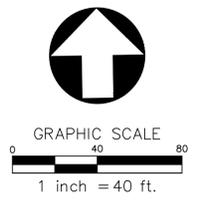
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Revised :	Project No. 1748P
Stamp	Sheet No.

PRELIMINARY - NOT FOR CONSTRUCTION

C2.00

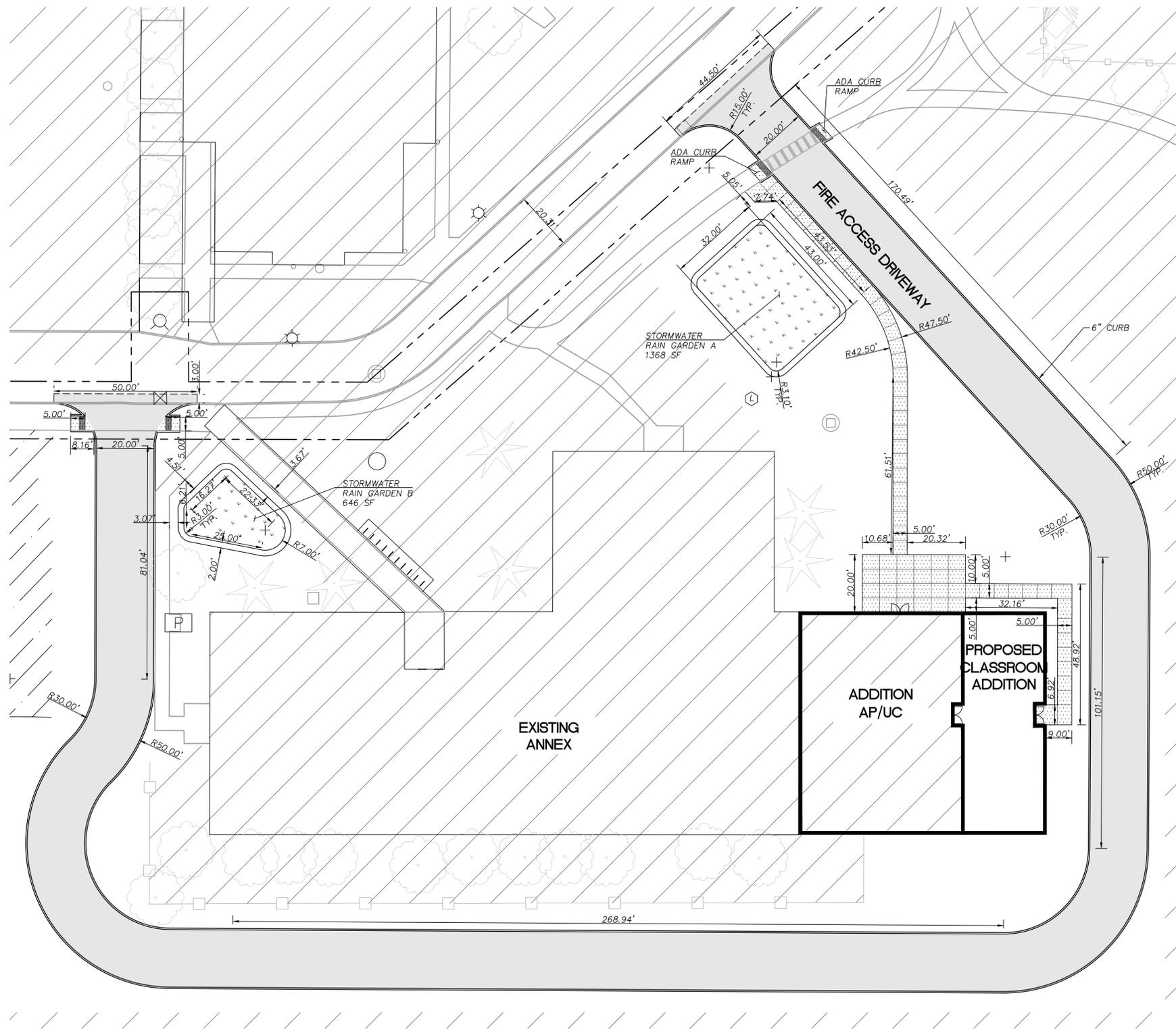
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1 **LAYOUT AND PAVING PLAN - OVERALL**
1" = 40'

ATTACHMENT 102 EXHIBIT C



SHEET LEGEND		
	CONCRETE SIDEWALK	6 C5.00
	ASPHALT PAVEMENT	5 C5.00
	STANDARD CONCRETE CURB	7 C5.00
	SAWCUT	
	LANDSCAPING	
	STORMWATER PLANTER	8 C5.00
	AREA OF PREVIOUS CONTRACT - NO CHANGE	
AP/UC	AREA PERMITTED AND CURRENTLY UNDER CONSTRUCTION	



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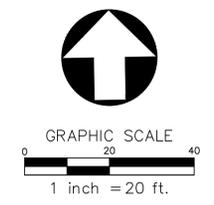
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Drawing Title:
LAYOUT AND PAVING - ANNEX ADDITION

Date :	Drawn By : BAG/RXN/ACX
Revised :	Project No. 1748P
Stamp	Sheet No.
PRELIMINARY - NOT FOR CONSTRUCTION	C2.01

of



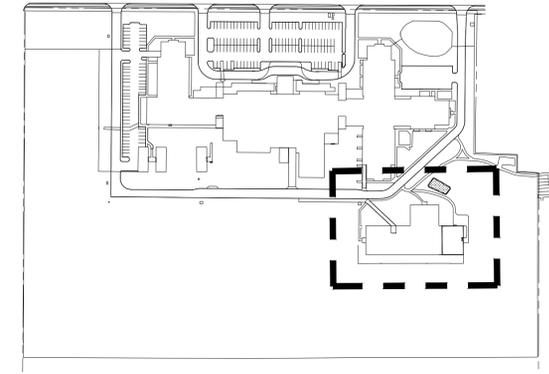
1 LAYOUT AND PAVING PLAN - ANNEX ADDITION
1"=20'

ATTACHMENT 102 EXHIBIT D

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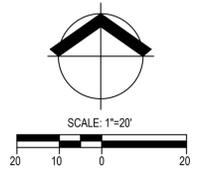
PREVIOUS CONTRACT PLANT UNIT DATA - AREA H37 - H38, "OTHER YARDS" (1 PU/50 SF)

Area No.	Area in Square Feet	Significant Tree 15 PU	Large Tree Existing 10 PU	Large Tree Proposed 10 PU	Med. Tree Existing 8 PU	Med. Tree Proposed 8 PU	Small Tree Existing 4 PU	Small Tree Proposed 4 PU	Large Shrub Existing 2 PU	Large Shrub Proposed 2 PU	Small/Med Shrub Existing 1 PU	Small/Med Shrub Proposed 1 PU	Groundcover Lawn (SF) Existing 1 PU / 50 SF	Groundcover Other (SF) Existing 1 PU / 50 SF	Groundcover Lawn (SF) Proposed 1 PU / 50 SF	Groundcover Other (SF) Proposed 1 PU / 50 SF	Total Plant Units (PU)	Total Plant Units (PU) Required	Total Plant Units (PU) Deficient
H 37	556											8			250		13	11	0
H 38	9,080														9,080		182	182	0
TOTALS Area H	16,616	0	0	0	0	0	0	0	0	0	0	8	0	0	9,330	0	195	332	137



SITE MAP - NOT TO SCALE

FOR PREVIOUS CONTRACT ARBORIST REPORT DATA AND PLANT MATERIAL SCHEDULE, SEE SHEET L1.02



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TWA TWA OR OR
503.827.5599 503.827.5180 503.827.0270 503.827.0270
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Drawing Title:
EXISTING PLANTING PLAN FROM PREVIOUS CONTRACT

Date: 5/12/2020 Drawn By: BFS

Revised: Project No. 21814240

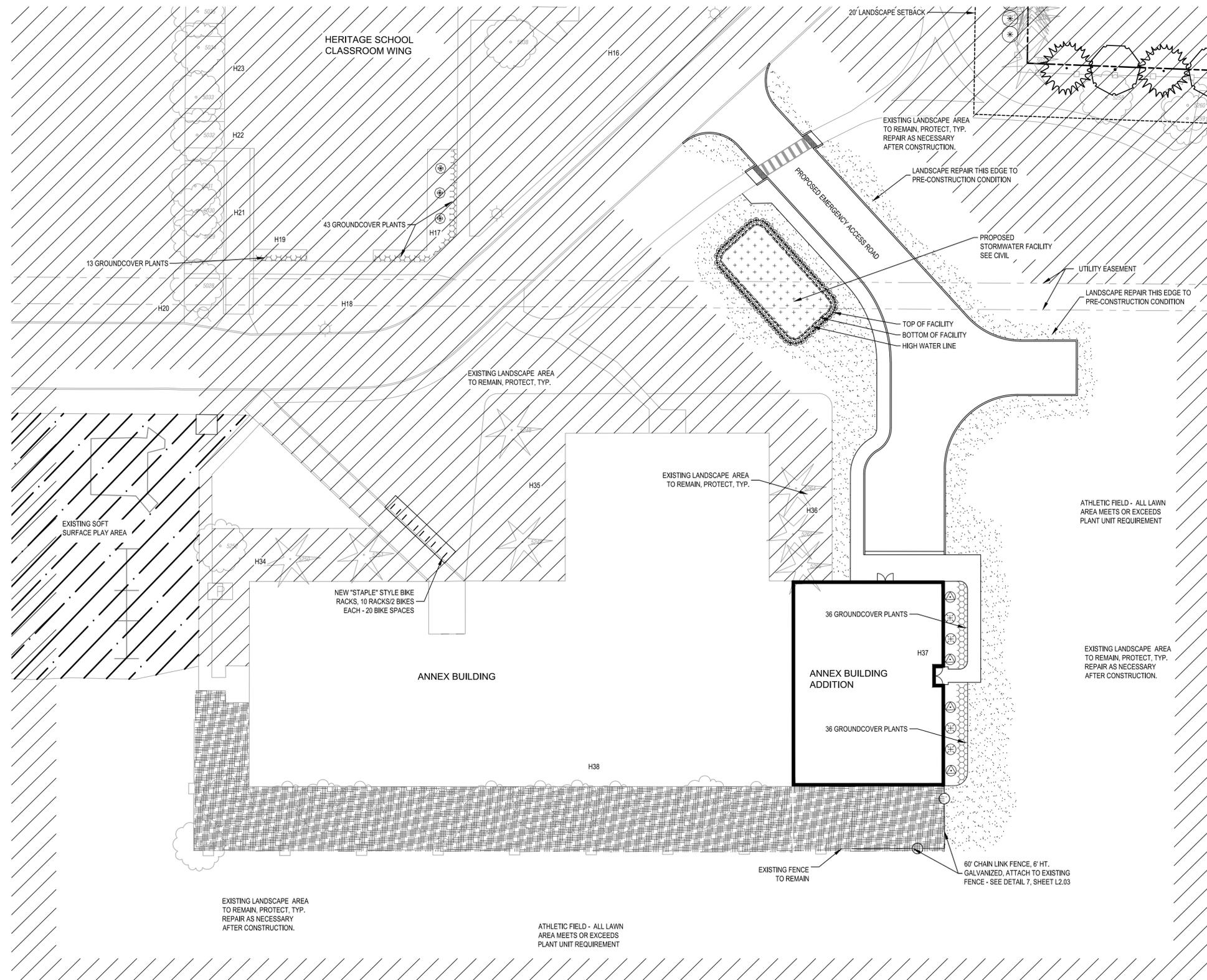
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BRUCE W. TRIMMER
OREGON
11/18/11
RBNWS 11/30/20

Sheet No. **L1.01**

of

AREA OF PREVIOUS CONTRACT, NO CHANGE

A
B
C
D
E
F
G
H



A

B

C

D

E

F

G

H

PREVIOUS CONTRACT - ARBORIST REPORT EXISTING TREE DATA



Table with columns: ID, Species, Botanical Name, DBH, Height, Condition, Structure, P.U., Comments. Lists various trees like red oak, western redcedar, Austrian pine, etc.

1 DBH is the trunk diameter in inches measured per International Society of Arboriculture (ISA) standards. DBH was estimated for trees that appeared to be offsite or on the property line (and behind fences).

2 Single DBH is the trunk diameter of a multi-stem tree converted to a single number according to the following formula: square root of the sum of squared DBH of each stem.

3 Condition and Structure ratings range from very poor, poor, fair, to good.

4 P.U. is Plant Unit values for existing trees in accordance with the City of Woodburn Code as follows:

- a. Significant tree (24" DBH minimum size) = 15 PU
b. Large tree (60'-120' mature height) = 10 PU
c. Medium tree (40'-60' mature height) = 8 PU
d. Small tree (18'-40' mature height) = 4 PU

Note that offsite trees, trees in very poor health or structural condition, trees listed in table 3.06C of the Woodburn Development Code, and trees less than 2-inch caliper or 10 feet in height are assigned a PU of 0. Mature heights were determined using the City of Tigard Urban Forestry Manual. When the species was not in the City of Tigard Urban Forestry Manual, mature heights were determined from the Oregon State University Landscape Plant website at: <https://landscapeplants.oregonstate.edu/>



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STORMWATER FACILITY PLANT MATERIAL SCHEDULE - PREVIOUS CONTRACT AREA H17

Table with columns: SYMBOL, SMALL SHRUB & HERBACEOUS ITEM, SIZE, QTY., COMMENTS. Lists plants like CORNUS SERICEA, CAREX OBNUPTA, JUNCUS PATENS.

SITE LANDSCAPE PLANT MATERIAL SCHEDULE - PREVIOUS CONTRACT AREA H17

Table with columns: SYMBOL, SHRUBS & ACCENTS ITEM, SIZE, QTY., COMMENTS. Lists shrubs like ABELIA X 'ROSE CREEK', ESCALLONIA 'COMPAKTA', and groundcovers like ARCTOSTAPHYLOS 'EMERALD CARPET'.

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WOODBURN SCHOOL DISTRICT

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PREVIOUS CONTRACT PLANT MATERIAL SCHEDULE PLANT UNIT DATA

Date: 5/12/2020 Drawn By: BFS

Revised: Project No. 21814240

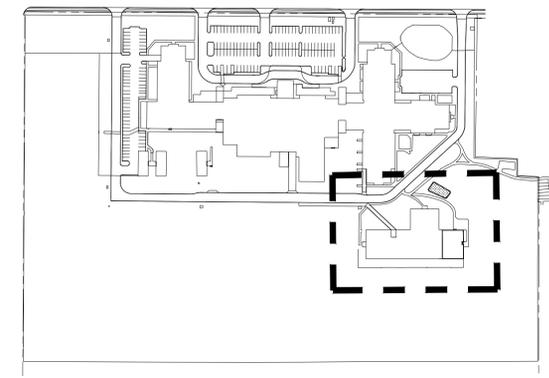
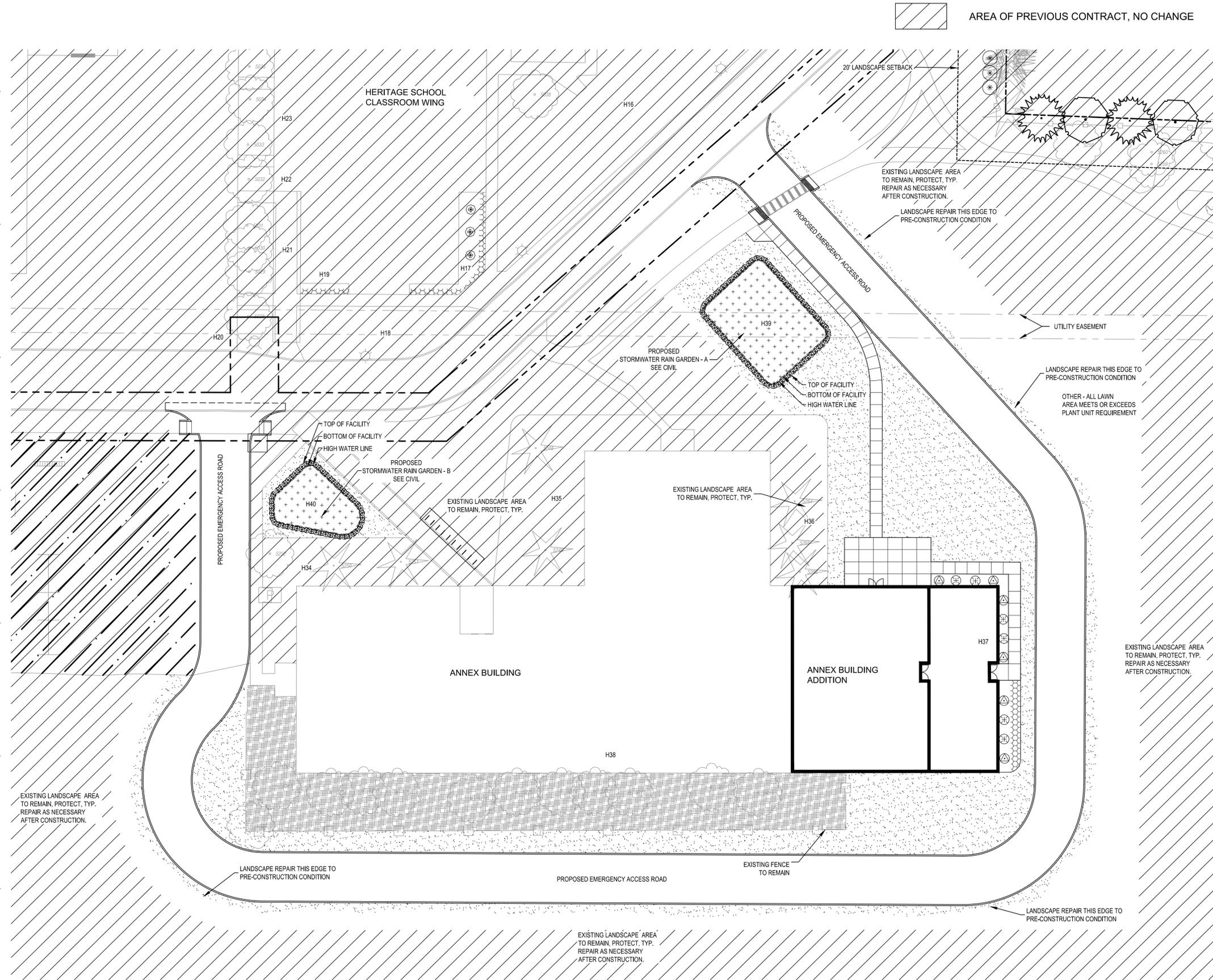
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L1.02

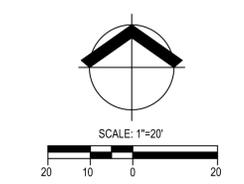
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ATTACHMENT 102 EXHIBIT F



SITE MAP - NOT TO SCALE

FOR PLANT MATERIAL SCHEDULES, SEE SHEET L2.02A
 FOR PLANTING DETAILS & NOTES, SEE SHEET L2.02A
 FOR PLANT UNIT DATA, SEE SHEET L2.02A



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Drawing Title: **PLANTING PLAN**

Date: 5/12/2020 Drawn By: BFS

Revised: Project No. 21814240

Stamp: REGISTERED FOR LAND USE REVIEW
 BECKY L. MONTGOMERY
 OR 0000000000
 11/18/11
 RENEWS 11/30/20

Sheet No. **L2.01A**

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- GENERAL LANDSCAPE NOTES:**
- LANDSCAPE PLANTING SHALL CONFORM TO THE STANDARDS ESTABLISHED BY THE CITY OF WOODBURN PLANNING DEPARTMENT. STORMWATER FACILITY PLANTING SHALL CONFORM TO THE STANDARDS ESTABLISHED UNDER CLEANWATER SERVICES' *LOW IMPACT DEVELOPMENT APPROACHES HANDBOOK* FOR INFILTRATION / RAIN GARDEN FACILITIES.
 - ALL PLANT BEDS SHALL HAVE A 3" DEPTH OF BARK MULCH.
 - ALL NEW LANDSCAPE AREAS SHALL BE CONNECTED TO THE EXISTING UNDERGROUND AUTOMATIC IRRIGATION SYSTEM CONNECTED TO AN EXISTING WELL, AND WILL BE DESIGNED WITH FULL HEAD TO HEAD COVERAGE. TREES PLANTED WITHIN SIDE YARD SETBACKS WILL BE PROVIDED A GATOR BAG FOR TWO GROWING SEASONS.
 - ALL PLANT MATERIAL DELIVERED TO THIS SITE SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
 - CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
 - ALL LANDSCAPE AND LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION.

STORMWATER RAIN GARDEN 'A' PLANT MATERIAL SCHEDULE

SYMBOL	SMALL SHRUB & HERBACEOUS ITEM	SIZE	QTY.	COMMENTS
⊙	CORNUS SERICEA 'KELSEY' KELSEY RED TWIG DOGWOOD	1 GAL. 2' O.C.	74	REFER TO DETAIL 2 / SHEET L2.02 MATURE: 2-3' HT. / 3' WD. PART TO FULL SUN / RED WINTER STEMS
+	CAREX OBLIQUATA SLOUGH SEDGE	1/2 GAL. 1' O.C.	1,368 SF 1,580 PLANTS	REFER TO DETAIL 1 / SHEET L2.10 MATURE: 2' - 5' HT. / SPREADING
⊗	JUNCUS PATENS SPREADING RUSH	1/2 GAL. 1' O.C.	74 SF 85 PLANTS	REFER TO DETAIL 1 / SHEET L2.10 MATURE: 1' - 2' HT. / CLUMPING

STORMWATER RAIN GARDEN 'B' PLANT MATERIAL SCHEDULE

SYMBOL	SMALL SHRUB & HERBACEOUS ITEM	SIZE	QTY.	COMMENTS
⊙	CORNUS SERICEA 'KELSEY' KELSEY RED TWIG DOGWOOD	1 GAL. 2' O.C.	53	REFER TO DETAIL 2 / SHEET L2.10 MATURE: 2-3' HT. / 3' WD. PART TO FULL SUN / RED WINTER STEMS
+	CAREX OBLIQUATA SLOUGH SEDGE	1/2 GAL. 1' O.C.	646 SF 750 PLANTS	REFER TO DETAIL 1 / SHEET L2.10 MATURE: 2' - 5' HT. / SPREADING
⊗	JUNCUS PATENS SPREADING RUSH	1/2 GAL. 1' O.C.	50 SF 60 PLANTS	REFER TO DETAIL 1 / SHEET L2.10 MATURE: 1' - 2' HT. / CLUMPING

LANDSCAPE PLANT MATERIAL SCHEDULE

SYMBOL	SHRUBS & ACCENTS ITEM	SIZE	QTY.	COMMENTS
⊙	ABELIA X 'ROSE CREEK' ROSE CREEK ABELIA	3 GAL.	6	REFER TO DETAIL 2 / SHEET L2.10 MATURE: 2-3' HT. / 3-4' WD. - SM-MED/1 PU FULL SUN TO PART SHADE / EVERGREEN
⊗	ESCALLONIA 'COMPAKTA' COMPACT ESCALLONIA	3 GAL.	6	REFER TO DETAIL 2 / SHEET L2.10 MATURE: 2-3' HT. / 4-6' WD. - SM-MED/1 PU SUN TO PART SHADE / EVERGREEN
GROUNDCOVERS				
ITEM	SIZE	QTY.	COMMENTS	
ARCTOSTAPHYLOS 'EMERALD CARPET' EMERALD CARPET KINKININICK	4" POT 3' O.C.	149 SF 20 PLANTS	REFER TO DETAIL 1 / SHEET L2.10 MATURE: 1' HT. / 3-5' WD. -1 PU / 50 SF FULL SUN / EVERGREEN	
PT 303 SUN MIX BY PRO TIME LAWN SEED	SEED	6,440 SF 65 LBS	APPROX. QTY. - LANDSC. REPAIR PERENNIAL RYEGRASSES, CHEWINGS FESCUE 1 PU / 50 SF	
PREVIOUS CONTRACT				
ITEM	SIZE	QTY.	COMMENTS	
*FESTUCA RUBRA BAR. RUBRA CREEPING RED FESCUE	SEED	7,677 SF 61 LBS.	DESIGN INTENT IS TO NOT MOW. AT 4" HT. GRASS WILL LAY DOWN. CAN BE MOWED WHEN DESIRED. 1 PU / 50 SF	
EXISTING LANDSCAPE				
ITEM	SIZE	QTY.	COMMENTS	
EXISTING TREES TO REMAIN, EVERGREEN & DECIDUOUS CONTRACTOR TO PROTECT WITHIN DRIP LINES			SEE TREE PROTECTION & DEMOLITION PLANS	

GENERAL PLANTING NOTES:

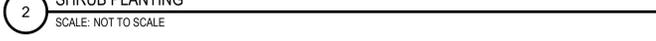
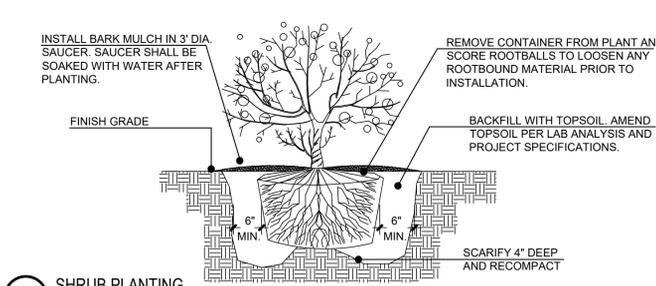
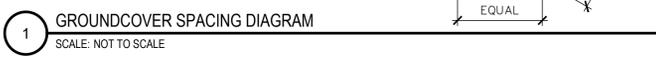
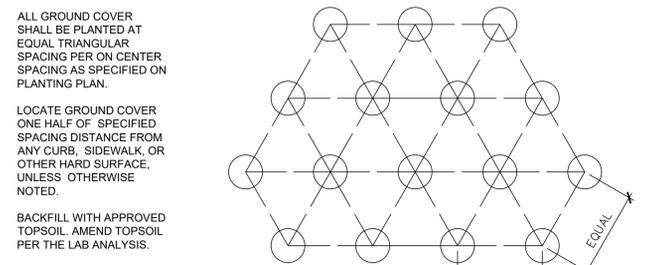
- ALL LANDSCAPE AREAS THAT HAVE BEEN PREVIOUSLY TREATED WITH CEMENT, SHALL BE EXCAVATED A MINIMUM OF 6" BELOW BOTTOM OF TREATMENT AREA AND REMOVED FROM THE SITE. BACKFILL WITH TOPSOIL TO ORIGINAL GRADE PRIOR TO ADDING THE SPECIFIED AMENDED SOIL PER THE PLANS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY NOTIFICATION CENTER 72 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- THE CONTRACTOR IS TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO THE LANDSCAPE ARCHITECT.
- ROOT BARRIER REQUIREMENT: INSTALL 18" X 15' ROOT BARRIER* WHERE ANY TREE LOCATION IS WITHIN 4" OF ANY CURB, SIDEWALK, OR DRIVEWAY.
*APPROVED ROOT BARRIERS: DEEPROOT UB 18-2, NDS EP-1850, OR EQUIVALENT.
- ALL PLANT MASSES TO BE CONTAINED WITHIN A 3" LAYER OF BARK MULCH BED, UNLESS NOTED OTHERWISE. ALL TREES LOCATED IN LAWN AREAS SHALL HAVE A 3" DIAMETER CIRCLE, ON CENTER OF TREE, WITH 3" BARK MULCH LAYER. DO NOT PLACE BARK MULCH AGAINST TRUNK OF TREE.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS.
- CONTRACTOR TO FINE GRADE AND REMOVE ALL ROCK GREATER THAN 1 INCH DIAMETER IN ALL PLANTING AREAS PRIOR TO PLANTING, AND PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- PLANT QUANTITIES LISTED IN THE LEGEND ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BID QUANTITIES AS INDICATED ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER IN THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
- COORDINATE PLANTING INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS OR TREE SPECIES.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND ACKNOWLEDGEMENT THAT ALL PUNCH LIST ITEMS HAVE BEEN COMPLETED BY THE CONTRACTOR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER. WARRANTY ALL PLANTINGS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER.
- BACKFILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO FOUR PARTS TOPSOIL BY VOLUME. INCORPORATE ANY SLOW RELEASE FERTILIZERS AND AMENDMENTS PER SOIL LAB ANALYSIS RECOMMENDATIONS.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT 90 DAYS PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT WRITTEN APPROVAL THAT DO NOT COMPLY WITH REPRESENTATIVE AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS, IF REJECTED, WILL BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL SUBMIT TO THE OWNERS REPRESENTATIVE AND SPECIFICATIONS FOR A WRITTEN ESTIMATE TO INCREASE PLANT MATERIAL (AND INSTALL) THE NEXT AVAILABLE CONTAINER SIZE PLANT (I.E. 4" POT TO ONE GALLON CONTAINER, 2" CALIPER TREE TO 2.5" CALIPER).
- CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES TO STABILIZE ALL SLOPES 3:1 OR GREATER AND PREVENT EROSION OR MOVEMENT OF SOIL FROM SLOPES. THIS COULD INCLUDE, BUT NOT NECESSARILY LIMITED TO, EROSION CONTROL FABRIC, STAKING, NETTING, AND STRAW WATTLES. SUBMIT METHOD OF SLOPE STABILIZATION TO LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL 30 DAYS PRIOR TO IMPLEMENTATION.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF THEY BELIEVE ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS MAY BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- NOTIFY THE LANDSCAPE ARCHITECT IN WRITING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, INCLUDING BUT NOT LIMITED TO: POOR SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, PRIOR TO PLANTING.
- PLANTING RESTRICTIONS - PLANTING IS NOT PERMITTED DURING THE FOLLOWING CONDITIONS, UNLESS OTHERWISE APPROVED IN WRITING:
 - COLD WEATHER: LESS THAN 32 DEGREES FAHRENHEIT
 - HOT WEATHER: GREATER THAN 90 DEGREES FAHRENHEIT
 - WET WEATHER: SATURATED SOIL
 - WINDY WEATHER: WIND VELOCITIES GREATER THAN 20 M.P.H.
- ALL PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- DO NOT LOCATE TREES IN EASEMENTS.
- SEE CIVIL PLANS FOR EXISTING TREES TO REMAIN ON SITE.
- ALL PLANTS MUST COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK. THOSE THAT DO NOT, WILL BE REJECTED. 2" CALIPER TREES MUST BRANCH AT 6' MIN. HT.

PLANT DATA - AREAS H34 THROUGH H40

Area No.	Area in Square Feet	Significant Tree 15 PU	Large Tree Existing 10 PU	Large Tree Proposed 10 PU	Med. Tree Existing 8 PU	Med. Tree Proposed 8 PU	Small Tree Existing 4 PU	Small Tree Proposed 4 PU	Large Shrub Existing 2 PU	Large Shrub Proposed 2 PU	Small/Med Shrub Existing 1 PU	Small/Med Shrub Proposed 1 PU	Groundcover Lawn (SF) Existing 1 PU / 50 SF	Groundcover Other (SF) Existing 1 PU / 50 SF	Groundcover Lawn (SF) Proposed 1 PU / 50 SF	Groundcover Other (SF) Proposed 1 PU / 50 SF	Stormwater Detention Proposed 2 PU/50 SF	Total Plant Units (PU)	Total Plant Units (PU) Required	Total Plant Units (PU) Deficient
H 34	1,887		2		1				4		29							65	38	0
H 35	2,865		2						6		33							65	57	0
H 36	2,228		1		2				5		27							63	45	0
H 37	626											12				150		15	13	0
H 38	6,629													6,629				133	133	0
H 39	1,670																1,670	33	33	0
H 40	1,370													516			856	27	27	0
TOTALS Area H	8,925	0	5	0	3	0	0	0	15	0	89	12	0	0	7,145	150	2,526	401	178	-223

TOPSOIL NOTES:

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN ALTERNATE NUMBER IN THE BASE BID TO FURNISH AND INSTALL AMENDED TOPSOIL IN ALL LANDSCAPE BEDS AND SEEDED AREAS AS SPECIFIED BELOW UNLESS OTHERWISE NOTED. AMENDED TOPSOIL SHALL INCLUDE ALL NECESSARY FERTILIZERS, ORGANIC AND INORGANIC AMENDMENTS, BASED ON INDUSTRY STANDARDS FOR EXCEPTIONAL PLANT DEVELOPMENT.
 - SCARIFY ALL PLANTING AREA SUB-GRADE TO A DEPTH OF 6". INSTALL & TILL IN 2" LAYER OF AMENDED TOPSOIL INTO SCARIFIED SUB-GRADE AND RE-COMPACT TO 95%.
 - PROVIDE MIN. 12" DEPTH AMENDED TOPSOIL TO ALL PLANTING AREAS.
 - PROVIDE MIN. 18" DEPTH AMENDED TOPSOIL TO ALL PLANTER ISLANDS PLUS MOUNDING REQUIREMENT.
- IMMEDIATELY UPON BEING AWARDED THE CONTRACT, THE GENERAL CONTRACTOR SHALL COORDINATE WITH A STATE LICENSED SOIL LABORATORY AND THE LANDSCAPE ARCHITECT, TO DETERMINE THE SUITABILITY AND AVAILABILITY OF THE EXISTING SITE TOPSOIL. THE CONTRACTOR SHALL SEND THE RECOMMENDED TOPSOIL SAMPLES TO A SOIL LABORATORY FOR ANALYSIS, STATING THAT THE TOPSOIL IS TO BE ANALYZED FOR A LANDSCAPE CROP. AFTER RECEIVING RECOMMENDATIONS FROM THE SOILS EXPERT, THE CONTRACTOR SHALL FORWARD A COPY TO THE OWNERS REPRESENTATIVE AT WHICH TIME A DECISION WILL BE MADE BY THE OWNER AS TO WHETHER OR NOT THE EXISTING ON-SITE STOCKPILE WILL BE USED FOR TOPSOIL FOR THE PROJECT.
- IF THE EXISTING TOPSOIL IS TO BE USED THE CONTRACTOR SHALL ADD THE RECOMMENDED AMENDMENTS AND FERTILIZERS AS STATED IN THE SOILS ANALYSIS ALONG WITH ADDITIONAL AMENDMENTS AND FERTILIZERS LISTED IN NOTE #6 AND #7 BELOW.
- IN THE EVENT THE EXISTING ON-SITE TOPSOIL IS OF POOR QUALITY (AS DETERMINED BY THE SOIL ANALYSIS) OR IS UNAVAILABLE FOR USE, THE OWNER'S REPRESENTATIVE WILL MAKE A DECISION AS TO WHETHER OR NOT THE ADDITIONAL COST ASSOCIATED WITH IMPORTING 9" OF AMENDED TOPSOIL WILL BE ADDED TO THE SIGNED CONTRACT AGREEMENT.
- IF AMENDED IMPORTED TOPSOIL IS TO BE USED, THE GENERAL CONTRACTOR WILL BE NOTIFIED IN WRITING BY THE OWNER'S REPRESENTATIVE AND THE CONTRACT MODIFIED ACCORDINGLY. TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP. DO NOT OBTAIN FROM BOGS OR MARSHES. IMPORTED TOPSOIL SHALL COMPLY WITH ASTM D 5288, WITH A PH RANGE OF 5.5 TO 7.0, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION, AND ANY OTHER EXTRANEOUS MATERIALS (ROCKS, STICKS, RUBBISH, SOD) HARMFUL TO PLANT GROWTH. AN ADDITIONAL SOILS ANALYSIS WILL BE REQUIRED FOR THE IMPORTED TOPSOIL.
- AMENDED IMPORTED TOPSOIL SHALL INCLUDE ALL NECESSARY FERTILIZER AND AMENDMENTS PER THE SOIL ANALYSIS RECOMMENDATIONS. TOPSOIL ANALYSIS SHALL STATE ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY AND SAND), DELETERIOUS MATERIAL, PH, MINERAL AND PLANT-NUTRIENT CONTENT. IN ADDITION THE REPORT SHALL ALSO STATE THE RECOMMENDED QUANTITIES (BY PERCENTAGE OF WEIGHT, I.E. 2 LBS OF 15-15-15 PER 1,000 SF) OF NITROGEN, PHOSPHORUS AND POTASH, NUTRIENTS AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY AMENDED TOPSOIL. CONTRACTOR SHALL FURNISH REPORT AND RECOMMENDATIONS TO LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL 30 DAYS PRIOR TO MOBILIZATION.
- IN ADDITION TO THE SOILS ANALYSIS RECOMMENDATIONS, THE LANDSCAPE CONTRACTOR SHALL ADD 1 PART (2" LAYER) OF APPROVED HUMUS MATERIAL TO 2 PARTS AMENDED TOPSOIL. SUBMIT CUT SHEET OF HUMUS MATERIAL (CERTIFIED FINE COMPOSTED YARD DEBRIS) TO LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL PRIOR TO MIXING.
- PRIOR TO PLACEMENT OF TOPSOIL, SCARIFY AND LOOSEN SUB-GRADE OF PLANTING BED AREA TO A MINIMUM DEPTH OF 6 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATERIALS. REMOVE WEEDS FROM EXISTING SUB-GRADE AND TREAT WITH NECESSARY HERBICIDE TO PREVENT WEED GROWTH. SPREAD HALF OF THE AMENDED TOPSOIL MIXTURE AND WORK INTO UPPER LAYER OF LOOSENED SUB-GRADE TO CREATE A TRANSITION LAYER. AFTER LIGHT ROLLING AND NATURAL SETTLEMENT, PLACE REMAINING HALF OF THE PLANTING SOIL MIXTURE TO THE DEPTH REQUIRED TO MEET THICKNESS, GRADES, AND ELEVATIONS SHOWN.
- WITHIN TREE WELLS & PLANTER ISLANDS, REMOVE EXISTING SOIL AND OTHER DEBRIS, TO A MINIMUM DEPTH OF 18" AND REPLACE WITH AMENDED TOPSOIL. ADD ADDITIONAL SOIL, AS REQUIRED PER DETAILS AND NOTES.
- THE CONTRACTOR SHALL SUBMIT SHIPPING TICKETS FOR IMPORTED TOP SOIL AND HUMUS MATERIAL TO THE LANDSCAPE ARCHITECT 60 DAYS PRIOR TO INSTALLATION FOR REVIEW AND WRITTEN APPROVAL.



Cardno
 PORTLAND
 6720 SW MACADAM AVE, STE 200, PORTLAND, OR 97219
 TEL: (503) 419-2500 FAX: (503) 419-2600 www.cardno.com

DRAWING REVISIONS

LAND USE REVIEW

HERITAGE ELEMENTARY SCHOOL
 WOODBURN SCHOOL DISTRICT

BLRB architects
 TACOMA | SPOKANE | PORTLAND | BEND

1250 Pacific Ave. 505 W. Billerickside 631 SW Morrison St. 404 SW Columbia
 WA 98007 5399 WA 98002 5180 OR 97205 0270 OR 97105 0306
 BLRB.com

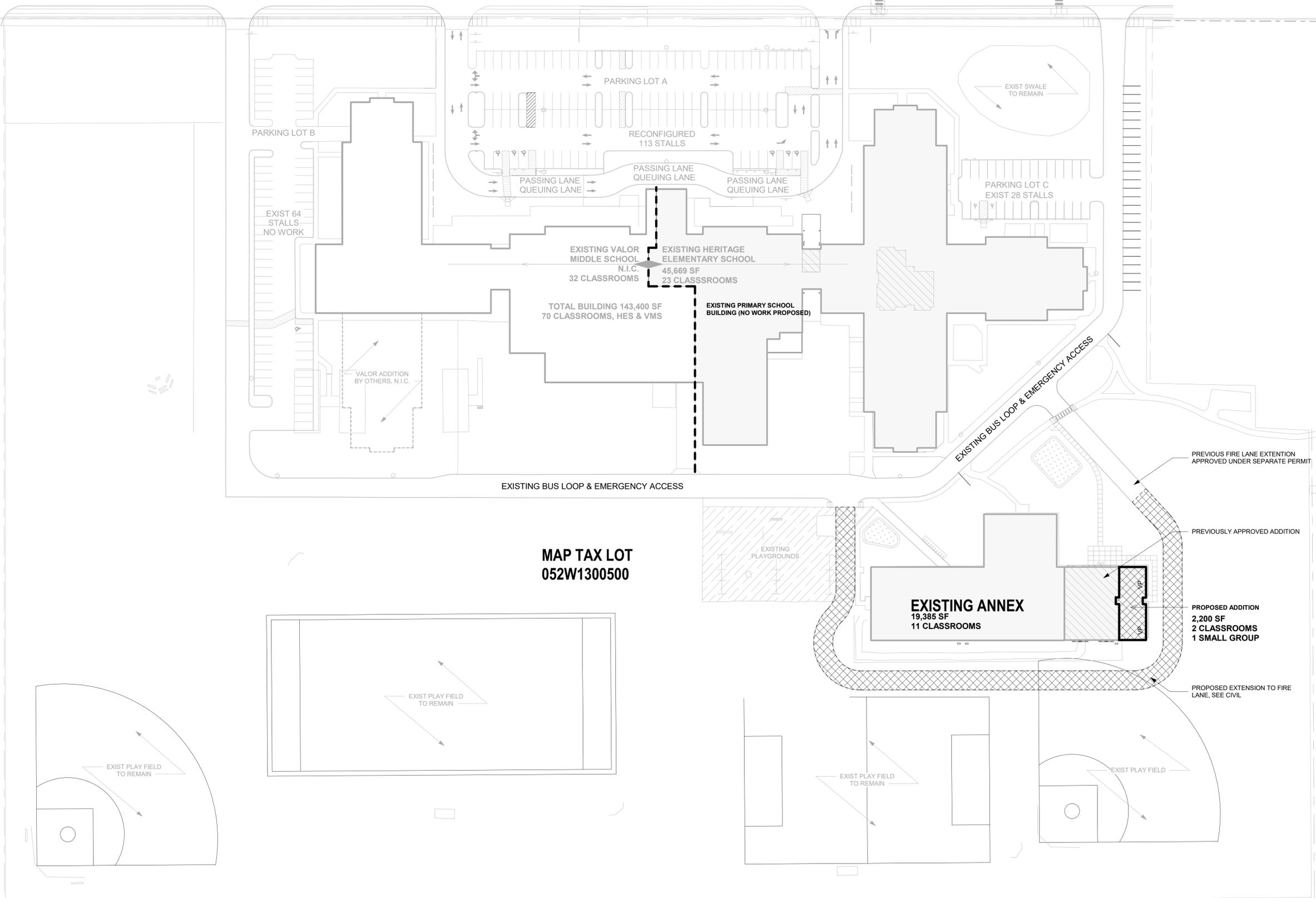
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Date: 5/12/2020 Drawn By: BFS
 Revised: Project No. 21814240
 Stamp: Sheet No.

L2.02A
 of

REGISTERED FOR REVIEW OR CONSTRUCTION
 BLRB ARCHITECTS
 11/18/11
 RENEWS 11/30/20

PARR ROAD NE



MAP TAX LOT 052W1300500

- AREA OF NEW CONSTRUCTION UNDER CURRENT CONSTRUCTION PERMIT
- PROPOSED ADDITION

LAND USE REVIEW

HERITAGE ELEMENTARY SCHOOL

WOODBURN SCHOOL DISTRICT

BLRB architects

Drawing Title:
ARCHITECTURAL SITE PLAN

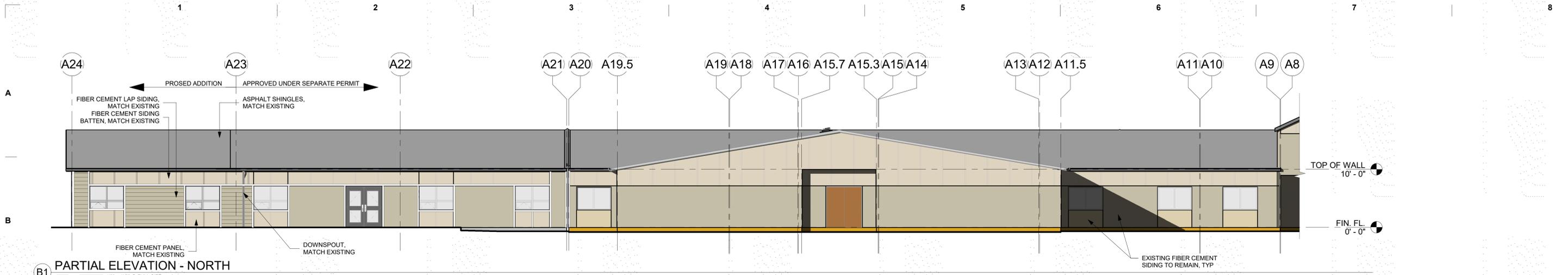
Date : 5/12/2020	Drawn By : Author
Revised :	Project No. 1748P
Stamp	Sheet No.

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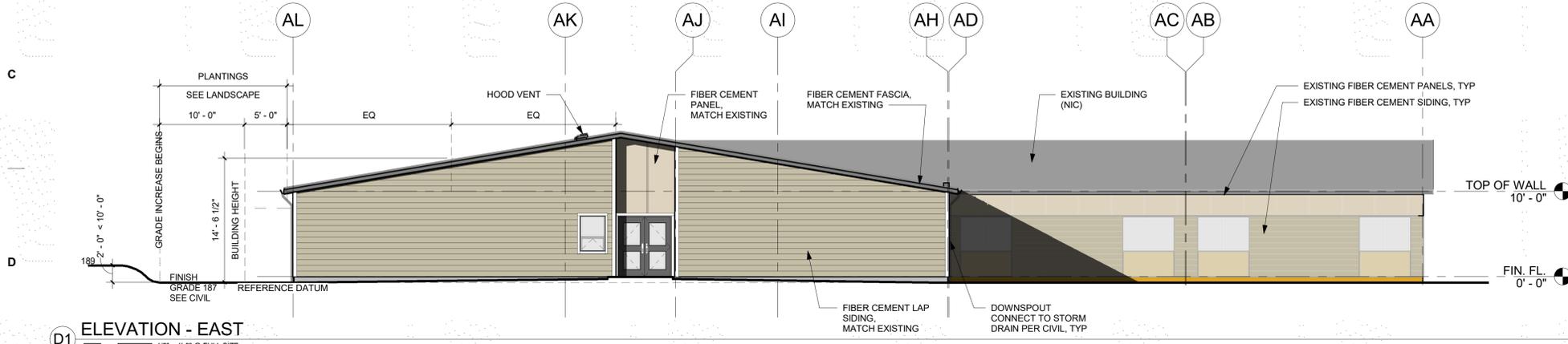
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ATTACHMENT 102 EXHIBIT I

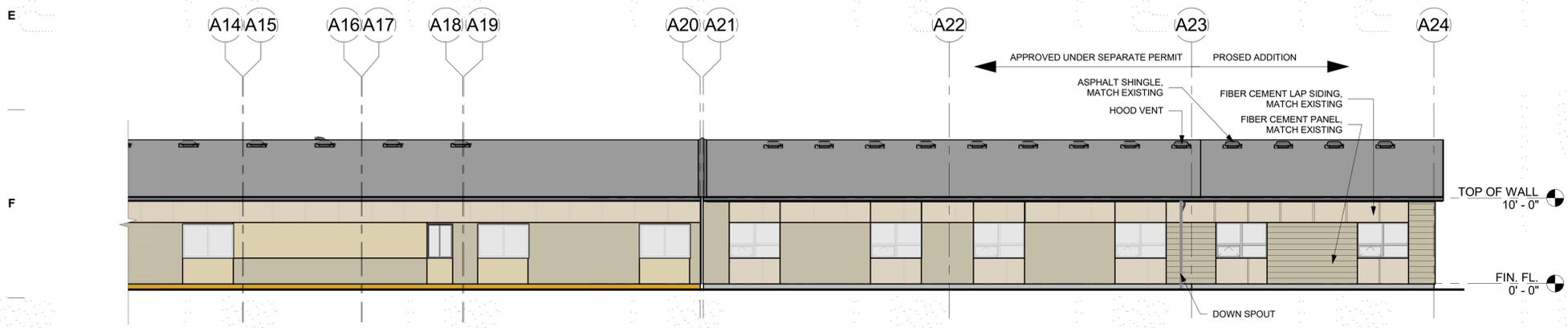
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B1 PARTIAL ELEVATION - NORTH



D1 ELEVATION - EAST



G1 PARTIAL ELEVATION - SOUTH

EXTERIOR FINISH TYPES

-  074646.FCS
FIBER CEMENT LAP SIDING
MATCH EXIST EXPOSURE
COLOR: PT9 COLOR TO MATCH EXIST
-  074646.FCP
FIBER CEMENT PANEL SIDING
COLOR: PT7 COLOR TO MATCH EXIST
-  074646.FCT
FIBER CEMENT TRIM
COLOR: PT8, COLOR TO MATCH EXIST

LAND USE REVIEW

HERITAGE ELEMENTARY SCHOOL

WOODBURN SCHOOL DISTRICT

BLRB architects

TACOMA | SPOKANE | PORTLAND | BEND

1250 Pacific Ave Suite 700 WA 98402 253.627.5599	515 W Riverside Suite 500 WA 98201 509.252.5100	621 SW Morrison St. Suite 500 OR 97205 503.595.0270	484 SW Columbus Suite 120 OR 97102 503.321.1506 BLRB.com
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Drawing Title:
EXTERIOR ELEVATIONS

Date : 5/12/2020	Drawn By : Author
Revised :	Project No. 1748P
Stamp	Sheet No.

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ATTACHMENT 102 EXHIBIT J

BLRB ARCHITECTS, P.S.

May 26, 2020

Project #: 23384.01

John O. Henri (Bond Project Manager)
J.J. Henri Co., Inc.
1390 Meridian Drive
Woodburn, Oregon 97071

RE: Traffic Profile Assessment for Heritage Elementary School Addition – Woodburn, OR

Dear Mr. Henri,

This letter, prepared on behalf of the Woodburn School District, summarizes Kittelson's traffic profile assessment for proposed addition to the Heritage Elementary School in Woodburn, OR. As described herein, the expanded building size and additional classroom space for the elementary school are not expected to materially increase traffic demand, relative to already-approved levels. Therefore, per Section 3.04.05 of Woodburn Development Ordinance, the proposed addition to Heritage Elementary School should not require a formal Transportation Impact Analysis. The remaining sections of this letter provide additional details to support our conclusion.

SITE DESCRIPTION AND 2019 APPROVAL FOR SCHOOL IMPROVEMENTS

Heritage Elementary School (HES) is located at 440 Parr Road in Woodburn, Oregon. The school was originally constructed in 1996 along with Valor Middle School on 48 acres of land having a *Public and Semi-Public (P/SP)* zoning designation. The original capacity of HES was 525 students but enrollment has grown steadily over the past few decades, reaching 930 students today. To accommodate this historical growth, a classroom annex was built in 2003 using a series of six portable classrooms placed in the surface parking lot in the northeast corner of the site. In all, 40 classrooms were present at HES with a total building space of 70,694 SF.

In 2019, the City of Woodburn approved an expansion and redevelopment of portions of the school, resulting in the removal of the portable classrooms, creation of additional classroom space in the annex building, and other supporting improvements. While the student capacity of school was expected to remain the same, at 930 students, the total number of classrooms were reduced from 40 to 38, as did the overall building space from 70,694 SF to 69,494 SF. At that time, Kittelson prepared a traffic profile letter (dated March 28, 2019) concluding that the overall trip generation potential of HES would not materially change.

PROPOSED HES ADDITION

Improvements now proposed for HES, as shown in Exhibit “A”, include an expansion to the annex building in the southeast corner of the site. The expansion will accommodate two additional classrooms and a shared learning space. While the proposal does increase the number of classrooms from 38 back to the original size of 40 and will increase the overall size of HES building space by approximately 2,600 SF (from 69,494 SF approved in 2019 to the proposed size of 72,094 SF), the proposed improvements are not intended to increase the current student population of 930 students.

APPLICABLE TRANSPORTATION GUIDELINES

Section 3.04.05 of the Woodburn Development Ordinance (WDO) addresses criteria for requiring a traffic impact study for a proposed development application. Specifically, this ordinance states:

“A Traffic Impact Analysis (TIA) may be required by the Director prior to the approval of a City access permit when the Director estimates a development proposal may generate either 100 or more additional, peak hour trips, or 1,000 or more additional daily trips, within ten years of a development application.”

The following section of this letter addresses the application of the trip generation based WDO criteria above.

SITE TRIP GENERATION

The two most common metrics, or independent variables, used by professional traffic engineers to estimate vehicle trips for elementary school developments are: 1) student population, and 2) building size. These two variables are largely supported by robust sets of empirical data provided in the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual, 10th Edition (Reference 1)*.

Seeing as the latest improvements proposed for HES are not expected to alter the current school population of 930 students, the proposed development plan should not result in any material change in vehicle trips, when applying ITE trip generation rates that are based on student capacity as the independent variable. However, considering that there is an increase of 2,600 SF in building space, the application of ITE trip generation rates using building size as the independent variable does generate a positive increase in trips.

Table 2 displays this theoretical estimate of additional site trips using increased building space as the independent variable. Trips in the table are expressed in terms of average daily trips (ADT), the weekday AM peak of the site generator, the AM peak hour of adjacent street (typically between 7:00 and 9:00 AM), the weekday PM peak hour of the site generator, as well as the PM peak hour of adjacent street (typically between 4:00 and 6:00 PM).

Table 1. Estimated Theoretical Increase in Site Trips

Land Use	ITE Code	Added Building Size	Added Daily Trips	Added AM Peak Hour Trips		Added PM Peak Hour Trips	
				Site Generator	Adjacent Street	Site Generator	Adjacent Street
Elementary School	520	+2,600 SF	+51	+18	+18	+8	+4

As shown in the preceding table, the theoretical increase in site trips due to the increase in total building space is +51 daily trips and between +4 and +18 trips during the particular peak hour periods.

CONCLUSION

Our analysis indicates the proposed development plan will result in no material increase in site trips relative to the expectation that the current student population, at 930 students, will not change at Heritage Elementary School. However, if vehicle trips were to increase due to the added building space, the increase in traffic would not trigger the volume-based criteria outlined in Section 3.04.05 of the WDO. Therefore, the proposed land use application should not require preparation of a formal Traffic Impact Analysis per the City’s Development Ordinances.

We hope this letter contains the necessary level of detail for the City to complete its review of the land use application. If you or City staff have any questions, please contact us.

Sincerely,
KITTELSON & ASSOCIATES, INC.



Brian J. Dunn, P.E.
Associate Engineer



References:

1. Institute of Transportation Engineers. *Trip Generation Manual, 10th Edition*. 2017.

Exhibits:

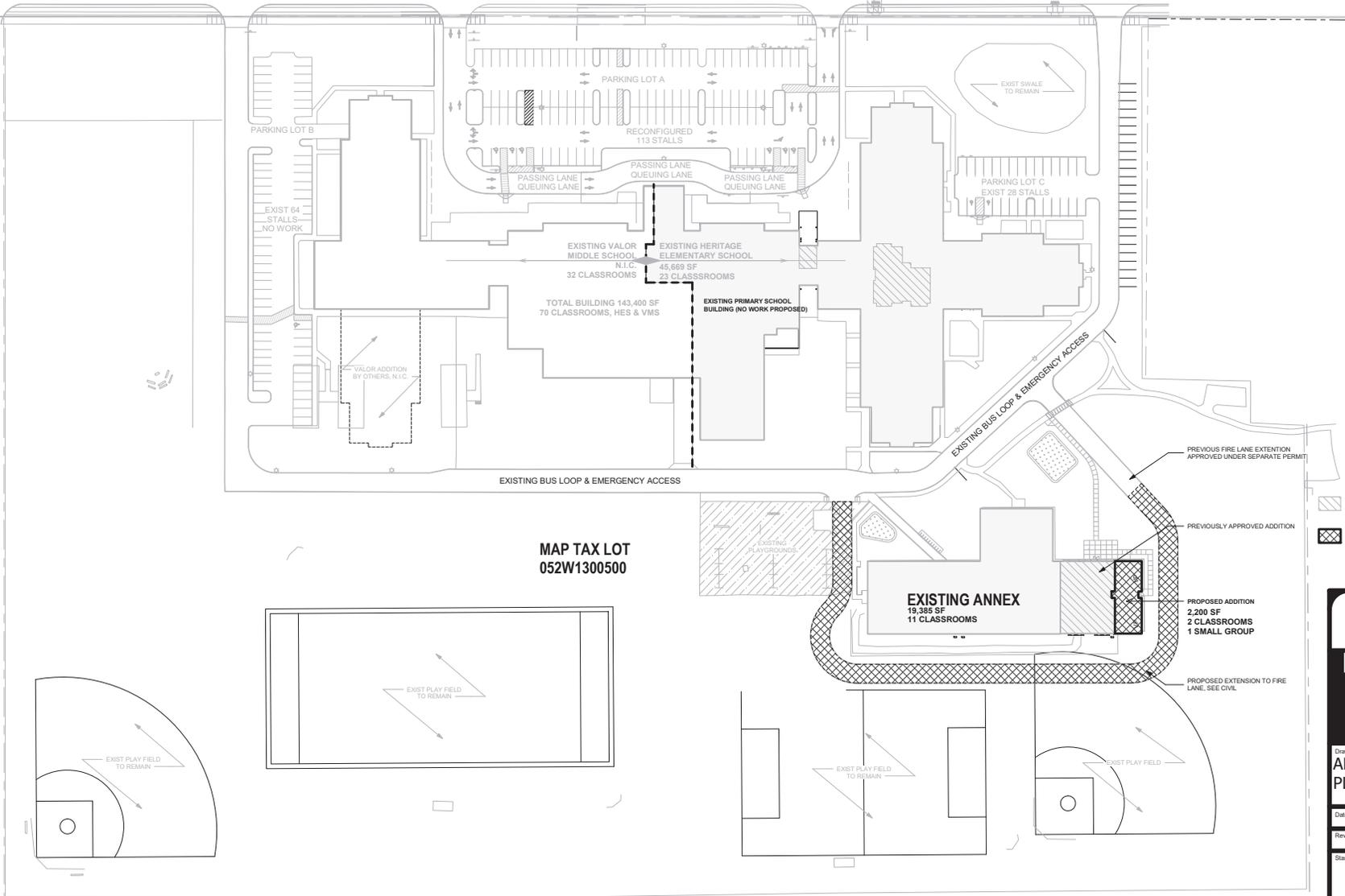
“A” – Proposed Site Plan

Exhibit “A” – Proposed Site Plan

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8

A
B
C
D
E
F
G
H

PARR ROAD NE



MAP TAX LOT
052W1300500

- AREA OF NEW CONSTRUCTION UNDER CURRENT CONSTRUCTION PERMIT
- PROPOSED ADDITION

LAND USE REVIEW
HERITAGE ELEMENTARY SCHOOL
 WOODBURN SCHOOL DISTRICT
BLRB architects

Drawing Title:
ARCHITECTURAL SITE PLAN

Date: 5/12/2020	Drawn By: Author
Revised: -	Project No. 1748P
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