



April 15, 2021

Brandon Deehan, Land Project Manager
Lennar Northwest, Inc.
11807 NE 99th Street, Suite 1170
Vancouver, WA 98682

RE: Approval of Grading Permit GRAD 21-02 "Smith Creek Development Phase 4B" for Tax Lot 052W130000109

Dear Mr. Deehan:

Staff approves the grading permit (received March 23, 2021) with the following conditions:

Planning Conditions of Approval:

1. Conformance with Approved Plans: All site work shall be in substantial conformance with the approved grading plans.
2. DEQ: All development activity shall be in accordance with the approved Department of Environmental Quality (DEQ) 1200-C permit. The applicant shall provide to the City any modifications to the DEQ permit.
3. Other agencies: The applicant, not the City, is responsible for obtaining permits from the US Army Corps of Engineers (USACE), Oregon Department of State Lands (DSL), Oregon Department of Transportation (ODOT), and other agencies which might require approval or permit.
4. ROW: All work within public rights-of-way (ROWs) or easements within City jurisdiction shall require plan approval and permit issuance from the Public Works Department.
5. Trees: Grading excludes approval to remove any trees. Prior to the start of any grading work, install tree protection per one of the methods outlined in the enclosed City of Portland Title 11.60.030.

Public Works Conditions of Approval:

6. The applicant shall comply with the submitted grading and erosion control plans, including measures to keep the ROW clean, to protect existing catch basins around the work area, and maintain dust control measures. All catch basins around the work area shall be clean of debris and soils at all times. Note that erosion control plans may be subject to modifications if and when grading and civil improvements of other phases of the Smith Creek Development are completed.
7. Construction access is limited to only be through Parr Road and internal Smith Creek streets. Construction traffic is not allowed on W. Hayes Street, Austin Avenue, Desantis Drive, or Smith Drive. Applicant shall obtain agreements for crossing on to existing private streets that are under construction in order to get to public streets.
8. The applicant is responsible for coordinating work activities with other contractors.
9. The applicant shall continuously maintain adequate protection of all work from damage and protect the public and private property of others from injury or loss arising in connection with the work.
10. The applicant shall comply with City of Woodburn Planning Department requirements through Woodburn Development Ordinance (WDO) 5.01.04 Grading Permit.
11. Prior to starting work, contact the Public Works Department for inspection of the erosion control in the public ROW. Contact the Engineering Division at (503) 982-5240.
12. The applicant shall leave ROW in clean condition, free from litter and debris, at the end of each workday, or more frequently if directed by the City Inspector.
13. Sidewalk and street closures are not allowed under this permit.

Background

The property owner through Stafford Land Company and Ordinance No. 2565 (2018) annexed territory including the subject property and obtained approval of a planned unit development (PUD), preliminary subdivision, and ancillary applications for the Smith Creek Development via the Final Order of November 14, 2018. The project is split into nine phases; the grading plans are limited to Phase 4B.

Context


This grading permit in no way abrogates or supersedes any conditions of approval in the Smith Creek Development Final Order of November 14, 2018.

Summary of Review:

This site is subject to the development standards of the Woodburn Development Ordinance. The applicant is requesting to grade the site in preparation for the installation of public improvements including utilities, streets, and stormwater management facilities relating to Phase 4B of the Smith Creek Development.

Pursuant to WDO 4.01.02, The Director shall render all Type I land use decisions. The Director's decision is the final decision of the City on a Type I application and cannot be appealed by any party through the City land use appeals process. If you have any questions regarding this matter, contact Chris Kerr, Community Development Director chris.kerr@ci.woodburn.or.us or (503) 980-2445.

Final decision approved by designee:



Dan Handel, AICP, Associate Planner

April 15, 2021

Enclosures:

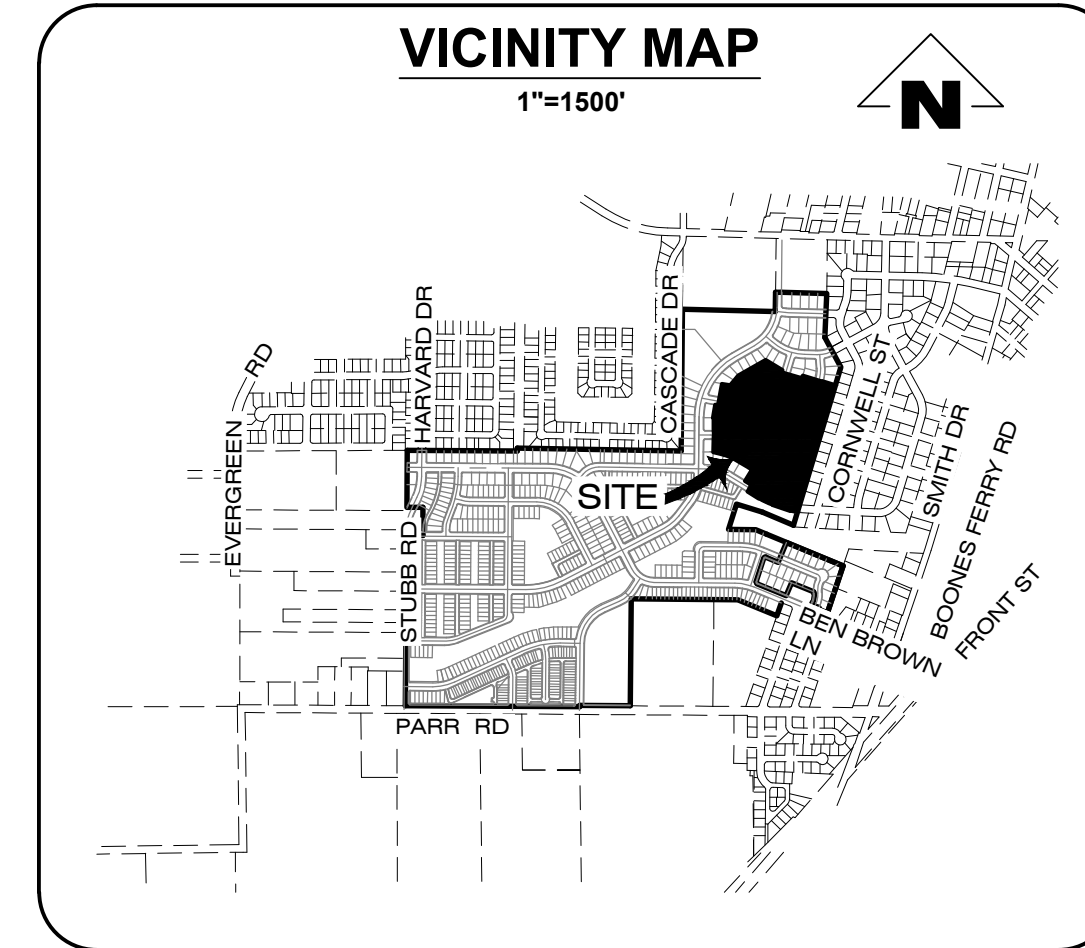
1. Approved Plans
2. City of Portland Title 11.60.030 tree protection methods

cc: Roy Hankins, P.E., 2677 Willakenzie Rd, Suite 1A, Eugene, OR 97401
Chris Kerr, Community Development Director
Colin Cortes, AICP, CNU-A, Senior Planner
Eric Liljequist, P.E., Public Works Director
Dago Garcia, P.E., City Engineer
Alyssa Nichols, Permit Technician

file: GRAD 21-02

SMITH CREEK PHASE 4B

66-LOT SUBDIVISION
TAX MAP 052W13-TL112
WOODBURN, OREGON



NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.
(NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987.)

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.
Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS	
M-F 7am-6pm	503-226-4211 Ext.4313
AFTER HOURS	503-226-4211
PGE	503-464-7777
CENTURY LINK	1-800-491-0118
FRONTIER	1-800-921-8101
CITY OF WOODBURN ENGINEERING	503-982-5247
WOODBURN WATER DEPARTMENT	503-982-5218
WOODBURN NON-EMERGENCY	503-982-2345

THIS DESIGN COMPLIES WITH ORS 92.044 (7) IN THAT NO UTILITY INFRASTRUCTURE IS DESIGNED TO BE WITHIN ONE (1) FOOT OF A SURVEY MONUMENT LOCATION SHOWN ON A SUBDIVISION OR PARTITION PLAT. NO DESIGN EXCEPTIONS NOT FINAL FIELD LOCATION CHANGES SHALL BE PERMITTED IF THAT CHANGE WOULD CAUSE ANY UTILITY INFRASTRUCTURE TO BE PLACED WITHIN THE PROHIBITED AREA.

VERTICAL DATUM

THE VERTICAL DATUM FOR THIS SURVEY IS BASED UPON POST-PROCESSED GPS STATIC OBSERVATION OF INDEPENDENT CONTROL, PROCESSED THROUGH OPUS, DATUM IS NAVD 88, CONVERTED TO NGVD 29 THROUGH THE VERTCON PROCESS TOOL.

IMPERVIOUS AREA SUMMARY

TOTAL EXISTING	= 0 SF	(0.00 AC)
PROPOSED PRIVATE PROPERTY	= 437725 SF	(10.05 AC)
PROPOSED PUBLIC ROW	= 186,264 SF	(4.28 AC)
TOTAL PROPOSED	= 623,989 SF	(14.33 AC)

PROJECT CONTACTS

OWNER: LENNAR 11807 NE 99TH ST. SUITE 1170 VANCOUVER, WA 98682 CONTACT: NICK EDWARDS (360) 258-7905	SURVEYOR: BARKER SURVEYING 3657 KASHMIR WAY SE SALEM, OREGON 97317 CONTACT: GREGORY L. WILSON (503) 588-8800 (P) (503) 363-2469 (F)	GEOTECHNICAL ENGINEER: GEOPACIFIC 14835 SW 72nd AVENUE PORTLAND, OR 97224 CONTACT: JAMES D. IMBRIE (503) 598-8445 (P) (503) 941-9281 (F)	CIVIL ENGINEER: EMERIO DESIGN, LLC 6445 SW FALLBROOK PL. STE. 100 BEAVERTON, OR 97008 CONTACT: ROY W. HANKINS, P.E. (503) 746-8812 (P) (503) 639-9592 (F)
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SITE DATA

AREA:	16.67
ZONING:	RMN
LOT:	PARCEL 2 OF PARTITION PLAT 2019-069

PAPER SCALE NOTE

THESE PLANS ARE FULL SIZED ON 22"X34" PAPER, IF 11"X17" SCALE ACCORDINGLY

DRAWING INDEX

SHEET NUMBER	SHEET TITLE
01	COVER SHEET AND INDEX OF DRAWINGS
02	CONSTRUCTION NOTES & LEGEND
03	TYPICAL STREET SECTIONS
04	EXISTING CONDITIONS AND DEMOLITION PLAN
05	PRELIMINARY PLAT
06	COMPOSITE UTILITY PLAN
07	GRADING PLAN
08	SMITH & STORM SD-02 STA 23+50 TO 28+50 PLAN AND PROFILE
09	CORNWELL & STORM SD-03 STA 9+50 TO 16+00 PLAN AND PROFILE
10	CORNWELL & STORM SD-03 STA 16+00 TO 20+50 PLAN AND PROFILE
11	RITA STA 11+00 TO 18+50 PLAN AND PROFILE
12	LANA & STORM SD-04 STA 11+00 TO 19+00 PLAN AND PROFILE
13	YVONNE & STORM SD-05 STA 9+50 TO 14+50 PLAN AND PROFILE
14	PATH SEGMENT A AND N-S ACCESS WAY PLAN AND PROFILE
15	CURB RETURN DETAILS
16	CURB RETURN DETAILS
17	CURB RETURN DETAILS
18	SANITARY SS-A STA 23+50 TO 28+50 & WATER LINE PLAN & PROFILE
19	SANITARY SS-B STA 9+50 TO 16+00 & WATER LINE PLAN & PROFILE
20	SANITARY SS-B STA 16+00 TO 20+50 & WATER LINE PLAN & PROFILE
21	SANITARY SS-C STA 11+00 TO 18+50 & WATER LINE PLAN & PROFILE
22	SANITARY SS-D SS-F & WATER LINE PLAN & PROFILE
23	SANITARY SS-E STA 9+50 TO 14+50 & WATER LINE PLAN & PROFILE
24	TREET SIGNAGE STRIPING & STREET TREE PLAN
25	STREET SIGNAGE DETAILS
26	CONSTRUCTION DETAILS
27	CONSTRUCTION DETAILS
28	CONSTRUCTION DETAILS
29	CONSTRUCTION DETAILS
30	CONSTRUCTION DETAILS

**SMITH CREEK - PHASE 4B
TAX MAP 052W13-TL 112
WOODBURN, OREGON**

COVER SHEET AND INDEX OF DRAWINGS

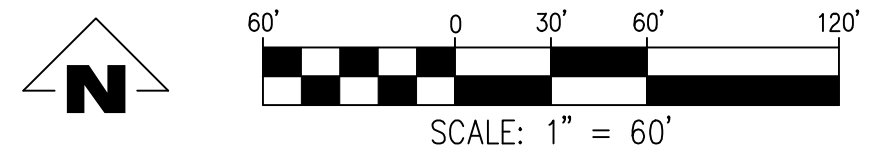
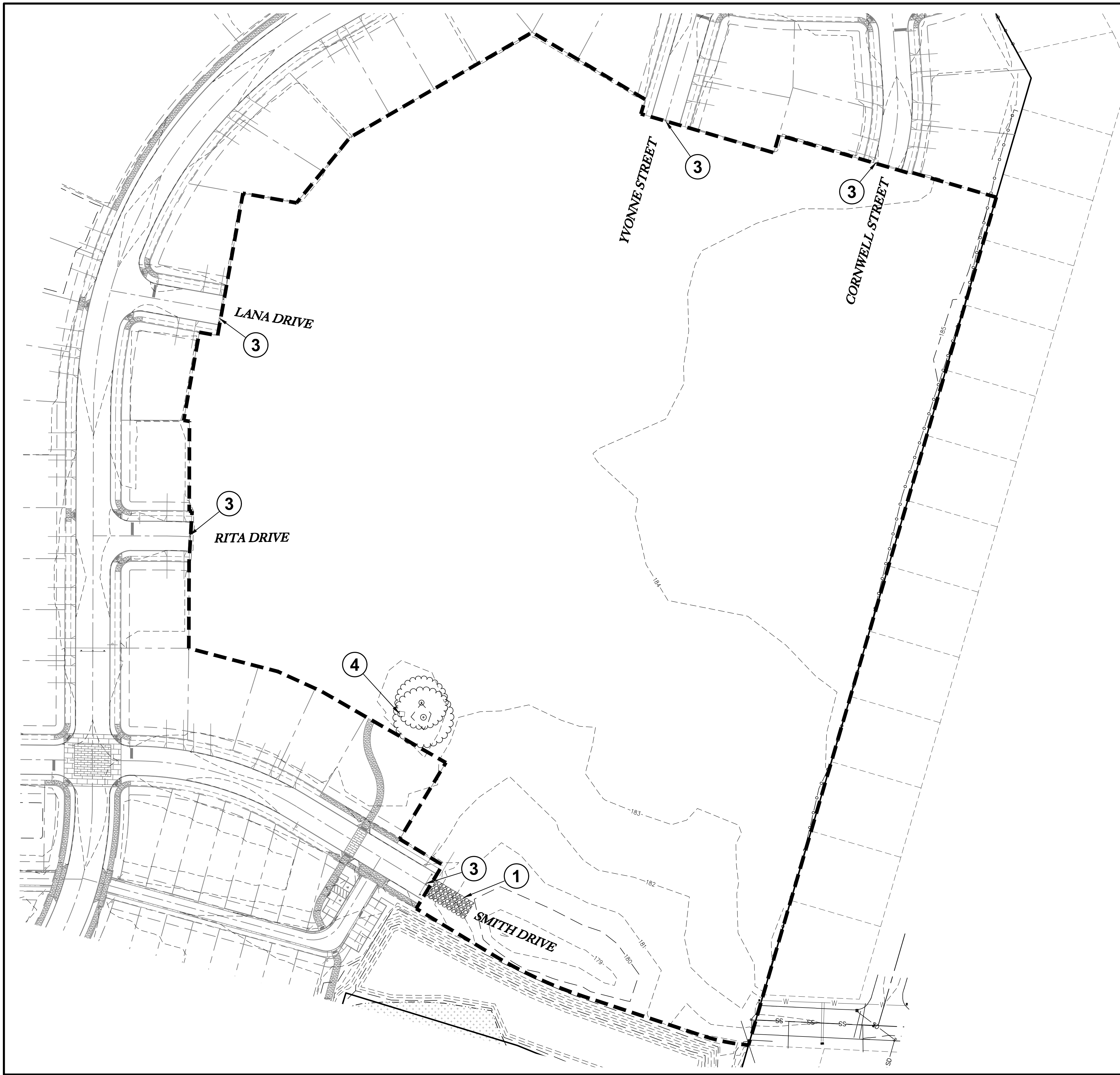
NO.	DATE	DESCRIPTION
0	02/2021	1ST SUBMITTAL

EMERIO
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www.emeriodesign.com

REGISTERED PROFESSIONAL ENGINEER
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OREGON
JULY 13, 2010
ROY W. HANKINS
EXPIRES: 6/30/2021

SHEET
01
OF
30

FILE-P:\0196-004 Smith Creek-Phase 4B\dwg\civil\Phase 4B\0196-004_01covr Layout: 01 COVER SHEET AND INDEX OF DRAWINGS, Plat Date: 3/23/2021 2:43 PM, by: Keaton Smith 471-001



DEMOLITION NOTES:

- ① INSTALL GRAVEL CONSTRUCTION ENTRANCE.
- ② TRUCK DELIVERIES SHALL BE THRU PARR ROAD ONLY.
- ③ REMOVE BARRICADES.
- ④ EXISTING WELL TO BE ABANDONED.

SURVEY NOTES:

THE VERTICAL DATUM FOR THIS SURVEY IS BASED UPON POST-PROCESSED GPS STATIC OBSERVATION OF INDEPENDENT CONTROL, PROCESSED THROUGH OPUS, DATUM IS NAVD 88, CONVERTED TO NVD 29 THROUGH THE VERTCON PROCESS TOOL.

A TRIMBLE S6-SERIES ROBOTIC INSTRUMENT WAS USED TO COMPLETE A CLOSED LOOP FIELD TRAVERSE.

THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER PARTITION PLAT 2006-55, RECORDS OF MARION COUNTY.

THE PURPOSE OF THIS SURVEY IS TO RESOLVE AND DETERMINE THE PERIMETER BOUNDARY OF THE SUBJECT PROPERTY, TO SHOW ALL PERTINENT BOUNDARY ISSUES AND ENCROACHMENTS. NO PROPERTY CORNERS WERE SET IN THIS SURVEY.

NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE, ETC.

NO TITLE REPORT WAS SUPPLIED OR USED IN THE PREPARATION OF THIS MAP.

THE UNDERGROUND UTILITIES AS SHOWN ON THIS MAP HAVE BEEN LOCATED FROM FIELD SURVEY OF ABOVE GROUND STRUCTURES AND AS MARKED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.

NO WATERLINES WERE LOCATED PER LOCATES TICKET NUMBER 16168193. WATERLINES NEED TO BE FIELD VERIFIED.

LEGEND

- NOTE: SOME SYMBOLS MAY NOT BE USED ON MAP
- | | |
|--|--|
| <ul style="list-style-type: none"> ☉ DECIDUOUS TREE ☀ EVERGREEN TREE ⊕ STORM SEWER MANHOLE ⊞ CATCH BASIN ● SANITARY SEWER CLEANOUT ⊙ SANITARY SEWER MANHOLE ⊗ WATER VALVE ⊞ WATER METER ⊞ FIRE HYDRANT ⊗ GAS VALVE ⊞ GAS METER ● BOLLARD ⊞ SIGN ⊞ MAILBOX ⊞ COMMUNICATIONS PEDESTAL ⊞ COMMUNICATIONS MANHOLE ⊞ COMMUNICATIONS BOX ⊞ STORM OUTFALL ● FOUND MONUMENT ⊞ DOWN SPOUT TO STORM SYSTEM ⊞ WELL HEAD | <ul style="list-style-type: none"> ⊞ UTILITY AND LIGHT POLE ⊞ UTILITY POLE ⊞ LIGHT POLE ⊞ GUY WIRE ⊞ ELECTRIC BOX ⊞ ELECTRIC METER ⊞ ELECTRICAL POWER PEDESTAL ⊞ ELECTRIC RISER ⊞ HEAT PUMP ⊞ WETLAND BOUNDARY —XOH—XOH— OVERHEAD LINE —XG—XG— GAS LINE —XEL—XEL— ELECTRICAL LINE —XCOM—XCOM— COMMUNICATIONS LINE —XSS—XSS— SANITARY SEWER LINE —XSD—XSD— STORM DRAIN LINE —XW—XW— WATER LINE ⊞ FENCELINE ⊞ GAS RISER ⊞ DOWN SPOUT TO SPLASH GUARD/GROUND ⊞ GAS STUB ⊞ WATER BLOWOFF |
|--|--|

SMITH CREEK - PHASE 4B
TAX MAP 052W13-TL 112
WOODBURN, OREGON

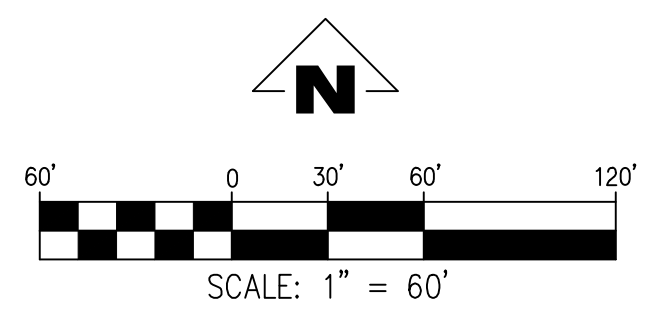
EXISTING CONDITIONS AND DEMOLITION PLAN

NO.	DATE	DESCRIPTION
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 OREGON
 JULY 13, 2010
 ROY W. HANKINS
 EXPIRES: 6/30/2021

FILE: P:\0196-004 Smith Creek-Phase 4B\dwg\cwl\Phase 4B\0196-004_04ext.dwg Layout: 04 EXISTING CONDITIONS AND DEMOLITION PLAN, Plot Date: 3/23/2021 2:44 PM, Dwg: Keaton Smith 471-001

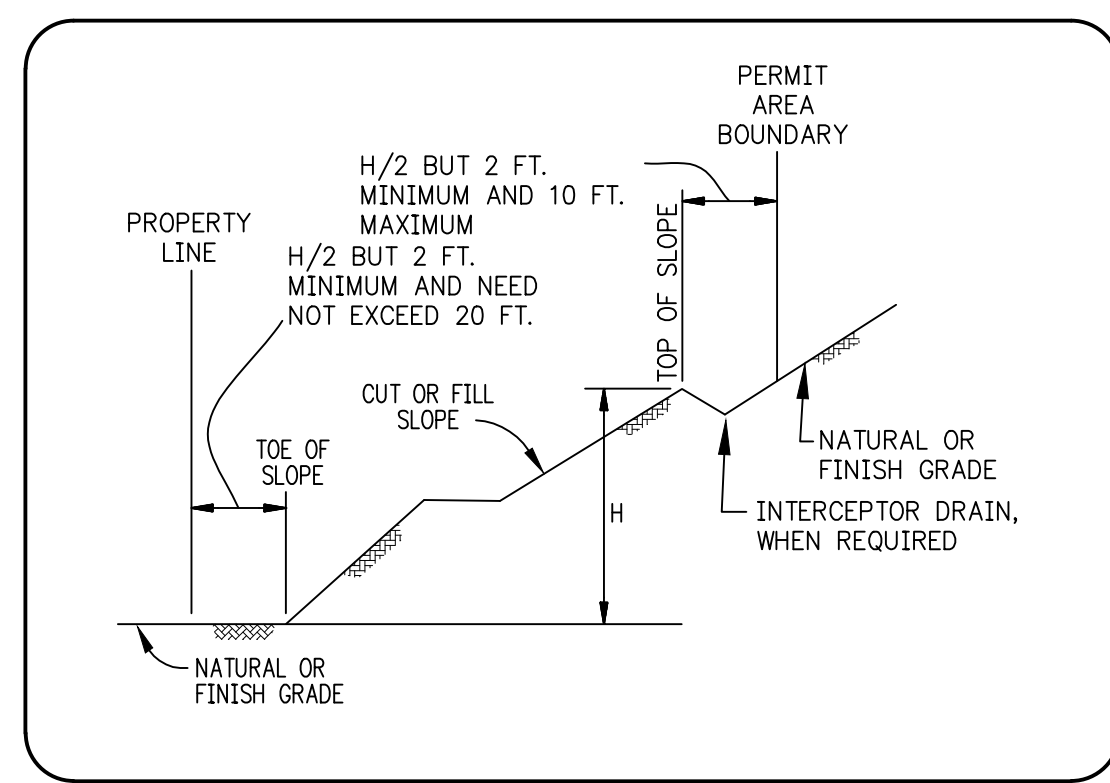


GENERAL NOTES:

- A. SEE 1200-C PLAN SET FOR EROSION CONTROL PLAN.
- B. SITE GRADING SHALL NOT RESULT IN THE IMPONDMENT OF STORM WATER ON ADJACENT PROPERTIES.
- C. 6" STRIPPINGS SHALL BE PLACED ON TOP OF STRUCTURAL FILL FOR ALL LOTS EXCEPT ALLEY LOADED.

EARTHWORK SUMMARY	
	VOLUME IN CY
CUT	14,133
FILL	10,212
NET	3,921

NOTE: STRIPPING AND TRENCH SPOILS ARE NOT INCLUDED IN THIS CALCULATION, CONTRACTOR SHALL INDEPENDENTLY VERIFY VOLUMES.



SETBACK LIMITATIONS
N.T.S.

SMITH CREEK - PHASE 4B
TAX MAP 052W13-TL 112
WOODBURN, OREGON

GRADING PLAN

NO.	DATE	DESCRIPTION
0	02/2021	1ST SUBMITTAL

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JULY 13, 2010
ROY W. HANKINS
EXPIRES: 6/30/2021

FILE: P:\0196-004 Smith Creek-Phase 4B\dwg\civ\Phase 4B\0196-004_07grad_Layout: 07 GRADING PLAN, Plot Date: 3/23/2021 2:44 PM, by: Keelan Smith 471-001

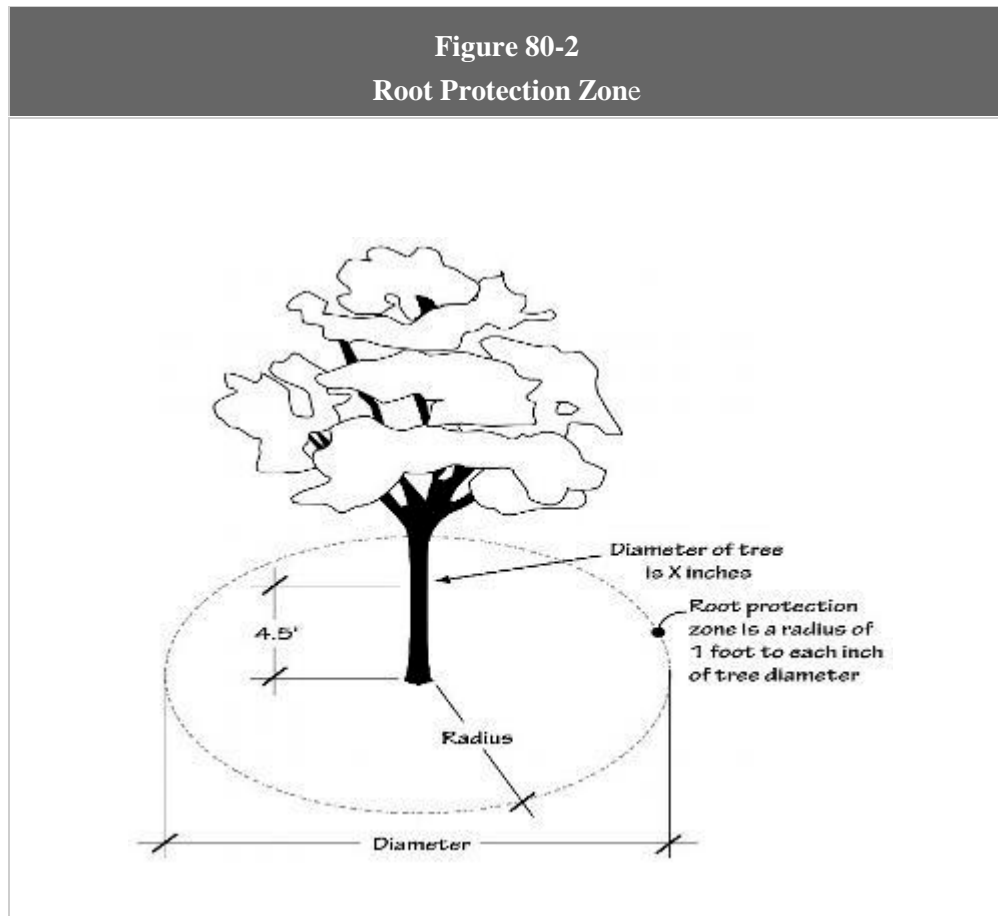
Significant Tree Protection: Follow the City of Portland Title [11.60.030](#), specifically either the subsections set of C.1.a.(1), (3) and C.1.b., e., & f. (clear and objective); or, the subsections set of C.2.a., b., & d.-f. (arborist's discretion) and as outlined below. Subsection D. applies in either scenario.

C. Protection methods. The Tree Plan shall show that the contractor adequately protects trees to be preserved during construction using one of the methods described below:

1. Clear & Objective Path.

a. A root protection zone is established as follows:

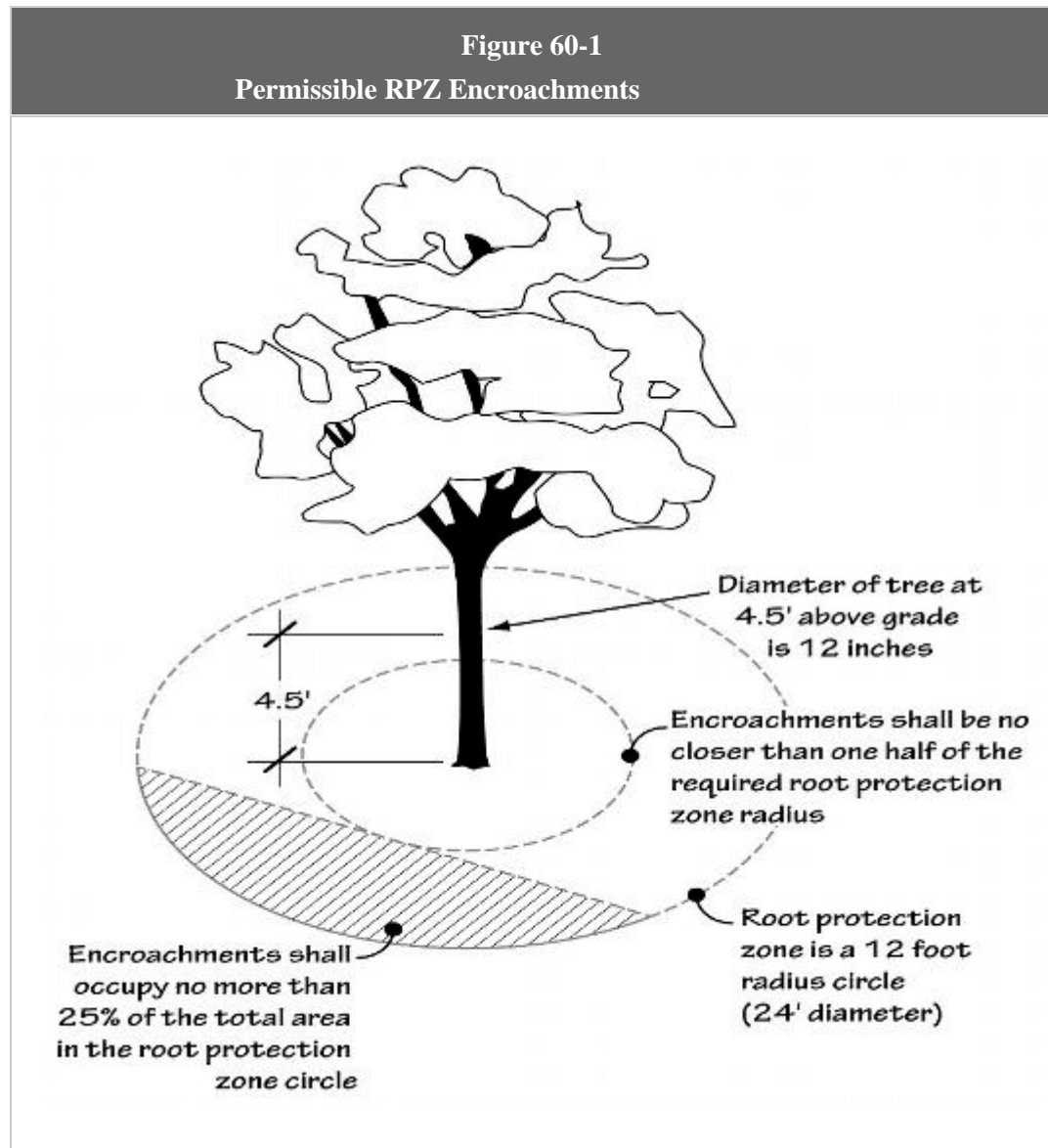
- (1) For trees on the development site - a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter (see Figure 80-2)



- (3) Existing encroachments into the root protection zone, including structures, paved surfaces and utilities, may remain. New encroachments into the root protection zone are allowed provided:

(a) the area of all new encroachments is less than 25 percent of the remaining root protection zone area when existing encroachments are subtracted; and

(b) no new encroachment is closer than 1/2 the required radius distance (see Figure 60-1);



b. Protection fencing

(1) Protection fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 2-foot metal posts shall be established at the edge of the root protection zone and permissible encroachment area on the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

(2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

e. The following is prohibited within the root protection zone of each tree or outside the limits of the development impact area: ground disturbance or construction activity including vehicle or equipment access (but excluding access on existing streets or driveways), storage of equipment or materials including soil, temporary or permanent stockpiling, proposed buildings, impervious surfaces, underground utilities, excavation or fill, trenching or other work activities; and

f. The fence shall be installed before any ground disturbing activities including clearing and grading, or construction starts; and shall remain in place until final inspection by Planning Division staff.

2. Arborist's Discretion. When the prescriptive path is not practicable, the applicant may propose alternative measures to modify the clear and objective root protection zone (RPZ), provided the following standards are met:

a. The alternative RPZ is prepared by an arborist who has visited the site and examined the specific tree's size, location, and extent of root cover, evaluated the tree's tolerance to construction impact based on its species and health, identified any past impacts that have occurred within the root zone, and forwarded a report through the developer to Planning Division staff;

b. The arborist has prepared a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site visit described above;

d. If the alternative methods require the arborist be on site during construction activity, the applicant shall submit a copy of the contract for those services prior to permit issuance and a final report from the arborist documenting the inspections and verifying the viability of the tree(s) prior to final inspection by the Planning Division;

e. If the alternative tree protection method involves alternative construction techniques, an explanation of the techniques and materials used shall be submitted;

f. The arborist shall sign the tree preservation and protection plan and include contact information.

D. Changes to tree protection. Changes to the tree protection measures during the course of the development may be approved as a revision to a permit provided that the change is not the result of an unauthorized encroachment into a root protection zone (RPZ), and the applicant demonstrates that the tree protection standards of this Section continue to be met. When an unauthorized encroachment has occurred, the City may pursue an enforcement action or other remedy.