



City of Woodburn
Community Development Dept.

Memorandum

270 Montgomery Street Woodburn, Oregon 97071 Phone (503) 982-5246 Fax (503) 982-5244

Date: March 4, 2022
To: Dago Garcia, P.E., City Engineer
Cc: Chris Kerr, AICP, Community Development Director
Roy Hankins, PE, Emerio Design
From: Colin Cortes, AICP, CNU-A, Senior Planner *cc*
Subject: **Planning Division review comments on civil engineering plans 2nd / 1st revised submittal 2022 for Smith Creek Phase 3A (Tax Lot 052W130000105)**

Summary

Planning Division staff identifies revisions needed before sign-off on Public Works Department Engineering Division approval and issuance of civil engineering plans for Smith Creek Development Phase 3A, which is south of Phase 2A, along the east side of Stubb Rd NE, and north of the tributary of Mill Creek.

The City Engineer hosted a virtual meeting with Planning Division staff March 3, 2022 regarding the second / first revised submittal of 2022.

Revision Items

The applicant needs to address the items below.

A. *Landscaping: street trees, greenway, and common areas:* Landscaping is required for both the greenway and private common areas. Additionally, the land use “final order” document with the conditions of approval has Condition G5 that required a “Final Plan” submittal (intended through the Planning Division) to finalize the details of public and private areas. The final order remains available at the bottom of the [City project webpage](#) or [directly](#) (180MB), and Condition G5 is on p. 50.

The Stafford Land Co. handled this from Phase 1A onward except that homebuilder Lennar handled it for Phase 4B. As of January 14, no one has submitted for Phase 3A, and though Sheet 48 “Street Signage Striping and Tree Plan” suggests street locations, because the City Engineer confirmed to Planning staff that utility locations along streets remain in flux, the indicated street trees are too preliminary in number and location to review.

1. *Regarding how to landscape, see Conditions G6 (pp. 50 & 51), PUD-9c1(ii), c2, & c4 (p. 58) as well as Note to the Applicant 5 (p. 70). As a request, as a means of meeting minimum landscaping, plant trees at a number equal to and approximate spacing of 1 per 30 ft in these tracts:*

- a. *Along the two paths in each of C, D, J, & K;*
- b. *Along the sidewalk in J, K, & M; and*
- c. *Along the sidewalk in O (greenway tract).*

2. *The developer needs to resolve revisions in response to City direction regarding the civil improvements with where landscaping would be, particularly regarding street trees in relation to improvements such as driveways, street lights, fire hydrants, and utility boxes, pedestals, and vaults. (Regarding irrigation of public landscaping, establish with the Public Works Department Engineering Division sooner than later measures for temporary irrigation during construction and the details of transferring irrigation and remaining maintenance responsibilities upon dedication of tracts to the City.)*

3. *A developer’s representative needs to submit Condition G5 Final Plan materials to the Planning Division no later than upon the engineer of record submitting revised civil engineering plans to the Engineering Division. Regarding landscaping, especially trees in or near streets, the two sets of drawings should not conflict.*

Address.

B. *Platting: Sheet 6:*

1. *Correct tract lettering on the plan and in the table as well as the lot numbering. The County Surveyor required the designations to continue sequentially from Phase 1A (“Smith Creek P.U.D.” plat) onward.*

Address.

2. Also make sure the numbering and lettering is consistent with what is proposed through Phase 3A final plat app FSUB 21-04 submitted to the City.

Note: The applicant hasn't yet submitted drawings to complete the final plat application to the City, including public (access) easements along bike/ped paths per Condition PUD-4a & c (pp. 54 & 56).

The above Note remains applicable.

E. Mill Creek greenway trail: Stubb/Sawtelle NE corner sidewalk taper: Per Condition PUD-4a & b1 (p. 54) and final order Exhibits C-8D-12 & Y-1, provide more pavement so that the sidewalk stub at the Phase 4A boundary is 12 ft wide.

See also Part II, Item BB.

Address.

F. Footbridge: As background, final order Exhibits C-8C-10 and Y-1 illustrated near the Phase 3A/4A boundary what the final order termed a "footbridge" where the bike/ped path near Nichols Lane crosses the tributary of Mill Creek and joins the Mill Creek greenway trail. Condition G2 and part G2e together (p. 49) require the path up to the tributary as part of 3A improvements and allow the footbridge to be part of Phase 4A improvements.

1. Sheets 8, 12, and especially 48 imply a tributary crossing, but there are no close-up plan, elevation, and cross-section details. Provide such to show such, whether the "footbridge" is either a bridge or a paved path atop graded soil with a culvert and related improvements beneath.

No action needed. Planning staff confirms that Sheets 7 & 8 illustrate a tributary crossing as a paved path atop graded soil with a culvert beneath.

2. Demonstrate conformance with Condition PUD-4e (p. 56).

The condition states: "The walking surfaces shall be raised above 100-year floodway elevation." Address by making obvious on a plan sheet or sheets, at least Sheet 8.

3. If (a) the developer proposes or the Engineering Division requires hand or safety railings, and (b) if there is no City public works standard and (c) the Engineering Division directs defaulting to an Oregon Dept. of Transportation (ODOT) standard, then Planning staff would request for aesthetic reason that the developer install per either [BR246](#) "Pedestrian Rail" or [DET3243](#) "Ornamental Protective Screening Misc Fence Details" and to refrain from RD770 "Metal Handrail".

Address.

H. Street cross sections: Sheet 3: "Gunderson Avenue and Simon Street" typical section: Revise for these two streets the right-hand part by narrowing the indicated width between centerline and back of curb from 19.5 ft to 17.5 ft, matching the left-hand side, and by re-allocating the 1.5 ft to widen the curbtight sidewalk (Gunderson north side, Simon west side) from 5 to 6.5 ft.

Address.

I. Cover letter: A cover letter addressing the lettered items of this review memo and citing the specific sheet number(s) of the revisions for each item.

Provide.

New Item J: Scale

Confirm or correct the Sheet 8 indicated scale of 1" to 60'.

New Item K: Sheet 51 street tree plan:

2. Condition PUD-9c1(ii) is not met:

"WDO 3.06.03A.1. is modified such that the developer shall plant 1 tree per 30 ft of frontage (instead of 1 per 50), and this condition is limited to the following three block faces that have few or no driveway aprons / curb cuts: ...
ii. Phase 3A: Stubb Rd: east side, between Killian Spring Parkway and Gunderson Avenue"

The block face width between the start of ROW curves is 328 ft. $328 / 30 = 10.9$
→ 11 trees. The sheet illustrates 7; 4 are missing. Add 4.

The block of Stubb Rd between Killian Spring and Gunderson is alley-loaded. The sheet shows utility laterals for context. The laterals are proposed from the street instead of the public alley. By proposing lot laterals to the alley, the developer will remove conflicts allowing Condition PUD-9c1(ii) to be met.

Address this both through Sheet 51 revision and as part of addressing Item A.

3. Condition PUD-9c2 is not met:

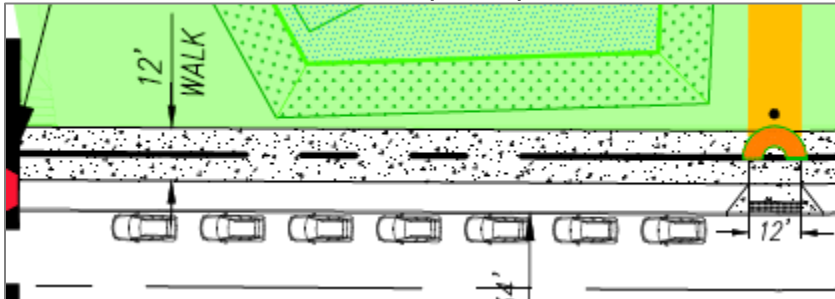
“Phase 3A: Gunderson Ave: The north/northwest side of Gunderson Avenue lacks a planter strip or tree wells, and common area is along much of this side. The developer shall plant 1 tree per 30 ft of frontage between Simon Street and Stubb Road. Placement shall be within 6 ft of the sidewalk. At least one tree shall be at the west side of each of the east mews east walkway and the west mews walkways that all intersect the sidewalk. The developer shall revise site plans accordingly.”

The block face width between the start of ROW curve at each of Stubb and Simon is 754 ft. Lessening out three public alleys each 20 ft width, $754 - 60 = 694$. $694 / 30 = 23.1 \rightarrow 23$ trees. The sheet illustrates 12; 11 are missing. Add 11.

4. As part of addressing Item A, indicate street tree species.
5. As part of addressing Item A, along Killian Spring, continue the Green Vase Zelkova (*Zelkova serrata* “green vase”) that the City approved for Phase 1A along Killian Spring.

BB. Mill Creek greenway trail on-street segment: Similar to as was done for Phase 1A along Ostrom Dr, please have the Item E sidewalk stub placed to start a landscape strip 7 ft wide inc. curb width that per Exhibit C8D-12 would continue in Phase 4A. (Platting will handle a public easement granting access to sidewalk overlapping outside ROW per Condition PUD-4a & PUD-4b4 (p. 54 & 56).

Please take care while meeting Item E. For context, below is an excerpt of land use final order Exhibit C8D-12, landscape strip:



Next Steps

Planning Division requests revisions and re-submittal by the applicant and affirms that the Public Works Department Engineering Division is not to approve civil engineering plan until Planning outstanding items are resolved.

When you receive a 3rd submittal / 2nd revised submittal from the applicant, please notify me and provide both PDF and two print copies of the revised plans and specify a desired due date for Planning review comments.

Feel free to contact me at (503) 980-2485 or <colin.cortes@ci.woodburn.or.us>.

Attachment(s):

none