



September 18, 2020

West Coast Home Solutions, LLC  
c/o Eugene Labunsky  
25030 SW Parkway Ave, Suite 110  
Wilsonville, OR 97070

RE: Approval of Grading Permit GRAD 2019-11 "Pacific Valley Apartments" for 1310 N. Pacific Highway (Tax Lots 051W08DB02800 and 051W08DC00100)

Dear Mr. Labunsky:

Following original submittal of the grading permit application on December 30, 2019 with additional materials submitted on August 6, 2020 and September 16, 2020, staff approves the permit with the following conditions:

*Planning Conditions of Approval*

1. Conformance with Approved Plans: All site work shall be in substantial conformance with the grading plans received December 30, 2019.
2. DEQ: All development activity shall be in accordance with the approved Department of Environmental Quality (DEQ) 1200-C permit 33731 dated August 6, 2020 and the associated grading and erosion control plans of that permit. The applicant shall provide to the City any modifications to the DEQ permit.
3. Other agencies: The applicant, not the City, is responsible for obtaining permits from the US Army Corps of Engineers (USACE), Oregon Department of State Lands (DSL), Oregon Department of Transportation (ODOT), and other agencies which might require approval or permit.
4. ROW: All work within public rights-of-way (ROWs) or easements within City jurisdiction shall require plan approval and permit issuance from the Public Works Department.

5. Access: The applicant shall follow Public Works Department direction regarding construction access.
6. Tree Preservation: Applicant shall preserve trees in accordance with Condition G5 of the Final Decision for DR 2019-03, PLA 2019-03, & VAR 2019-02.

### *Public Works Conditions of Approval*

The applicant shall:

7. Comply with the grading and erosion control plans, including measures to keep the ROW clean and to protect existing catch basins around the work area. All catch basins around the work area shall be clean of debris and soils at all times.
8. Comply with any outside agency permits required for this project (Oregon Department of Transportation, Marion County Public Works, Oregon Department of Environmental Quality, etc.).
9. Continuously maintain adequate protection of all the work from damage and shall protect the public and private property of others from injury or loss arising in connection with the work.
10. Comply with City of Woodburn Planning Department requirements through [Woodburn Development Ordinance \(WDO\)](#) 5.01.04 Grading Permit.
11. Prior to starting work, contact the Public Works Department for inspection of the erosion control in the public ROW. Contact the Engineering Division at (503) 982-5240.

### *Background*

The property owner obtained City approval of a design review, property line adjustment, and variance application package for the Pacific Valley Apartments development via the Final Order of December 9, 2019.

### *Context*

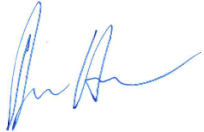
This grading permit in no way abrogates or supersedes any conditions of approval in the Pacific Valley Apartments Final Order of December 9, 2019.

### *Summary of Review*

The applicant is requesting to grade the site in preparation for the construction of the Pacific Valley Apartment complex, including installation of utilities, drive aisles, and other on-site improvements associated with the development.

This site is subject to the development standards of the Woodburn Development Ordinance. Pursuant to WDO 4.01.02, the Director shall render all Type I land use decisions. The Director's decision is the final decision of the City on a Type I application and cannot be appealed by any party through the City land use appeals process. If you have any questions regarding this matter, contact Chris Kerr, Community Development Director [chris.kerr@ci.woodburn.or.us](mailto:chris.kerr@ci.woodburn.or.us) or (503) 980-2445.

Final decision approved by designee:



Dan Handel, AICP, Associate Planner

September 18, 2020

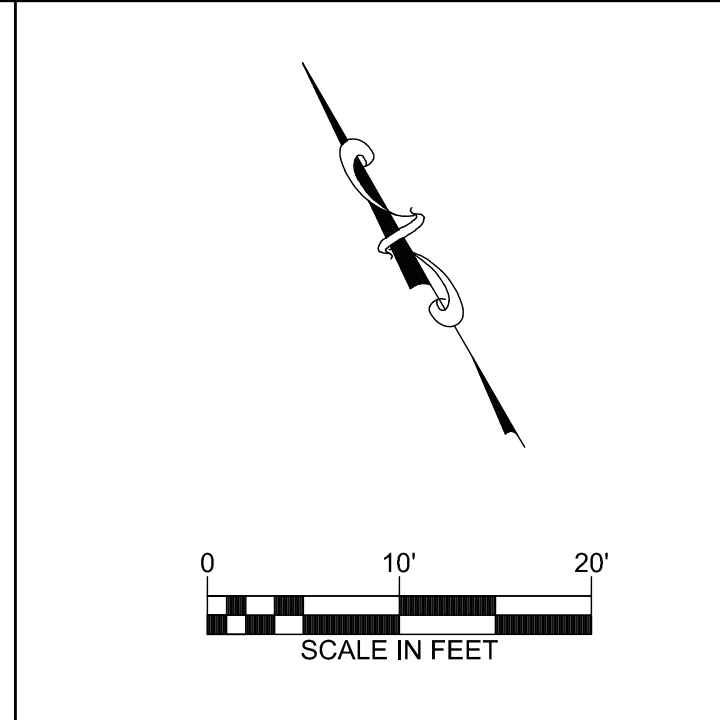
Enclosures (4):

1. Grading Permit approved plans (8 sheets, submitted 12/30/2019)
2. DEQ 1200-C Permit 33731 (pages 1-2)
3. DEQ 1200-C Permit approved plans (5 sheets, submitted 9/16/2020)
4. Pacific Valley Apartments site plan

cc: Chris Kerr, AICP Community Development Director  
Colin Cortes, AICP, CNU-A, Senior Planner  
Eric Liljequist, P.E., Public Works Director  
Dago Garcia, P.E., City Engineer

file: GRAD 2019-11

DATE: 05/06/2024 10:43:00 AM FILE: 20240506 10:43:00 AM PROJECT: 60-07 GR-1 SHEET: 26 OF 34

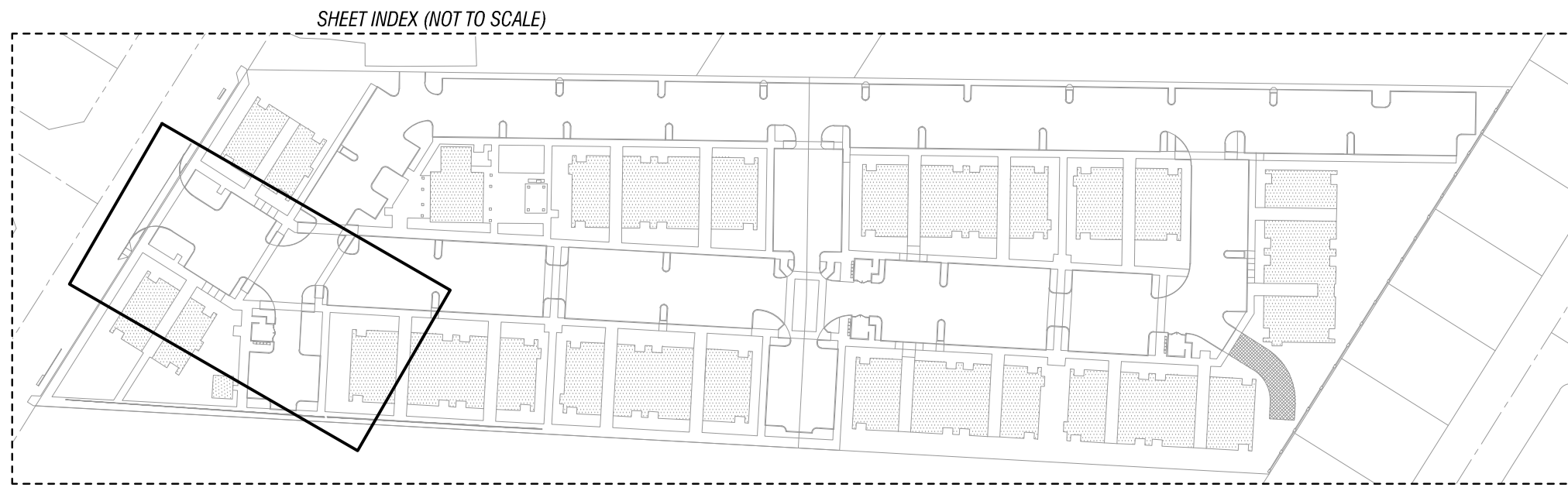


CONSTRUCTION NOTES:  
XXXX.XX (CONC) PROPOSED SPOT ELEVATION  
XXXX.XX (EX) EXISTING GROUND SPOT ELEVATION  
AC = ASPHALT CONCRETE  
FOW = FRONT OF WALK  
FG = FINISH GRADE  
RIM = RIM ELEVATION  
X.XXX% PROPOSED PERCENT SLOPE

- CS CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2, FOUND IN THE DETAIL SHEETS.
- AC CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO DETAIL FOUND ON SHEET GN-1.
- SW CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8, FOUND IN THE DETAIL SHEETS.
- CD CONTRACTOR SHALL CONSTRUCT CONCRETE SECTION IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW Labeled "ALL OTHER".
- BR CONTRACTOR SHALL INSTALL BICYCLE RACK, AS SHOWN. DETAILS AND SPECIFICATIONS FOR THE BIKE RACK SHALL BE PROVIDED BY OTHERS.
- CB CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, IN CONCRETE AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.
- GB CONTRACTOR SHALL SET GRADE BREAK, AS SHOWN.

ENCLOSURE 1

- LG GENERAL LANDSCAPE GRADING, BETWEEN THE BACK OF WALK AND THE BUILDINGS, SHALL BE FIELD FITTED TO WASTE ANY MATERIAL, AS NEEDED, OR SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT TO SUIT SITE AESTHETICS. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS FOR PLANTINGS.
- GE CONTRACTOR SHALL CONSTRUCT GARBAGE ENCLOSURE, AS SHOWN, PURSUANT TO STRUCTURAL AND ARCHITECTURAL PLANS, PROVIDED BY OTHERS.
- MB MAILBOX DETAILS AND SPECIFICATIONS FOR INSTALLATION SHALL BE PROVIDED BY OTHERS.



REGISTERED PROFESSIONAL ENGINEER 55020 OREGON JANUARY 12, 2008 CREG J. ZARTMAN

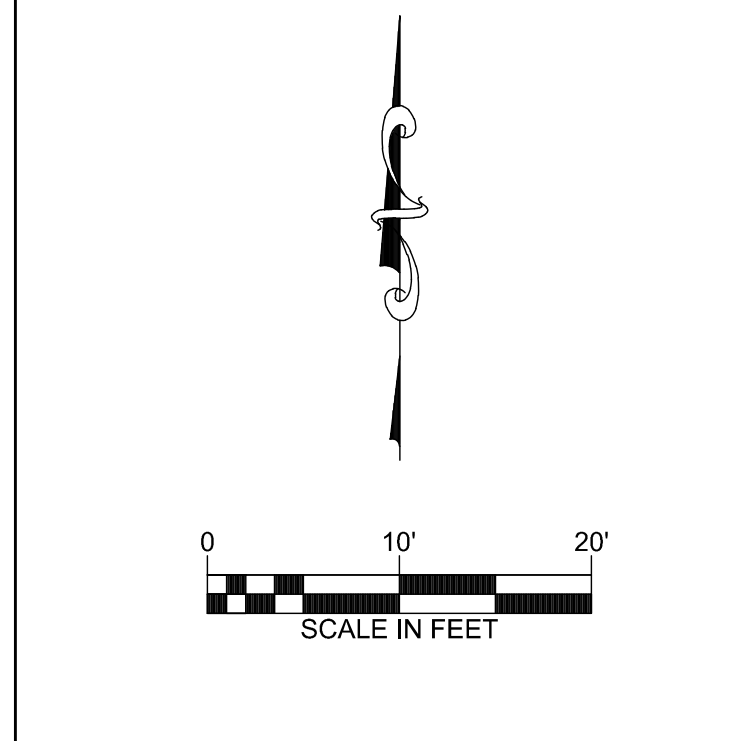
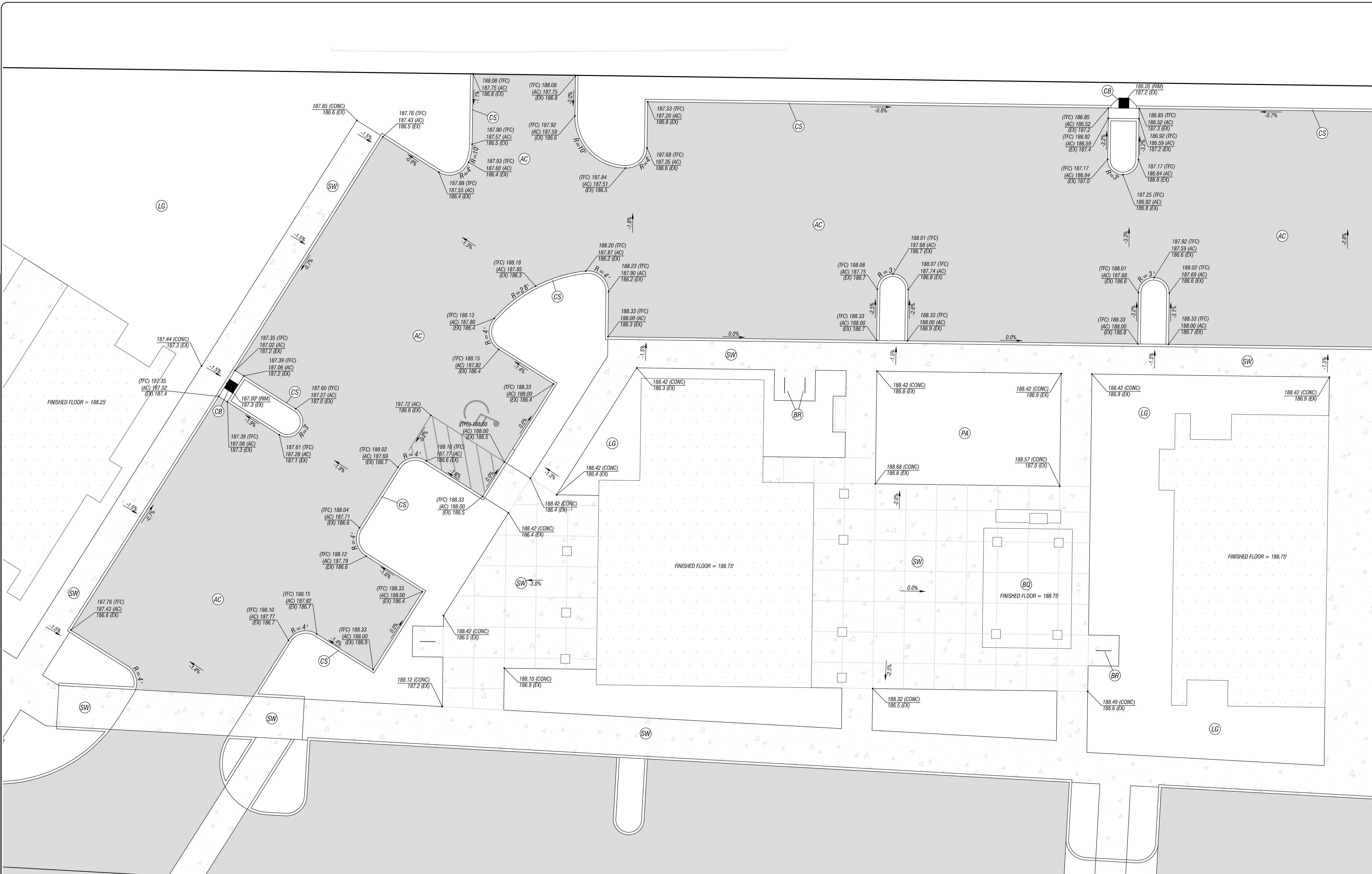
NO.	DATE	REVISION	BY	APP'D
1				
2	07/19	JULY 12 COMMENTS	CF	CF
3	8/19	PRE ACCESS	CF	CF
4	1/1/19	BUILDING PERIOD	CF	CF

PACIFIC VALLEY APARTMENTS WEST COAST HOME SOLUTIONS, LLC PREPARED FOR:

LEI ENGINEERING & SURVEYING OF OREGON 2564 197th ST SE, Suite 0030, 97202 (503) 399-3828 www.leiengineering.com

SCALE	PROJECT NO.	SHEET NO.
1" = 10'	60-07	26 OF 34
SITE GRADING		GR-1

C. ROSSIGNOL (REGISTERED PROFESSIONAL ENGINEER) 2019.03.15 12:27 PM  
 C. ROSSIGNOL (REGISTERED PROFESSIONAL ENGINEER) 2019.03.15 12:27 PM  
 C. ROSSIGNOL (REGISTERED PROFESSIONAL ENGINEER) 2019.03.15 12:27 PM  
 C. ROSSIGNOL (REGISTERED PROFESSIONAL ENGINEER) 2019.03.15 12:27 PM



**REGISTERED PROFESSIONAL ENGINEER**  
 55020  
 OREGON  
 JANUARY 12, 1988  
**CREG J. ZARTMAN**

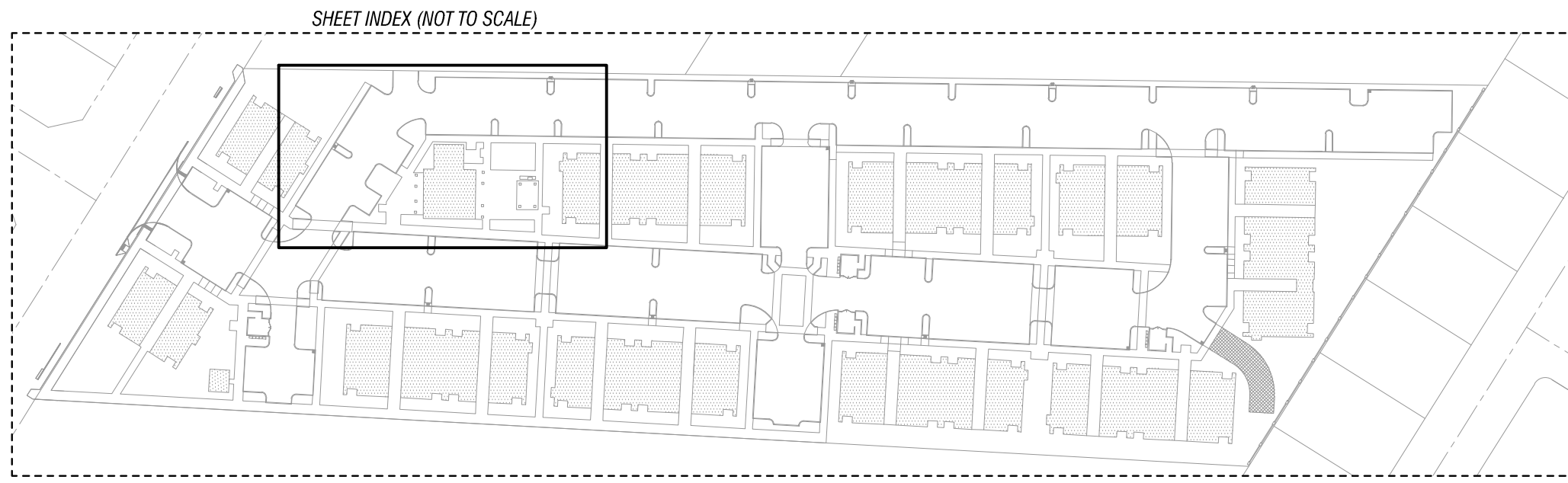
EXPIRES		BY	DATE	REVISION	DATE

**CONSTRUCTION NOTES:**

- XXX.XX (CONC)    PROPOSED SPOT ELEVATION.  
XXX.XX EX        EXISTING GROUND SPOT ELEVATION  
 AC = ASPHALT CONCRETE  
 FOW = FRONT OF WALK  
 FG = FINISH GRADE  
 RIM = RIM ELEVATION
- X.XXX%        PROPOSED PERCENT SLOPE
- (CS)    CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2, FOUND IN THE DETAIL SHEETS.
- (AC)    CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO DETAIL FOUND ON SHEET GN-1.
- (SW)    CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8, FOUND IN THE DETAIL SHEETS.
- (CD)    CONTRACTOR SHALL CONSTRUCT CONCRETE SECTION IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELED "ALL OTHER".
- (BR)    CONTRACTOR SHALL INSTALL BICYCLE RACK, AS SHOWN. DETAILS AND SPECIFICATIONS FOR THE BIKE RACK SHALL BE PROVIDED BY OTHERS.
- (CB)    CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, IN CONCRETE AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.

**GENERAL NOTES:**

- (LG)    GENERAL LANDSCAPE GRADING, BETWEEN THE BACK OF WALK AND THE BUILDINGS, SHALL BE FIELD FITTED TO WASTE ANY MATERIAL, AS NEEDED, OR SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT TO SUIT SITE AESTHETICS. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS FOR PLANTINGS.
- (PA)    REFERENCE ARCHITECTURAL PLANS FOR DETAILS PERTAINING TO PLAY AREA.
- (BO)    REFERENCE ARCHITECTURAL PLANS FOR DETAILS PERTAINING TO BARBEQUE AREA.



**PACIFIC VALLEY APARTMENTS**  
 PREPARED FOR: **WEST COAST HOME SOLUTIONS, LLC**

2564 197th ST SE  
 Seattle, WA 98148  
 (206) 399-3828  
 www.leiengineering.com

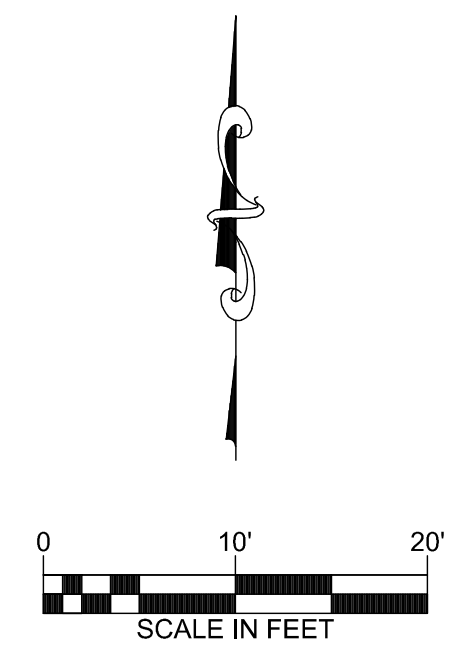
**LEI ENGINEERING & SURVEYING OF OREGON**

SCALE: 1" = 10'  
 PROJECT NO: 60-07  
 SHEET: 27 OF 34  
**GR-2**

RELEASE OF THIS DOCUMENT, AND THE DESIGN AND DESIGN INFORMATION HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF LEI ENGINEERING AND IS NOT TO BE USED, WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF LEI ENGINEERING. © LEI ENGINEERING



C. PROFFERSON (REGISTERED PROFESSIONAL ENGINEER) 2019.12.15 12:22 PM  
 C. PROFFERSON (REGISTERED PROFESSIONAL ENGINEER) 2019.12.15 12:22 PM  
 C. PROFFERSON (REGISTERED PROFESSIONAL ENGINEER) 2019.12.15 12:22 PM  
 C. PROFFERSON (REGISTERED PROFESSIONAL ENGINEER) 2019.12.15 12:22 PM



**REGISTERED PROFESSIONAL ENGINEER**  
 55020  
 OREGON  
 JANUARY 12, 1988  
**CREG J. ZARTMAN**

EXPIRES	
BY	DATE
REVISION	
DATE	
NO.	
1	1/1/19
2	8/19
3	07/19
4	10/19

**CONSTRUCTION NOTES:**

- / XXX.XX (XXX)  
\ XXX.XX EX
   
 PROPOSED SPOT ELEVATION.  
 EXISTING GROUND SPOT ELEVATION
- AC = ASPHALT CONCRETE  
 FOW = FRONT OF WALK  
 FG = FINISH GRADE  
 RIM = RIM ELEVATION
- > X.XX%  
< X.XX%
   
 PROPOSED PERCENT SLOPE
- (CS)** CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2, FOUND IN THE DETAIL SHEETS.
- (AC)** CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO DETAIL FOUND ON SHEET GN-1.
- (SW)** CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8, FOUND IN THE DETAIL SHEETS.
- (CD)** CONTRACTOR SHALL CONSTRUCT CONCRETE SECTION IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELLED "ALL OTHER".
- (BR)** CONTRACTOR SHALL INSTALL BICYCLE RACK, AS SHOWN. DETAILS AND SPECIFICATIONS FOR THE BIKE RACK SHALL BE PROVIDED BY OTHERS.
- (CB)** CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, IN CONCRETE AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.

**GENERAL NOTES:**

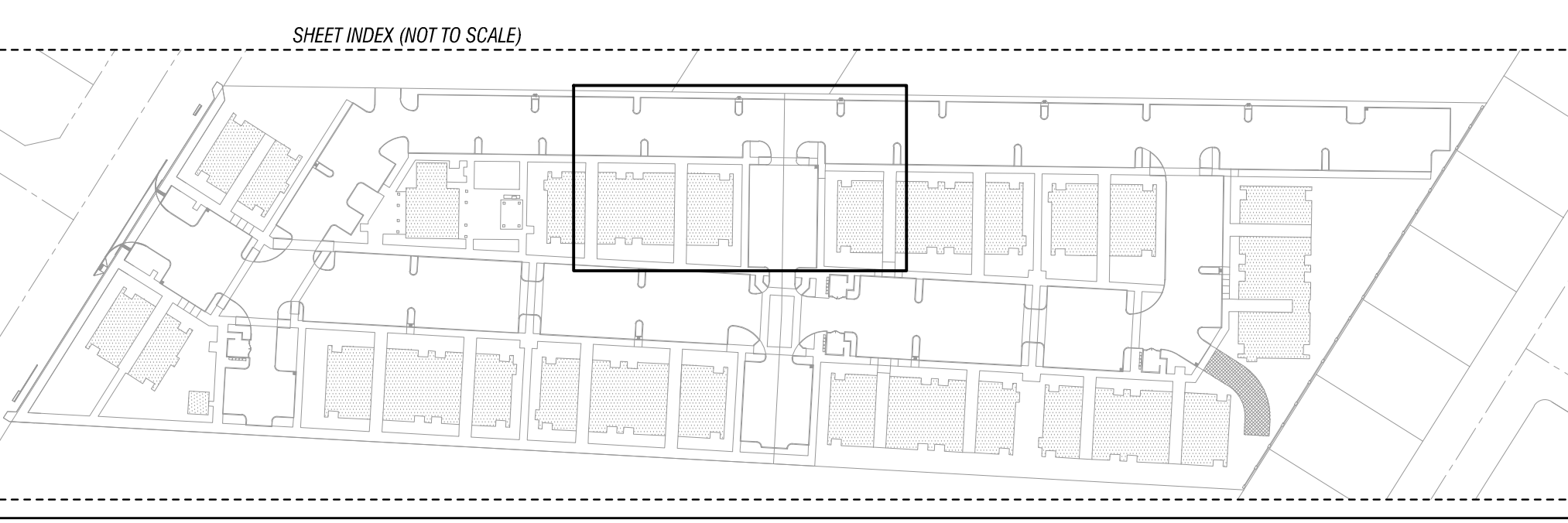
- (LG)** GENERAL LANDSCAPE GRADING, BETWEEN THE BACK OF WALK AND THE BUILDINGS, SHALL BE FIELD FITTED TO WASTE ANY MATERIAL, AS NEEDED, OR SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT TO SUIT SITE AESTHETICS. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS FOR PLANTINGS.

**PACIFIC VALLEY APARTMENTS**  
 PREPARED FOR  
**WEST COAST HOME SOLUTIONS, LLC**

2564 1974 ST SE  
 SEASIDE, OREGON 97138  
 (503) 399-3828  
 www.leiengineering.com

**LEI ENGINEERING & SURVEYING**  
 OF OREGON

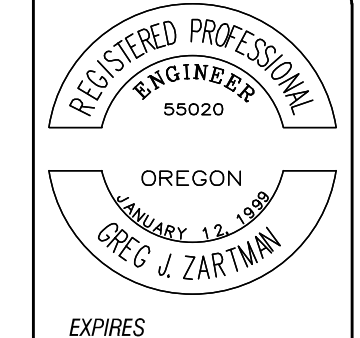
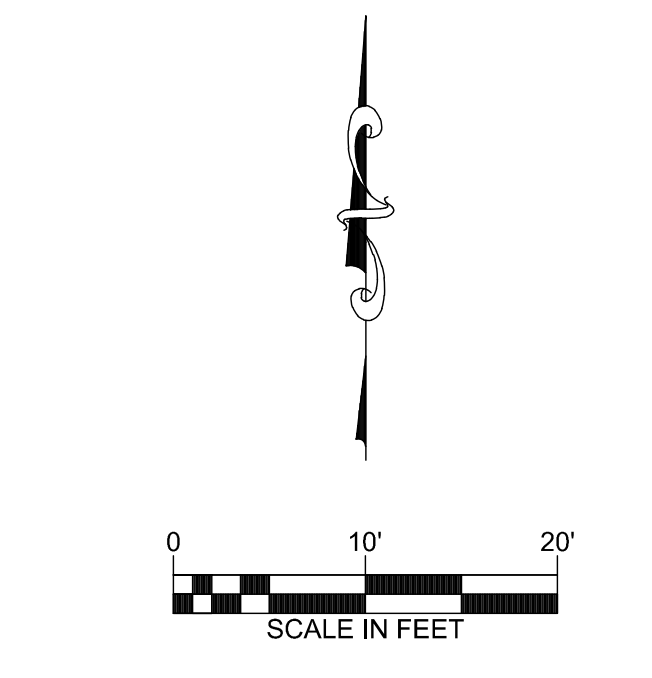
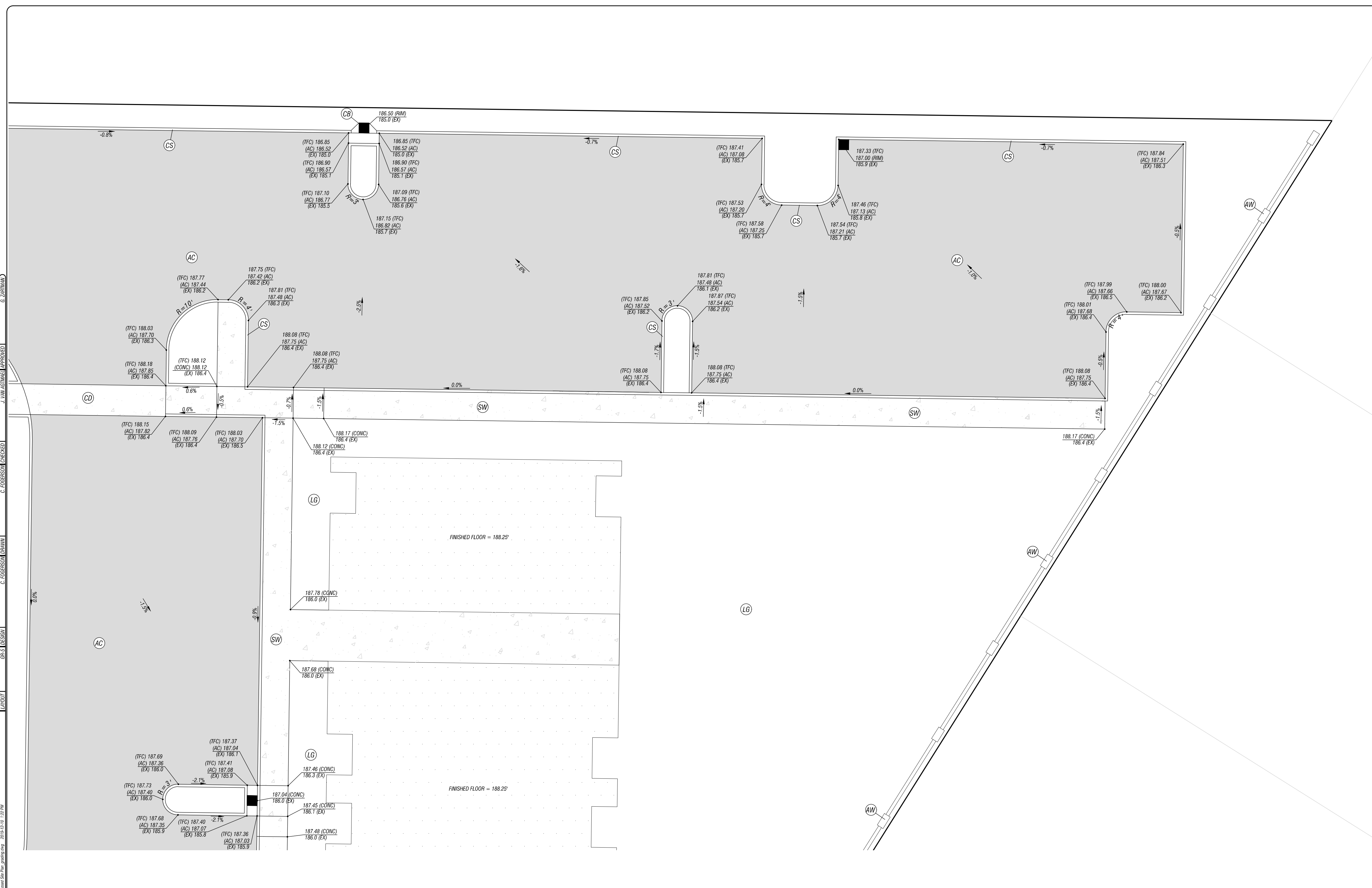
**SITE GRADING**  
 SCALE: 1" = 10'  
 PROJECT NO: 60-07  
 SHEET: 28 OF 34  
**GR-3**



RELEASE OF DOCUMENTS: THIS DOCUMENT, AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF LEI ENGINEERING AND IS NOT TO BE USED, WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF LEI ENGINEERING. © LEI ENGINEERING



DATE: 07/12/19 11:00 AM PROJECT: 60-07 GR-5 SHEET: GR-5 OF 34



NO.	DATE	REVISION	BY	APP'D
1	07/19	PRELIMINARY		
2	07/19	REVISED		
3	07/19	REVISED		
4	11/19	BUILDING PERIOD		

**CONSTRUCTION NOTES:**

- XXX.XX (XXX)  
XXX.X EX  
PROPOSED SPOT ELEVATION  
EXISTING GROUND SPOT ELEVATION
- AC = ASPHALT CONCRETE  
FOW = FRONT OF WALK  
FG = FINISH GRADE  
RIM = RIM ELEVATION
- X.XX%  
X.XX%  
PROPOSED PERCENT SLOPE
- CS CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2, FOUND IN THE DETAIL SHEETS.
- AC CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO DETAIL FOUND ON SHEET GN-1.
- SW CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8, FOUND IN THE DETAIL SHEETS.
- CD CONTRACTOR SHALL CONSTRUCT CONCRETE SECTION IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELLED "ALL OTHER".
- BR CONTRACTOR SHALL INSTALL BICYCLE RACK, AS SHOWN. DETAILS AND SPECIFICATIONS FOR THE BIKE RACK SHALL BE PROVIDED BY OTHERS.
- CB CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, IN CONCRETE AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.
- AW CONTRACTOR SHALL CONSTRUCT ARCHITECTURAL WALL ALONG THE PROPERTY LINE, AS SHOWN, PURSUANT TO ARCHITECTURAL AND STRUCTURAL PLANS SUPPLIED BY OTHERS.

**GENERAL NOTES:**

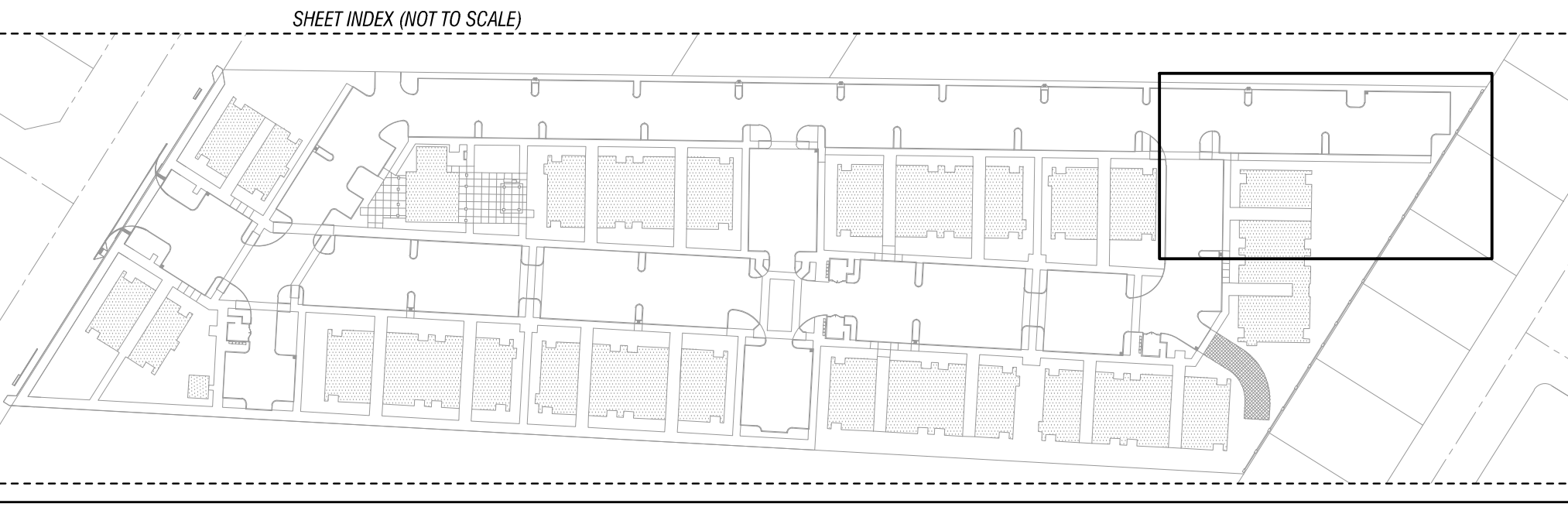
- LG GENERAL LANDSCAPE GRADING, BETWEEN THE BACK OF WALK AND THE BUILDINGS, SHALL BE FIELD FITTED TO WASTE ANY MATERIAL, AS NEEDED, OR SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT TO SUIT SITE AESTHETICS. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS FOR PLANTINGS.
- PA REFERENCE ARCHITECTURAL PLANS FOR DETAILS PERTAINING TO PLAY AREA.
- BB REFERENCE ARCHITECTURAL PLANS FOR DETAILS PERTAINING TO BARBEQUE AREA.

**PACIFIC VALLEY APARTMENTS**  
PREPARED FOR: WEST COAST HOME SOLUTIONS, LLC

2564 197th St SE  
Seattle, WA 98148  
(206) 399-3828  
www.leiengineering.com

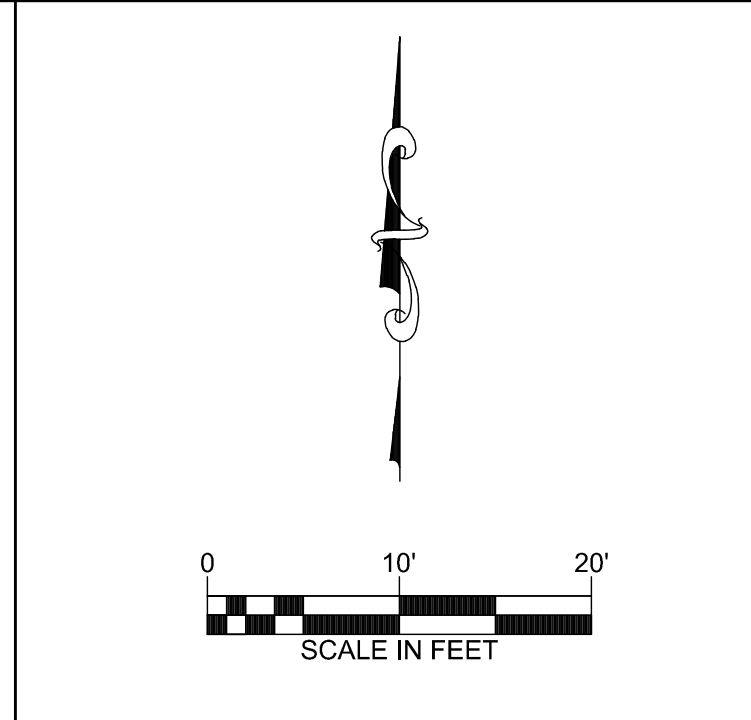
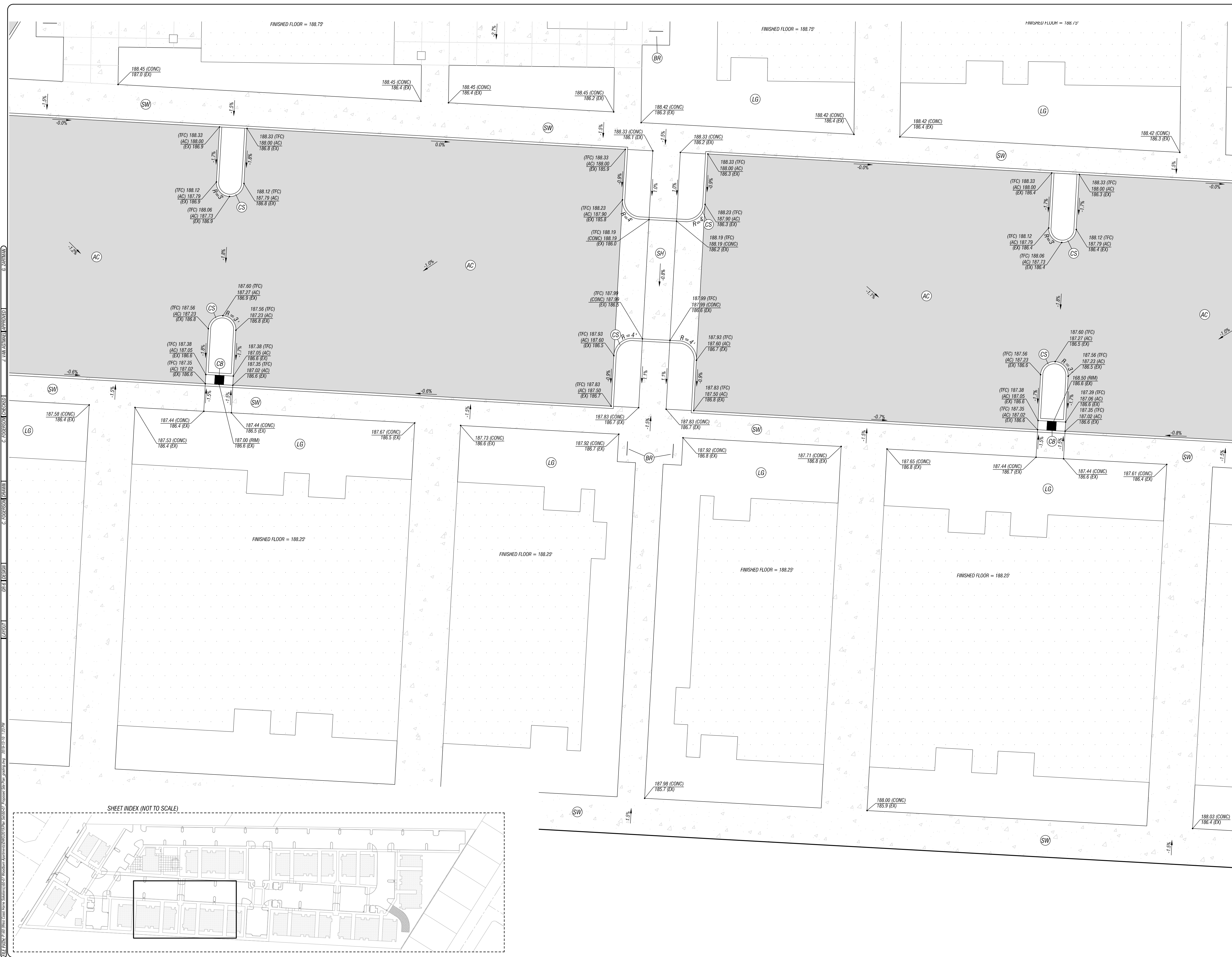
**LEI ENGINEERING & SURVEYING**  
OF OREGON

SITE GRADING	
SCALE: 1" = 10'	GR-5
PROJECT NO: 60-07	
SHEET: 30 OF 34	



RELEASE OF DOCUMENTS: THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF LEI ENGINEERING AND IS NOT TO BE COPIED, WALKED OFF IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF LEI ENGINEERING. LEI ENGINEERING





**CONSTRUCTION NOTES:**

- $\frac{\text{XXXX.XX (CONC)}}{\text{XXXX.X EX}}$  PROPOSED SPOT ELEVATION, EXISTING GROUND SPOT ELEVATION
- AC = ASPHALT CONCRETE
- FW = FRONT OF WALK
- FG = FINISH GRADE
- RM = RIM ELEVATION
- $\frac{\text{X.XX}\%}{\text{X.XX}\%}$  PROPOSED PERCENT SLOPE
- (CS) CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2, FOUND IN THE DETAIL SHEETS.
- (AC) CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO DETAIL FOUND ON SHEET GN-1.
- (SW) CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8, FOUND IN THE DETAIL SHEETS.
- (CD) CONTRACTOR SHALL CONSTRUCT CONCRETE SECTION IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELLED "ALL OTHER".
- (SH) CONTRACTOR SHALL CONSTRUCT CONCRETE SPEED HUMP IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELLED "ALL OTHER".
- (BR) CONTRACTOR SHALL INSTALL BICYCLE RACK, AS SHOWN. DETAILS AND SPECIFICATIONS FOR THE BIKE RACK SHALL BE PROVIDED BY OTHERS.
- (CB) CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, IN CONCRETE AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.

**GENERAL NOTES:**

- (LG) GENERAL LANDSCAPE GRADING, BETWEEN THE BACK OF WALK AND THE BUILDINGS, SHALL BE FIELD FITTED TO WASTE ANY MATERIAL, AS NEEDED, OR SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT TO SUIT SITE AESTHETICS. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS FOR PLANTINGS.

C. PROFESSIONAL ENGINEER 55020  
 C. PROFESSIONAL SURVEYOR 2019-2025  
 C. PROFESSIONAL ARCHITECT 2019-2025  
 C. PROFESSIONAL LANDSCAPE ARCHITECT 2019-2025  
 C. PROFESSIONAL PLANNING 2019-2025  
 C. PROFESSIONAL ELECTRICAL ENGINEER 2019-2025  
 C. PROFESSIONAL MECHANICAL ENGINEER 2019-2025  
 C. PROFESSIONAL CIVIL ENGINEER 2019-2025  
 C. PROFESSIONAL CHEMICAL ENGINEER 2019-2025  
 C. PROFESSIONAL ENVIRONMENTAL ENGINEER 2019-2025  
 C. PROFESSIONAL METALLURGICAL ENGINEER 2019-2025  
 C. PROFESSIONAL NUCLEAR ENGINEER 2019-2025  
 C. PROFESSIONAL AERONAUTICAL ENGINEER 2019-2025  
 C. PROFESSIONAL AGRICULTURAL ENGINEER 2019-2025  
 C. PROFESSIONAL BIOMEDICAL ENGINEER 2019-2025  
 C. PROFESSIONAL INDUSTRIAL ENGINEER 2019-2025  
 C. PROFESSIONAL MARINE ENGINEER 2019-2025  
 C. PROFESSIONAL MINING ENGINEER 2019-2025  
 C. PROFESSIONAL PETROLEUM ENGINEER 2019-2025  
 C. PROFESSIONAL TRANSPORTATION ENGINEER 2019-2025  
 C. PROFESSIONAL WATER RESOURCES ENGINEER 2019-2025  
 C. PROFESSIONAL WIND ENGINEER 2019-2025

**REGISTERED PROFESSIONAL ENGINEER**  
 55020  
**OREGON**  
 JANUARY 12 2008  
**CREG J. ZARTMAN**

EXPIRES	
BY	DATE
REVISION	DATE
BY	DATE
CF	CF
CF	CF
CF	CF
CF	CF
CF	CF
CF	CF
CF	CF
CF	CF

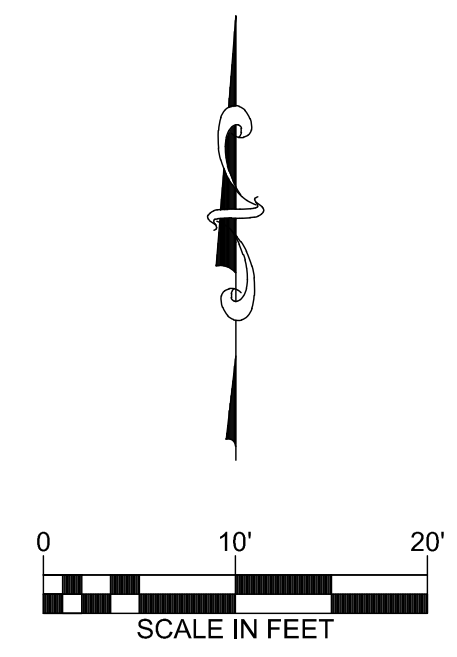
PACIFIC VALLEY APARTMENTS  
 PREPARED FOR:  
 WEST COAST HOME SOLUTIONS, LLC

2564 19TH ST SE  
 SEASIDE, OREGON 97138  
 (503) 399-3828  
 www.leiengineering.com

**LEI** ENGINEERING & SURVEYING  
 OF OREGON

**SITE GRADING**  
 SCALE: 1" = 10'  
 PROJECT NO: **60-07**  
 SHEET: **GR-6**  
 31 OF 34

RELEASE OF THIS DOCUMENT, AND THE DESIGN AND DESIGN INFORMATION HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF LEI ENGINEERING AND IS NOT TO BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION OF LEI ENGINEERING. ALL RIGHTS RESERVED.



REGISTERED PROFESSIONAL ENGINEER 55020	
OREGON CHAPTER 12 1988 CREG J. ZARTMAN	
EXPIRES	
REVISION	BY DATE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

**CONSTRUCTION NOTES:**

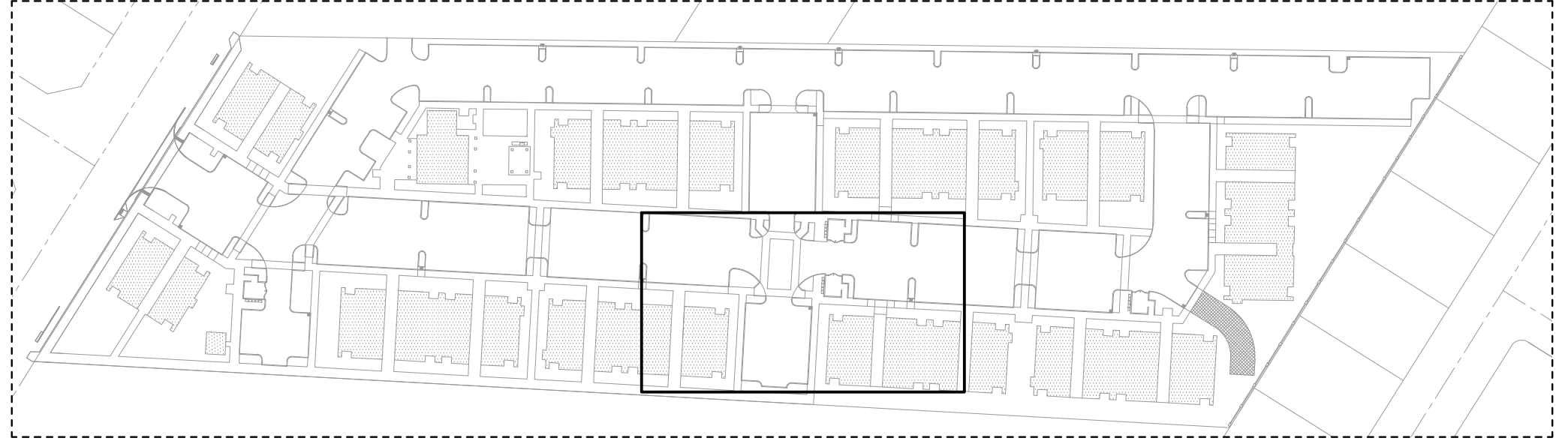
- XXX.XX (CONC)  
XXX.X EX  
PROPOSED SPOT ELEVATION,  
EXISTING GROUND SPOT ELEVATION
- AC = ASPHALT CONCRETE  
FOW = FRONT OF WALK  
FG = FINISH GRADE  
RIM = RIM ELEVATION  
PROPOSED PERCENT SLOPE
- (CS) CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2, FOUND IN THE DETAIL SHEETS.
- (AC) CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO DETAIL FOUND ON SHEET GR-1.
- (SW) CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8, FOUND IN THE DETAIL SHEETS.
- (CD) CONTRACTOR SHALL CONSTRUCT CONCRETE SECTION IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELLED "ALL OTHER".
- (BR) CONTRACTOR SHALL INSTALL BICYCLE RACK, AS SHOWN. DETAILS AND SPECIFICATIONS FOR THE BIKE RACK SHALL BE PROVIDED BY OTHERS.
- (CB) CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, IN CONCRETE AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.

**GENERAL NOTES:**

- (LG) GENERAL LANDSCAPE GRADING, BETWEEN THE BACK OF WALK AND THE BUILDINGS, SHALL BE FIELD FITTED TO WASTE ANY MATERIAL, AS NEEDED, OR SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT TO SUIT SITE AESTHETICS. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS FOR PLANTINGS.
- (GE) CONTRACTOR SHALL CONSTRUCT GARBAGE ENCLOSURE, AS SHOWN, PURSUANT TO STRUCTURAL AND ARCHITECTURAL PLANS, PROVIDED BY OTHERS.
- (MB) MAILBOX DETAILS AND SPECIFICATIONS FOR INSTALLATION SHALL BE PROVIDED BY OTHERS.

C. ZARTMAN, REGISTERED PROFESSIONAL ENGINEER AND SURVEYOR  
 2564 1974 ST SE  
 SEASIDE, OREGON 97138  
 (503) 399-3828  
 www.leiengineering.com

**SHEET INDEX (NOT TO SCALE)**



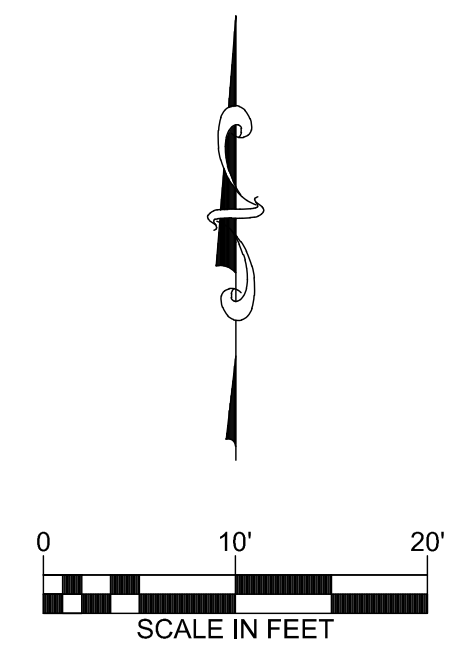
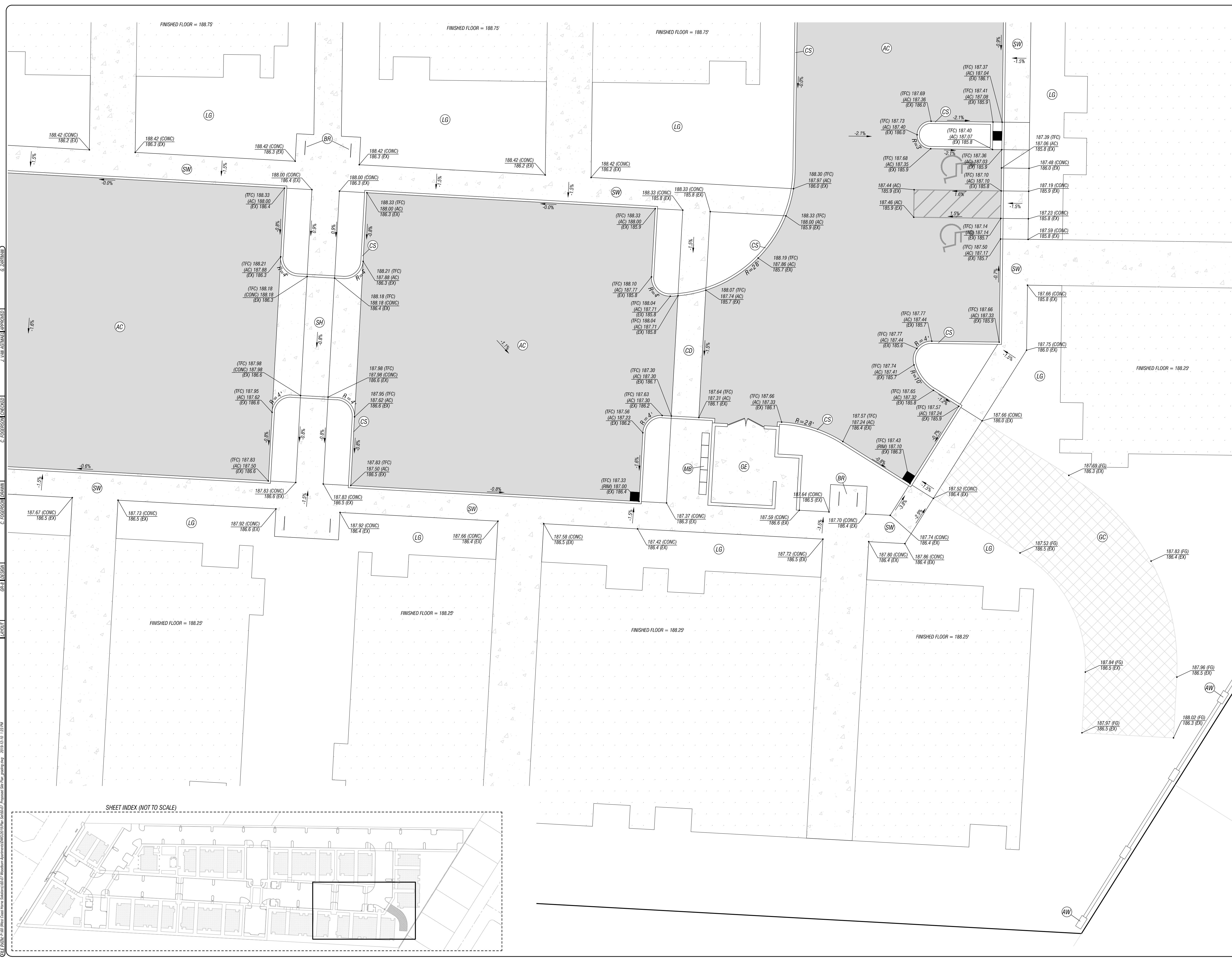
**PACIFIC VALLEY APARTMENTS**  
 WEST COAST HOME SOLUTIONS, LLC

PREPARED BY:  
 2564 1974 ST SE  
 SEASIDE, OREGON 97138  
 (503) 399-3828  
 www.leiengineering.com

**LEI ENGINEERING & SURVEYING**  
 OF OREGON

SITE GRADING	
SCALE 1" = 10'	
PROJECT NO. 60-07	SHEET GR-7
	32 OF 34

RELEASE OF THIS DOCUMENT, AND THE DESIGN AND DESIGN INFORMATION HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF LEI ENGINEERING AND IS NOT TO BE USED, WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF LEI ENGINEERING. ALL ENGINEERING.



- CONSTRUCTION NOTES:**
- XXX.XX (CONC)  
XXX.X EX      PROPOSED SPOT ELEVATION,  
EXISTING GROUND SPOT ELEVATION
  - AC = ASPHALT CONCRETE  
FOW = FRONT OF WALK  
FG = FINISH GRADE  
RIM = RIM ELEVATION  
X.XX%      PROPOSED PERCENT SLOPE
  - (CS) CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2, FOUND IN THE DETAIL SHEETS.
  - (AC) CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO DETAIL FOUND ON SHEET GN-1.
  - (SW) CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8, FOUND IN THE DETAIL SHEETS.
  - (CD) CONTRACTOR SHALL CONSTRUCT CONCRETE SECTION IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELED "ALL OTHER".
  - (SH) CONTRACTOR SHALL CONSTRUCT CONCRETE SPEED HUMP IN DRIVE ISLE, AS SHOWN, PURSUANT TO TABLE FOUND IN CITY OF WOODBURN STANDARD DETAIL NO. 4150-1, FOUND IN THE DETAIL SHEETS, ON ROW LABELED "ALL OTHER".
  - (BR) CONTRACTOR SHALL INSTALL BICYCLE RACK, AS SHOWN. DETAILS AND SPECIFICATIONS FOR THE BIKE RACK SHALL BE PROVIDED BY OTHERS.
  - (CB) CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, IN CONCRETE AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.
  - (GC) CONTRACTOR SHALL CONSTRUCT GRASSCRETE FIRE ACCESS LANE, AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS.
  - (AW) CONTRACTOR SHALL CONSTRUCT ARCHITECTURAL WALL ALONG THE PROPERTY LINE, AS SHOWN, PURSUANT TO ARCHITECTURAL AND STRUCTURAL PLANS SUPPLIED BY OTHERS.

- GENERAL NOTES:**
- (LG) GENERAL LANDSCAPE GRADING, BETWEEN THE BACK OF WALK AND THE BUILDINGS, SHALL BE FIELD FITTED TO WASTE ANY MATERIAL, AS NEEDED, OR SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT TO SUIT SITE AESTHETICS. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS FOR PLANTINGS.
  - (GE) CONTRACTOR SHALL CONSTRUCT GARBAGE ENCLOSURE, AS SHOWN, PURSUANT TO STRUCTURAL AND ARCHITECTURAL PLANS, PROVIDED BY OTHERS.
  - (MB) MAILBOX DETAILS AND SPECIFICATIONS FOR INSTALLATION SHALL BE PROVIDED BY OTHERS.

**REGISTERED PROFESSIONAL ENGINEER**  
55020  
OREGON  
JANUARY 12, 2008  
CREG J. ZARTMAN

EXPIRES	BY	REVISION	DATE	NO.	DESCRIPTION

**PACIFIC VALLEY APARTMENTS**  
WEST COAST HOME SOLUTIONS, LLC

2564 197th ST SE  
Seattle, WA 98148  
(206) 399-3828  
www.leiengineering.com

**LEI ENGINEERING & SURVEYING**  
OF OREGON

**SITE GRADING**  
SCALE: 1" = 10'  
PROJECT NO: 60-07  
SHEET: 33 OF 34  
GR-8

DATE: 08/11/2023  
DRAWN BY: JAVIER ALVARADO  
CHECKED BY: C. ROSSIGNOL  
DATE: 08/11/2023  
PROJECT NO: 60-07  
SHEET NO: 33 OF 34



State of Oregon  
Department of  
Environmental  
Quality

**GENERAL PERMIT  
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM  
STORMWATER DISCHARGE PERMIT**

Oregon Department of Environmental Quality  
811 SW Sixth Avenue, Portland OR 97204  
Telephone: (503) 229-5279 or 1-800-452-4011 (toll free in Oregon)

**Issued pursuant to ORS 468B.050 and Section 402 of the Federal Clean Water Act**

---

**REGISTERED TO: File No: 126962**

Permit No: 33731  
West Coast Home Solutions, LLC  
25030 SW Parkway Ave Ste 110  
Wilsonville, OR 97070-9816

**Date: August 6, 2020**

Marion County  
EPA: ORR10G224  
LLID: 1227161452842  
River Mile: 23.370000000000001

**Location:** Pacific Valley Apartments, 1310 N Pacific Hwy, Woodburn

---

**SOURCES COVERED BY THIS PERMIT:**

The *legally authorized representative* (see Definitions) for construction activities (as defined below) that may discharge to surface waters or conveyance systems leading to surface waters of the state must register for coverage under this permit with DEQ before any land disturbance occurs, unless the construction activities are automatically covered as described in the 1200-CN permit.

- Construction activities including clearing, grading, excavation, materials or equipment staging and stockpiling that will disturb one or more acres and may discharge to surface waters or conveyance systems leading to surface waters of the state.
- Construction activities including clearing, grading, excavation, materials or equipment staging and stockpiling that will disturb less than one acre that are part of a common plan of development or sale if the larger common plan of development or sale will ultimately disturb one acre or more and may discharge to surface waters or conveyance systems leading to surface waters of the state.
- This permit also authorizes discharges from any other construction activity (including construction activity that disturbs less than one acre and is not part of a common plan of development or sale) designated by DEQ, where DEQ makes that designation based on the potential for contribution to an excursion of a water quality standard or for significant contribution of pollutants to waters of the state.

This permit does not authorize the following:

- In-water or riparian work, which is regulated by other programs and agencies including the Federal Clean Water Act Section 404 permit program, the Oregon Department of State Lands, the Oregon Department of Fish and Wildlife, the U.S. Fish and Wildlife Service, the U.S. Army Corp of Engineers, the National Marine Fisheries Service, and the Department of Environmental Quality Section 401 certification program.
- Post-construction stormwater discharges that originate from the site after completion of construction activities and final stabilization.
- Discharges to underground injection control (UIC) systems.

  
Lydia Emer, Operations Administrator

Effective: December 15, 2015  
Expiration Date: December 14, 2020

**ENCLOSURE 2**

**PERMITTED ACTIVITIES**

Until this permit expires, is modified or revoked, the permit registrant is authorized to construct, install, modify, or operate erosion and sediment control measures and stormwater treatment and control facilities, and to discharge stormwater and certain specified non-stormwater discharges to surface waters of the state or conveyance systems leading to surface waters of the state only in conformance with all the requirements, limitations, and conditions set forth in the permit including attached schedules as follows:

Unless specifically authorized by this permit, by regulation issued by EPA, by another NPDES permit, or by Oregon Administrative Rule, any other direct or indirect discharge to waters of the state is prohibited, including discharges to an underground injection control system.

# PACIFIC VALLEY APARTMENTS - 1200c

## EROSION CONTROL PLANS (CSMP)

THE PERMITEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200-C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200-C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200-C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

### CONTRACTOR

DEVELOPER/COMPANY: WEST COAST HOME SOLUTIONS  
 CONTACT: ALEX LABUNSKY  
 ADDRESS: 25030 SW PARK AVENUE  
 WILSONVILLE, OR, 97361  
 PHONE: 503-619-9376

### PLANNING / ENGINEERING / SURVEYING FIRM

CONTACT: LEI ENGINEERING AND SURVEYING OF OREGON LLC.  
 ADDRESS: 2564 19TH AVE SE  
 SALEM, OR 97302  
 PHONE: 503-399-3828  
 FAX: 866-232-6790

### NARRATIVE DESCRIPTIONS

#### EXISTING SITE CONDITIONS

VACANT LOT/LAND IN THE CITY OF WOODBURN, MARION COUNTY OREGON.

#### DEVELOPED CONDITIONS

MULTI-FAMILY: APARTMENT COMPLEX

#### NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE

- \* CLEARING (MAY 2020)
- \* MASS GRADING (DATES, FROM & TO: MAY 2020 TO JUNE 2020)
- \* UTILITY INSTALLATION (DATES, FROM & TO: JUNE 2020 TO JULY 2020)
- \* STREET CONSTRUCTION (DATES, FROM & TO: JULY 2020 TO OCTOBER 2020)
- \* FINAL STABILIZATION (OCTOBER 2020)

TOTAL SITE AREA = 290,780 SF = 6.67 ACRES

TOTAL DISTURBED AREA = 278,630 SF = 6.40 ACRES

#### SITE SOIL CLASSIFICATION:

SILTY CLAY (ML) ENCOUNTERED THROUGHOUT SITE  
 CLAY (CL) ENCOUNTERED IN SOME AREAS

#### RECEIVING WATER BODIES:

NEAREST WATER BODY: PUDDING RIVER

#### PROJECT LOCATION:

PACIFIC HIGHWAY 99E, MARION COUNTY, OREGON  
 LATITUDE = 44.147563° N , LONGITUDE = 122.832987° W

#### PROPERTY DESCRIPTION:

TAX LOT 00100; MARION COUNTY TAX MAP 051W08DC AND  
 TAX LOT 02800; MARION COUNTY TAX MAP 051W08DB,  
 LOCATED IN SECTION 08, TOWNSHIP 05 SOUTH, RANGE 1  
 WEST, WILLAMETTE MERIDIAN, MARION COUNTY, OREGON.

### BMP MATRIX FOR CONSTRUCTION PHASES

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION
<b>EROSION PREVENTION</b>					
PRESERVE NATURAL VEGETATION	** X	X	X	X	X
GROUND COVER					X
HYDRAULIC APPLICATIONS					
PLASTIC SHEETING					
MATTING					
DUST CONTROL	X	X	X	X	X
TEMPORARY PERMANENT SEEDING		X	X	X	X
BUFFER ZONE					
<b>OTHER:</b>					
SEDIMENT CONTROL					
SEDIMENT FENCE (PERIMETER)	** X	X	X	X	X
SEDIMENT FENCE (INTERIOR)					
STRAW WATTLES					
FILTER BERM					
INLET PROTECTION	** X	X	X	X	X
DENATURING					
SEDIMENT TRAP					
NATURAL BUFFER ENCROACHMENT					
<b>OTHER:</b>					
RUN OFF CONTROL				X	X
CONSTRUCTION ENTRANCE	** X	X	X	X	X
PIPE SLOPE DRAIN					
OUTLET PROTECTION					X
SURFACE ROUGHENING					
CHECK DAMS					
<b>OTHER:</b>					
POLLUTION PREVENTION					
PROPER SIGNAGE	X	X	X	X	X
HAZ WASTE MGMT	X	X	X	X	X
SPILL KIT ON-SITE	X	X	X	X	X
CONCRETE WASHOUT AREA	X	X	X	X	X
<b>OTHER:</b>					

\* SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE.  
 \*\* SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

### RATIONALE STATEMENT

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.

INITIAL \_\_\_\_\_

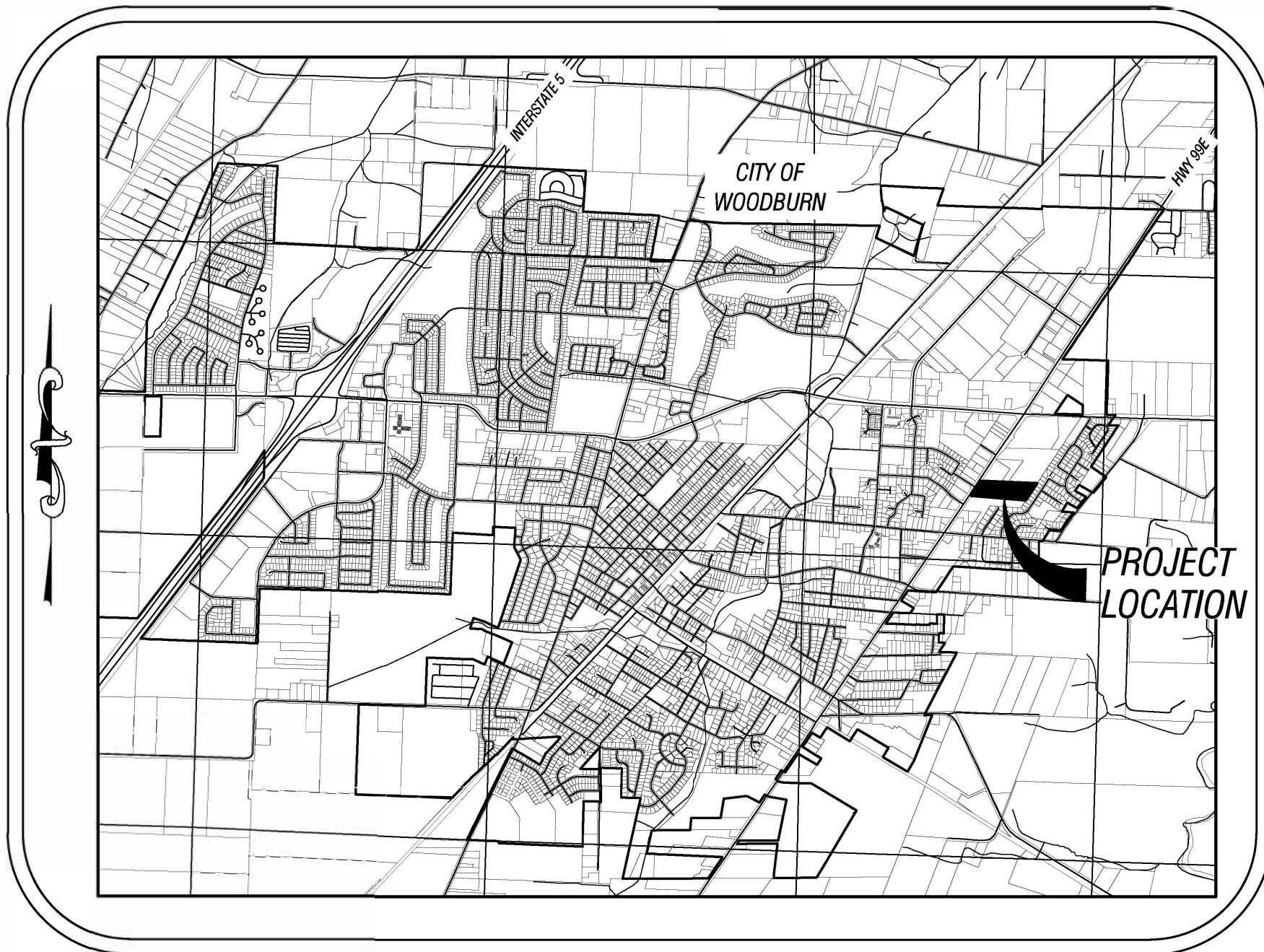
### PERMITEE'S SITE INSPECTOR:

COMPANY/AGENCY: POINT ENVIRONMENTAL, MICHAEL ZENTHOEFFER CPESC#7386  
 PHONE: 541 207 8441  
 FAX: \_\_\_\_\_  
 E-MAIL: MIKEZ@POINTENV.COM  
 DESCRIPTION OF EXPERIENCE: \_\_\_\_\_

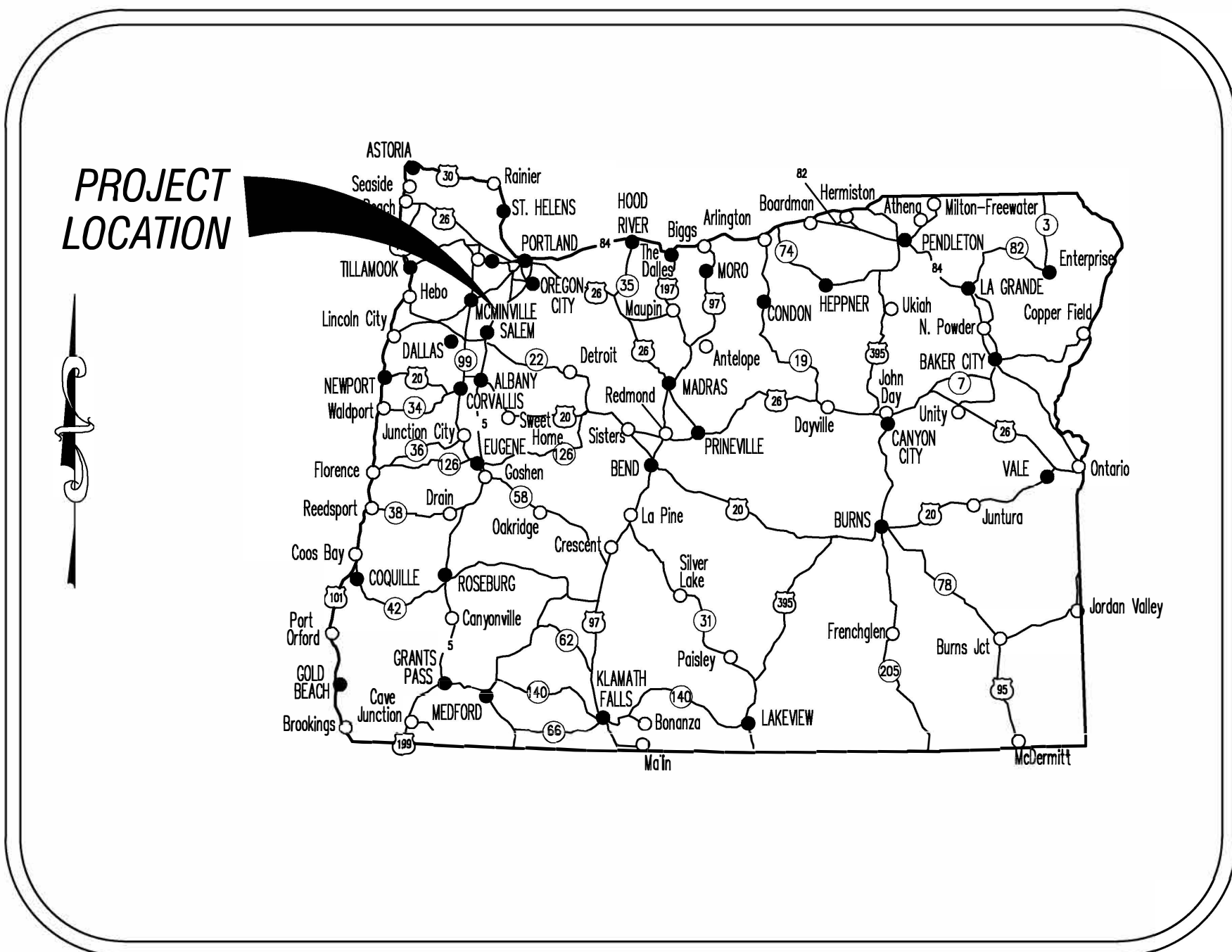
- \* HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS.
- \* ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS.
- \* INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS.
- \* RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY.

### SHEET INDEX

SHEET #	SHEET TITLE
04	1200c EROSION CONTROL COVER
05	1200c NOTES
06	1200c TREE REMOVAL-GRUBBING-BMP
07	1200c GRADING-EROSION-UTILITY PLAN
08	1200c DETAILS



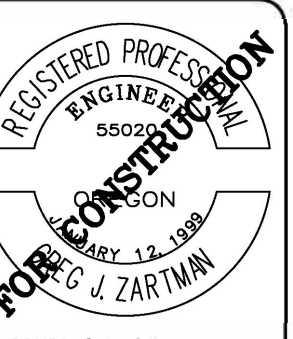
SITE MAP NOT TO SCALE



VICINITY MAP NOT TO SCALE

### ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.



NO.	DATE	REVISION	BY	APP'D
5	05/20	PLAN REVIEW COMMENTS	CF	CF
4	11/19	BALDING REDACTION	CF	CF
3	8/19	FIRE ACCESS	CF	CF
2	07/19	JULY 12 COMMENTS	CF	CF
1	06/19	CITY REVIEW COMMENTS	CF	CF

PACIFIC VALLEY APARTMENTS  
 WEST COAST HOME SOLUTIONS, LLC

2564 19TH STREET SE  
 SALEM, OR 97302  
 (503) 399-3828  
 www.leiengineering.com

**LEI ENGINEERING & SURVEYING OF OREGON**

1200C EROSION CONTROL COVER

SCALE: NO SCALE  
 PROJECT NO: 60-07  
 SHEET: ER-1  
 04 OF 48

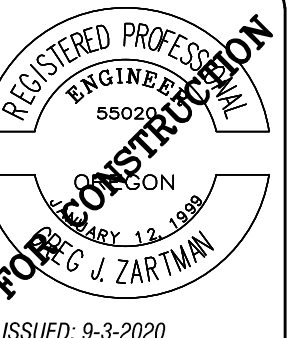
# EROSION CONTROL NOTES

## STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES:

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS (SCHEDULE A.8.C.I.(3))
- ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS. (SCHEDULE A.12.B AND SCHEDULE B.1)
- INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. (SCHEDULE B.1.C AND B.2)
- RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, THE ABOVE RECORDS MUST BE RETAINED BY THE PERMIT REGISTRANT BUT DO NOT NEED TO BE AT THE CONSTRUCTION SITE (SCHEDULE B.2.C)
- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SCHEDULE A.8.A)
- THE ESCP MUST BE ACCURATE AND REFLECT SITE CONDITIONS. (SCHEDULE A.12.C.I)
- SUBMISSION OF ALL ESCP REVISION IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISIONS TO DEQ OR AGENT WITHIN 10 DAYS. (SCHEDULE A.12.C.V. AND V)
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (SCHEDULE A.7.A.III)
- IDENTIFY, MARK, AND PROTECT (BY CONSTRUCTION FENCING OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G. WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS (SCHEDULE A.8.C.I.(1) AND (2))
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS, RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (SCHEDULE A.7.A.V)
- MAINTAIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FEET OF WATERS OF THE STATE. (SCHEDULE A.7.B.I AND (2)(A)(B))
- INSTALL PERIMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL AS ALL SEDIMENT BASINS, TRAPS, AND BARRIERS PRIOR TO LAND DISTURBANCE. (SCHEDULE A.8.C.I.(5))
- CONTROL BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNELS AND STREAMBANKS. (SCHEDULE A.7.C)
- CONTROL SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDARY. (SCHEDULE A.7.D.I)
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. (SCHEDULE A.8.C.I.(6))
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES. TEMPORARY OR PERMANENT STABILIZATION MEASURES ARE NOT REQUIRED FOR AREAS THAT ARE INTENDED TO BE LEFT UNVEGETATED, SUCH AS DIRT ACCESS ROADS OR UTILITY POLE PADS. (SCHEDULE A.8.C.II.(3))
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SCHEDULE A.8.C.I.(7))
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPS SUCH AS: CONSTRUCTION ENTRANCE, GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPS MUST BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES. (SCHEDULE A.7.D.II AND A.8.C.(4))
- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (SCHEDULE A.7.D.II(5))
- CONTROL PROHIBITED DISCHARGES FROM LEAVING THE CONSTRUCTION SITE, I.E., CONCRETE WASH-OUT , WASTEWATER FROM CLEANOUT OF STUCCO, PAINT, AND CURING COMPOUNDS. (SCHEDULE A.6)
- USE BMPS TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS, VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE PAINTS, SOLVENTS, CURING COMPOUNDS AND ADHESIVES FROM CONSTRUCTION OPERATIONS. (SCHEDULE A.7.E.(2))
- IMPLEMENT THE FOLLOWING BMPS WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES (SCHEDULE A.7.E.III)
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (SCHEDULE A.7.A.IV)
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCHEDULE A.9.B.III)
- IF AN ACTIVE TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. (SCHEDULE A.9.D)
- TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED, THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (SCHEDULE A.7.B)
- AS NEEDED BASED ON WEATHER CONDITIONS, AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMPS MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SCHEDULE A.7.E.II(2))
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND BARE GROUND ACTIVITIES DURING WET WEATHER. (SCHEDULE A.7.A.I)
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SCHEDULE A.9.C.I)
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT AND BEFORE BMP REMOVAL. (SCHEDULE A.9.C.I)
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AT COMPLETION OF PROJECT. (SCHEDULE A.9.C.II & IV)
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENT OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN-UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME. (SCHEDULE A.9.B.I)
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEAN UP RELEASED SEDIMENTS. (SCHEDULE A.9.B.II)
- THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (SCHEDULE A.7.F.I)
- PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.7.F.II)
- DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, ALL TEMPORARY EROSION CONTROLS AND RETAINED SOILS MUST BE REMOVED AND DISPOSED OF PROPERLY, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. (SCHEDULE A.8.C.IV.(1) AND D.3.C.II AND III)

## CITY OF WOODBURN EROSION CONTROL NOTES:

CONTRACTOR SHALL COMPLY WITH SECTION 00280 OF THE 2015 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION.



ISSUED: 9-3-2020

NO.	DATE	REVISION	BY	APP'D
5	05/20	PLAN REVIEW COMMENTS	CF	CF
4	1/1/19	BUILDING DEPARTMENT	CF	CF
3	8/19	PRE-ACCESS	CF	CF
2	07/19	JULY 12 COMMENTS	CF	CF
1	06/19	CITY REVIEW COMMENTS	CF	CF

PACIFIC VALLEY APARTMENTS

PREPARED FOR:  
WEST COAST HOME SOLUTIONS, LLC

2564 1974 STREET SE  
Salem, Oregon 97302  
(503) 399-3828  
www.leiengineering.com

**LEI** ENGINEERING & SURVEYING  
OF OREGON

1200C  
NOTES

SCALE	NO SCALE	ER-2
FRAC	60-07	
SHEET	05 OF 48	

# LEGEND

- EXISTING GROUND CONTOUR (1 FT) - - - - -
- EXISTING GROUND CONTOUR (5 FT) - - - - -100
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- SEDIMENT BARRIER
- DRAINAGE FLOW DIRECTION: NO DEFINED DIRECTION
- CONSTRUCTION ENTRANCE
- TREE PROTECTION FENCE
- BIOBAG INLET PROTECTION
- AREA OF DISTURBANCE: INCLUDES ALL OF THE AREA WITHIN THE SEDIMENT FENCE.
- CONCRETE WASH AREA

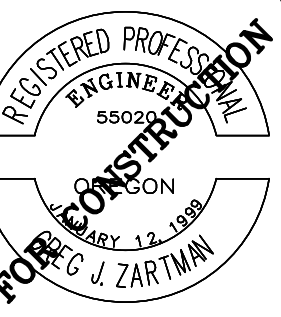
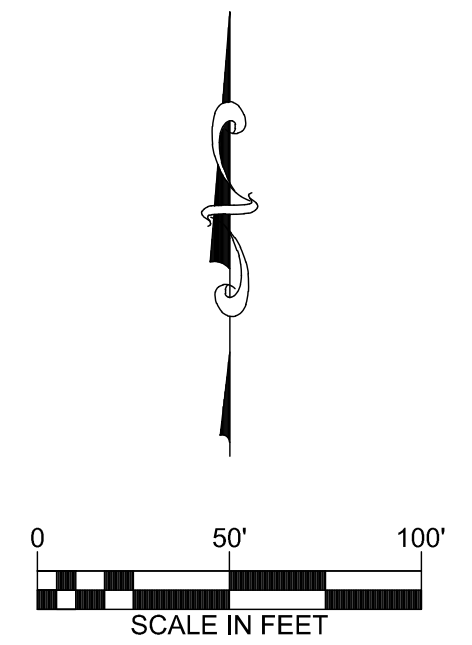
## PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH, CHIPPINGS, OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

## GENERAL NOTES:

CLEARING AND GRUBBING SHALL COMPLY WITH CITY OF WOODBURN STANDARD SPECIFICATIONS SECTION 3200, AND SHALL INCLUDE THE REMOVAL OF TREES PRESCRIBED HEREON AND IN THE ARBORIST REPORT.

SOME OF THE TREE PROTECTIVE FENCING FALLS WITHIN CONSTRUCTION ACTIVITY AREA, THEREFORE, REFERENCE TO THE ARBORIST REPORT IS CRITICAL FOR RECOMMENDATIONS ON PROTECTING THE TREES DURING CONSTRUCTION ACTIVITIES.

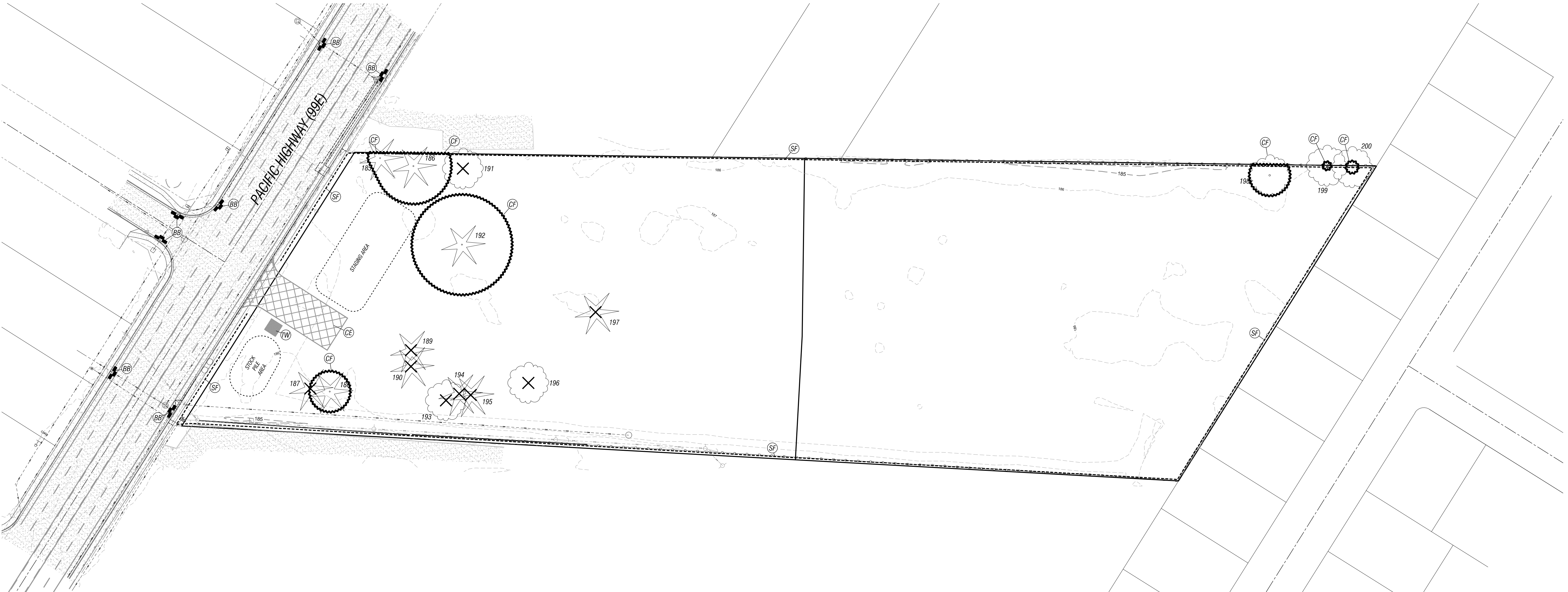


NO.	DATE	REVISION
1	06/19	CIT REVIEW COMMENTS
2	07/19	JULY 12 COMMENTS
3	8/19	PRE ACCESS
4	11/19	BUILDING PERIOD
5	05/20	PLAN REVIEW COMMENTS

## CONSTRUCTION NOTES:

- CF** CONTRACTOR SHALL INSTALL 6' ORANGE CONSTRUCTION FENCING, AS SHOWN, ON T-POSTS FOR TREE PRESERVATION DURING CONSTRUCTION ACTIVITIES.
- CE** CONTRACTOR SHALL CONSTRUCT STANDARD CONSTRUCTION ENTRANCE, AS SHOWN, PURSUANT TO ODOT STANDARD DRAWING RD-1000, SHOWN ON SHEET ER-5.
- SF** CONTRACTOR SHALL CONSTRUCT SEDIMENT FENCING, AS SHOWN, PURSUANT TO ODOT STANDARD DRAWING RD-1040 SHOWN ON SHEET ER-5. APPROXIMATELY 2600 LF.
- TW** CONTRACTOR SHALL CONSTRUCT CONCRETE TRUCK WASHOUT, AS SHOWN, PURSUANT TO ODOT STANDARD DETAIL RD-1070 SHOWN ON SHEET ER-5.
- BB** CONTRACTOR SHALL INSTALL TYPE 4 BIOFILTER BAGS, AS SHOWN, PURSUANT TO ODOT STANDARD DRAWING RD-1015 SHOWN ON SHEET ER-5.

PREPARED BY: J. ZARTMAN, REGISTERED PROFESSIONAL ENGINEER, NO. 55020, STATE OF OREGON, COMMISSION EXPIRES 12/31/2026.



\* NOTE: PRE-DEVELOPED RUN-OFF SHEET FLOWS IN ALL DIRECTIONS, AS THE SITE HAS VERY LITTLE VERTICAL GRADE ( $\pm 2'$  VERTICAL VARIATION OVER THE ENTIRE SITE).

PACIFIC VALLEY APARTMENTS  
 WEST COAST HOME SOLUTIONS, LLC

PREPARED FOR:  
 2564 19TH STREET SE  
 Seaside, Oregon 97132  
 (503) 399-3828  
 www.leiengineering.com

**LEI** ENGINEERING & SURVEYING  
 OF OREGON

SCALE: 1" = 40'	PROJECT NO: 60-07	SHEET: ER-3
	DATE: 06 OF 48	

PLEASE DO NOT SCALE DIMENSIONS FROM THIS DRAWING. DIMENSIONS SHOWN ON THIS DRAWING SHALL GOVERN OVER ANY DIMENSIONS SHOWN ON ANY OTHER PROJECT DOCUMENTS. THE WRITTEN AUTHORIZATION OF LEI ENGINEERING IS REQUIRED FOR ANY REVISIONS TO THIS DRAWING.



# LEGEND

- EXISTING GROUND CONTOUR (1 FT)
- EXISTING GROUND CONTOUR (5 FT)
- FINISHED GRADE CONTOUR (1 FT)
- FINISHED GRADE CONTOUR (5 FT)
- SEDIMENT BARRIER (PERIMETER)
- CONCRETE WASH AREA
- DRAINAGE FLOW DIRECTION
- BIOBAG INLET PROTECTION

## GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
  - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
  - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
    1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
    2. CREEPING RED FESCUE (20% BY WEIGHT)
  - C. STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
    1. ANNUAL RYEGRASS (40% BY WEIGHT)
    2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPES TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.

## GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

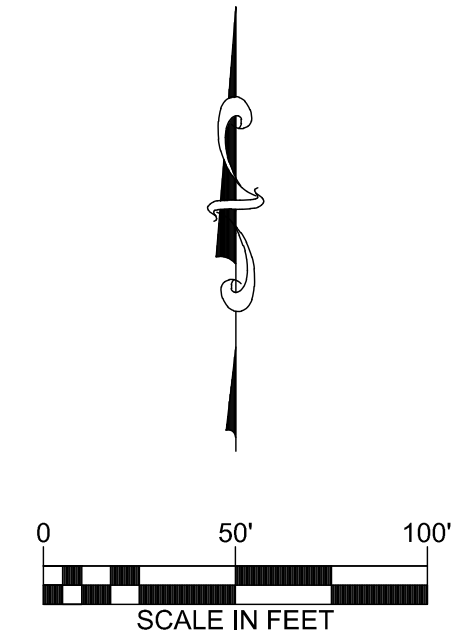
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

## EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. THE "STAGING, EQUIPMENT MAINTENANCE, FUELING, PORTA-POTTY, AND SOLID WASTE AREA 1" SHALL BE MOVED TO "STAGING, EQUIPMENT MAINTENANCE, FUELING, PORTA-POTTY, AND SOLID WASTE AREA 2" FOLLOWING EXCAVATION "CUT" ACTIVITIES.
3. ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
4. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

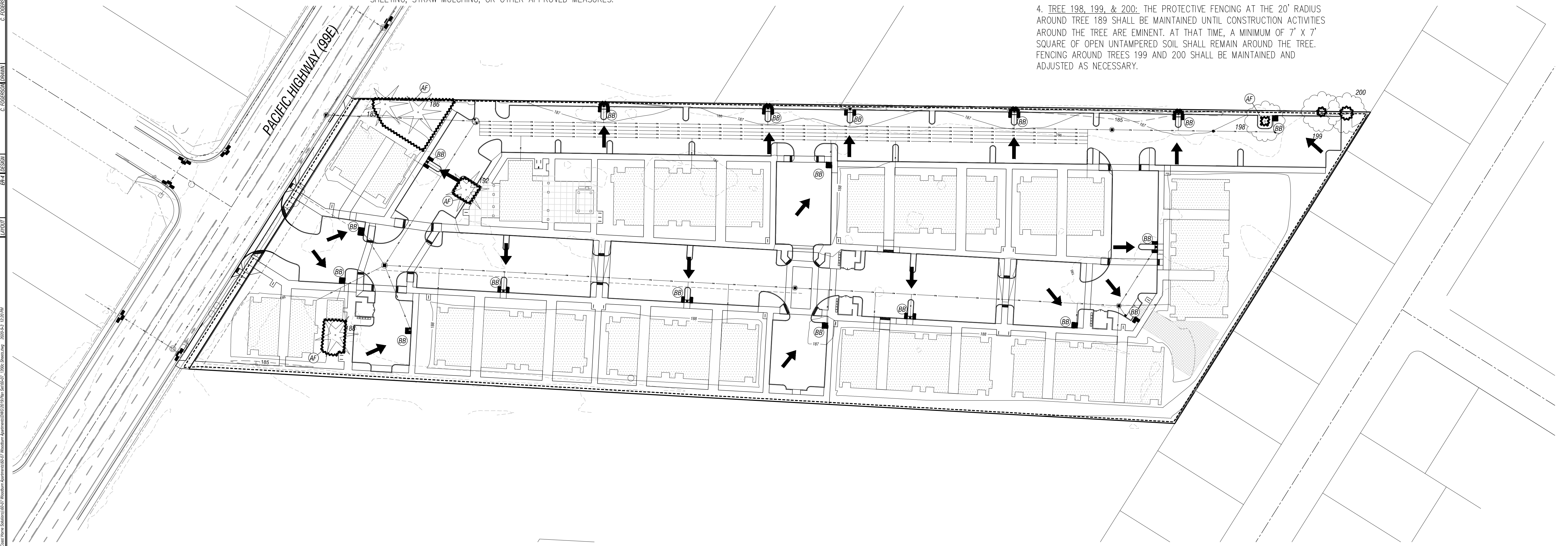
## TREE PRESERVATION NOTES:

1. **TREE 192:** TREE 192 IS THE MOST MATURE TREE ON THE PROPERTY, AND THE MOST VULNERABLE TO DAMAGE FROM CONSTRUCTION ACTIVITIES. SPECIAL CARE MUST BE TAKEN TO MINIMIZE DAMAGE TO ROOTS, AND MINIMIZE THE AMOUNT OF TIME CONSTRUCTION EQUIPMENT DRIVES OVER THE CRITICAL ROOT ZONE. THE PROTECTIVE FENCING AT THE 49' RADIUS AROUND THE TREE SHALL BE MAINTAINED UNTIL CONSTRUCTION ACTIVITIES AROUND THE TREE ARE EMINENT.
2. **TREE 188:** THE PROTECTIVE FENCING AT THE 20' RADIUS AROUND THE TREE SHALL BE MAINTAINED UNTIL CONSTRUCTION ACTIVITIES AROUND THE TREE ARE EMINENT.
3. **TREE 185 & 186:** SPECIAL CARE MUST BE TAKEN TO MINIMIZE DAMAGE TO ROOTS, AND MINIMIZE THE AMOUNT OF TIME CONSTRUCTION EQUIPMENT DRIVES OVER THE CRITICAL ROOT ZONE. THE PROTECTIVE FENCING AROUND THESE TREES SHALL BE MAINTAINED UNTIL CONSTRUCTION ACTIVITIES AROUND THE TREE ARE EMINENT.
4. **TREE 198, 199, & 200:** THE PROTECTIVE FENCING AT THE 20' RADIUS AROUND TREE 189 SHALL BE MAINTAINED UNTIL CONSTRUCTION ACTIVITIES AROUND THE TREE ARE EMINENT. AT THAT TIME, A MINIMUM OF 7' X 7' SQUARE OF OPEN UNTAMPERED SOIL SHALL REMAIN AROUND THE TREE. FENCING AROUND TREES 199 AND 200 SHALL BE MAINTAINED AND ADJUSTED AS NECESSARY.



## CONSTRUCTION NOTES:

- (AF)** CONTRACTOR SHALL ADJUST PREVIOUSLY INSTALLED 6' ORANGE CONSTRUCTION FENCING, AS SHOWN, FOR TREE PRESERVATION DURING CONSTRUCTION ACTIVITIES IMMEDIATELY AROUND THE TREE.
- (BB)** CONTRACTOR SHALL INSTALL TYPE 4 BIOFILTER BAGS, AS SHOWN, PURSUANT TO ODOT STANDARD DRAWING RD-1015 SHOWN ON SHEET ER-5.



ISSUED: 9-3-2020

NO.	DATE	REVISION	BY	APP'D
5	05/20	PLAN REVIEW COMMENTS	CF	CF
4	1/1/19	BUILDING FOOTPRINT	CF	CF
3	8/19	PRE ACCESS	CF	CF
2	07/19	JULY 12 COMMENTS	CF	CF
1	06/19	CIT REVIEW COMMENTS	CF	CF

### PACIFIC VALLEY APARTMENTS

WEST COAST HOME SOLUTIONS, LLC

PREPARED FOR:

# LEI ENGINEERING & SURVEYING OF OREGON

2564 19TH STREET SE  
Salem, Oregon 97302  
(503) 399-3828  
www.leiengineering.com

1200C  
GRADING -  
EROSION -  
UTILITY PLAN

SCALE: 1" = 40'

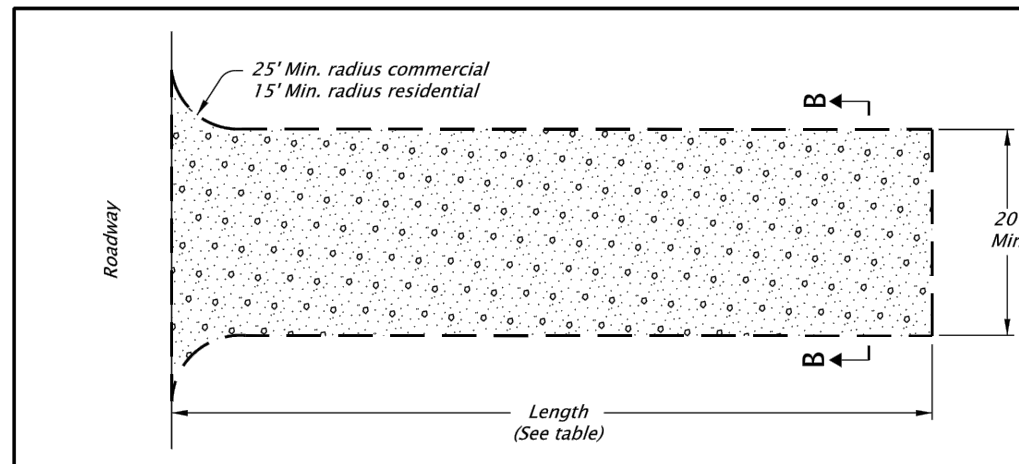
PROJECTING: 60-07

SHEET: 07 OF 48

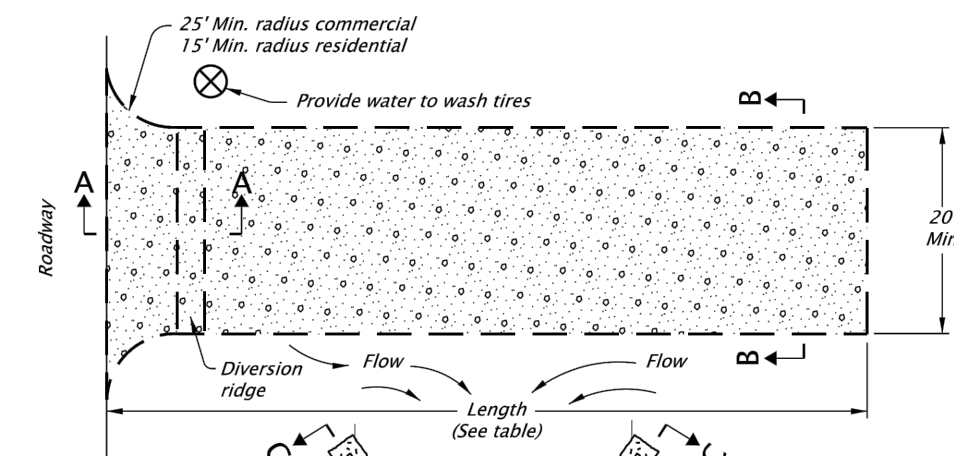
LEI ENGINEERING & SURVEYING OF OREGON, 2564 19TH STREET SE, SALEM, OREGON 97302, (503) 399-3828, WWW.LEIENGINEERING.COM  
 C. PROFESSIONAL SEAL NO. 55020, EXPIRES 12/31/2026  
 J. ZARTMAN, REGISTERED PROFESSIONAL ENGINEER, LICENSE NO. 55020, EXPIRES 12/31/2026

rd1000.dgn 06-01-2017

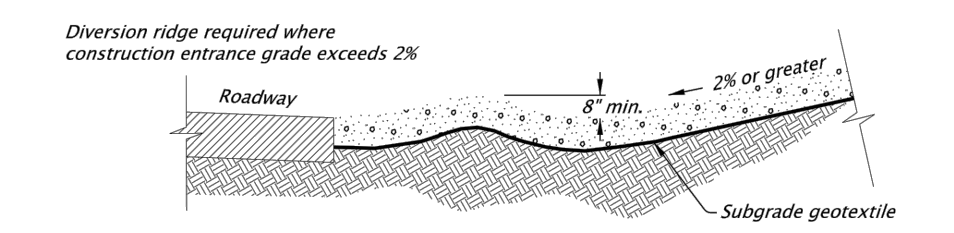
RD1000



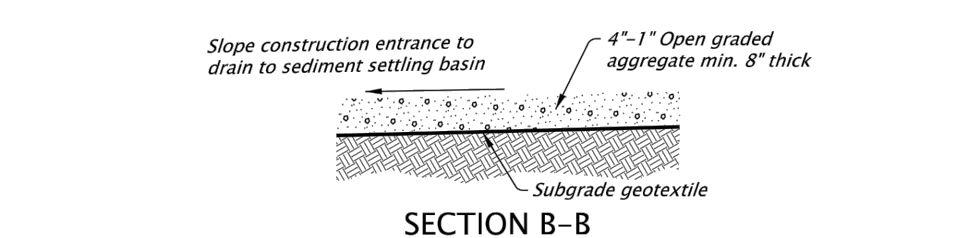
CONSTRUCTION ENTRANCE - TYPE 1



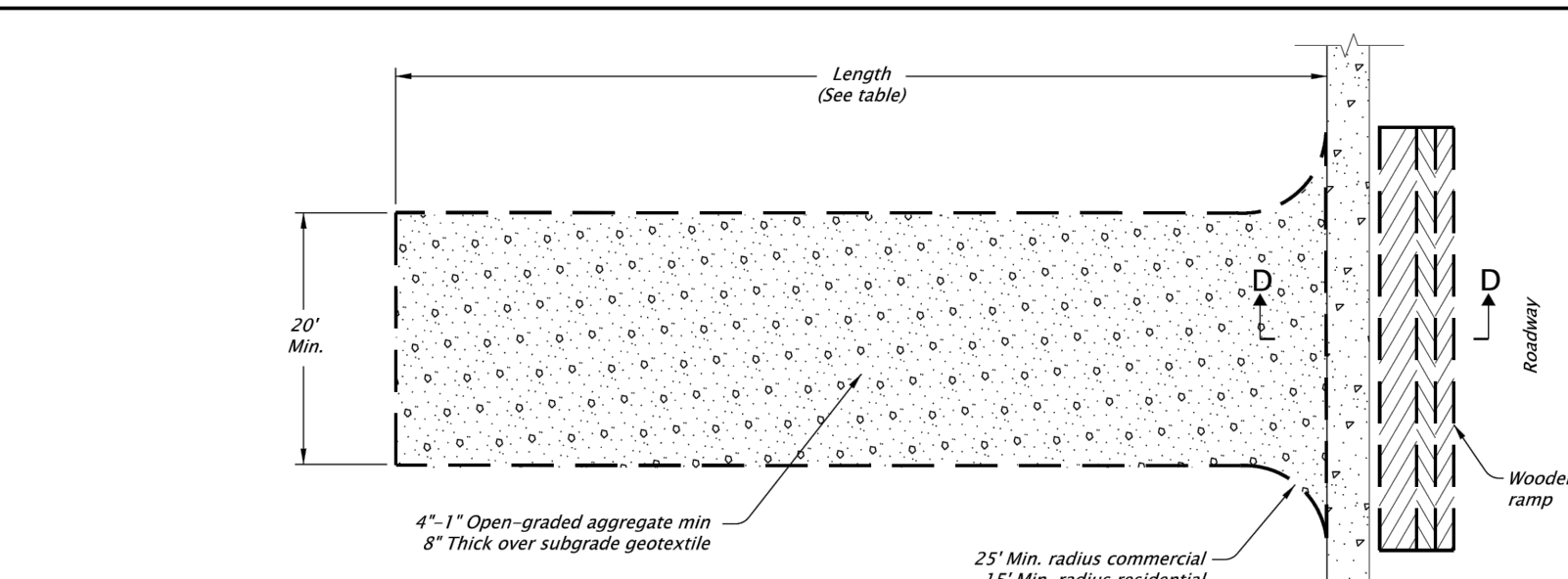
CONSTRUCTION ENTRANCE - TYPE 2



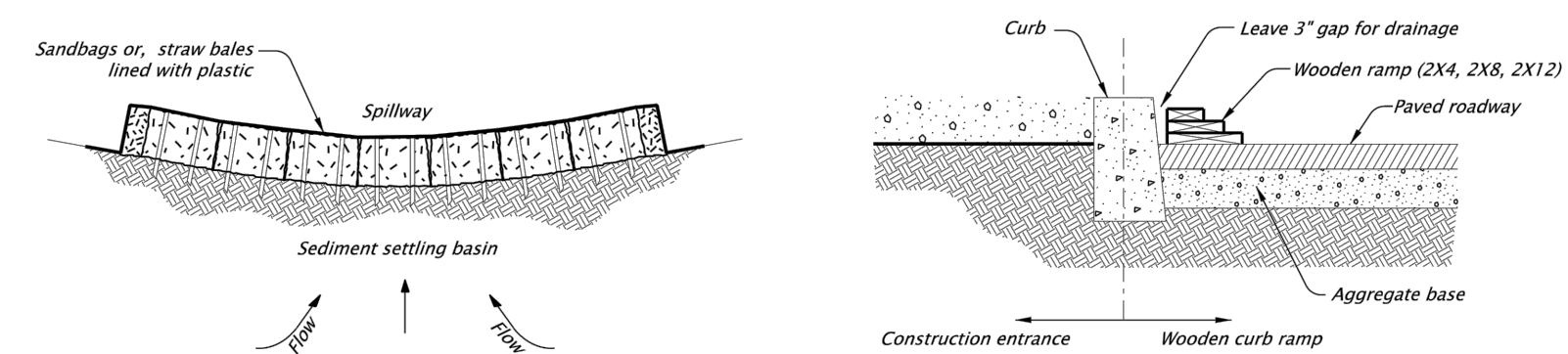
SECTION A-A



SECTION B-B



CONSTRUCTION ENTRANCE - TYPE 3 (TYPE 1 OR 2 WITH EXISTING CURB)



SECTION C-C

WOODEN CURB RAMP SECTION D-D

Notes:  
 1. The type 1 entrance is a simple entrance without a diversion ridge or settling basin.  
 2. The wooden ramp may be used on either type 1 or type 2 entrances in situations where there is curb and the curb is not removed for the construction entrance.

CONSTRUCTION ENTRANCE TABLE MINIMUM LENGTH	
Length (FT)	Area Of Exposed Soil (Acres)
20	0.25
50	0.25 < A < 1.0
100	A > 1.0

CALC. BOOK NO. 6408 BASELINE REPORT DATE July 2014

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

OREGON STANDARD DRAWINGS  
CONSTRUCTION ENTRANCES

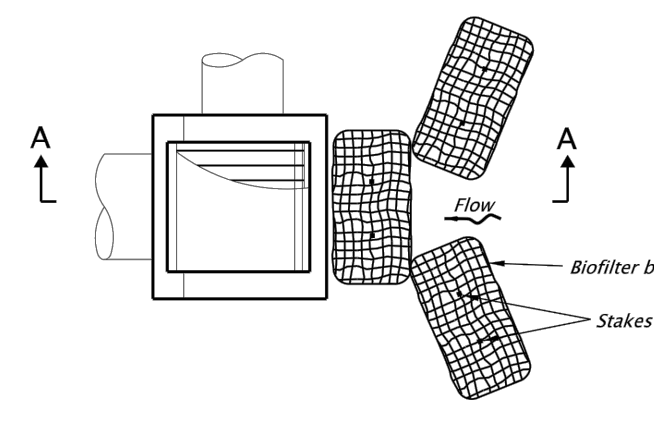
2018

DATE REVISION DESCRIPTION

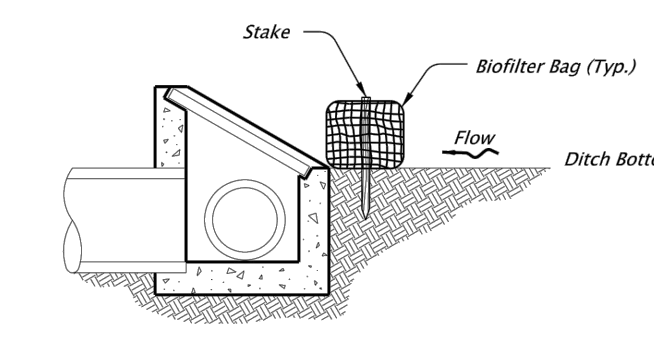
Effective Date: December 1, 2019 - May 31, 2020 RD1000

rd1015.dgn 06-01-2017

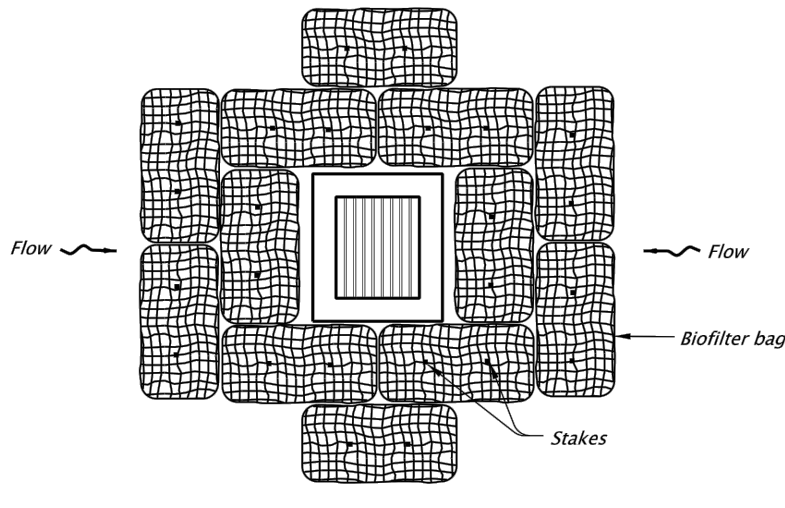
RD1015



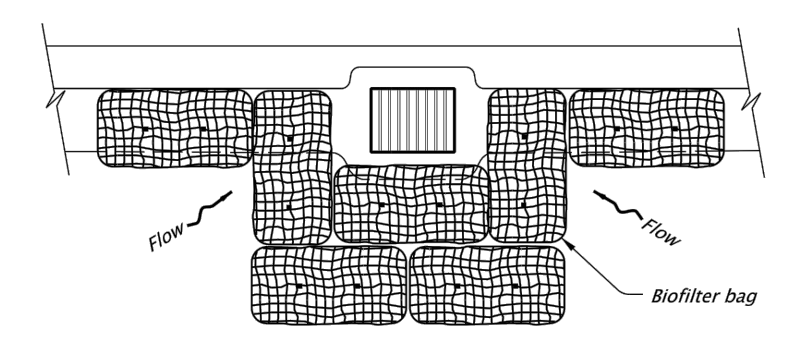
PLAN DITCH INLET



SECTION A-A DITCH INLET



PLAN AREA DRAIN



PLAN CATCH BASIN

BIOFILTER BAGS - TYPE 4

Note:  
 1. Stake biofilter bags with 2"x2" wood stakes, and use a minimum 2 stakes per bag. Drive stakes a minimum of 6" into the ground and flush with the top of the bags.  
 2. Omit stakes when bags are placed on pavement surface.  
 3. Overlap all bag joints 6".

CALC. BOOK NO. 6402, 6406, 6407 BASELINE REPORT DATE January 2016

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

OREGON STANDARD DRAWINGS  
INLET PROTECTION TYPE 4

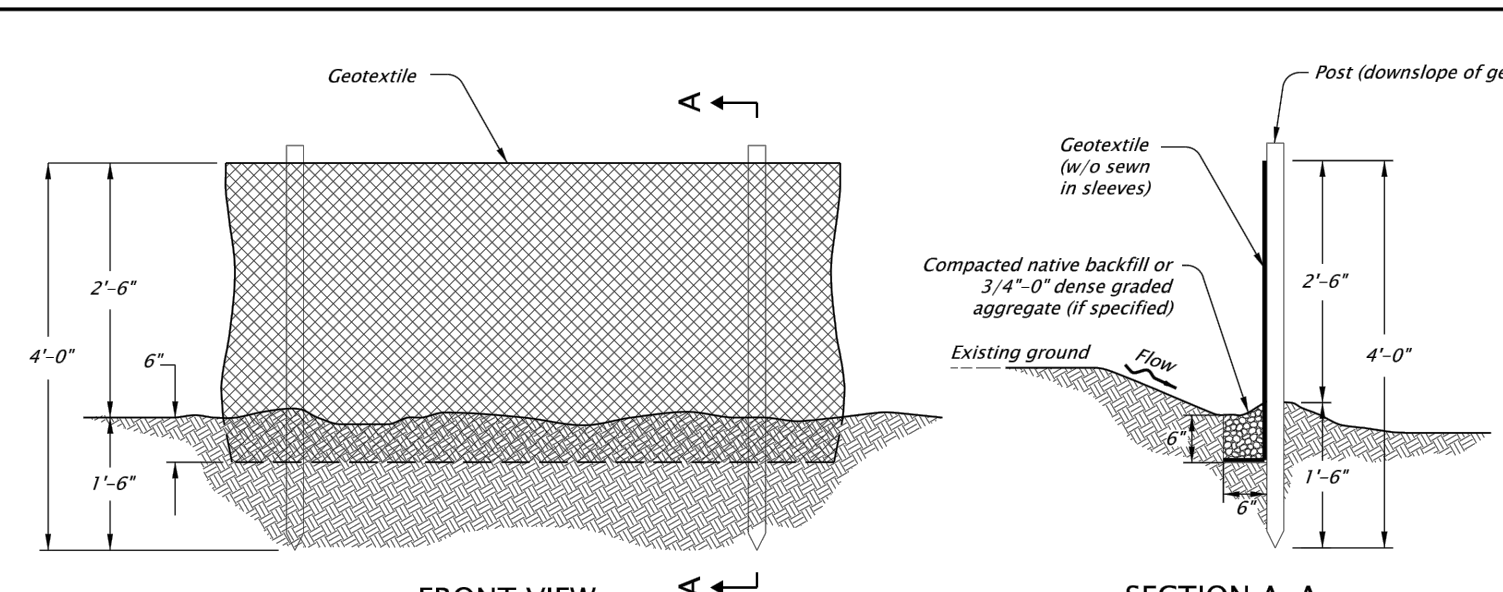
2018

DATE REVISION DESCRIPTION

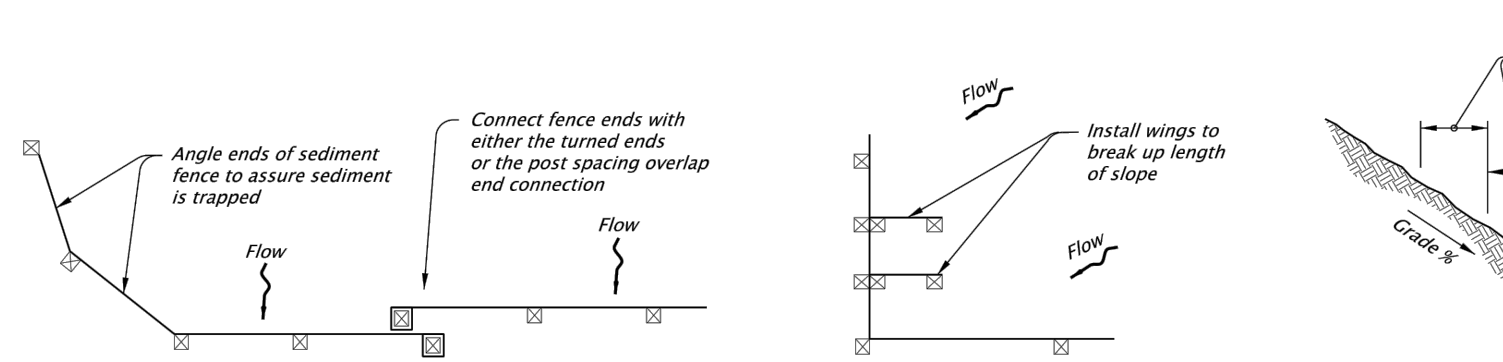
Effective Date: December 1, 2019 - May 31, 2020 RD1015

rd1040.dgn 11-08-2017

RD1040

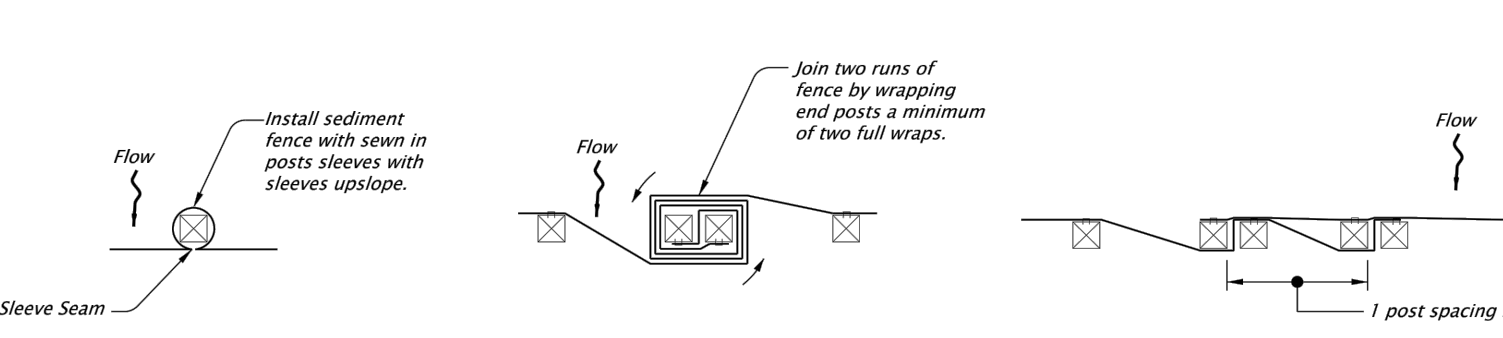


SEDIMENT FENCE AND GEOTEXTILE BURY DETAIL - TYPE 1



PLAN VIEW

TERMINATION AT CORNER OR PROPERTY LINE

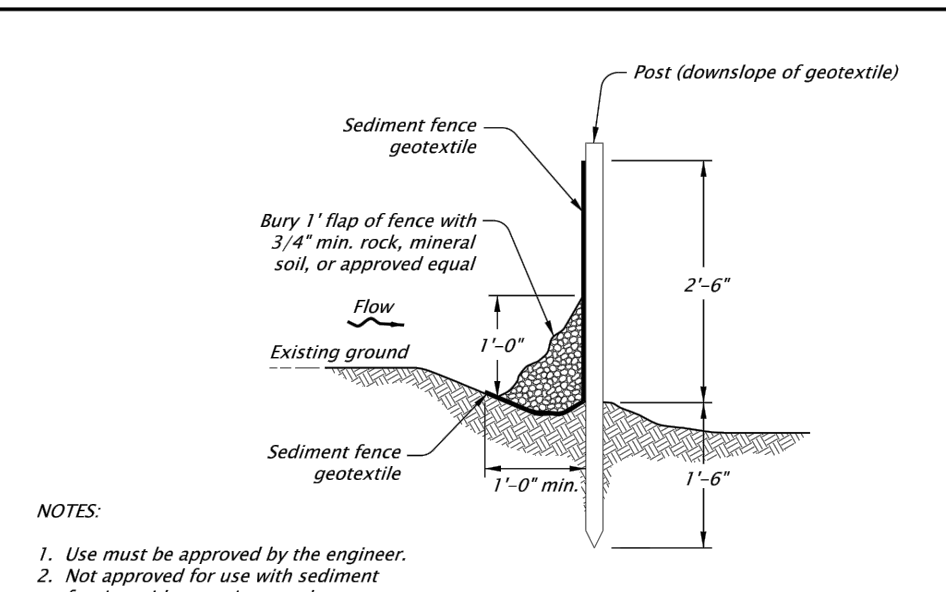


GEOTEXTILE WITH POST SLEEVES

TURNED ENDS CONNECTION

POST SPACING OVERLAP CONNECTION

GEOTEXTILE END CONNECTIONS



ALTERNATE SEDIMENT FENCE W/O TRENCHING - TYPE 2

NOTES:  
 1. Use must be approved by the engineer.  
 2. Not approved for use with sediment fencing with sewn-in post sleeves.

TABLE 1  
FENCE SPACING FOR GENERAL APPLICATION  
INSTALL PARALLEL ALONG CONTOURS AS FOLLOWS

GRADE	MAXIMUM SPACING ON GRADE
Grade < 10%	300'
10% < Grade < 15%	150'
15% < Grade < 20%	100'
20% < Grade < 30%	50'
30% < Grade	25'

TABLE 2  
POST SPACING

6"	Sediment Fence with Geotextile elongation less than 50%
4"	Sediment Fence with Geotextile elongation 50% or more

CALC. BOOK NO. 6403, 6404, 6405 BASELINE REPORT DATE November 2017

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

OREGON STANDARD DRAWINGS  
SEDIMENT FENCE

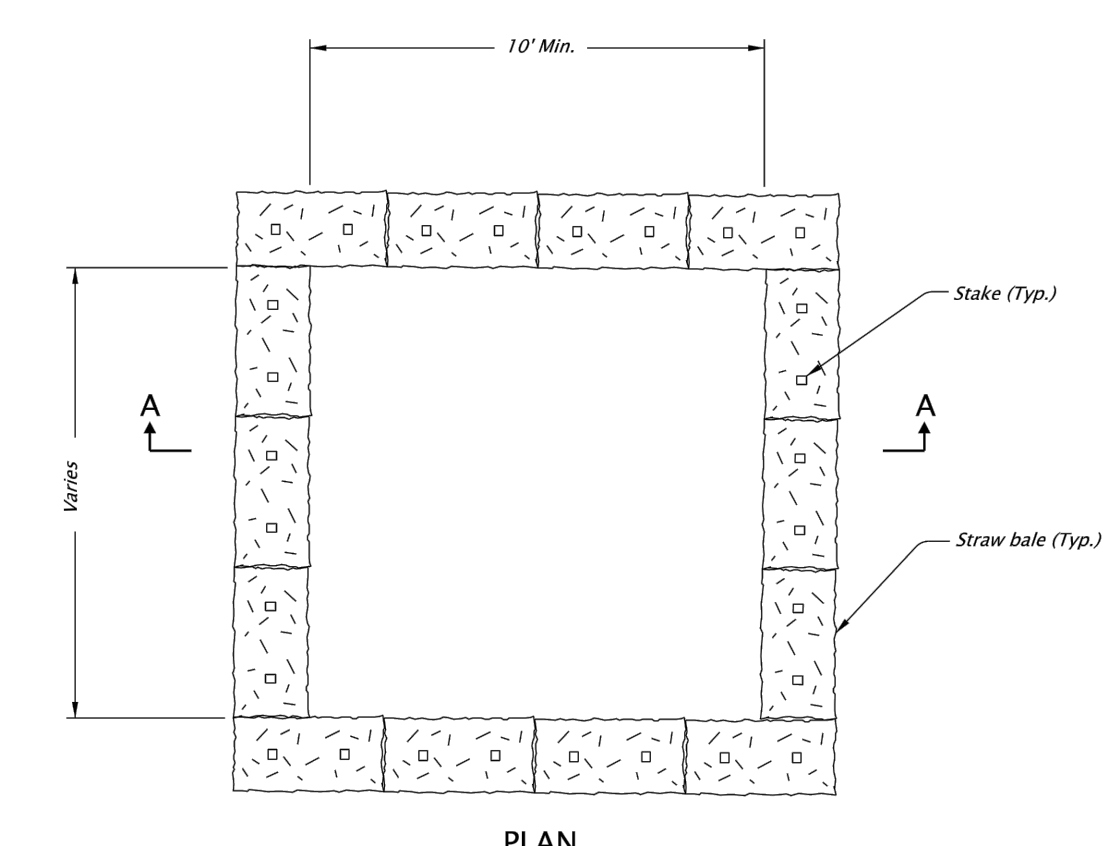
2018

DATE REVISION DESCRIPTION

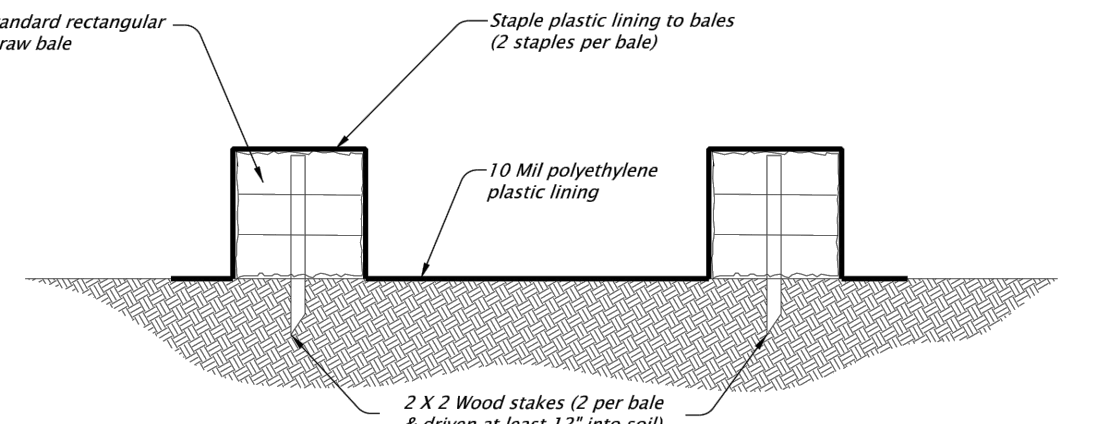
Effective Date: December 1, 2019 - May 31, 2020 RD1040

rd1070.dgn 06-01-2017

RD1070



PLAN



SECTION A-A

CONCRETE TRUCK WASH OUT FACILITY

CALC. BOOK NO. 6403, 6404, 6405 BASELINE REPORT DATE July 2014

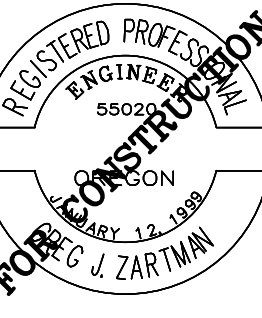
NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

OREGON STANDARD DRAWINGS  
CONCRETE TRUCK WASH OUT

2018

DATE REVISION DESCRIPTION

Effective Date: December 1, 2019 - May 31, 2020 RD1070



ISSUED: 9-3-2020

NO.	DATE	BY	REVISION
5	05/20		PLAN REVIEW COMMENTS
4	1/1/19		BUILDING PERIOD
3	8/19		FIRE ACCESS
2	07/19		JULY 12 COMMENTS
1	06/19		CITY REVIEW COMMENTS

PACIFIC VALLEY APARTMENTS

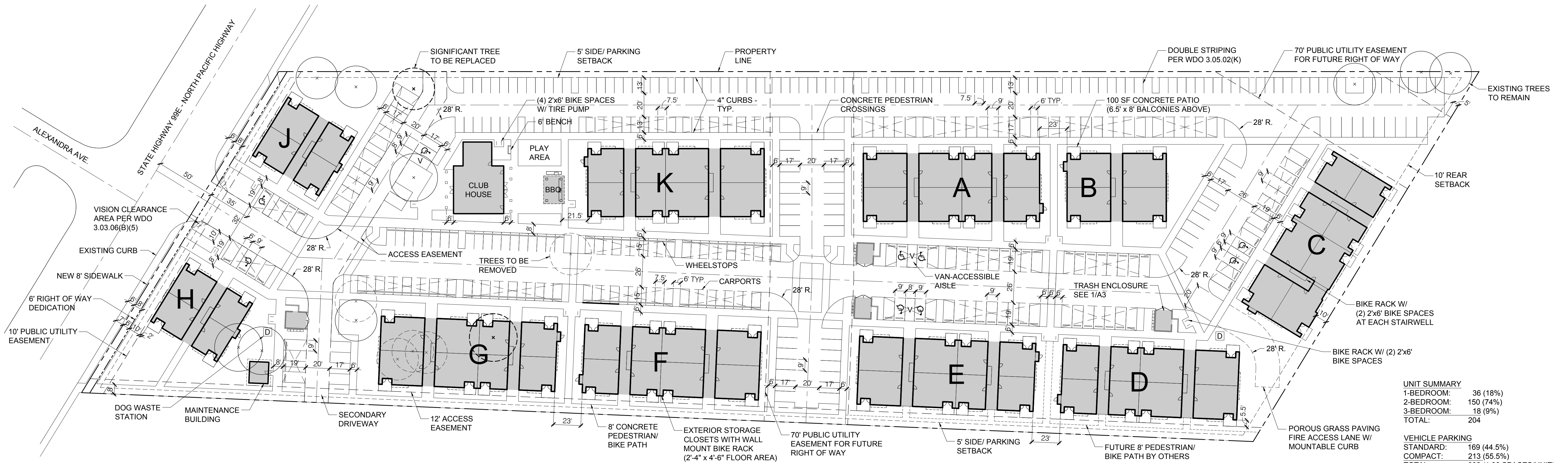
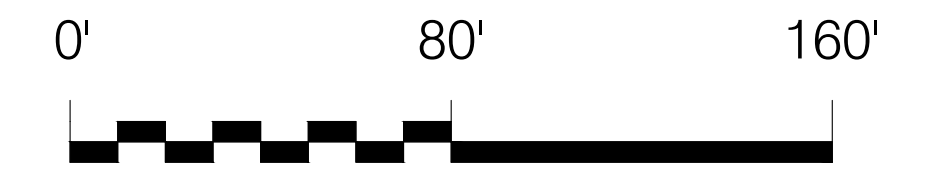
WEST COAST HOME SOLUTIONS, LLC

2564 19TH STREET SE  
 Salem, Oregon 97302  
 (503) 399-3828  
 www.leiengineering.com

**LEI** ENGINEERING & SURVEYING OF OREGON

1200C DETAILS

SCALE: NO SCALE  
 PROJECT NO: 60-07  
 SHEET: 08 OF 48  
 ER-5



**UNIT SUMMARY**

1-BEDROOM:	36 (18%)
2-BEDROOM:	150 (74%)
3-BEDROOM:	18 (9%)
<b>TOTAL:</b>	<b>204</b>

**VEHICLE PARKING**

STANDARD:	169 (44.5%)
COMPACT:	213 (55.5%)
<b>TOTAL:</b>	<b>382 (1.86 SPACES/UNIT)</b>

**COVERED:** 192 (50%)  
**UNCOVERED:** 190 (50%)  
**TOTAL:** 382

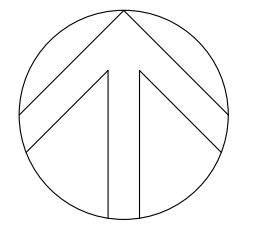
**ACCESSIBLE:** 9 (2%)

**BICYCLE PARKING**

COVERED:	34 (51.5%)
UNCOVERED:	32 (48.5%)
<b>TOTAL:</b>	<b>66</b>

**NOTE:**  
 5% OF PARKING SPACES TO BE PROVIDED WITH A CONDUIT SYSTEM FOR THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING STATIONS PER OAR 918-020-0380

**1 SITE PLAN**  
 SCALE: 1"=40'-0"



**ENCLOSURE 4**