



# Final Decision

## Planning Commission

**File number(s):** DR 2020-05 & PLA 2020-03

**Project name:** La Morenita Tortilla Bakery

**Date of decision:** October 22, 2020

**Date of mailing:** October 30, 2020

**Applicant:** Ed Christensen, Welkin Engineering, PC

**Landowner:** La Morenita Tortilleria, Inc.

**Site location:** 2230 & 2400 N. Pacific Highway  
Tax Lots 051W08A004900, 5000, & 5100

### Summary:

The Planning Commission held a public hearing via the GoToMeeting virtual meeting platform on October 22, 2020 and unanimously approved the application package with the conditions recommended by staff through the staff report published October 15, except the Commission voted to modify Condition DR-3.b. and Public Works Condition 8. No parties testified in opposition to the proposal.

Condition DR-3.b. was modified to state the property owner would receive compensation in accordance with state and federal law if and when the easement was modified to include allowance for public access, or if and when the area covered by the easement was dedicated as right-of-way. Public Works Condition 8. was modified to only be applicable if required by Oregon Department of Transportation (ODOT).

The subject properties are within the Commercial General (CG) zoning district. The proposal included a Property Line Adjustment to consolidate the three lots and a Design Review to construct a new 44,400 square foot commercial tortilla bakery with frontage improvements to N. Pacific Highway and on-site landscaping and parking upgrades.

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

## Conditions of Approval

### *General*

G-1. The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G-PW. Public Works: Follow the attached "Public Works Conditions October 15, 2020" (Attachment 101A).

### *Design Review*

DR-1. Fencing: To meet WDO 2.06.02, the applicant shall demonstrate conformance with applicable requirements for the proposed fencing through the fence permit process of 5.01.03.

DR-2. N. Pacific Highway improvements:

- a. Per WDO 3.01.01A. and Figure 3.01B, dedicate right-of-way (ROW) along N. Pacific Highway to achieve 50 feet from centerline.
- b. Per WDO Figure 3.01B and 3.02.01C., dedicate a 10-foot public utility easement (PUE) along the widened ROW of N. Pacific Highway.
- c. Per WDO Figure 3.01B, remove the existing curbside sidewalk and construct a new 6-foot landscape strip (including curb) and 6-foot sidewalk, which shall transition to existing sidewalk along adjacent property frontages in a manner acceptable to the City Engineer.
- d. Per WDO Figure 3.01B and 3.06.06A, plant four large street trees (large tree per Table 3.06B and of a species not listed in Table 3.06C) within the new landscape strip.
- e. Subsections a. and b. are due prior to building permit issuance, subsections c. and d. are due prior to building permit final inspection.

DR-3. Additional on-site public utility easements (PUEs):

- a. Per WDO 3.02.01A., dedicate a 16-foot PUE centered along the looped 6-inch public water line.
- b. Per WDO 3.01.01C., 3.01.04A., 3.02.01C., and Transportation System Plan (TSP) Figure 6, dedicate a 35-foot PUE along the north property line of the resulting consolidated lot.
- c. Per WDO 3.04.03C.2., dedicate a 20-foot shared access easement benefitting 2200 N. Pacific Highway (Tax Lots 051W08A004700 and 4800).
- d. Subsections a., b., and c. are due prior to building permit issuance.
- e. If the easement in subsection b. is modified to include public access, or if the area covered by this easement is dedicated as right-of-way, the property owner shall be

compensated in accordance with state and federal law at the time of such modification or dedication.

DR-4. Parking:

- a. Per WDO 3.05.02J., revise plans to illustrate painted directional markings on pavement or directional signage throughout the parking lot.
- b. Per WDO 3.05.02K. and Figure 3.05C, revise plans to illustrate parking stalls delineated by double parallel lines.
- c. Per WDO 3.05.03B. and Table 3.05B, revise plans to note which accessible stall is the "Van Accessible" stall.
- d. Subsections a., b., and c. are due prior to building permit issuance.

DR-5. Landscape area curbing: Per WDO 3.06.02I., revise plans to note a 6-inch curb between landscape areas and on-site pavement. This condition is due prior to building permit issuance.

DR-6. Trash enclosure: Per WDO Table 3.06D and 3.06.06A., revise plans to include drawings and/or details illustrating that the required Architectural Wall for the exterior trash enclosure is an approvable height and meets the design standards of 3.06.06B.

DR-7. Architectural design:

- a. Windows: Per 3.07.06B.2.b.(1), the west building façade shall have at least 30 percent of its area occupied by windows.
- b. Rooftop equipment: Per 3.07.06B.4., any rooftop equipment shall be screened from view from the street.

DR-8. Signage: To meet WDO 3.10, the applicant shall demonstrate conformance with applicable requirements for the proposed signage through the sign permit process of 5.01.10.

*Property Line Adjustment*

PLA-1. Recordation: The applicant shall record the subject lot consolidation with Marion County prior to building permit issuance.

## Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Recordations: Dedications of ROWs and PUEs involve recordations with Marion County. The applicant (or applicant's surveyor) would need to:
  - a. Prior to recordation with the County, follow City Public Works Department review and dedication process as directed by the City Engineer or higher authority, including the use of Public Works document templates;
  - b. Submit a draft copy of the ROW dedications and easements, including text and drawing(s), to the attention of both the Director and City Engineer for their reviews and directions. Easement text should contain references to "City of Woodburn Variance DR 2020-05", "La Morenita Tortilleria", street address, and tax lot number. Submit through the Planning Division both Adobe PDF and written copies under a cover or transmittal letter providing project context, including land use / planning / zoning case file numbers, street address, tax lot number, and project name and an explanation of the purpose of the submittal; and
  - c. Record dedications and submit proof of recordation prior to building permit issuance.
2. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
3. Records: Staff recommends that the applicant retain a copy of the subject approval.
4. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
5. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
6. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.

7. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
8. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.
9. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.
10. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
11. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
12. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
13. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.

14. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.

### **Expiration**

Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

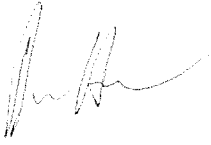
1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

### **Appeals**

Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or [planning@ci.woodburn.or.us](mailto:planning@ci.woodburn.or.us).

Sincerely,



Dan Handel, AICP  
Associate Planner

Affirmed,



October 29, 2020

Charles Piper, Chair, or

Ellen Bandelow, Vice-Chair,

Planning Commission

attachments:

- Planning Commission October 22, 2020 Staff Report Attachment 101A. "Public Works Conditions October 15, 2020"
- 105. Site plans, excerpted

cc: Gilberto Diaz, La Morenita Tortilleria, Inc., 4180 Cordon Street NE, Salem, OR 97305  
Ed Christensen, P.E., Welkin Engineering, PC, 25260 SW Parkway Avenue Suite G, Wilsonville, OR 97070  
Chris Kerr, Community Development Director  
Colin Cortes, AICP, CNU-A, Senior Planner  
Dago Garcia, P.E., City Engineer  
Eric Liljequist, P.E., Public Works Projects and Engineering Director  
Ted Cuno, Building Official  
Jason Space, GIS Technician  
Marion County Assessor's Office, 555 Court St. NE, Suite 2233, Salem, Oregon 97309



**LA MORENITA TORTILLERIA, INC.  
DR 2020-05, & PLA20-03  
TAX LOTS 051WO8A 04900, 051WO8A 5000, 051WO8A 05100  
Public Works**

**October 15, 2020**

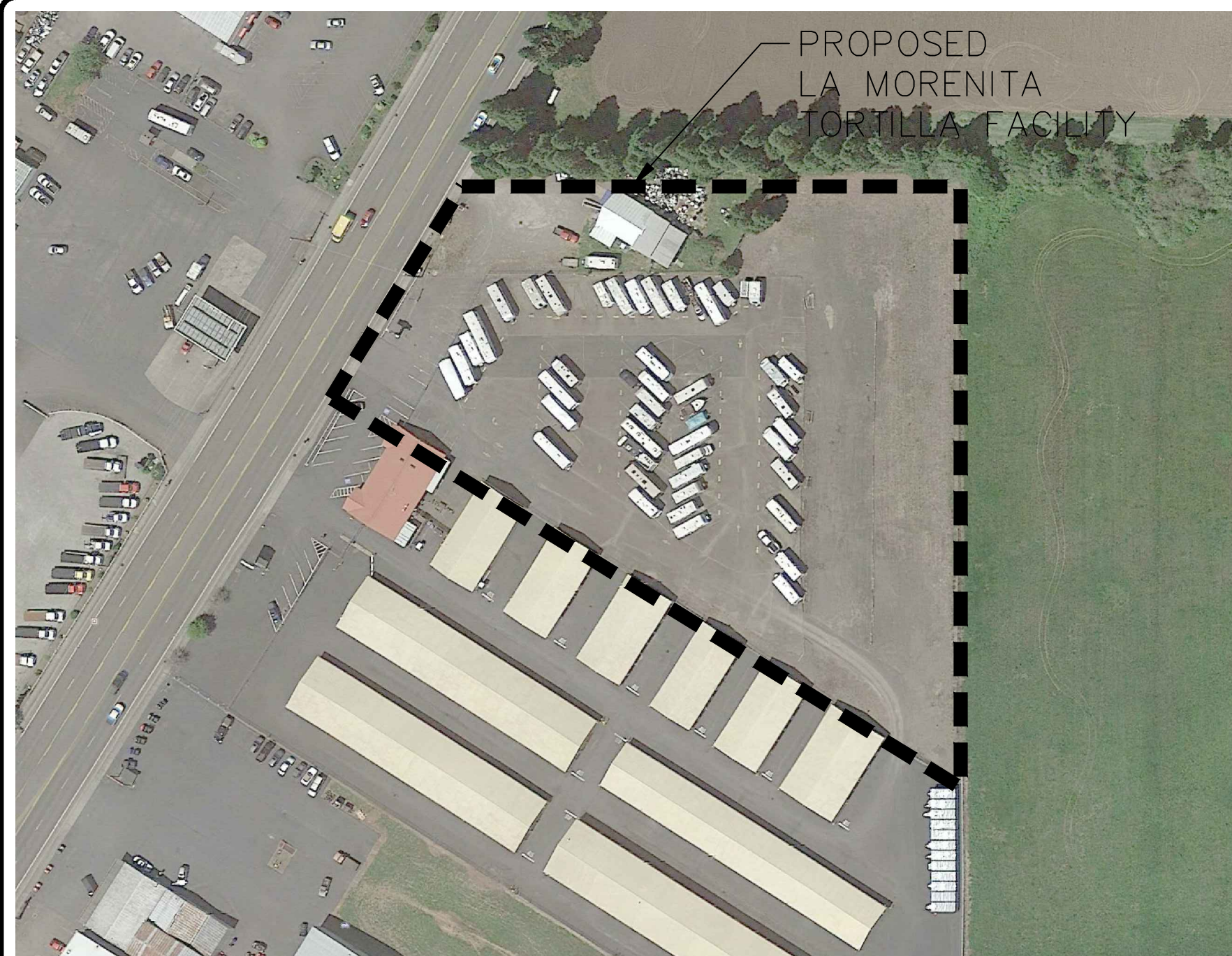
**CONDITIONS OF LAND USE APPROVAL:**

1. The Applicant, not the City, is responsible for obtaining permits from state, county and/or federal agencies that may require such permit or approval. All work within the Oregon Department of Transportation (ODOT) right-of-way requires the applicant to obtain approval and permits from ODOT.
2. The Applicant shall obtain approval from the Oregon Department of Transportation (ODOT) for the storm drainage analysis that will impact ODOT's system. Provide a final storm drainage analysis for detention and conveyance system. The storm drainage hydraulic analysis shall comply with both ODOT and City's requirements.
3. The applicant shall obtain approval from the Oregon Department of Transportation (ODOT) for all required improvements along Highway 211, included but not limited to street improvements, striping, Highway signage, construction of new sewer line, construction of new water line, and additional improvements as required by ODOT's review/approval of the applicants' traffic study.
4. Applicant to provide for the installation of all franchise utilities and shall provide any required easements for these facilities. All permanent utility services to the development shall be underground.
5. Department of Environmental Quality Erosion Control 1200C permit will need to be obtained for this development prior to City issuance of permit.
6. Final review of the Civil Plans will be done during the building permit application. Public infrastructure will be constructed in accordance with plans approved by public works and ODOT.
7. Provide and record the required right-of-way dedication, public utility easements, and waterline easements prior to building permit issuance.
8. If street lighting is required by ODOT, provide a street lighting plan and design for review to the City and ODOT.
9. Applicant to provide plans indicating the construction of a new gravity sanitary sewer main in Hwy211 – Woodburn-Estacada Highway. As indicated on previous meetings, the



existing sewer main in Hwy 211 is an abandoned force main. Applicant is responsible for constructing a public gravity sewer main to the proposed development.

10. Fire hydrants locations and fire protection requirements shall be as per the Woodburn Fire Districts and City of Woodburn requirements. Actual fire hydrant locations and in-line valving locations shall not be determined until the construction final plan review.
11. System Development fees shall be paid at the time of building permit issuance.
12. All public easements and right-of-way dedications shall be properly recorded prior to building permit issuance.



VICINITY MAP - NTS

# LA MORENITA TORTILLAS WOODBURN, OREGON

149,581 SF OR 3.43 ACRES  
TAX LOT(S) 051W8A 4900/5000/5100

**INDEX OF DRAWINGS**

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE PLAN
- 4 PROPOSED GRADING & EROSION CONTROL PLAN
- 5 COMPOSITE UTILITY PLAN
- 6 LANDSCAPE PLAN
- 7 BUILDING FLOOR PLAN
- 8 OFFICE AND COMMERCIAL FLOOR PLAN
- 9 BUILDING ELEVATIONS
- 10 LIGHTING PLAN

**APPLICANT:**

GILBERTO DIAZ  
270 GRANT ST.  
WOODBURN, OR 97071  
O: (503) 982-3959  
EMAIL: GIL.1DIAZ@HOTMAIL.COM

**SITE PLANNERS/ENGINEERS/SURVEYORS:**

WELKIN ENGINEERING, P.C.  
ED CHRISTENSEN, P.E.  
25260 SW PARKWAY AVE., SUITE G  
WILSONVILLE, OR 97070  
EMAIL: EKC@WELKINPC.COM  
PHONE: 503.380.5324

**UTILITY/SERVICE PROVIDERS:**

SANITARY SEWER - CITY OF WOODBURN  
DOMESTIC WATER - CITY OF WOODBURN  
STORMWATER - ODOT  
FIRE - WOODBURN FIRE DISTRICT

**BUILDING AREAS:**

RETAIL: 374 SF  
OFFICE: 4,126 SF  
MANUFACTURING: 11,883 SF  
WAREHOUSE: 28,017 SF

**EXISTING CONDITIONS:**

IMPERVIOUS SURFACES: 114,843 SF, 2.64 AC  
PERVIOUS AREAS: 34,412 SF, 0.79 AC

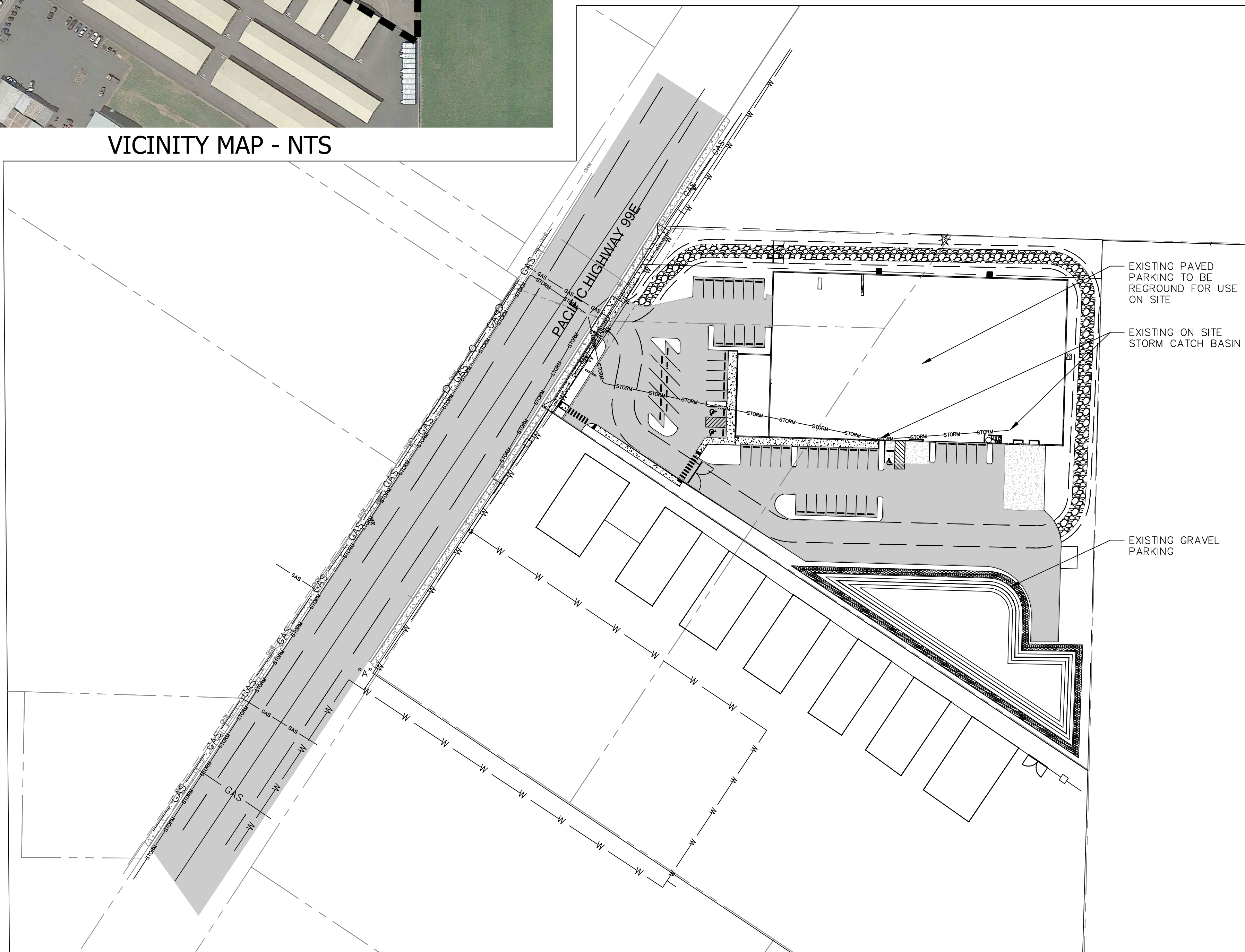
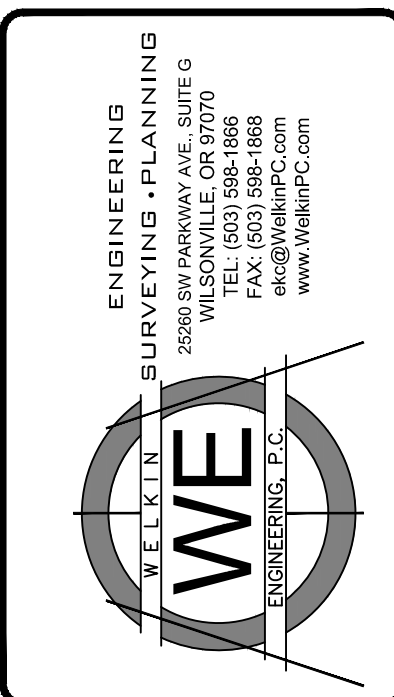
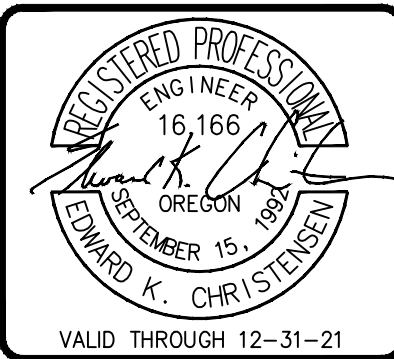
**DEVELOPED CONDITIONS:**

IMPERVIOUS SURFACES: 102,189 SF, 2.34 AC  
PERVIOUS AREAS (LANDSCAPING): 47,045 SF, 1.08 AC

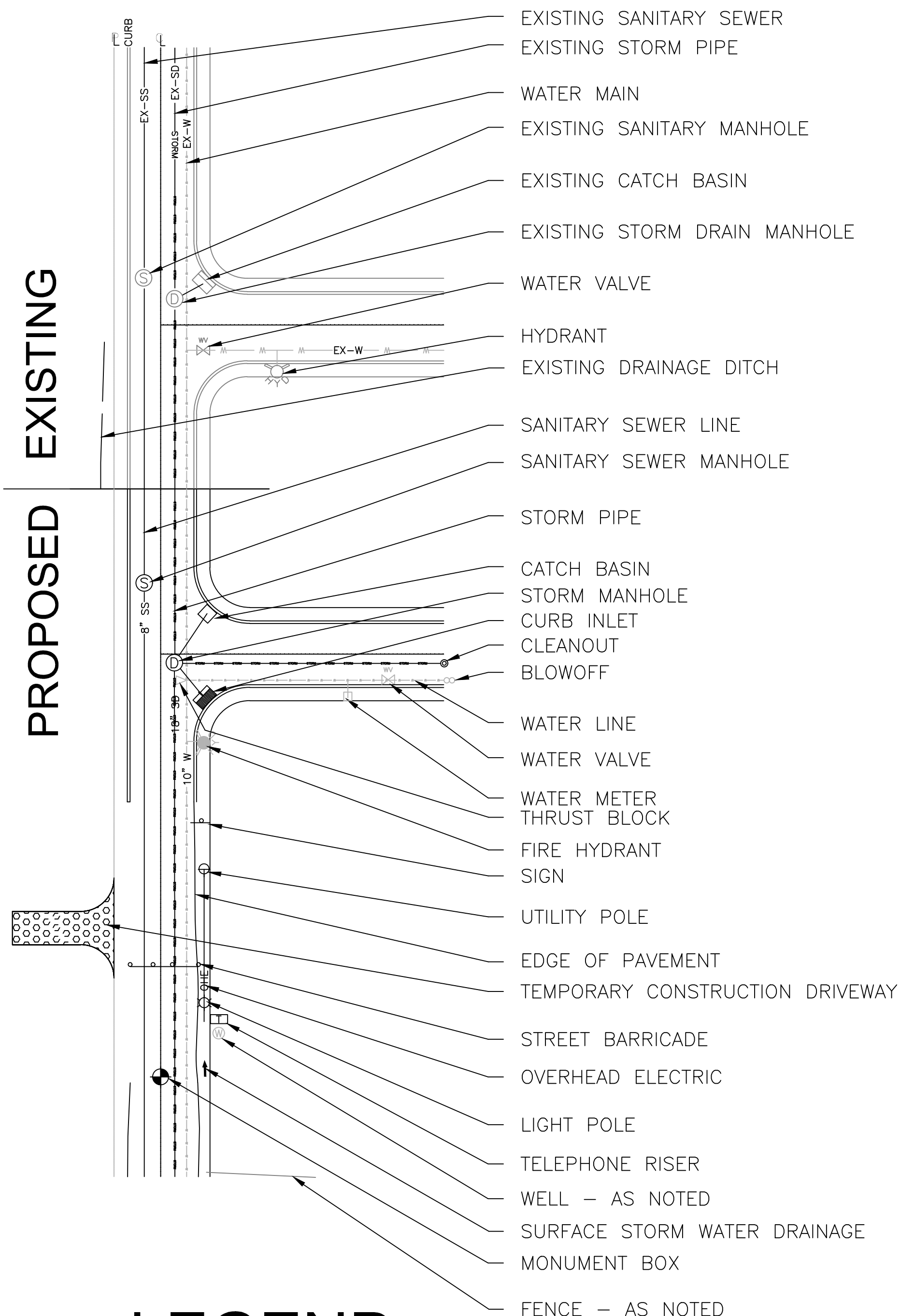
**LANDSCAPE AREAS:**

47,045 SF OR 31.58%

NO.	DATE	REVISION



LA MORENITA SITE  
SCALE: 1" = 60'



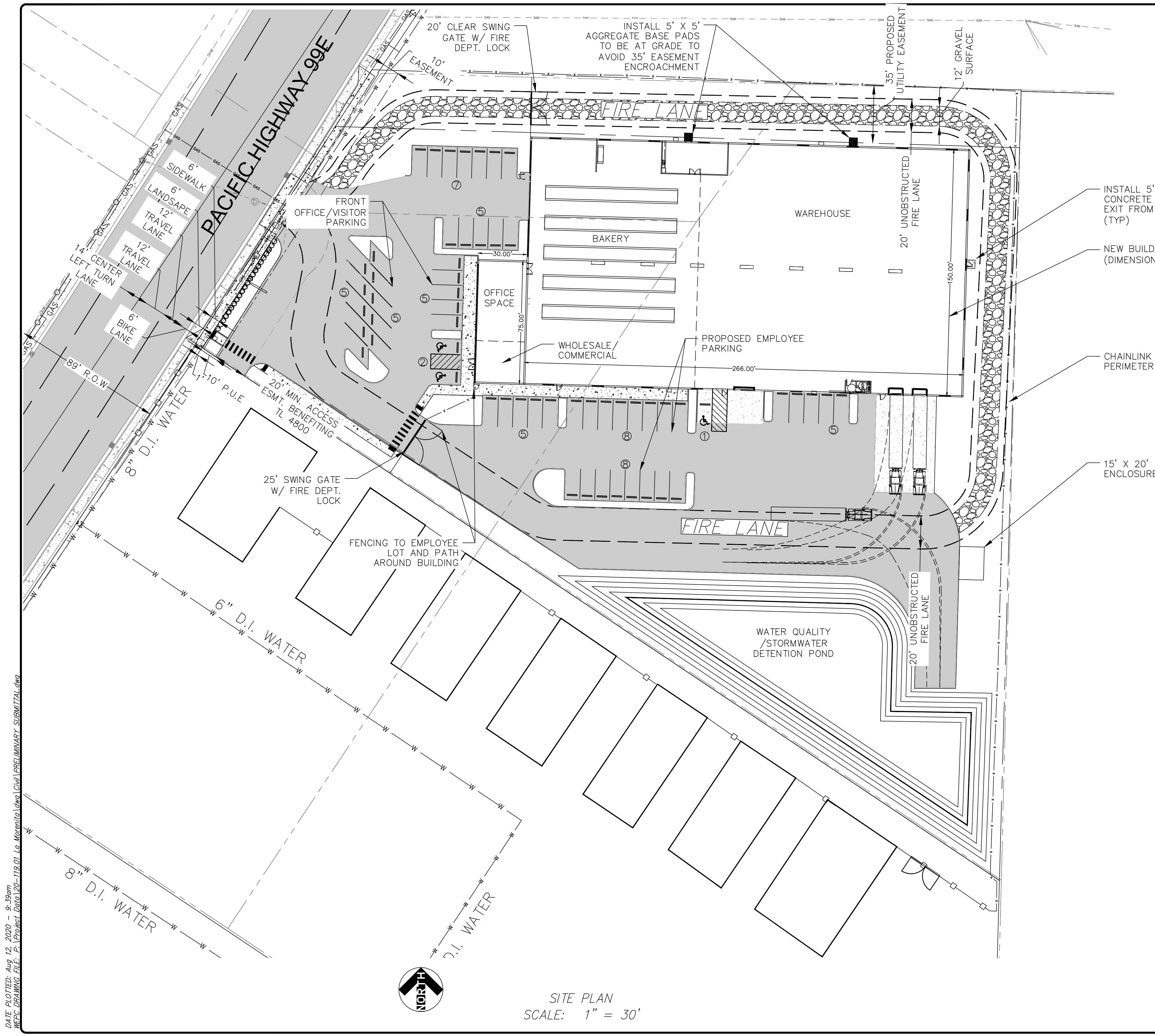
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DATE PLOTTED: Aug 12, 2020 - 9:29am  
WFPC DRAWING FILE: P:\Project Data\20-119.01 La Morenita Ldng\Civil\PRELIMINARY SUBMITTAL.dwg

COVER SHEET &  
EXISTING CONDITIONS

LA MORENITA TORTILLAS, INC.  
WOODBURN OREGON  
MARION COUNTY

DESIGNED BY:	EKC
DRAWN BY:	
CHECKED BY:	
DATE:	8/11/20
SCALE:	1"=20' HORIZONTAL
PROJECT NO:	20-119.01
SHEET	C1



**PARKING REQUIRED:**

GENERAL RETAIL: 1 SPACE

COMMERCIAL BAKERY: 21 SPACES

WAREHOUSING: 21 SPACES

TOTALS: 42 SPACES

**PARKING PROVIDED:**

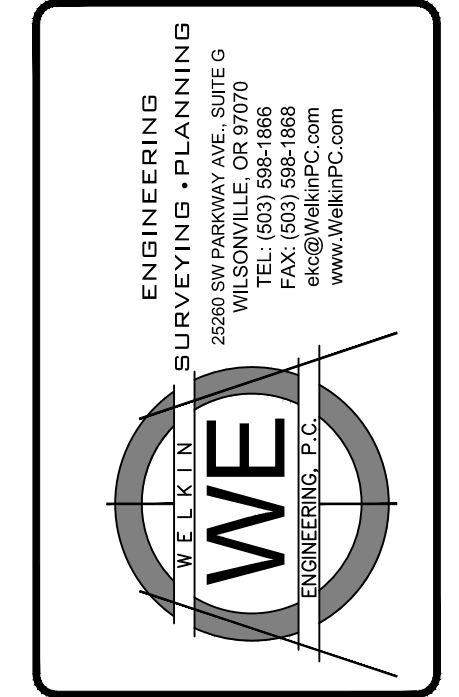
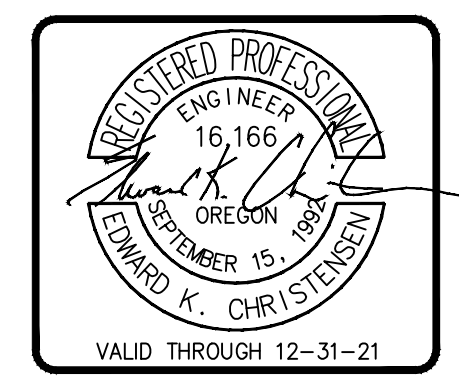
56 SPACES INCLUDING 3 HANDICAP SPACES

**Commercial General (CG) - Site Development Standards**  
**Table 2.03C**

Lot Area, Minimum (square feet)	No minimum		
Lot Width, Minimum (feet)	No minimum		
Lot Depth, Minimum (feet)	No minimum		
Street Frontage, Minimum (feet)	No minimum		
Front Setback and Setback Abutting a Street, Minimum (feet)	5 <sup>1</sup>		
Side or Rear Setback, Minimum (feet)	Abutting RS, R1S, or RM zone	10 <sup>4</sup>	
	Abutting CO, CG, DDC, NNC, P/SP, IP, SWIR, or IL zone	0 or 5 <sup>4,5</sup>	
Setback to a Private Access Easement, Minimum (feet)	5		
Lot Coverage, Maximum	Not specified <sup>2</sup>		
Residential Density (units per net acre)	Minimum	Row house	12
		Child care facility, group home, or nursing home	12
		Multi-family dwelling	12
	Maximum	Row house	24
		Child care facility, group home, or nursing home	32
		Multi-family dwelling	32
Building Height, Maximum (feet)	Primary or accessory structure	Outside Gateway subarea	70
		Western Gateway subarea	50
		Eastern Gateway subarea	40
	Features not used for habitation	100	

- Measured from the Special Setback (Section 3.03.02), if any
- Lot coverage is limited by setbacks, off-street parking, and landscaping requirements.
- Only allowed in the Gateway Overlay District
- A house of worship shall be set back at least 20 feet from a property line abutting a residential zone or use.
- A building may be constructed at the property line, or shall be set back at least five feet.

NO.	DATE	REVISION



**SITE PLAN**

**LA MORENITA TORTILLAS, INC.**  
**WOODBURN OREGON**  
MARION COUNTY

DESIGNED BY: *EKC*

DRAWN BY:

CHECKED BY:

DATE: 8/11/20

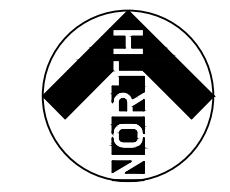
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VERTICAL

PROJECT NO: 20-119.01

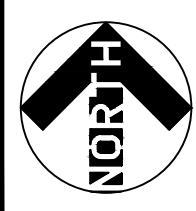
SHEET **C3**

DATE PLOTTED: Aug 12, 2020 - 9:39am  
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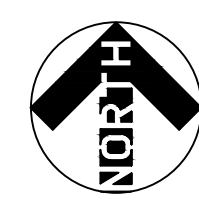
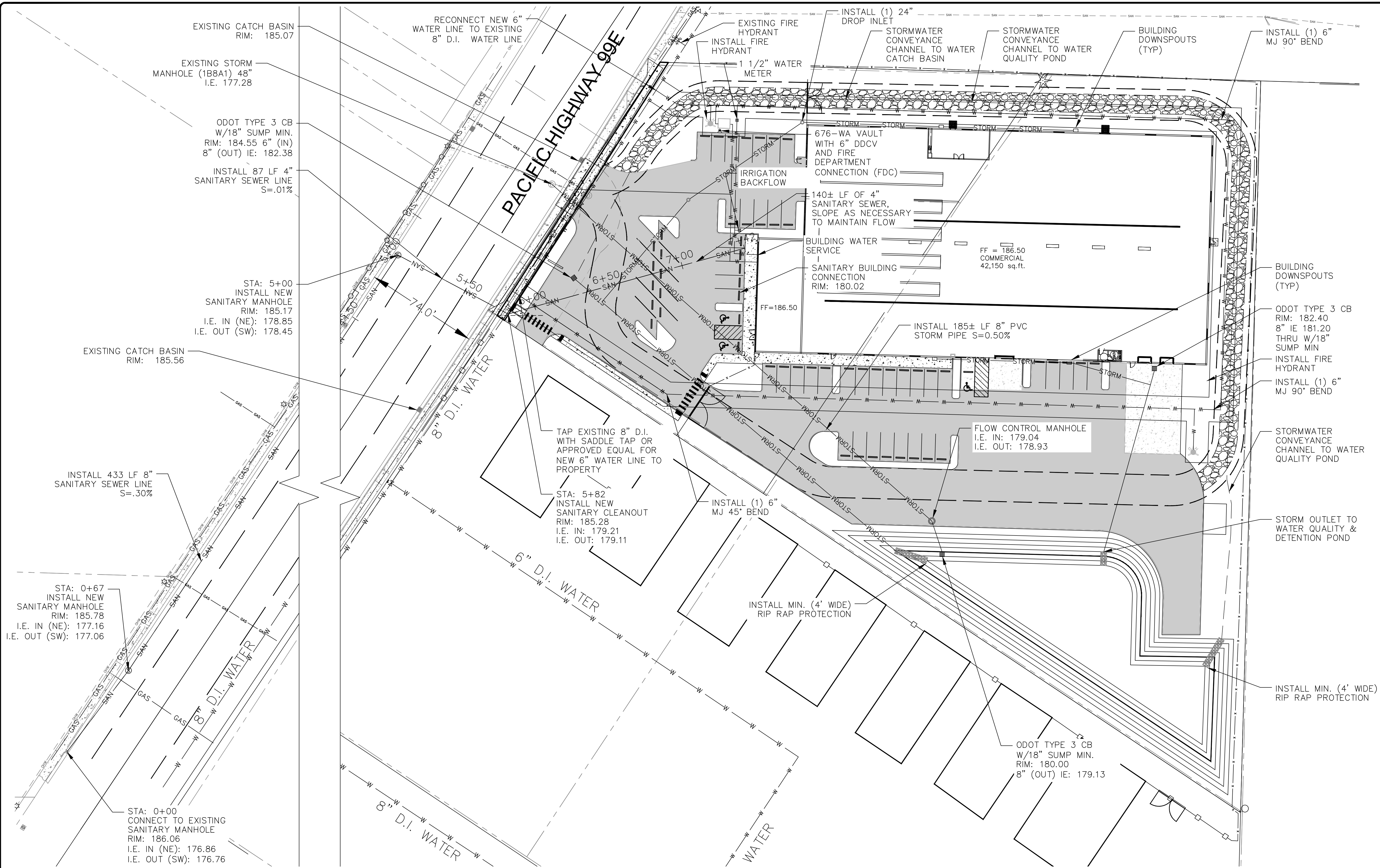


SITE PLAN  
SCALE: 1" = 30'

DATE PLOTTED: Aug 26, 2020 - 12:12pm  
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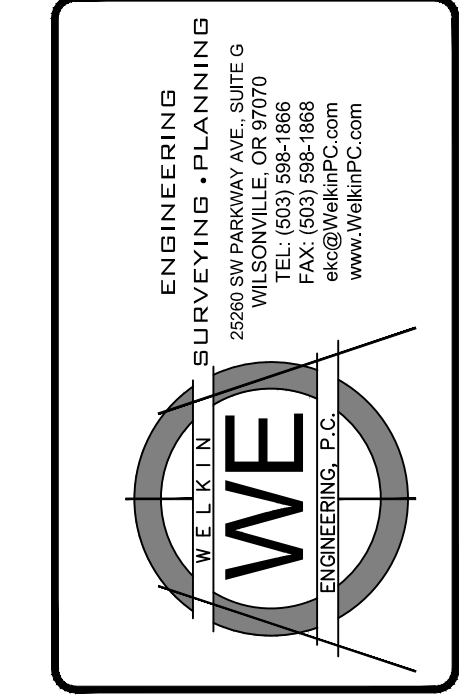
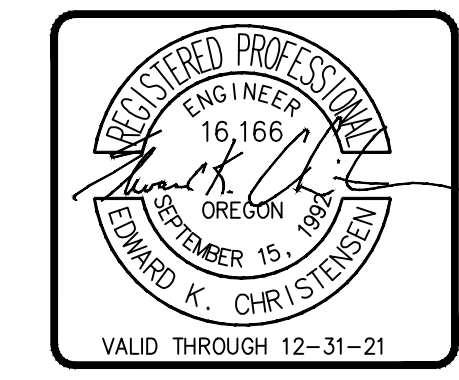


COMPOSITE UTILITY PLAN (CONTINUED)  
SCALE: 1" = 30'



COMPOSITE UTILITY PLAN  
SCALE: 1" = 30'

NO.	DATE	REVISION

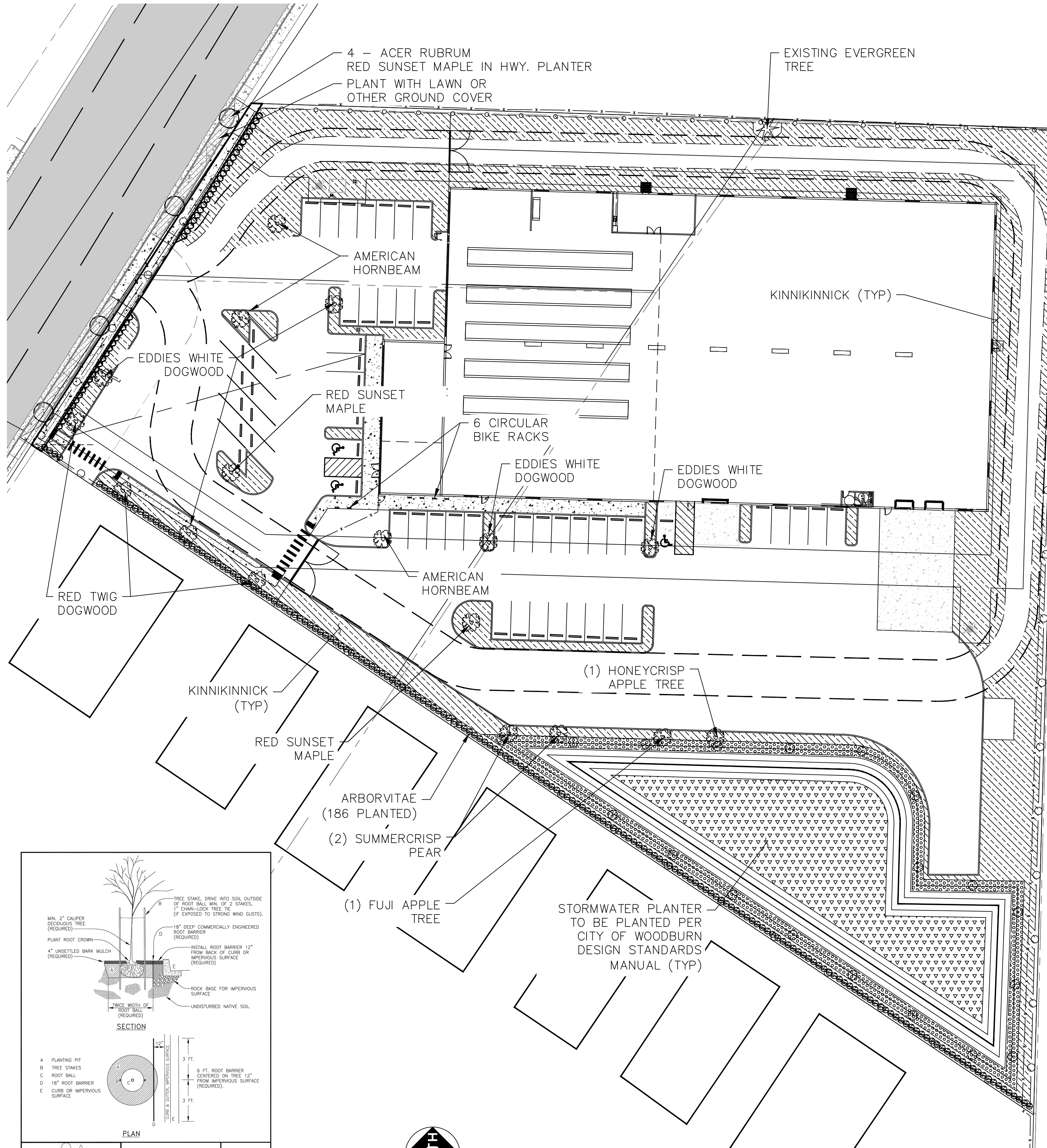


COMPOSITE UTILITY PLAN

LA MORENITA TORTILLAS, INC.  
WOODBURN OREGON  
MARION COUNTY

DESIGNED BY:	EKC
DRAWN BY:	
CHECKED BY:	
DATE:	8/26/20
SCALE:	1" = 20' HORIZONTAL
	VERTICAL
PROJECT NO:	20-119-01
SHEET	C5

IRRIGATION PLAN TO BE DESIGNED AND BUILT BY LANDSCAPING CONTRACTOR



PLANTING SCHEDULE:

BOTANICAL NAME COMMON NAME	QTY.	SIZE	CONDITION	HEIGHT	SPREAD	REMARKS
<b>TREES</b>						
ACER RUBRUM RED SUNSET MAPLE	4	2" Cal.	B&B	70'	65'	
OSTRYA VIRGINIANA AMERICAN HORNBEAM	2	2" Cal.	B&B	35'	35'	
CORNUS NUTTALLI EDDIES WHITE DOGWOOD	5	2" Cal.	B&B	25'	20'	
MALUS HONEYCRISP APPLE HONEYCRISP	1	2" Cal.	B&B	14'-18'	12'-15'	
MALUS FUJI FUJI APPLE	1	2" Cal.	B&B	10'-15'	8'-10'	
PYRUS COMMUNIS SUMMERCRISS PEAR	1	2" Cal.	B&B	18'-25'	10'-15'	
PYRUS COMMUNIS COMICE PEAR	1	2" Cal.	B&B	12'-18'	12'-18'	
CORNUS FLORIDA RED TWIG DOGWOOD	3	1.5" Cal.	B&B	20'-25'	20'-25'	

SHRUBS

VIBURNUM LAURUSTINUS SPRING BOUQUET SPRING BOUQUET VIBURNUM	46	1 GAL.	B&B		36" O.C.	
THUJA ARBORVITAE	182	1 Gal.	B&B		36" O.C.	

GROUND COVER

ARCTOSTAPHYLOS UVA-URSI KINNIKINICK	12,800 SF	1 GAL. CONT.	B&B		30" O.C.	
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LANDSCAPE AREAS:

TREE/SHRUB AREA:	25,835 sq.ft.
STORM WATER PLANTER AREA:	3,670 sq.ft.
SUBTOTAL LANDSCAPE AREA: SUBJECT TO PU REQUIREMENTS	29,505 sq.ft.
Right of Way:	423 sq.ft.
Total Landscape Area:	29,928 sq.ft.

STORM WATER PLANTER: 3,670 sq ft

Plant calculations:	Zone A area:	3,670 sf x 100/100 sf = 3,670 Herbaceous plants
		3,670 sf x 1/200 sf = 18.35 (19) Trees

BOTANICAL NAME COMMON NAME	QTY.	SIZE	CONDITION	SPACING
<b>TREES</b>				
RHAMNUS PURSHIANA CASCARA	18	1.5" Cal.	B&B	as shown
<b>HERBACEOUS PLANTS</b>				
CAREX OBNUPTA SLOUGH SEDGE	1,835	1 Gal.	Can	12" o.c.
SCIRPUS MICROCARPUS SMALL-FRUITED BULRUSH	1,835	1 Gal.	Can	12" o.c.

\* ALL PLANTING REQUIREMENTS ARE TAKEN FROM TABLE 3.06A PER CITY OF WOODBURN DEVELOPMENT ORDINANCE

PLANTING REQUIREMENTS:	CALCULATED VALUES:
OTHER YARDS 1 PU/50 SQUARE FEET	13,776/50 = 276 PU
OFF-STREET PARKING AND LOADING AREAS 1 PU/20 SQUARE FEET 59 PARKING SPACES	10,260/20 = 513 PU 6 MEDIUM TREES = 60 PU
	<b>TOTAL REQUIRED = 849 PU</b>

\* ALL (PU) VALUES ARE TAKEN FROM TABLE 3.06 B PER CITY OF WOODBURN DEVELOPMENT ORDINANCE

PLANT UNIT (PU) VALUES:

- 2.) 10 X 5 = 50 PU
- 4.) 16 X 4 = 64 PU
- 6.) 228 X 1 = 228 PU
- 5.) 232 X 4 = 464 PU
- 7.) 17.677/50 = 354 PU
- 15.) 18497/50X2 = 740 PU

PLANTING UNITS PROVIDED = 1,900

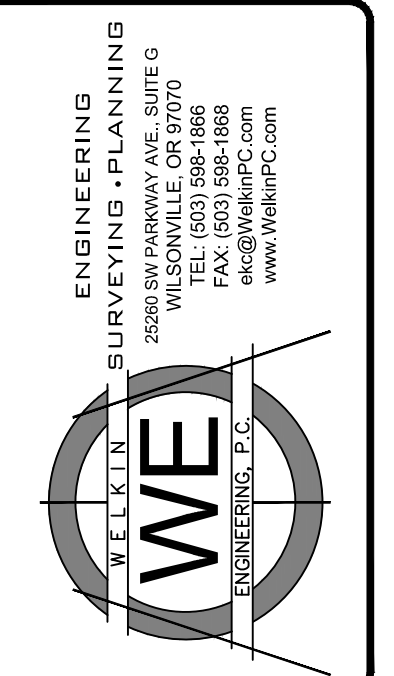
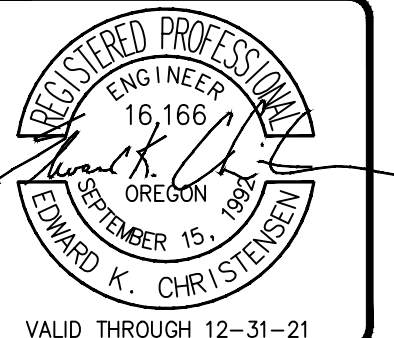
STORM WATER PLANTING SPECIFICATIONS

THESE ARE MAN-MADE STORM FACILITIES AND ALL EXISTING VEGETATION WILL HAVE BEEN REMOVED.

ALL PLANTS TO BE PIT PLANTED WITH ADDITIONAL ORGANIC MATTER IF REQUIRED BUT NO TRADITIONAL FERTILIZER IS NECESSARY. PLANT PLACEMENT SHALL BE CONSISTENT WITH THE FORM OF THE NATURALLY OCCURRING PLANT COMMUNITY. TREES & SHRUBS SHALL BE PLACED IN SINGLES OR CLUSTERS OF THE SAME SPECIES TO PROVIDE A NATURAL PLANTING SCHEME, AND TAGGED FOR IDENTIFICATION.

- 1.) PLANT INSTALLATION REQUIREMENTS. CONTAINERIZED STOCK SHALL BE INSTALLED ONLY FROM FEBRUARY 1 THROUGH MAY 1 AND OCTOBER 1 THROUGH NOVEMBER 15. BARE ROOT STOCK SHALL BE 12-16" LONG AND BE INSTALLED ONLY FROM DECEMBER 15 THROUGH APRIL 15.
- 2.) TREES AND SHRUBS PLANTED IN UPLAND AREAS (ZONE B) TO BE MULCHED A MINIMUM OF THREE INCHES IN DEPTH AND 18 INCHES IN DIA. (NO PART OF THE WQ FEATURE IS ZONE B FOR THIS PROJECT). APPROPRIATE MULCHES INCLUDE THOSE MADE FROM COMPOSTED LEAVES OR BARK THAT HAVE NOT BEEN CHEMICALLY TREATED.
- 3.) MONITORING AND MAINTENANCE. UV3 PROTECTION TUBING IS REQUIRED FOR ALL NEW TREES AND SHRUBS AVAILABLE AT ACF WEST (503-771-5115). WILDLIFE PROTECTION MEASURES REQUIRED WHEN APPROPRIATE. THE REMOVAL OF NON-NATIVE, INVASIVE WEEDS IS NECESSARY THROUGHOUT THE MAINTENANCE PERIOD, OR UNTIL A HEALTHY STAND OF DESIRABLE VEGETATION IS ESTABLISHED. THE SITE IS TO BE MONITORED THREE TIMES PER GROWING SEASON AND ONCE PRIOR TO ONSET OF GROWING SEASON FOR A MIN. OF TWO YEARS. INSTALLED PLANTS THAT FAIL TO MEET SITE REVIEW INSPECTIONS BY THE CITY ENGINEER SHALL BE REPLACED DURING THE MAINTENANCE PERIOD. PRIOR TO REPLACEMENT, THE CAUSE OF LOSS (WILDLIFE DAMAGE, POOR PLANT STOCK, ETC.) SHALL BE DOCUMENTED WITH A DESCRIPTION OF THE BY A LANDSCAPE, ARBORICULTURE, AND/OR WILDLIFE SPECIALIST CORRECTIVE ACTIONS TAKEN.
- 4.) TEMPORARY IRRIGATION WILL BE USED DURING THE TWO YEAR ESTABLISHMENT/ MAINTENANCE PERIOD, AT A MINIMUM RATE OF 1" PER WEEK FROM JUNE 15 THROUGH OCTOBER 15.

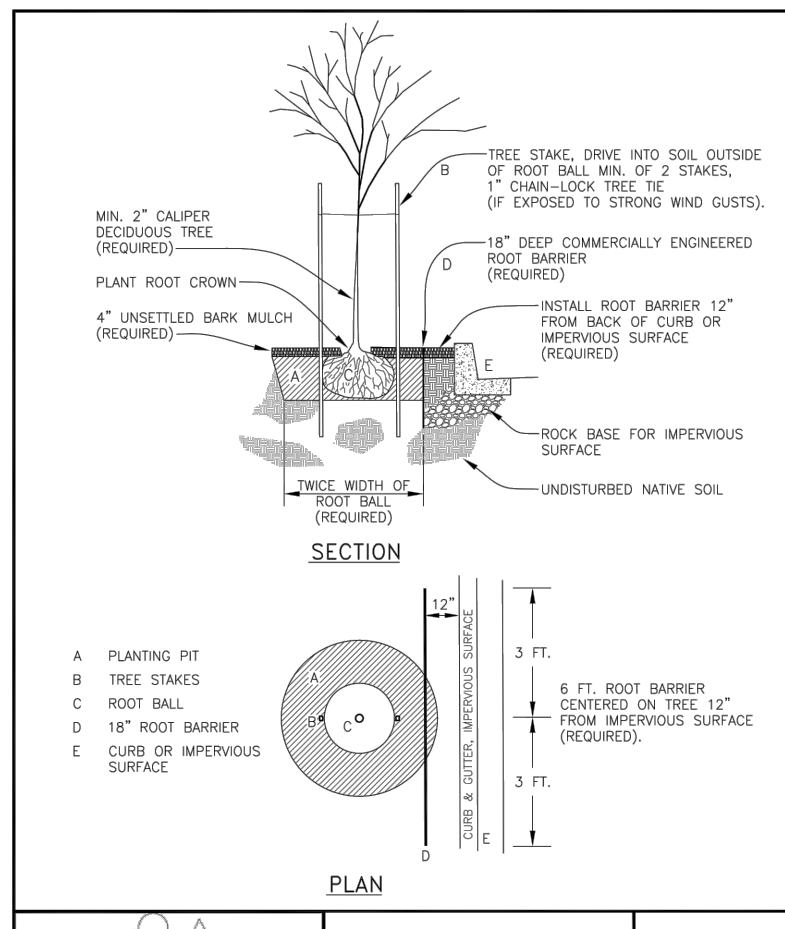
NO.	DATE	REVISION



LANDSCAPE PLAN

LA MORENITA TORTILLAS, INC.  
WOODBURN OREGON  
MARION COUNTY

DESIGNED BY:	EKC
DRAWN BY:	
CHECKED BY:	
DATE:	9/19/20
SCALE:	1"=20' HORIZONTAL
	VERTICAL
PROJECT NO.:	20-119.01
SHEET	C7



**WOODBURN**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

STREET TREE PLANTING  
NEW CONSTRUCTION

REV: OCT. 2007  
SCALE: NTS  
SHEET NO. 1

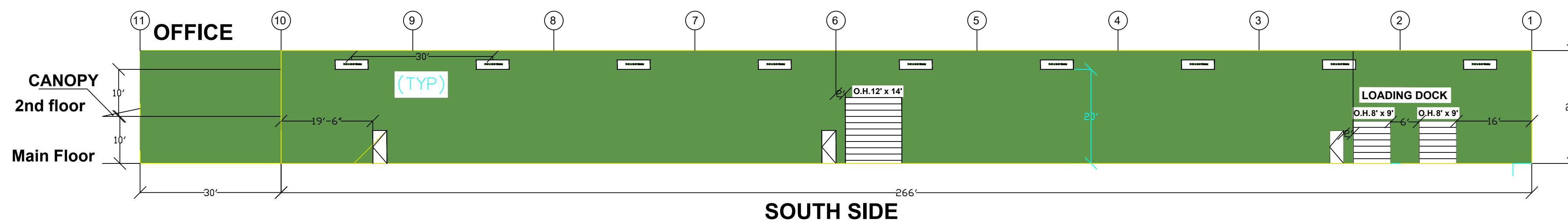
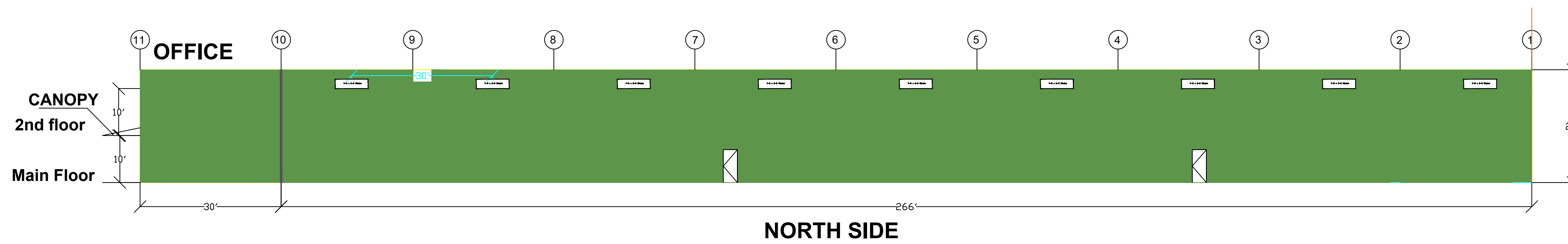


LANDSCAPE PLAN  
SCALE: 1" = 30'



CIRCULAR BIKE RACK

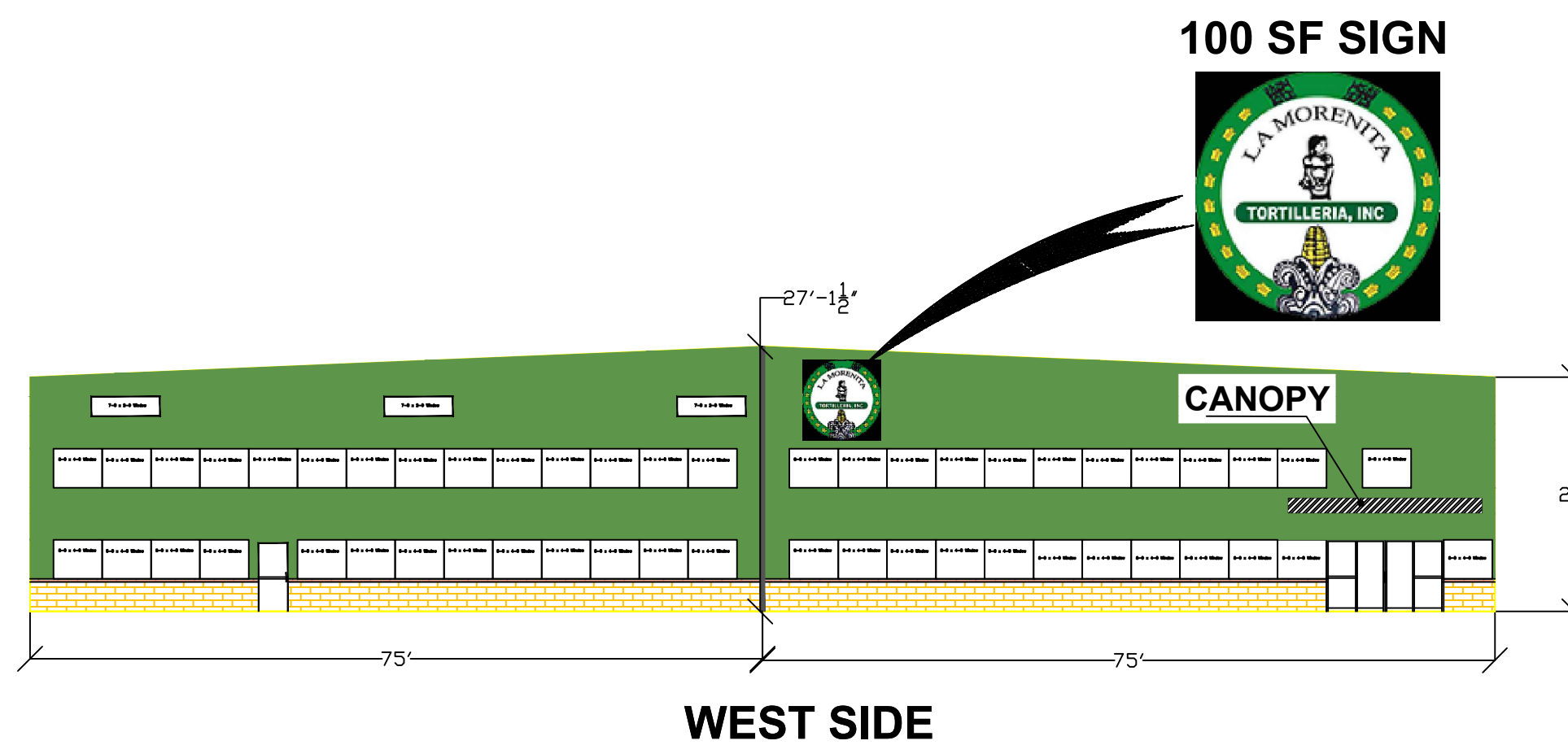
DATE PLOTTED: Sep 19, 2020 - 2:13pm  
WFPC DRAWING FILE: P:\Project Data\20-119.01-La Morenita.dwg\Civil\CONSTRUCTION PLANS.dwg



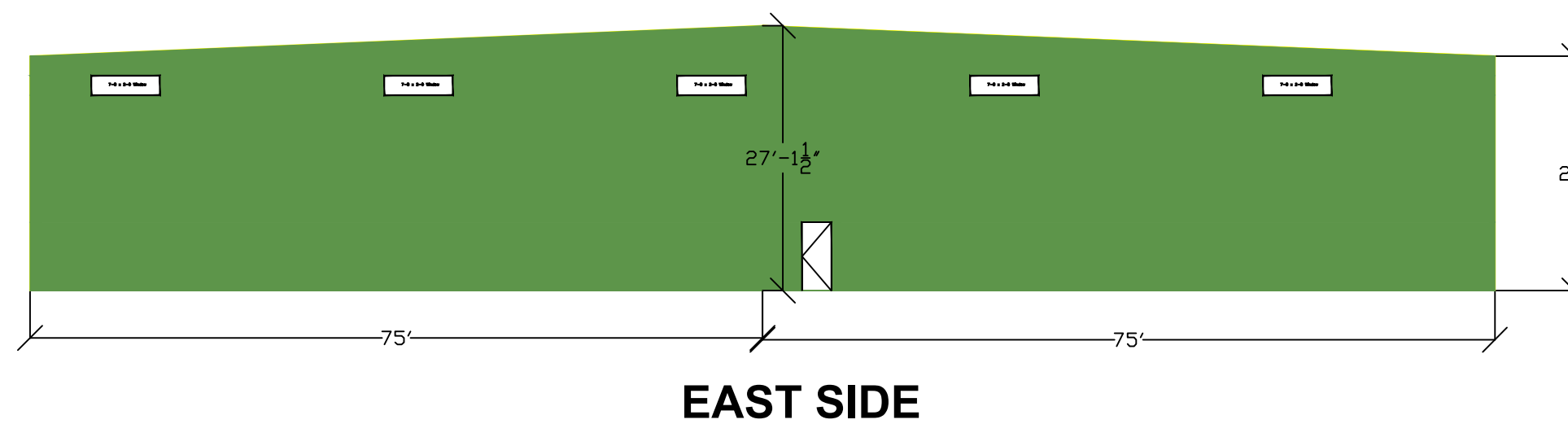
**ENTRY DOOR CANOPY**  
5' WIDE X 20' LONG

**FRONT FASCIA WINDOW GLAZING REQUIREMENT:**  
 $BUILDING: \frac{0.3 \times 150' \times 27.125' + 24'}{2} = 1,150 \text{ SF OF GLASS}$

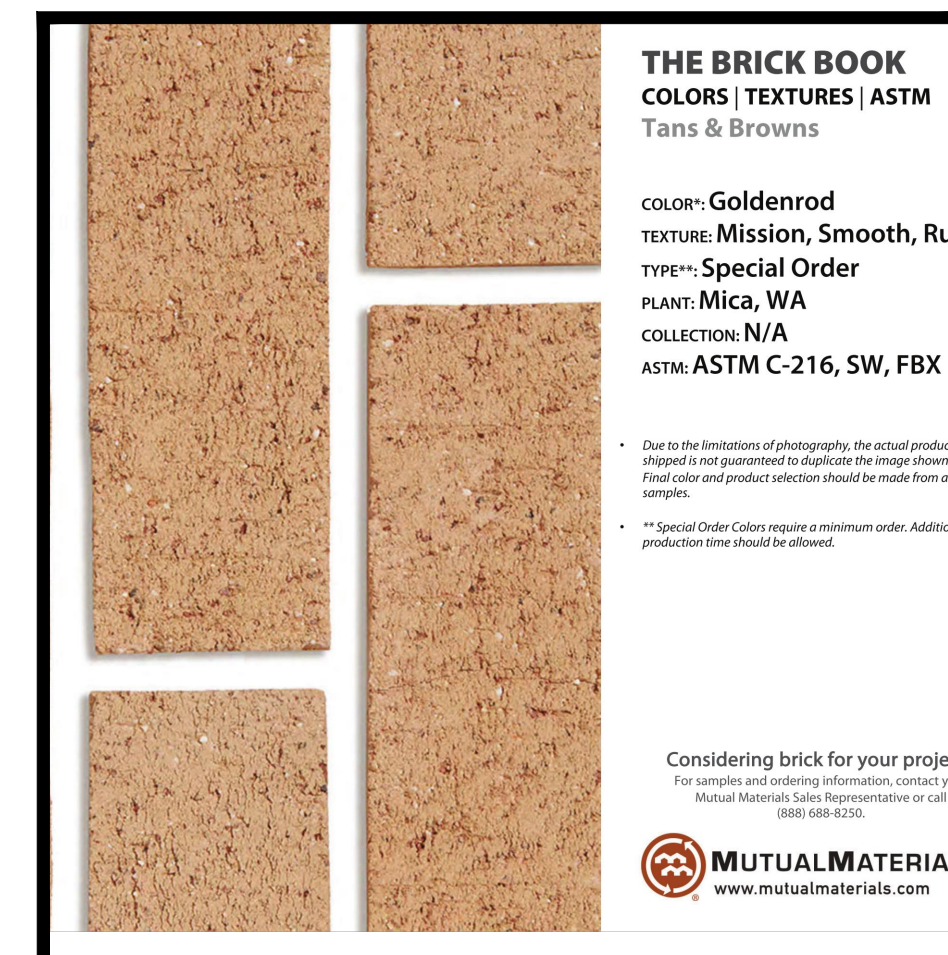
**FRONT FASCIA WINDOW GLAZING PROVIDED:**  
 51 - 5'0"x4'0" = 1,020 SF  
 3 - 7'0"x2'0" = 32 SF  
 2 - DOORS = 109 SF  
**1,161 SF or 30.3% OF GLASS**



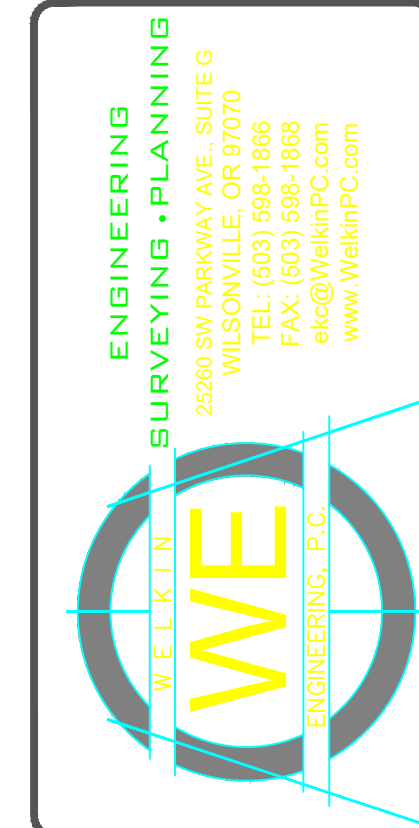
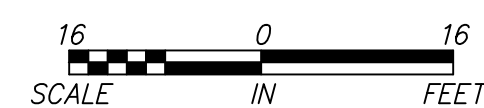
**WEST SIDE**



**EAST SIDE**



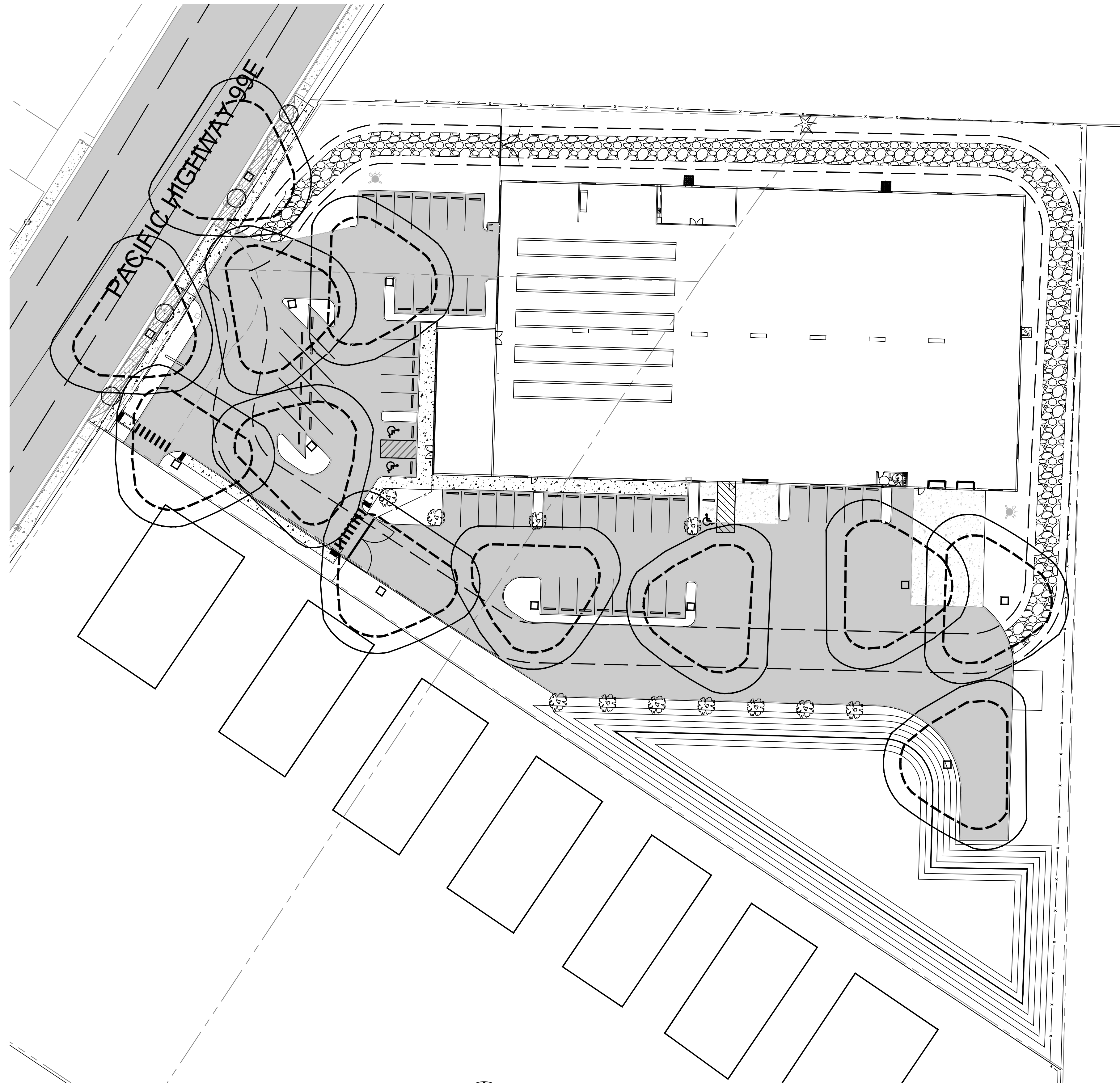
**BRICK FACING**



**LA\_MORENITA\_TORTILLAS\_INC.**  
**WOODBURN, OR**  
**BUILDING\_ELEVATIONS**

DESIGNED BY:	DESIGN
DRAWN BY:	DRAWN
CHECKED BY:	CHECKED
DATE:	DATE
SCALE:	HORIZ HORIZONTAL VERT VERTICAL
PROJECT NO:	20-119.01
SHEET	9

DATE PLOTTED: Aug 12, 2020 - 9:36am  
 MEPC DRAWING FILE: P:\Project Data\20-119.01 La Morenita\dwg\C10\PRELIMINARY SUBMITTAL.dwg



LIGHTING PLAN  
 SCALE: 1" = 30'

**LEDway® Series**  
 LEDway® High Output Street Light - Single Module

**Product Description**  
 The LEDway® High Output Street Light series for roadway lighting expands the application range from 70W to 420W HPS. With industry leading optimized optical control and adjustable output for mounting, the LEDway® High Output Series significantly improves the economic value for the end application.

**Performance Summary**

Manufacturer's Product Catalog (PDF)	23.8" (607mm)
Assembled in the U.S.A. of U.S. and Imported parts	13.5" (343mm)
CRB Minimum 70 CRI	4.2" (107mm)
CRB 3000K Lum. 3000K and 5700K Lum. 5000K	Module Weight
Lighted Area (sq. ft.) 15.0 (1.4m x 1.1m) 10 years on Colorfast DataQuest® Lens	Weight

**Accessories**

Final Module	Re-light Signal	Mounting Pole
See Order for Details	275.0 (7.0m)	See Order for Details

Revised: 07/20/2020

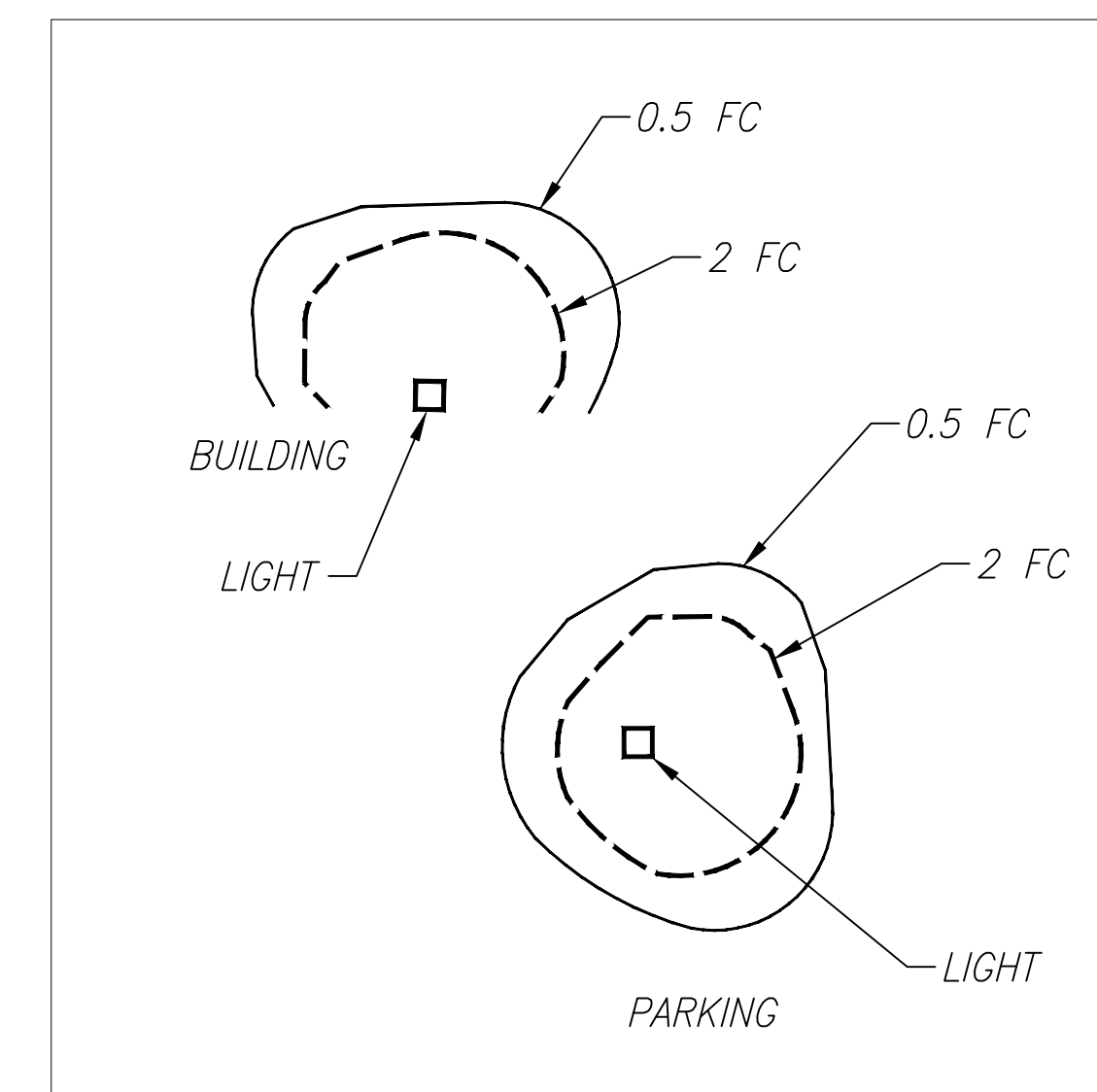
HIGHWAY LIGHTING DETAIL (1)

9,000 LUMEN TYPE III EAGLE SERIES  
 AREA LIGHT - 4500K

PARKING LOT LIGHTING DETAIL (2)

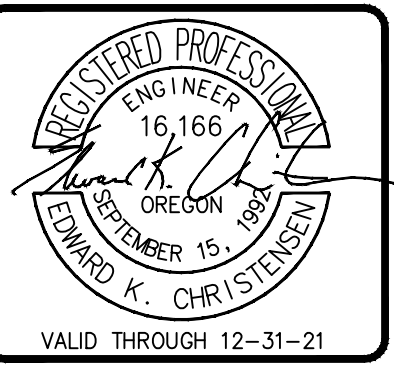
40W LED SlimPak Pro Wall Light

WALL PACK LIGHTING DETAIL (3)



LIGHTING LEGEND  
 NO SCALE

NO.	DATE	REVISION



ENGINEERING - PLANNING  
 SURVEYING  
 W. E. L. I. N.  
**WE**  
 CONSULTANTS, P.C.  
 25000 SW PARKWAY AVE., SUITE G  
 WILSON, OR 97150  
 TEL: (503) 596-1888  
 FAX: (503) 596-1888  
 www.welinc.com

LIGHTING PLAN

LA MORENITA TORTILLAS, INC.  
 WOODBURN OREGON  
 MARION COUNTY

DESIGNED BY:	EKC
DRAWN BY:	
CHECKED BY:	
DATE:	8/11/20
SCALE:	1" = 30' HORIZONTAL
	VERTICAL
PROJECT NO:	20-119.01
SHEET	C10