



# Final Decision

## City Council

**File number(s):** PUD 2020-02, SUB 2020-03, & ZC 2020-02 Related to ANX 2020-03

**Project name:** Dove Landing

**Date of decision:** May 10, 2021

**Applicant:** Peter Ettro, Ettro Capital Management, President, 340 Oswego Pointe Dr, Ste 208, Lake Oswego, OR 97034-3230

**Landowner:** Schultz Farm LLC, 16710 Boones Ferry Rd NE, Woodburn, OR 97071-9632

**Site location:** No address; Tax Lots 051W06C000400 & 800 (primary)

**Summary:** First, the Planning Commission on March 25, 2021 opened a public hearing and immediately continued it to April 8, 2021 during which the Commission finished the hearing and unanimously recommended that the City Council approve the consolidated applications package (Type IV) with the conditions recommended by staff through the staff report published March 18, except for three revision items that staff proposed through a staff memo addendum dated April 8 (Attachment 106).

Second, the City Council held a public hearing on April 26, 2021 and unanimously tentatively approved the consolidated applications package with the conditions recommended by staff through the Commission staff report and staff memo addendum.

The development applications depend upon annexation ANX 2020-03 through the annexation and zoning designation ordinances the Council is to have adopted May 10. (Ordinances take effect on the 30<sup>th</sup> day after adoption per the City Charter, Chapter VIII, Section 34, p. 10.)

The request was for annexation, zone change, planned unit development (PUD), and preliminary subdivision to develop a defunct hazelnut orchard of approximately 31.13 acres into 171 houses on small lots with several common area tracts as open space, particularly Tracts I & K dedicated to the City as public parkland.

The subject property is in the Residential Single Family (RS) zoning district.

Several parties testified (besides the applicant). The table below in the "Testifiers" section lists them.

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

## Conditions of Approval:

### *General*

G1. As part of building permit application, the applicant shall submit revised site plans meeting the conditions of approval and obtain Planning Division approval through sign-off on permit issuance.

G2. The applicant or successors and assigns shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.


G3. References: Attachment 201 serves as a dictionary or glossary defining certain abbreviations, acronyms, phrases, terms, and words in the context of the conditions of approval. The 200 series of attachments are as binding as the conditions of approval in the main body of the final decision.

G4. Due dates / public improvements:

- a. By application: Unless a condition specifies otherwise, conditions inc. those relating to any of final subdivision, final partition, property line adjustment or lot consolidation recordation are due by building permit application. Prior to both any recordation of any final subdivision, final partition, or property line adjustment and building permit application, the applicant shall submit and obtain approval of an [Address Assignment Request](#).
- b. By issuance: Unless a condition specifies otherwise, ROW and easement dedications and recordation(s), construction of frontage/street improvements, and construction of off-site, park, and other public improvements are due by building permit issuance. Where phasing is relevant, building permit issuance means issuance for the phase in which the conditioned improvement is located.

G5. Recordation due dates: The applicant shall apply to the County for recordations of items that the City requires no later than six (6) months prior to expiration of the land use approval as WDO 4.02.04B establishes, and shall complete recordations no later than three years past the land use “final decision” date. The due date to complete recordations shall not supersede when recordations are due relative to the building permit stage.

G6. Fees: The developer shall pay fees per Attachment 206.



*Preliminary Subdivision 2020-01*

SUB-1. Expiration: Based on ORS 92.040(3), development per the Council land use final decision may continue 3 years past the decision date, the 3-year approval period being established by WDO 4.02.04, as follows:

- a. Subdivision Final Plat: WDO 4.02.04B.2 shall mean that application to the City for final plat per WDO 5.01.06 occurs prior to 3 years past the final decision date. The developer shall name C-E streets beginning with those letters respectively, and shall apply to the City for final plat prior to applying to the County for recordation.
- b. Recordation with Marion County: Same as WDO 5.01.06C.1. (within 30 calendar days of the Director's signature on the plat Mylar).
- c. Vesting: The decision is vested unless:
  - (1) The developer fails to meet subdivision and PUD requirements, resulting in the City being unable to authorize staff to sign a final plat Mylar by July 1, 2026; or
  - (2) There is no substantial construction (as defined through Condition G3) by July 1, 2026.

SUB-2. Documents:

- a. Geotech report: Prior to final plat approval by the City, the developer shall submit to the Director a geotechnical report documenting that, whether or not the developer spreads any fill or spoil dirt across lots and tracts, soil is compacted and ready to accommodate the construction of buildings on lots and tracts proposed for development.
- b. Plat: Upon recordation, the developer shall submit to PW and cc the Director Adobe PDFs of the subdivision plat and any and all ancillary documents necessary to conform to conditions of approval and not addressed on the face of the plat.



*Planned Unit Development 2020-01*

PUD-PW1. Sanitary sewerage/sewer:

- a. Were PW to identify in writing a sewer deficiency at the Vanderbeck Lift Station and/or force main and downstream sanitary sewer collection system at the applicable pump station to which sewage would flow from the subject property, to meet WDO 1.01.01B.2 the developer shall either:
  - (1) Construct improvements that remedy the reduction in sewer level of service that the subject project would cause; or
  - (2) Pay a sewer fee, if the Assistant City Administrator allows in writing, equal to one of the following as the City chooses:
    - (a) Two hundred percent (200%) of a licensed civil engineer's cost estimate for a capital improvement project that would remedy the reduction in sewer level of service that the subject project would cause; or
    - (b) An amount equal to 50% of the sewer system development charge (SDC) in addition to, and not as a discount of, the SDC full rate that PW ordinarily assesses.
- b. Construction or payment shall be due prior to building permit issuance, and if payment, it shall be through fee assessment on and collection through the in-review building permit. Where (2)(b) applies, PW shall have established the SDC amount.

PUD-PW2. Stormwater management: Prior to civil engineering plan approval through CEP review, the applicant shall provide to PW an Engineer Stamped Storm Drainage Hydraulic Analysis Report that existing downstream private storm drainage systems have capacity to handle the additional flow from the Dove Landing Development, have the culvert pipe under each of BFR and Olympic have capacity to handle a 100 year base flood event, and to provide a final 100 year floodway, floodplain, and wetland delineation for this development. The applicant is responsible for correcting any capacity and/or deficiencies, including installing new or additional drainage systems, and/or attaining the right to increase stormwater flows into neighboring private stormwater systems. The applicant shall submit to PW an engineered stamped condition report of the existing downstream storm collection system.

PUD-PW3. Final Civil Plan Approval: Civil plans shall comply with current City standards, specifications and details, current Oregon Standard Specifications for Construction, current *MUTCD* and ADA requirements and Marion County requirements, as applicable.

PUD-1. Mods: The City approves PUD modifications only as written in conditions of approval and the 200 series of attachments, particularly Attachment 202. Other modifications that site plans imply are subject to later administrative approval or denial by the Director.

PUD-2. ROWs: For BFR and the proposed local class streets, the developer shall dedicate ROWs that meet or exceed the min widths necessary to conform to WDO Figures 3.01C & G.

PUD-3. Frontage/street improvements: These shall be as follows:

- a. BFR: Per WDO Fig. 3.01C except that planter strip shall be min 6½ ft wide inc. curb width.
- b. Planter strip remainder: Remaining ground not occupied by trees shall be planted with lawn grass.
- c. Sidewalks: Min 6 ft wide except wider as Exhibit PUD-3c supersedes. The BFR sidewalk dead-end(s) and “P” Street west dead-end shall have ADA-compliant transitions spanning between sidewalk and road shoulder. If PW were to direct during CEP review that the road crossing of the culvert have curb-tight sidewalk, min width shall be 8 ft.

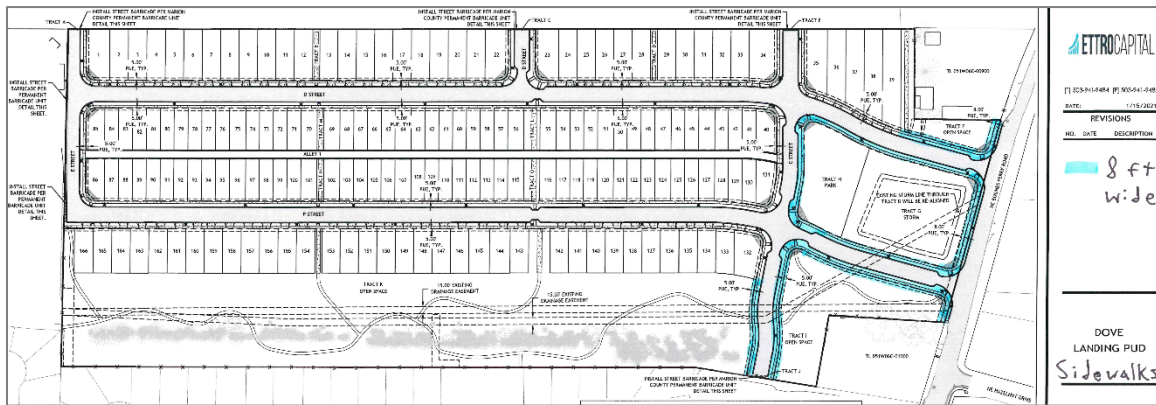


Exhibit PUD-3c: Sidewalks (blue: min 8 ft wide)

- d. Overlap: The extra width of planter strip and sidewalk shall either (1) overlap outside ROW into streetside PUE and where applicable Tracts I & K or (2) come with additional ROW to accommodate them. Wider sidewalks shall not narrow planter strips.
- e. Street trees: Min numbers equal to block frontage ratios per Exhibit PUD-3e.

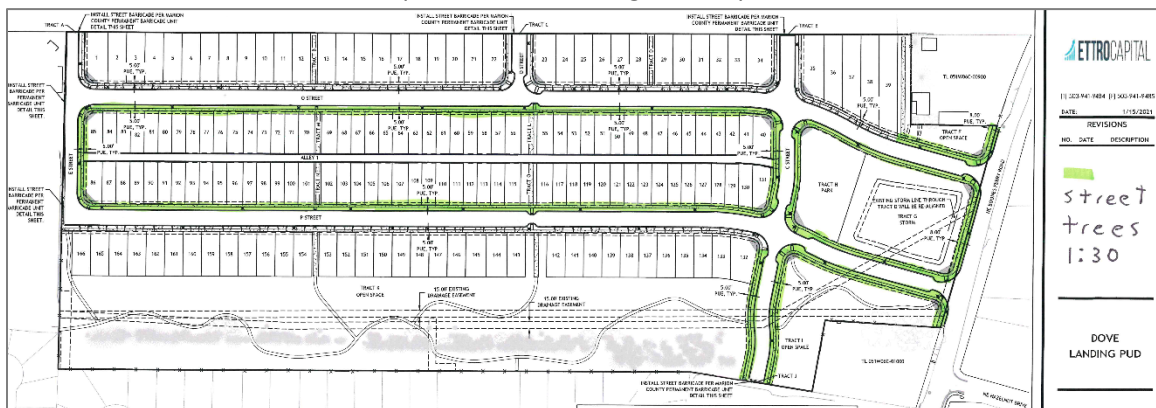


Exhibit PUD-3e: Street Tree Min No. (green: equal to 1 tree per 30 ft of block frontage)

- f. Electric power lines: Electric power lines, whether in or beyond ROW, shall be buried, including those that exist along the BFR frontage.
- g. Traffic calming:

- (1) Bulb-outs / curb extensions: This condition approves them as land use review Sheet 5 illustrates, except the four along BFR. PW is prohibited post-approval from later eliminating or shrinking the remaining ones as to virtually eliminate them during CEP review and construction. The developer shall submit a fire truck turn radius plan confirming that the extensions are already designed for such if and when PW requests during CEP review.
- (2) Crosswalks / pedestrian crossings along intersection legs per Exhibit PUD-3g shall be patterned poured concrete each min 8 ft wide.

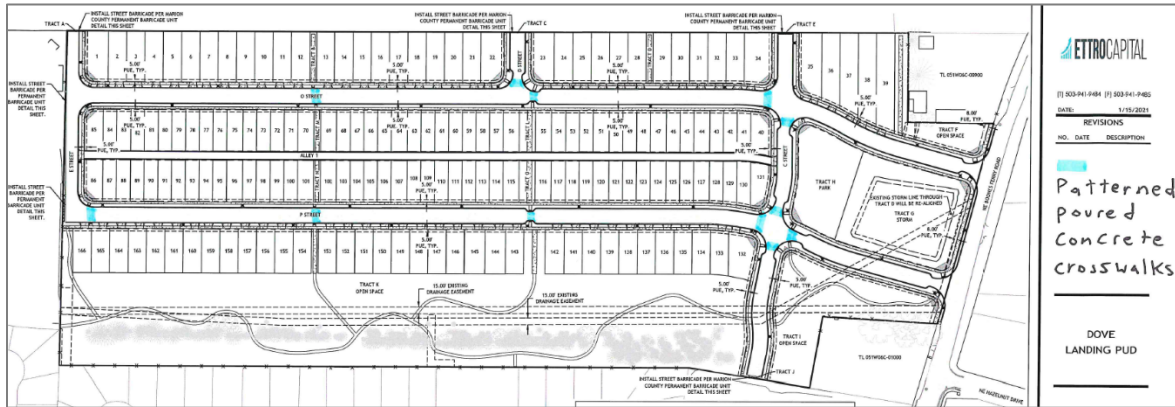


Exhibit PUD-3g: Patterned Poured Concrete Crosswalks (symbolized in blue)

PUD-4. Streets, dead-end: Barricades/Signage: Based on WDO 3.01.05A.2b & c, the developer shall place:

- a. A barricade with sign at the south end of “C” Street and each of the west end of “O” & “P” Streets; and
- b. A barricade at each of the north end of “C”, “D”, & “E” Streets.

Consult PW for a barricade detail, and no later than CEP show both it and a modified version with a sign in conformance with 3.01.05A.2c.

PUD-5. Tree preservation: The developer shall preserve trees per Attachment 205.

PUD-6. Public parkland: The developer shall dedicate Tracts I & K to the City. Refer to Attachment 203 for required improvements.

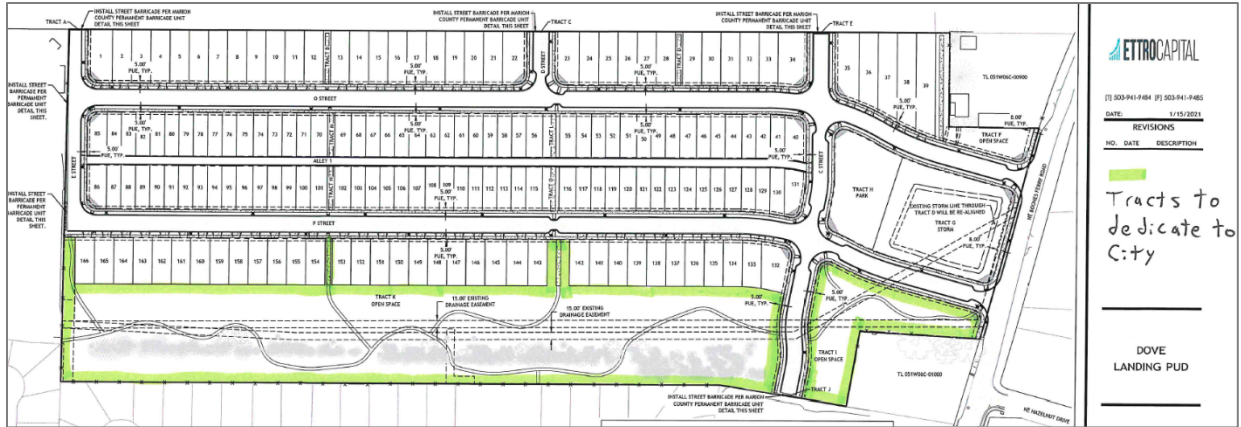


Exhibit PUD-6: Tracts to Dedicate to City (outlined in green)

PUD-7. Environmental remediation: The developer shall remediate per Attachment 205, Part C.

PUD-8. Lot and tract development standards: The standards shall be per Attachment 202.

PUD-9.

- a. Common area and parkland improvements: Improvements shall be per Attachment 203.
- b. Open space: The City and the Developer agree that the WDO standard for PUD improved common area shall be satisfied by dedication and improvement of Tracts I & K.
- c. Parks SDC credits:
  - (1) All improvements with the exception of the paths as required by Attachment 203, Part C will be 100% SDC creditable.
  - (2) The maximum cost of the improvements to the developer, including soft costs such as surveying and engineering specific to the improvements, shall not exceed the total amount of parks SDCs assessed upon the development.
  - (3) The parks SDC credits shall be administered in a manner consistent with Ordinance 2250.

PUD-10. Association: The developer shall establish a maintenance association per Attachment 203, Part E.

PUD-11. PUD Final Plan Approval Process:

- a. The developer shall conform to WDO 5.01.07, the purpose of which is to ensure that the PUD is in substantial conformance with the conditions of the PUD Detailed Development Plan (DDP) approval, including regarding street improvements, public improvements outside ROW if any,

and common area improvements. The developer shall apply to the Director for PUD Final Plan Approval no later than when applying to PW for CEP review.

- b. Scope: The scope of DDP includes any topic for which any given final decision condition of approval, and any separate document it might reference, is too general to establish civil engineering standards and construction levels of detail. It also includes any topic or situation for which no standard exists through previous adoption by PW. The Final Plan Approval process is to establish any and all design details deferred from land use review.
- c. CEP: The developer shall incorporate a PUD Final Plan Approval by the Director into CEP review by PW and the civil engineering plan set that PW would approve through CEP.

PUD-12. Five more lots: This condition acknowledges and accepts a plan revision of five more lots in place of some Tract H area, for a total of 171 lots, as the applicant submitted April 6 for Planning Commission April 8, 2021.



*Planned Unit Development 2020-01: Transportation*

T-BP1. Bicycle/pedestrian off-site improvements: The developer shall:

- a. TSP: Construct TSP project P45 (TSP p. 64 as Attachment 104A).
- b. Off-site sidewalk: BFR & Hazelnut:
  - (1) Objective: Manifest an improved ADA-compliant route linking BFR frontage west sidewalk through off-site sidewalk extension south to the intersection.
  - (2) Sidewalk: Construct a BFR sidewalk extension south from the frontage to either the north or south leg of the intersection, as PW directs, to the degree of conformance with WDO Fig. 3.01C sidewalk placement that west side ROW allows and in compliance with current ADA requirements and pedestrian safety requirements as PW determines.
  - (3) Crosswalk(s): Construct a marked crosswalk or crosswalks across BFR at the north, south, or both legs of the intersection, as PW directs, and one or more ADA-compliant ramps or transitions at the west landing(s).
  - (4) Details: What constitutes an “enhanced pedestrian crossing” per P45, “sidewalk” per (2), and a “marked crosswalk” per (3) and their corollary improvements is up to PW determination through CEP review; however, for P45 & (3) there shall result a physical change to existing pavement and/or striping serving as an obvious indication for most pedestrians, cyclists, and drivers. TSP Project P45 is traffic SDC creditable consistent with SDC ordinances and resolutions.
- c. Wayfinding: To further TDM, the developer shall do one of the following:
  - (1) install 3 min devices, such as signage, that provide wayfinding to bicycle routes, multi-use paths, parks, schools, and other essential destinations. If the developer were to opt for signage and assuming pole signage, sign face min dimensions shall be 2 ft by 1 ft and the placements shall be min:
    - (a) 1 sign face at or near the junction of a BFR sidewalk & an “O” Street sidewalk;
    - (b) 1 face at or near the junction of a BFR sidewalk & a “P” Street sidewalk;
    - (c) 1 face at or near the junction of a BFR sidewalk & a Hazelnut sidewalk;Note: The developer may mimic the typical wayfinding signage the City approved for the Mill Creek Greenway as Smith Creek Development (ANX 2017-05) adapted from the Regional Trails Signage Guidelines of The Intertwine Alliance, a trails coalition in the Portland metro area.
  - (2) Pay a fee in-lieu per Attachment 206. [TSP B40 “wayfinding”/P62]

T-T1. School bus shelter: To further TDM through bus transit, the developer shall build or install a school bus shelter on a common area tract closest to wherever the Woodburn School District bus would stop within or next to the development. Follow the direction of the school district, or absent that default to min 48 sq ft, 6 ft narrowest dimension, and 8 ft min height clearance. Affix a min 1½ by 1 ft sign face with text min 4-inch high indicating that the shelter is a school bus stop. The shelter may be on a public tract if the Assistant City Administrator allows and may be within a PUE if PW allows. One of the shelters otherwise conditioned can do double duty as the school bus top shelter if it continues to meet all the other conditioned requirements for that shelter.

**Expiration:** Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

### Notes to the Applicant:

1. Records: Staff recommends that the applicant retain a copy of the subject approval.
2. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
3. Signage: The approval excludes any private signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
4. PLA Time Limit: WDO 4.02.04B. specifies that, "A final decision on any application shall expire within three years of the date of the final decision unless: 1. a building permit to exercise the right granted by the decision has been issued; 2. the activity approved in the decision has commenced; or 3. a time extension, Section 4.02.05, has been approved. Because unrecorded re-plats lingering indefinitely have burdened staff, a condition sets sooner time limits for subsection 2. to begin and finish recordation.
5. Mylar signature: The Community Development Director is the authority that signs plat Mylars and not any of the mayor, City Administrator, Public Works Director, or City Engineer. Only one City signature title block is necessary.
6. PLA Plat Tracker: Marion County maintains a plat tracking tool at <http://apps.co.marion.or.us/plattracker/>. Use it to check on the status of a recordation request to the County. City staff does not track County plat recordation.
7. Technical standards:
  - a. Context: A reader shall not construe a land use condition of approval that reiterates a City technical standard, such as a PW standard, to exclude remaining standards or to assert that conditions of approval should have reiterated every standard the City has in order for those standards to be met.
  - b. Utilities: A condition involving altered or additional sidewalk or other frontage/street improvement that would in the field result in displacement or relocation of any of utility boxes, cabinets, vaults, or vault covers does not exempt the developer from having to move or pay to move any of these as directed by the City Engineer and with guidance from franchise utilities.
8. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
9. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior

to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.

10. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.
11. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current [Public Works construction specifications, Standard Drawings, Standard Details](#), and general conditions of a permit type issued by the Public Works Department.
12. ROW:
  - a. Dedication: The Public Works Department Engineering Division has document templates for ROW and easement dedications that applicants are to use.  
  
ROW – and public utility easement (PUE) – dedications are due prior to building permit issuance per Public Works policy.
  - b. Work: All work within the public ROWs or easements within City jurisdiction must require plan approval and permit issuance from the Public Works Department. All public improvements construction work must be performed in accordance with the plans stamped “approved” by the City, and comply with the City’s Standard Specifications and Standard drawings.
13. Franchises: The applicant provides for the installation of all franchised utilities in any required easements.
14. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a “Hot Tap” method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
15. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in a communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
16. Fire: Fire protection requirements must comply with Woodburn Fire District standards and requirements, including how the District interprets and applies Oregon Fire Code (OFC). Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire

codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.

17. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.
18. Public Improvements Civil Plan Review: The process by which to receive, review, and approve drawings and other documents related to public improvements required by these conditions of approval may be paired with or incorporated into building permit review, or, if directed by the City Engineer, through a civil engineering plans (CEP) review process led by the Engineering Division. If opting for CEP, the applicant shall not only follow the direction of the Engineer Division, but also take some actions to facilitate tracking by Planning staff and coordination with Engineering:
  - a. Cover letter: Upon submitting application to the Engineering Division, simultaneously alert the Planning Division through a cover letter to the attention of the Planning Division referencing the intended or, if known, actual submittal date as well as the project name, project phase, tax lot number(s), street address(es), and the land use / planning / zoning final decision conditions of approval that require the public improvement that is the subject of the civil engineering plans. Referencing conditions may be by quotation or citing the identification numbers (e.g., T-A1). Identify the specific sheet (by number) or document page number that illustrates or notes how each subpart of a condition is met.
  - b. Contact information: State the applicant's name, company, phone number, e-mail, and desired date for City staff to respond with review comments. The cover letter may include these.
  - c. Plan copies: Submit to the attention of the Planning Division at least two plan size copies of plan sets (24 by 36 inches). Within the cover sheet title block(s), include the phrase "civil engineering plans" or "public improvements civil plans". Submit also Adobe PDFs using a fileshare service.
  - d. Re-submittal fee: If there are multiple re-submittals, beginning with a third submittal / second revised submittal and continuing with each subsequent submittal, the applicant must pay through the Planning Division into City general revenue a fee of \$100.

Where public improvements involve the jurisdiction of an outside agency such as the Oregon Department of Transportation (ODOT), the developer must account for that when interacting with the City Engineer and City Public Works Department process.

19. PUD Final Plan (FP) Approval Process:
  - A. Context and project management:
    1. The process by which to receive, review, and approve drawings and other documents related to public improvements required by these conditions of approval may be paired with or incorporated into building permit review, or, if directed by the City Engineer, through a civil engineering plans (CEP) review process led by PW.
    2. CEP remains the means for implementing final decision conditions of approval affecting street improvements, both surface and underground, and extending into PUEs.
    3. The developer is project manager. Because PW establishes that CEP applicants have a single point of contact termed the "Engineer of Record", the developer manages the engineer of record who handles the CEP and also interacts with the Planning Division regarding FP

- review. For Planning Division staff, the developer is the point of contact, namely whoever on the developer's team the developer tasks with being the project manager.
4. The developer shall be completely responsible for integrating staff directions found in FP documents issued by Planning Division staff into civil engineering plans that the engineering of record submits to PW.
  5. If, when, and where conflicting directions arise between FP directions and CEP directions, the developer shall be responsible for communicating with formal cover or transmittal letters messages from the conflicting division to the other division, and shall communicate such.
  6. The Planning Division observes the CEP for other projects has come after land use final decision and before the building permit stage. Except where otherwise conditioned, it's up to the developer to determine when to submit for CEP and PUD Final Plan relative to each other to best meet this "context and project management" condition.
- B. PUD Final Plan review scope and result:
1. The scope of FP review includes any topic for which any given final decision condition of approval, and any separate document it might reference, is too general to establish civil engineering standards and construction levels of detail. It also includes any topic or situation for which no standard exists through previous adoption by PW or, where applicable, parks and recreation staff. It includes, as examples, pavement, game and sports courts and fields, buildings including pre-fabricated ones, playgrounds and other structures including pre-fabricated ones, exterior lights, landscaping, signage, and appurtenances such as benches, bicycle parking, dog waste stations, ornamental fountains, and water fountains, as well as materials, textures, colors, and model specifications. (Although in or partially in ROW, a bus shelter or shelters are to be subject to FP instead of CEP based on PW preference, unless PW were to direct the engineer of record to include such in CEP scope.)
  2. There shall result an official version of a civil engineering plan set marked approved by PW that shows all common area improvements and all public improvements, including off-street public improvements, resulting from both FP review and CEP. It shall come to be prior to building permit application; however, PW is prohibited from approving any time prior to the developer paying conditioned fees related to CEP Planning Division review.
- C. Submittal directions FP review:
1. Due date: For CEP, none other than what PW might specify. For FP, original / 1<sup>st</sup> submittal is due whichever occurs earlier: When the developer applies for either CEP or final plat application to the City.
  2. Cover letter: Upon submitting CEP application to PW, simultaneously alert the Planning Division through a cover letter to the attention of the Planning Division referencing the intended or, if known, actual submittal date as well as the project name, tax lot number(s), street address(es), and the land use final decision conditions of approval that require the public improvements that are the subject of the civil engineering plans. Referencing conditions may be by quotation or citing the identification numbers (e.g., T-A1). Identify the specific sheet (by number) or document page number that illustrates or notes how each part of a condition is met.
  3. Contact information: State the applicant's name, company, phone number, e-mail, and desired date for City staff to respond with review comments. The cover letter to the Planning

Division may include these. The developer may submit to the Planning Division a copy of the stamped CEP application form submitted to PW if the form includes the required information.

D. Site Plans: For CEP Planning Division review and FP:

1. CEP: Submit to the attention of the Planning Division at least 2 plan size copies of plan sets, one plotted at native scale (min 22 by 34 inches, max 24 by 36) and one at ledger (11 by 17). Within the cover sheet title block(s), include the anticipated date of submittal and the phrase “civil engineering plans”, “civil plans for CEP”, or “public improvements civil plans”.
2. FP: Submit to the attention of the Planning Division at least 6 plan size copies of plan sets, 3 plotted at native scale (min 22 by 34 inches, max 24 by 36) and 3 at ledger (11 by 17). Within the cover sheet title block(s), include the anticipated date of submittal.
3. Both: Fold the plan size sets if thin enough to do so. Submit also Adobe PDFs using a fileshare service.

**Appeals:** The decision is final unless appealed to the Oregon Land Use Board of Appeals (LUBA) pursuant to Oregon Revised Statutes (ORS) and Oregon Administrative Rules (OAR) 661-010. The appeal due date is “on or before the 21st day” after the decision date per OAR 661-010-0015(1)(a). A valid appeal must meet the rules. If appealing to LUBA, as a courtesy inform City staff in writing.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071-4730. For questions or additional information, contact Alyssa Nichols, Administrative Assistant, at (503) 982-5246 or [alyssa.nichols@ci.woodburn.or.us](mailto:alyssa.nichols@ci.woodburn.or.us).

**Testifiers:**

Name	Address	Planning Commission		City Council	
		Written	Verbal	Written	Verbal
Brenda Gonzalez	1105 Eagle Dr, Woodburn, OR 97071-7711		x		
Jim Nicolarsen	620 Troon Ave Woodburn, OR 97071-7691	x	x	x	x
Julie Nicolarsen	620 Troon Ave Woodburn, OR 97071-7691		x	x	
Cindy Wurdinger-Kelly	16751 Boones Ferry Rd NE, Woodburn, OR 97071-9631		x		

**Attachments:**

- Planning Commission March 25, 2021 Staff Report Attachment 101. Marked Tax Map
- 102A. Public Works comments (March 16, 2021; 3 pages)
- 103. Site plans (dated January 15, 2021 and submitted February 9, 2021; 19 sheets)
- 105A. Transportation System Plan (TSP) Fig. 2 “Functional Roadway Classification”
- 105B. Transportation System Plan (TSP) Fig. 6 “Local Street Connectivity Plan”
- 106. Staff addendum memo (April 8, 2021; excerpted 3 pages inc. its second attachment)
- 201.\* ANX 2020-03 Dove Landing PUD: Dictionary & Glossary
- 202. ANX 2020-03 Dove Landing PUD: Lot & Tract Development Standards
- 203. ANX 2020-03 Dove Landing PUD: Common Area Improvements & Public Easements
- 204. [Struck. Number kept to preserve order.]
- 205. ANX 2020-03 Dove Landing PUD: Tree Protection & Environmental Remediation
- 206. ANX 2020-03 Dove Landing PUD: Conditioned Fees

\*The 200 series of attachments are details for the conditions of approval.

Sincerely,



Colin Cortes, AICP, CNU-A

Senior Planner

As authorized by the City Council on May 10, 2021



Eric Swenson, Mayor



Date

ES/cmc

cc: Chris Kerr, Community Development Director

Dago Garcia, P.E., City Engineer

Ted Cuno, Building Official

Jason Space, GIS Technician

Peter Ettro, Ettro Capital Management, 340 Oswego Pointe Dr, Ste 208, Lake Oswego, OR 97034-3230  
(applicant)



Stacy Connery, AICP, Planning Manager, Pacific Community Design, Inc., 12564 SW Main St, Tigard, OR 97223-6129 (applicant's representative)

Christy J. Schultz, Manager, Schultz Farm LLC, 16710 Boones Ferry Rd NE, Woodburn, OR 97071-9632 (landowner)

Testifiers: Per the table above.

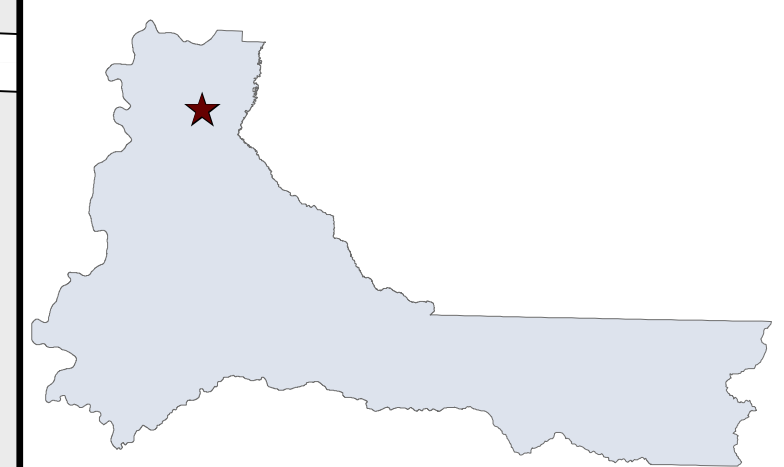
Casey Knecht, P.E., Development Review Coordinator, Oregon Dept. of Transportation (ODOT) Region 2

Marion County Assessor's Office

Marion County Geographic Information System (GIS)

Marion County Public Works Dept.

# 05 1W 06C WOODBURN



**MARION COUNTY, OREGON**  
SW1/4 SEC6 T5S R1W W.M.  
SCALE 1" = 200'

### LEGEND

- LINE TYPES**
- Taxlot Boundary
  - Road Right-of-Way
  - Railroad Right-of-Way
  - Private Road ROW
  - Subdivision/Plat Bndry
  - Waterline - Taxlot Bndry
  - Historical Boundary
  - Easement
  - Railroad Centerline
  - Taxcode Line
  - Map Boundary
  - Waterline - Non Bndry

- CORNER TYPES**
- + 1/16TH Section Cor.
  - ⊙ DLC Corner
  - ⊕ 1/4 Section Cor.
  - ⊕ 16, 15 Section Corner
  - ⊕ 21, 22 Section Corner

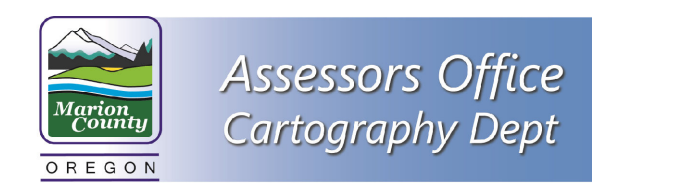
**NUMBERS**  
Tax Code Number  
**00 00 0**  
Acreage 0.25 AC All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

**NOTES**  
Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW

**CANCELLED NUMBERS**

500			
600			
700			

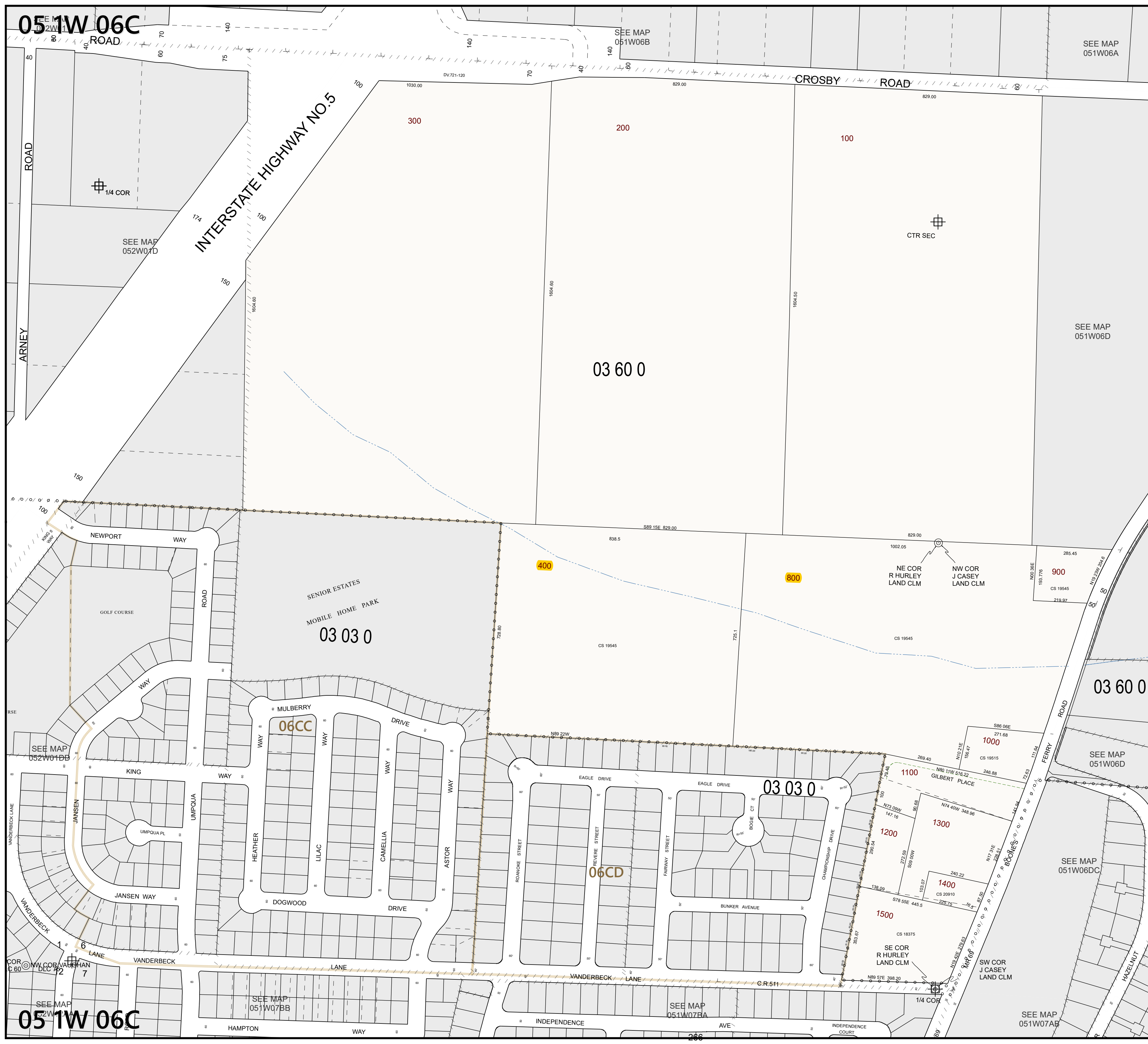
DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT [www.co.marion.or.us](http://www.co.marion.or.us) Attachment 101

PLOT DATE: 10/16/2020

# WOODBURN 05 1W 06C



05 1W 06C

05 1W 06C

03 60 0

03 03 0

06CC

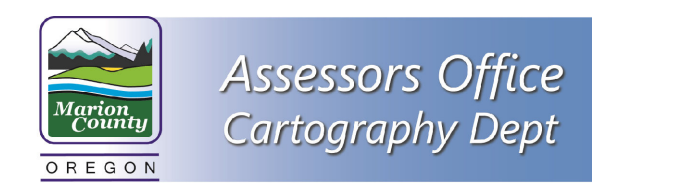
06CD

03 03 0

03 60 0

CANCELLED NUMBERS

DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT [www.co.marion.or.us](http://www.co.marion.or.us) Attachment 101

PLOT DATE: 10/16/2020

# WOODBURN 05 1W 06C



**Public Works Comments**  
**ANX 2020-03, PUD 2020-02, SUB 2020-03, ZC 2020-02**  
**Schultz Farm \_ Dove Landing PUD \_ Land Use Application**

**March 16, 2021**

**A. CONDITIONS OF LAND USE APPROVAL:**

1. The Applicant, not the City, is responsible for obtaining any necessary permits from the State, Marion County, Oregon Division of State Lands, US Army Corps of Engineering and/or federal agencies that may require such permit or approval for the construction of this development.
2. Applicant to provide a final Engineer stamped storm drainage hydraulic analysis report for the detention and conveyance system. The storm drainage hydraulic analysis shall comply with Marion County, Oregon Division of State Lands, US Army Corps of Engineering and City's requirements, as applicable.
3. Prior to land use approval, Applicant to provide an Engineering Certification that the proposed storm conveyance from the Dove Landing development will not increase the historical storm flows to the downstream drainage system and will not increase the 100-year floodplain/floodway elevations or inundation boundaries on any downstream properties.

**B. CONDITIONS TO BE COMPLETED PRIOR TO CIVIL PLANS APPROVAL:**

1. If applicable, applicant to provide a copy of approved permit(s) from the Oregon Division of State Lands and US Army Corps of Engineering and Marion County, as applicable, if a permit shall be obtained for discharging storm drainage into state lands. This permit(s) shall be obtained prior to City approval of the Dove Landing PUD Civil Plans.
2. Applicant to provide a Flood Study Analysis (Hydraulic Model) for the future 100 year floodplain and floodway boundaries and inundation boundaries on the adjacent properties east of N Boones Ferry Road. The analysis shall reflect full-buildout conditions for the Dove Landing PUD development.
3. Applicant is responsible for correcting/upgrading any storm drainage capacity deficiencies, including upgrading private storm drainage systems or installing a new drainage system as per City's requirements and per approved Storm Drainage Hydraulic Analysis Report.



4. Applicant is responsible for correcting/upgrading the storm drainage pipes under N Boones Ferry Road if structural or capacity deficiencies are encountered during the Civil Plans review.
5. The applicant is responsible for potential improvements to the existing gravity main, located between the proposed connection to the existing main and the Vanderbeck Pump Station, due to the proposed development. Applicant is also responsible for upgrades to the Vanderbeck Pump Station and force main due to the applicant's development.

The City is collecting flow data on the existing gravity main by Vanderbeck Pump Station and information is expected to be provided to the applicant by late spring of 2021.

6. Applicant to provide a flexible pavement structured designed, for all new public streets, by a registered professional engineer using subgrade reaction appropriate for the site, traffic index, and a 20-year design life for pavement system. Structure thicknesses shall not be less than values form table on City of Woodburn Standard Detail No. 42001 ( Typical Pavement Structure).
7. Applicant is require to upgrade the existing cross-section of N Boones Ferry Road to the City's minimum cross-section standards for a minor arterial, as applicable.
8. Applicant to provide for the installation of all franchise utilities and shall provide any required easements for these facilities. All permanent utility services to the development shall be underground.
9. A Department of Environmental Quality Erosion Control 1200C permit is required for this development prior to City issuance of approval civil plans.
10. All sewer mains are a gravity system and the termini of sewer lines locations and depths shall be such that it is suited for future extensions to adjoining areas.
11. On-site existing water wells and subsurface sewage disposal systems shall be abandoned by the applicant in accordance with all state regulations and requirements.



12. Final review of the Civil Plans will be done during the Subdivision Application for Construction. Public infrastructure will be constructed in accordance with plans approved by Public Works and Marion County (where applicable).

# DOVE LANDING PUD

TL 400 & 800 TOWNSHIP 5 SOUTH, RANGE 1 WEST, SEC. 6 W.M.  
MARION COUNTY, OREGON



[T] 503-941-9484 [F] 503-941-9485

DATE: 1/15/2021

## REVISIONS

NO.	DATE	DESCRIPTION
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**GROSS ACREAGE: 31.86 AC**

### BENCHMARK:

ELEVATIONS ARE BASED OFF OF MARION COUNTY CONTROL POINT NO. 9214, BEING A MARION COUNTY STAMPED (MR 6 CR 513) BRASS CAP IN MONUMENT BOX SET IN PAVEMENT.

ELEVATION DATUM: NGVD 29, ELEVATION = 181.174

### UTILITIES & SERVICES:

WATER:	CITY OF WOODBURN
STORM:	CITY OF WOODBURN
SEWER:	CITY OF WOODBURN
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	WOODBURN FIRE DISTRICT
POLICE:	WOODBURN POLICE DEPARTMENT
SCHOOL:	WOODBURN SCHOOL DISTRICT
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	CENTURYLINK

### APPLICANT:

ETTRO CAPITAL MANAGEMENT LLC  
340 OSWEGO POINTE DRIVE  
LAKE OSWEGO, OREGON, 97034  
[P] 503-568-1907  
CONTACT: PETER ETTRO

### OWNER:

SCHULTZ FARM, LLC  
16710 NE BOONES FERRY ROAD  
WOODBURN, OREGON, 97071  
CONTACT: CHRISTY SCHULTZ

### PLANNER:

PACIFIC COMMUNITY DESIGN, INC  
12564 SW MAIN ST.  
TIGARD, OR 97223  
[P] 503-941-9484  
CONTACT: STACY CONNERY, AICP  
ERIC HAWKINSON

### CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC  
12564 SW MAIN ST.  
TIGARD, OR 97223  
[P] 503-941-9484  
CONTACT: CRAIG LARSON, PE

### SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC  
12564 SW MAIN ST.  
TIGARD, OR 97223  
[P] 503-941-9484  
CONTACT: TRAVIS JANSEN, PLS, PE

### GEOTECHNICAL ENGINEER:

GEO CONSULTANTS NORTHWEST, INC.  
2839 SE MILWAUKIE AVENUE  
PORTLAND, OREGON 97202  
[P] 503-616-9425  
CONTACT: BRAD HUPY

### LANDSCAPE ARCHITECT:

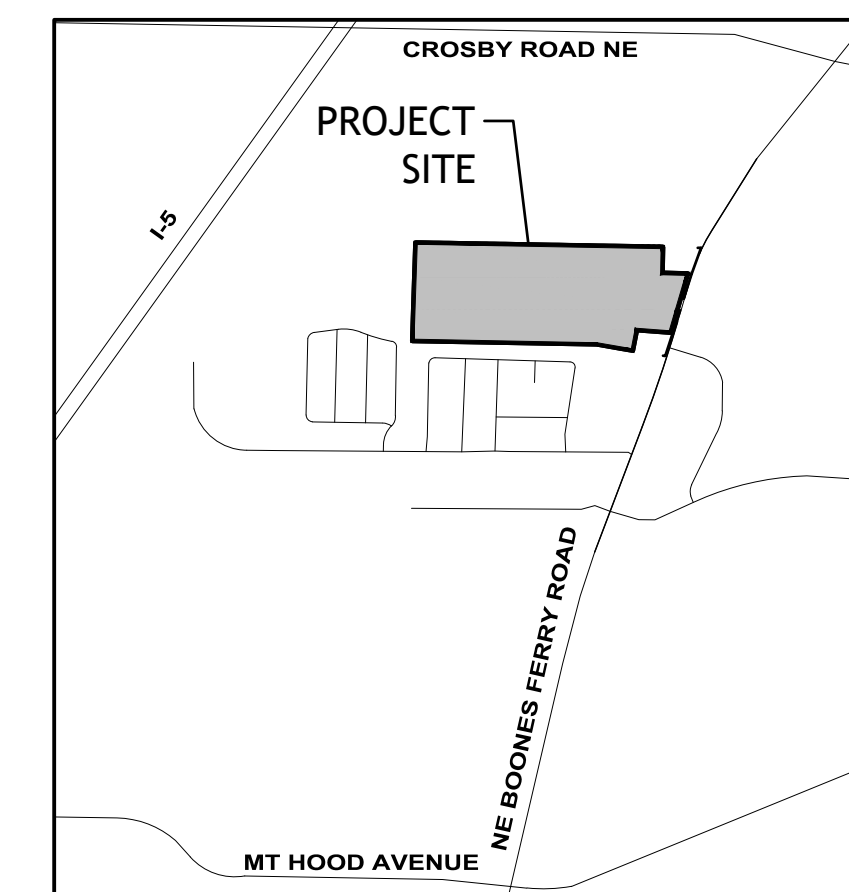
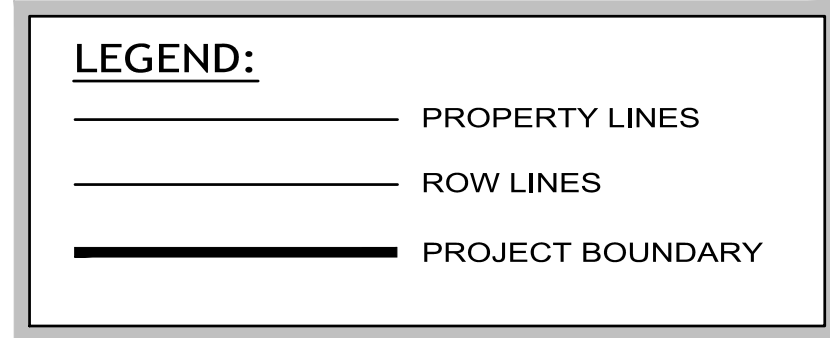
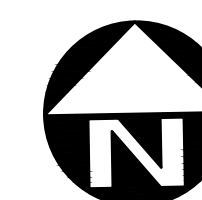
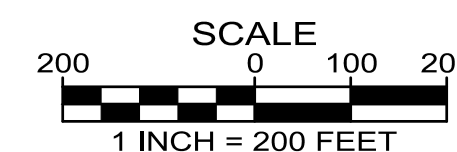
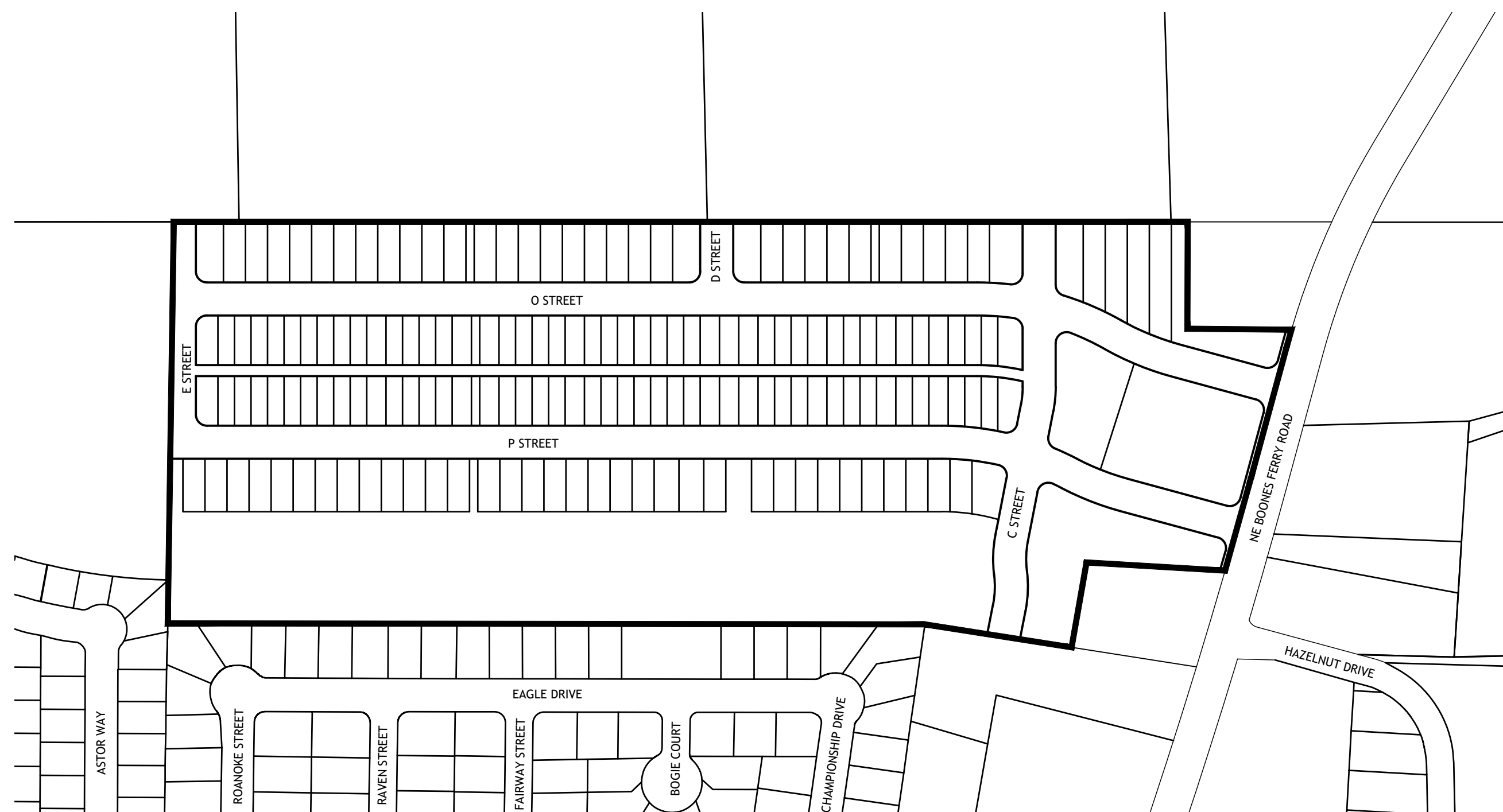
PACIFIC COMMUNITY DESIGN, INC  
12564 SW MAIN ST.  
TIGARD, OR 97223  
[P] 503-941-9484  
CONTACT: KERRY LANKFORD, RLA, CLARB

### NATURAL RESOURCE CONSULTANT:

PACIFIC HABITAT SERVICES, INC.  
9450 SW COMMERCE CIRCLE, SUITE 180  
WILSONVILLE, OR 97070  
[P] 503-570-0800  
CONTACT: JOHN VAN STAVEREN

### TRAFFIC ENGINEER:

LANCASTER MOBLEY  
321 SW 4TH AVENUE, SUITE 400  
PORTLAND, OR 97204  
[P] 503-248-0313  
CONTACT: JESSICA HIJAR



VICINITY MAP

### SHEET INDEX:

- 1 COVER SHEET
- 2.1 EXISTING CONDITIONS
- 2.2 EXISTING CONDITIONS BOONES FERRY
- 3 SITE AERIAL
- 4 CONCEPTUAL DEVELOPMENT PLAN
- 5 SPECIFIC DEVELOPMENT SITE PLAN
- 6.1 PRELIMINARY PLAT
- 6.2 PRELIMINARY PLAT
- 7 GRADING PLAN
- 8 PRELIMINARY SANITARY PLAN
- 9 PRELIMINARY WATER PLAN
- 10.1 PRELIMINARY STORM PLAN
- 10.2 PRELIMINARY STORM PLAN
- 11 COMMON AREA AND OPEN SPACE PLAN
- 12.1 STREETS, PATHS, & CROSS SECTIONS
- 12.2 STREETS, PATHS, & CROSS SECTIONS BOONES FERRY
- 13.1 TREE PROTECTION PLAN
- 13.2 TREE PROTECTION PLAN
- 13.3 TREE PROTECTION PLAN
- 13.4 TREE PROTECTION PLAN
- 13.5 TREE PROTECTION PLAN
- 13.6 TREE PROTECTION PLAN
- 13.7 TREE PROTECTION PLAN
- 14.1 TREE INVENTORY
- 14.2 TREE INVENTORY
- 14.3 TREE INVENTORY
- 14.4 TREE INVENTORY
- 14.5 TREE INVENTORY
- 14.6 TREE INVENTORY
- 14.7 TREE INVENTORY
- L1 STREET TREE PLANTING & OPEN SPACE LOCATION PLAN
- L2 STREET TREE DETAILS AND NOTES
- L3 OPEN SPACE PLANTING PLAN
- L4 OPEN SPACE PLANTING PLAN
- L5 OPEN SPACE PLANTING PLAN
- L6 PARK PLANTING PLAN
- L7 PARK DETAILS
- L8 POND PLANTING PLAN

DOVE  
LANDING PUD

COVER



12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001

TYPE: PLANNING

REVIEWED BY: PRE

1

Attachment 103  
Sheet 1 of 19

REVISIONS

NO.	DATE	DESCRIPTION
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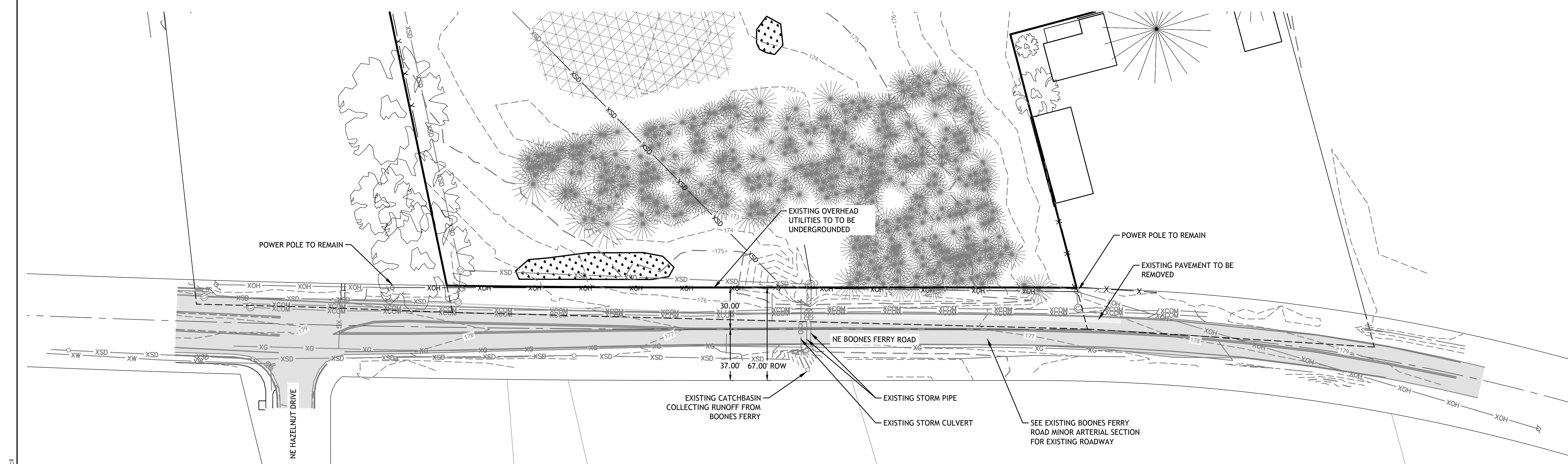
DOVE  
LANDING PUD

EXISTING  
CONDITIONS  
BOONES FERRY



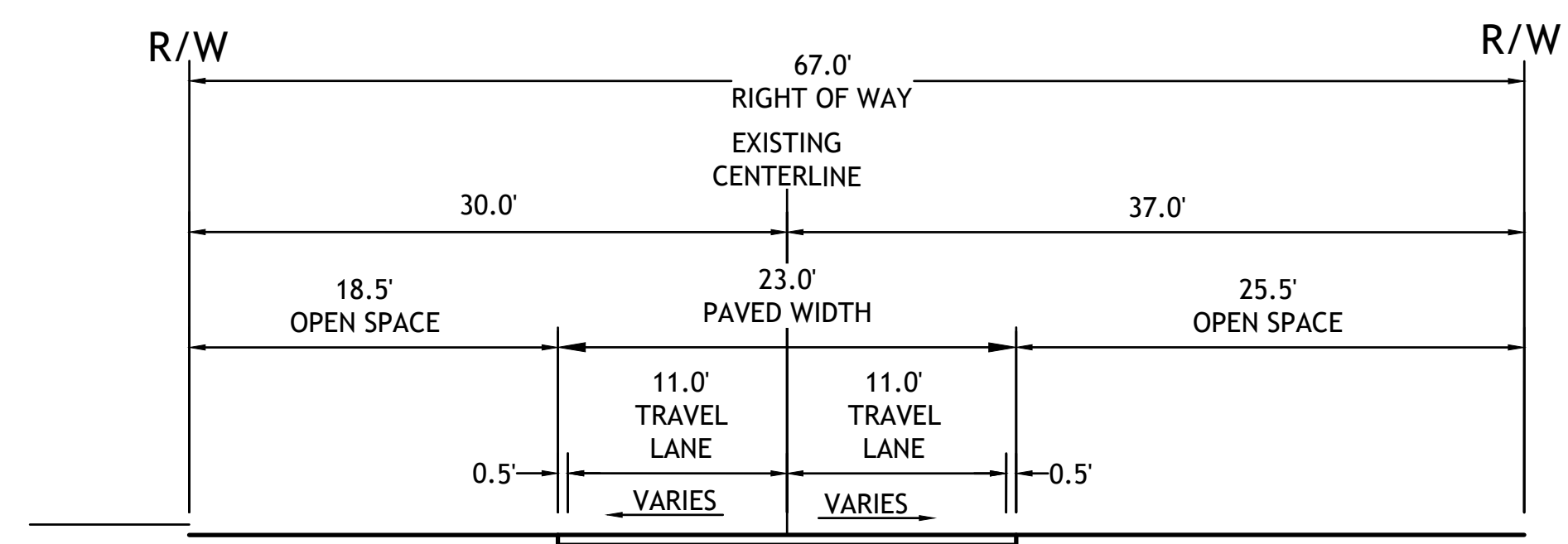
12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE

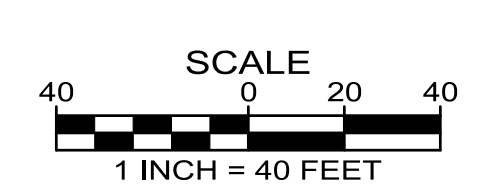


LEGEND			
	EXISTING SIDEWALK		EASEMENT LINES
	EXISTING PAVEMENT		EXISTING RIGHT-OF-WAY
	EXISTING GRAVEL		EXISTING CENTERLINE
	EXISTING BUILDING		EXISTING PROPERTY LINE
	EXISTING NON-JURISDICTIONAL WETLAND TO BE FILLED		EXISTING BOUNDARY LINE
	FILLED WETLANDS		EX 2-FOOT CONTOURS
			EX 10-FOOT CONTOURS
			EXISTING WETLAND BUFFER
			EXISTING WATERS
	EX SANITARY SEWER		EX STORM DRAIN
	EX STORM DRAIN		EX WATER LINE
	EX WATER LINE		EX GAS LINE
	EX GAS LINE		EX BURIED POWER LINE
	EX BURIED POWER LINE		EX OVERHEAD POWER LINE
	EX OVERHEAD POWER LINE		EX CABLE TV LINE
	EX CABLE TV LINE		EX TELEPHONE LINE
	EX TELEPHONE LINE		EXISTING FENCE
	EX SANITARY MANHOLE		EX BLOW-OFF
	EX SANITARY CLEANOUT		EX AIR RELEASE VALVE
	EX STORM MANHOLE		EX GAS VALVE
	EX AREA DRAIN		EX CABLE RISER
	EX CURB INLET		EX TELEPHONE RISER
	EX STORM CLEANOUT		EX LIGHT POLE
	EX FIRE HYDRANT		EX TREES
	EX WATER METER		EX TREES TO BE REMOVED
	EX WATER VALVE		

- NOTES:
- ALL EXISTING FILBERT TREES TO BE REMOVED.
  - FOR TREE PRESERVATION PLAN SEE SHEET 13.1-13.7.

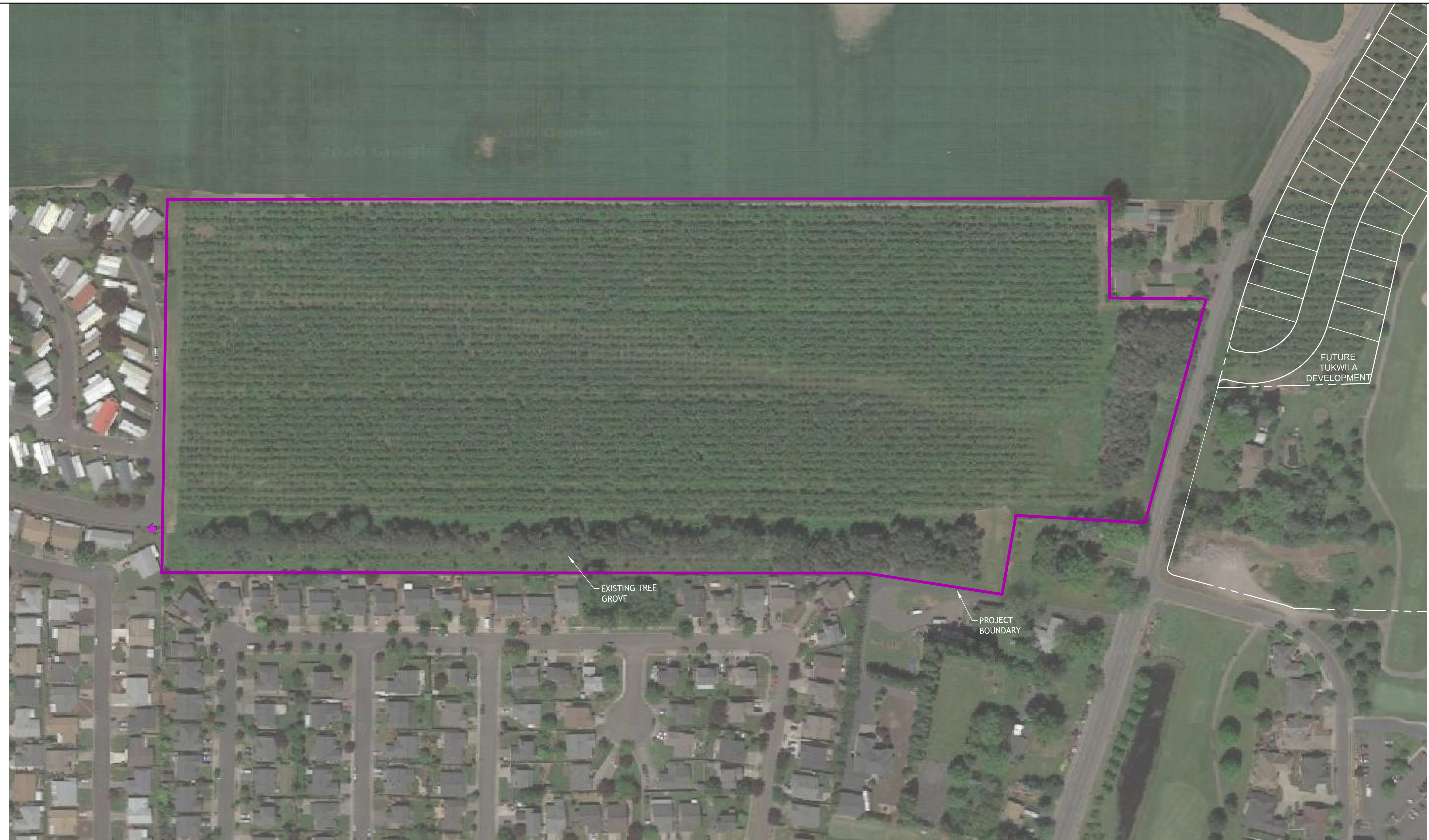


**B1** EXISTING BOONES FERRY ROAD  
MINOR ARTERIAL  
NOT TO SCALE



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REVISIONS		
NO.	DATE	DESCRIPTION



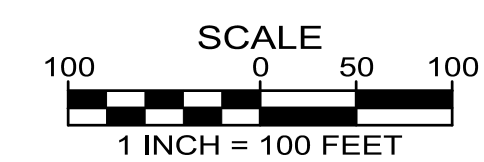
**DOVE  
LANDING PUD**

**SITE  
AERIAL**



12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.:	142-001
TYPE:	PLANNING
REVIEWED BY:	PRE





REVISIONS

NO.	DATE	DESCRIPTION
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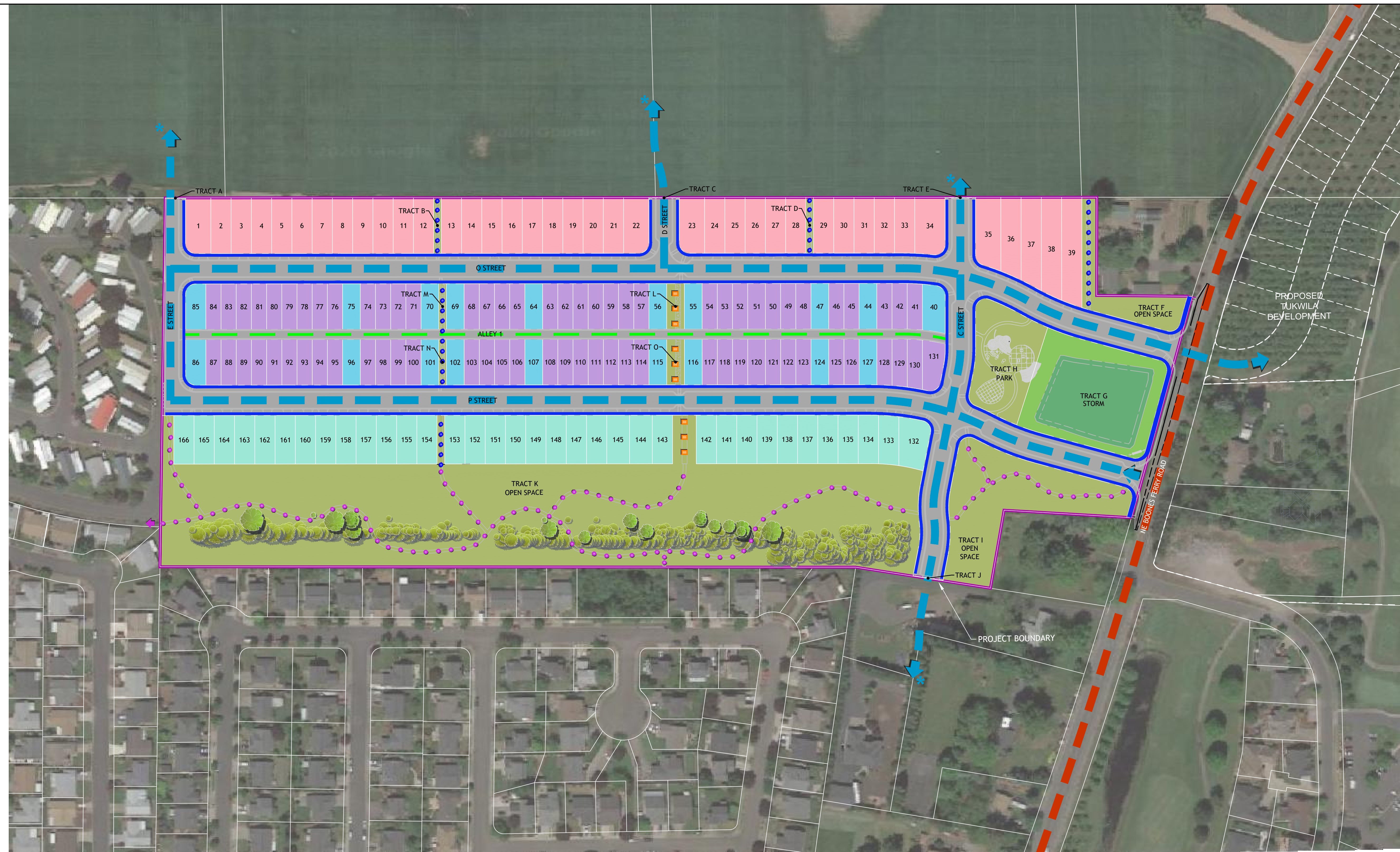
DOVE  
LANDING PUD

CONCEPT  
SITE PLAN  
ALTERNATIVE 2

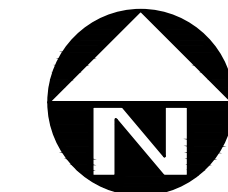
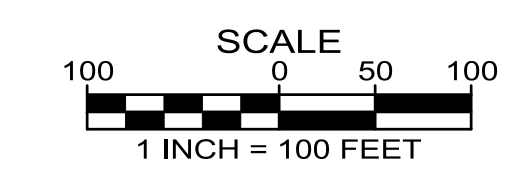


12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE



LEGEND - PROPOSED CONCEPT PLAN			LAND USE - RESIDENTIAL		PEDESTRIAN ELEMENTS		VEHICLE ELEMENTS	
<b>OPEN SPACE</b>			<b>FRONT LOADED - 40' X 110' LOT</b>		<b>10' MAJOR TRAIL</b>		<b>PROPOSED ROAD CONNECTION</b>	
GROSS SITE AREA	31.86 AC	100 %	<b>FRONT LOADED - 40' X 96' LOT</b>		8' MINOR TRAIL		PROPOSED PUBLIC ALLEY	
PARKS/TRAILS, LANDSCAPE TRACTS	9.55 AC	30%	<b>REAR LOADED - 30' X 90' LOT</b>		6' WOOD CHIP TRAIL		EXISTING COLLECTOR	
STORMWATER FACILITY	1.17 AC	3%	<b>REAR LOADED - 35' X 90' LOT</b>		SIDEWALKS AND PATHWAYS		CONNECTIVITY	
			<b>TOTAL</b>				FUTURE ROAD CONNECTION	
			39					
			35					
			73					
			19					
			166					
<b>DENSITY</b>								
GROSS AREA			31.86 AC					
- ROW			7.62 AC					
NET AREA			24.24 AC					
MIN. DENSITY			-5.2 UNITS/AC X 24.24 AC = 126 UNITS					
MAX. DENSITY			-7.26 UNITS/AC X 24.24 AC = 176 UNITS					



N:\Projects\142-001\09 Drawings\09 Planning Sheets - Planning Submittal\A2001\_01 CONCEPT SITE PLAN.dwg - SHEET: 4 Feb 09 2021 - 4:53pm cll

DOVE  
LANDING PUD

SPECIFIC  
SITE PLAN

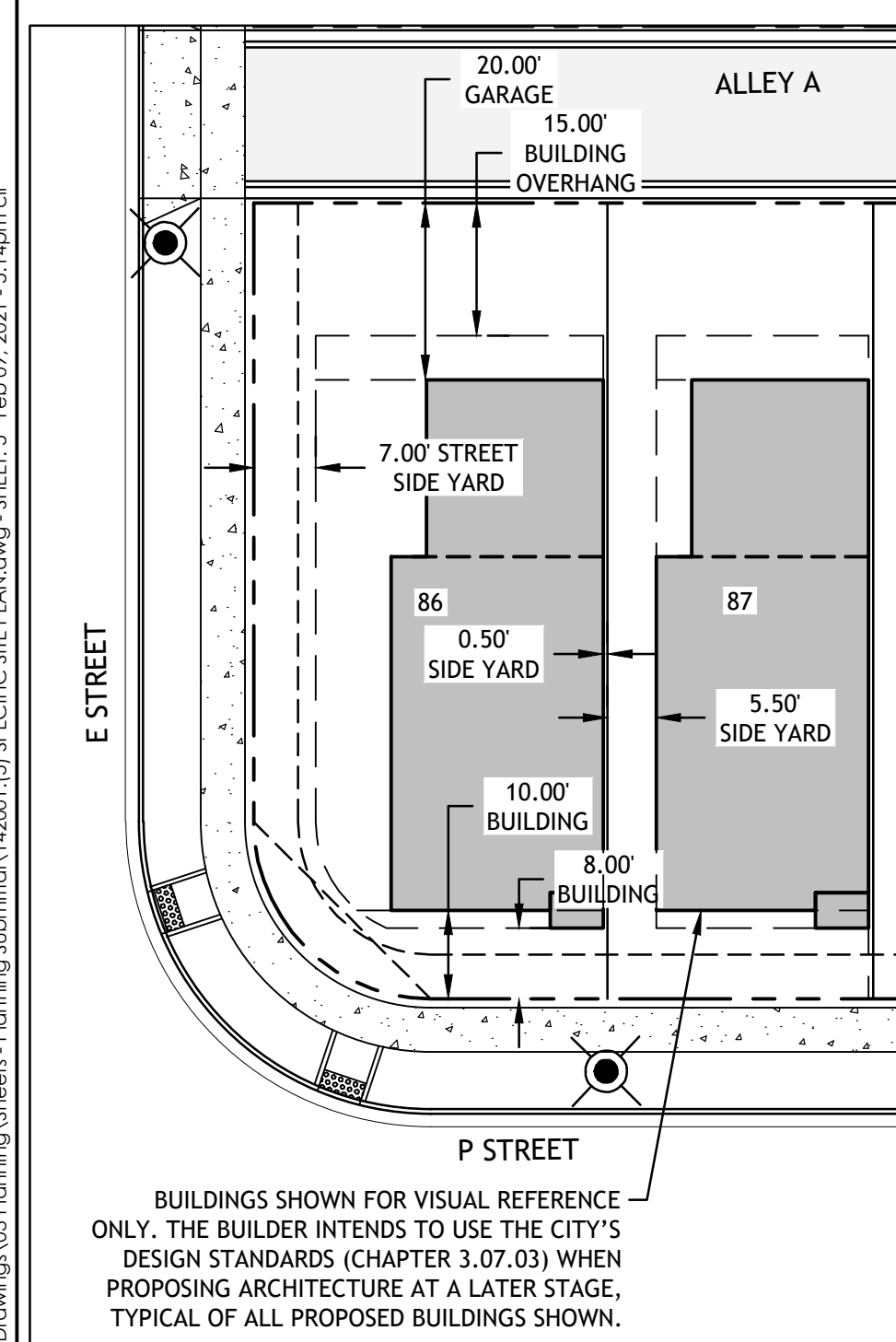
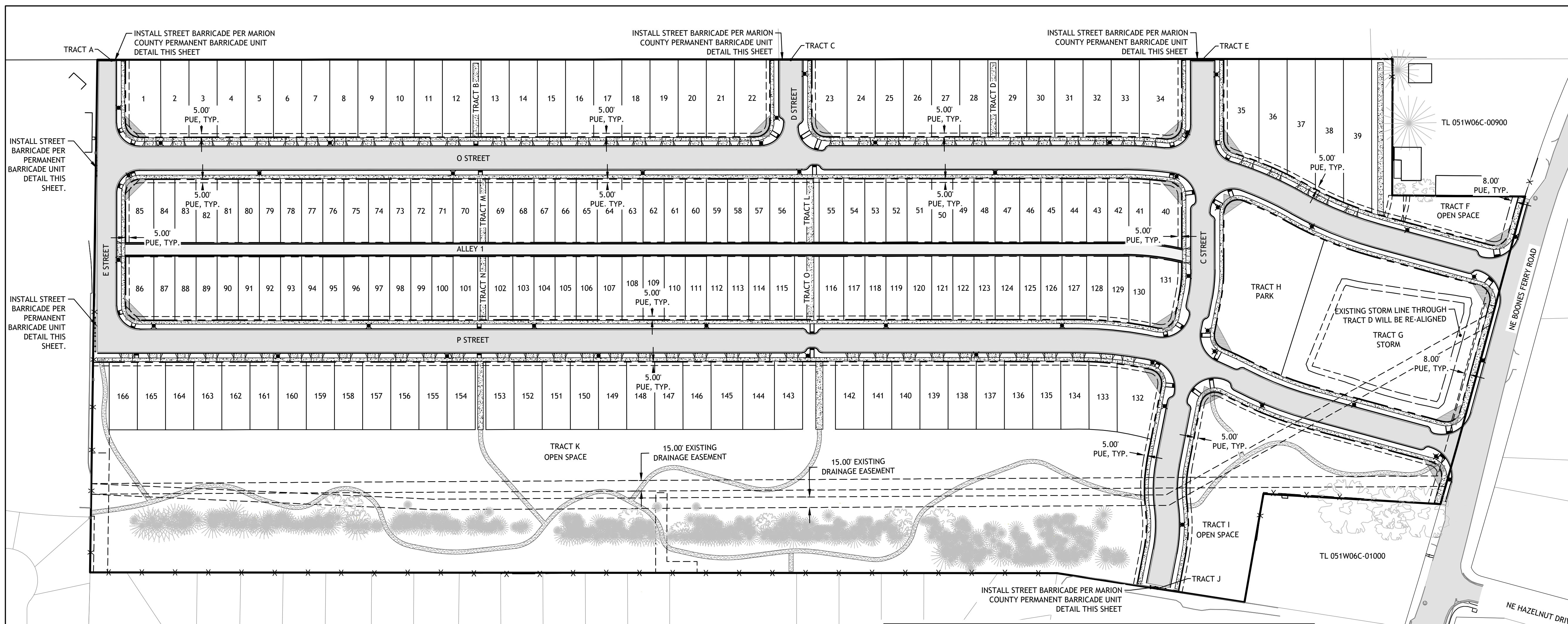


12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

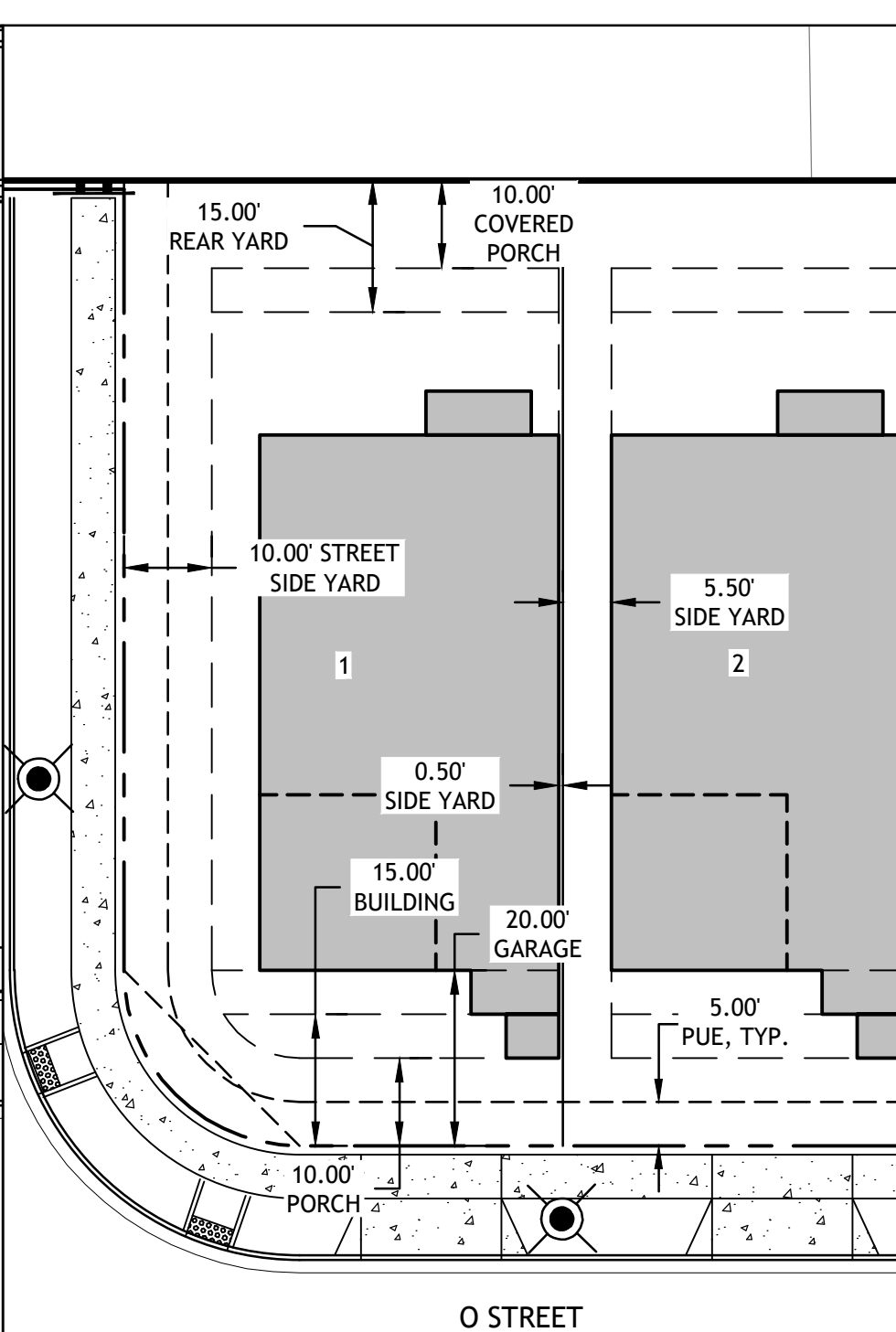
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TYPE: PLANNING

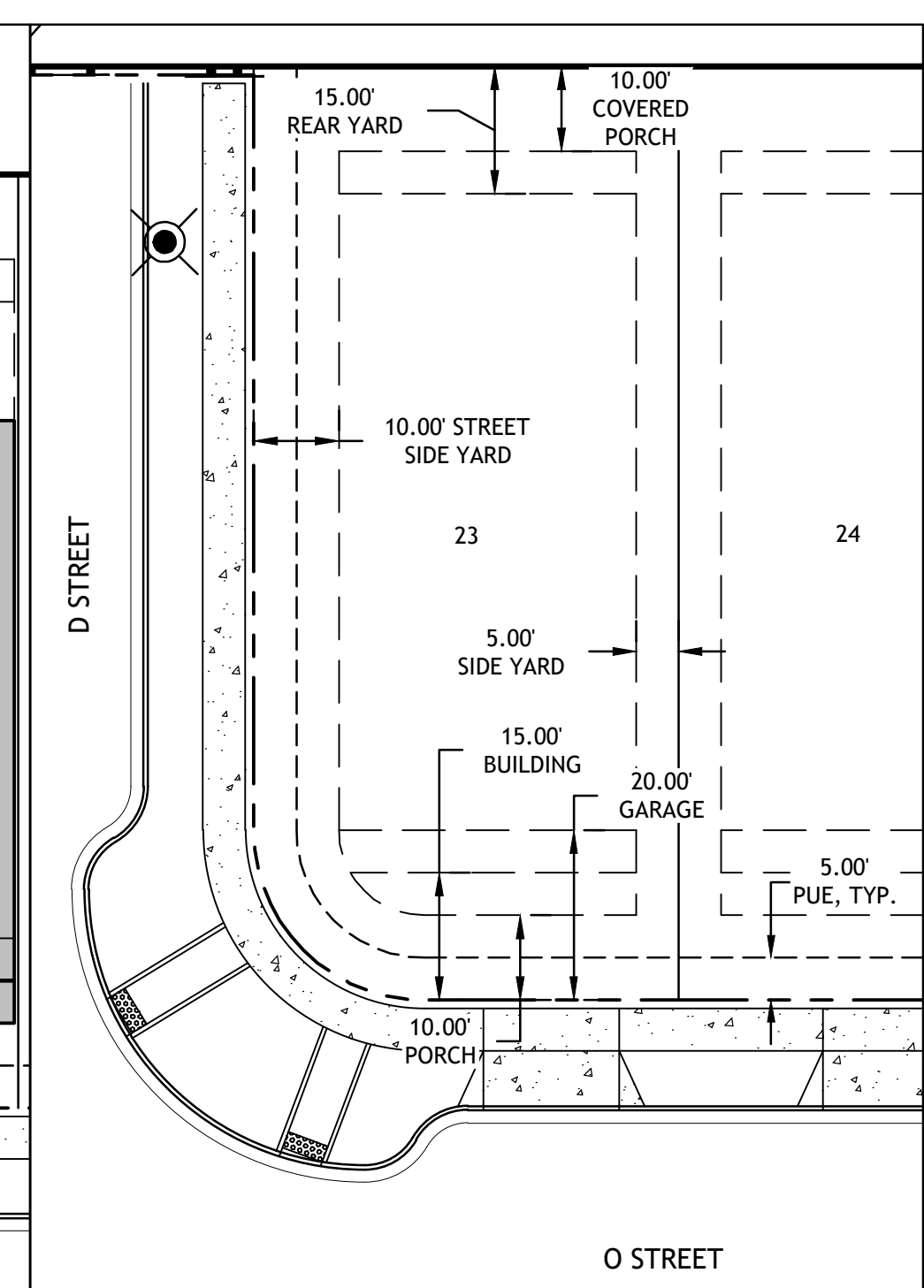
REVIEWED BY: PRE



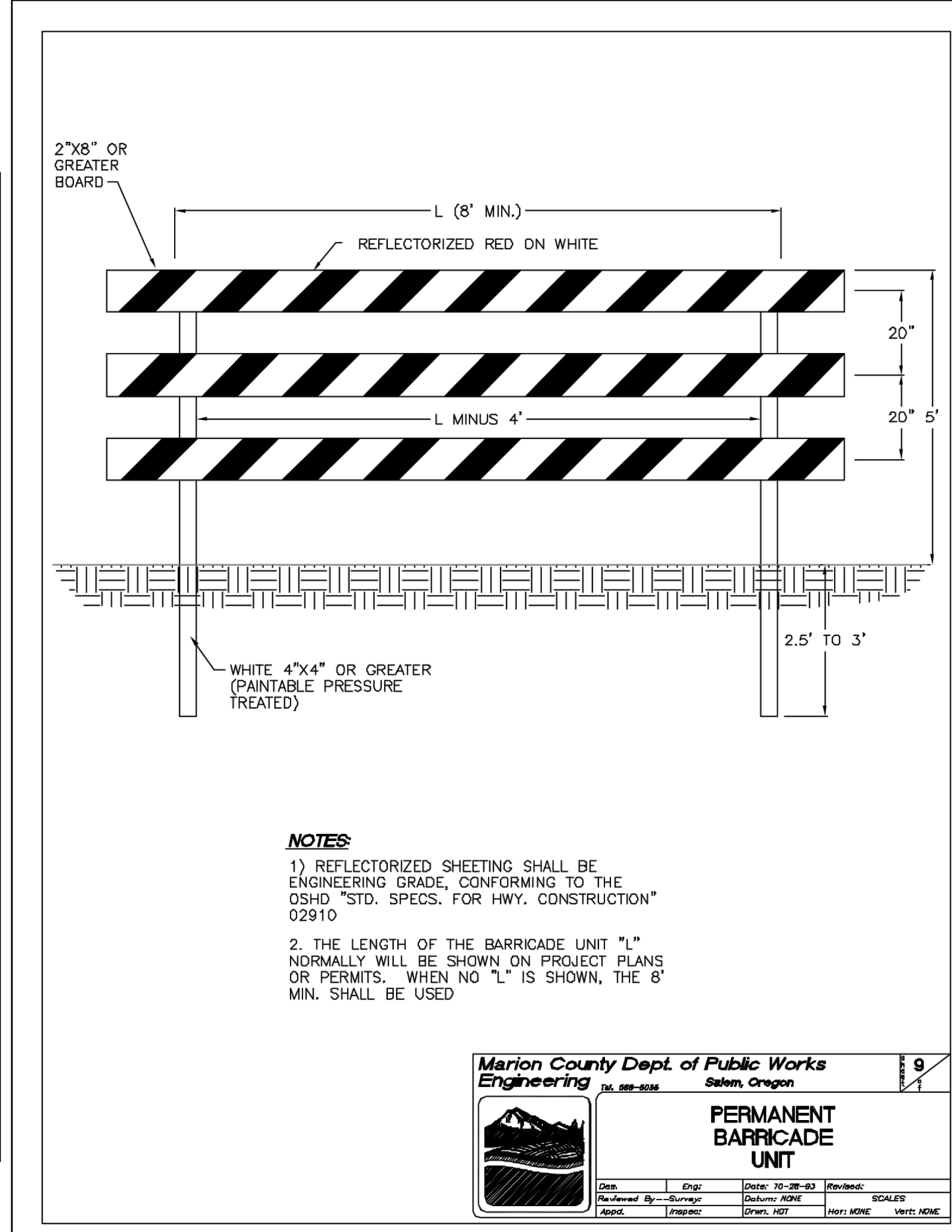
TYPICAL REAR LOADED SETBACK



TYPICAL FRONT LOADED SETBACK - OPTION A



TYPICAL FRONT LOADED SETBACK - OPTION B



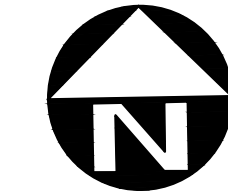
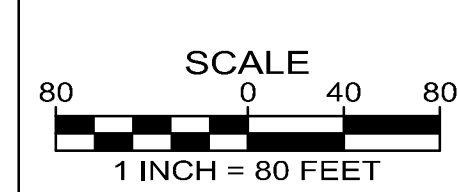
**NOTICE**

THIS ROAD WILL BE EXTENDED WITH FUTURE DEVELOPMENT FOR MORE INFO, CONTACT CITY OF WOODBURN CURRENT PLANNING DIV. (503) 982-5246

**FUTURE STREET CONNECTION SIGN TO BE MOUNTED ON PERMANENT BARRICADE UNIT**

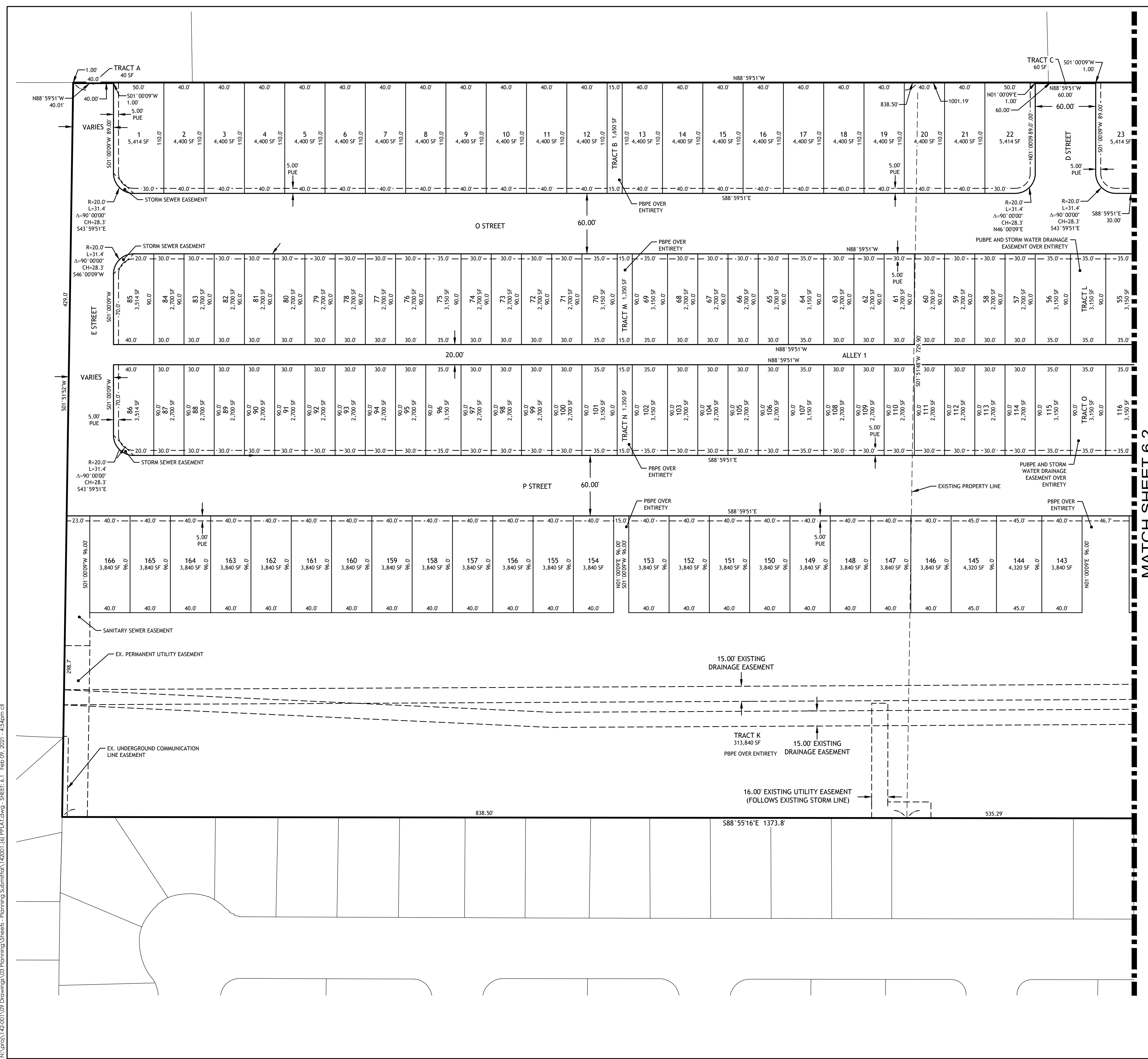
**LEGEND**

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING BOUNDARY LINE
- VISION CLEARANCE TRIANGLE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED STREET LIGHT



N:\projects\142-001\09 Drawings\08 Planning Sheets - Planning Submittal\142001\_09 SPECIFIC SITE PLAN.dwg - SHEET: 5 - 01.dwg - 1/15/2021 - 5:14pm.clt

LEGEND	
PUE	PUBLIC UTILITY EASEMENT
PBPE	PUBLIC BICYCLE/ PEDESTRIAN ACCESS EASEMENT
PUBPE	PUBLIC UTILITY EASEMENT AND PUBLIC BICYCLE/ PEDESTRIAN ACCESS EASEMENT
CAE	CROSS ACCESS EASEMENT TO BENEFIT TAX LOT 051W06C000900
TCE	TEMPORARY CONSTRUCTION EASEMENT TO BENEFIT TAX LOT 051W06C000900



MATCH SHEET 6.2

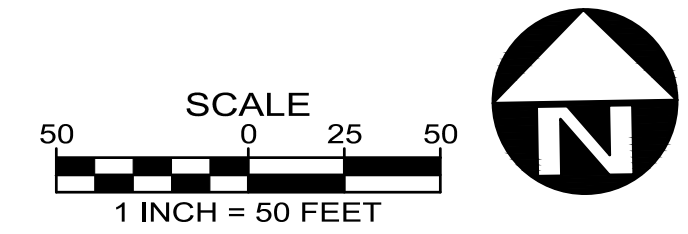
DOVE LANDING PUD

PRELIMINARY PLAT



12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE



6.1

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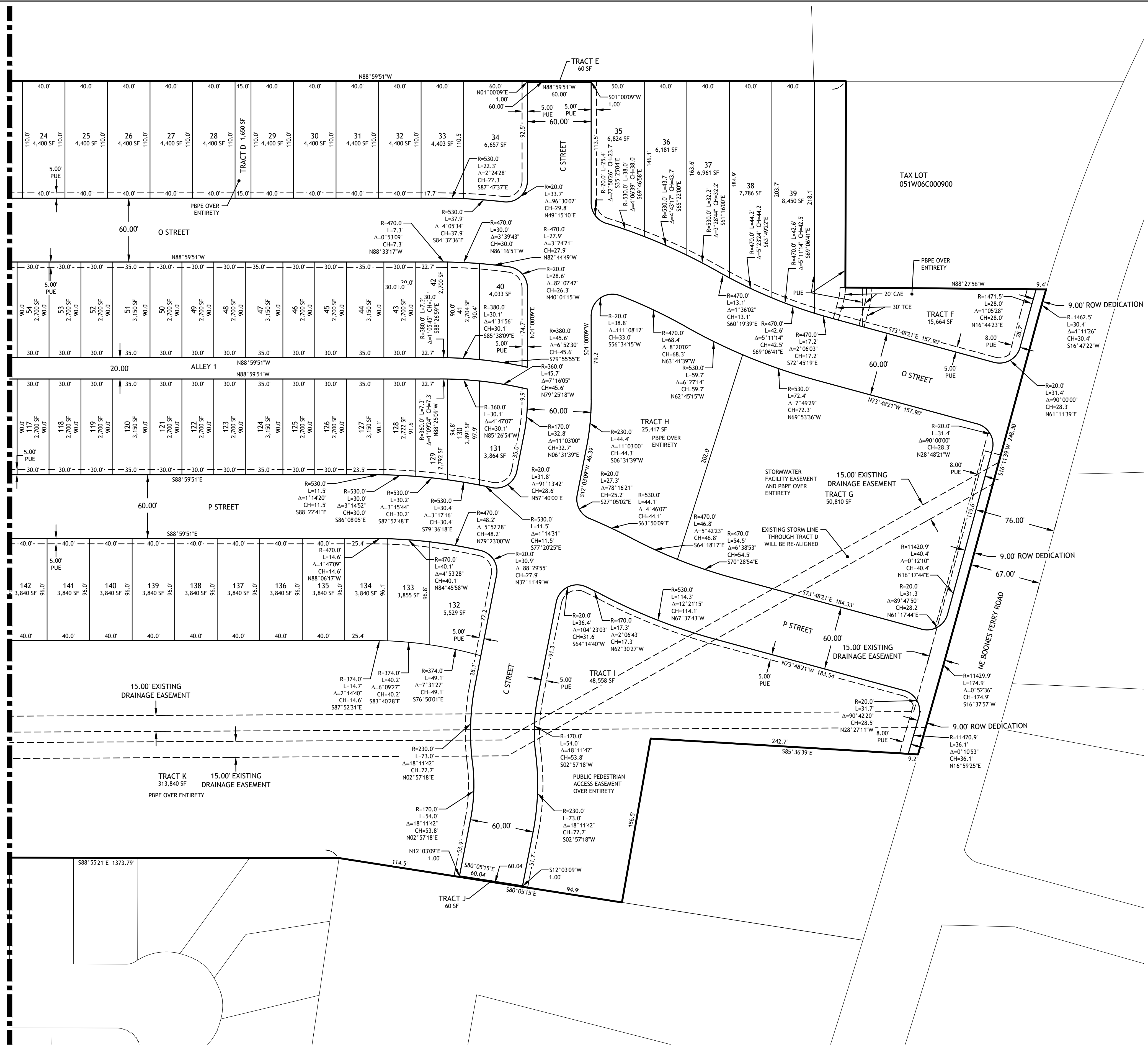
REVISIONS

NO.	DATE	DESCRIPTION
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**LEGEND**

PUE	PUBLIC UTILITY EASEMENT
PBPE	PUBLIC BICYCLE/ PEDESTRIAN ACCESS EASEMENT
PUBPE	PUBLIC UTILITY EASEMENT AND PUBLIC BICYCLE/ PEDESTRIAN ACCESS EASEMENT
CAE	CROSS ACCESS EASEMENT TO BENEFIT TAX LOT 051W06C000900
TCE	TEMPORARY CONSTRUCTION EASEMENT TO BENEFIT TAX LOT 051W06C000900

MATCH SHEET 6.1



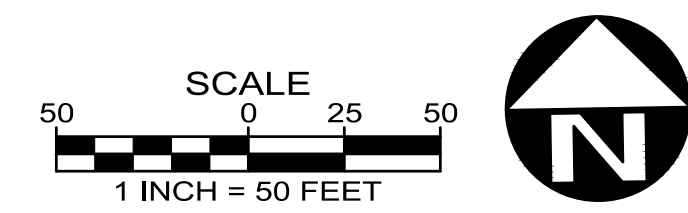
DOVE  
LANDING PUD

PRELIMINARY  
PLAT



12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE



6.2

N:\proj\142-001\09 Drawings\09 Planning Sheets - Planning Submittal\A2001.dwg - SHEET 6.2 - Feb. 09, 2021 - 4:56pm.cll

REVISIONS		
NO.	DATE	DESCRIPTION

DOVE  
LANDING PUD

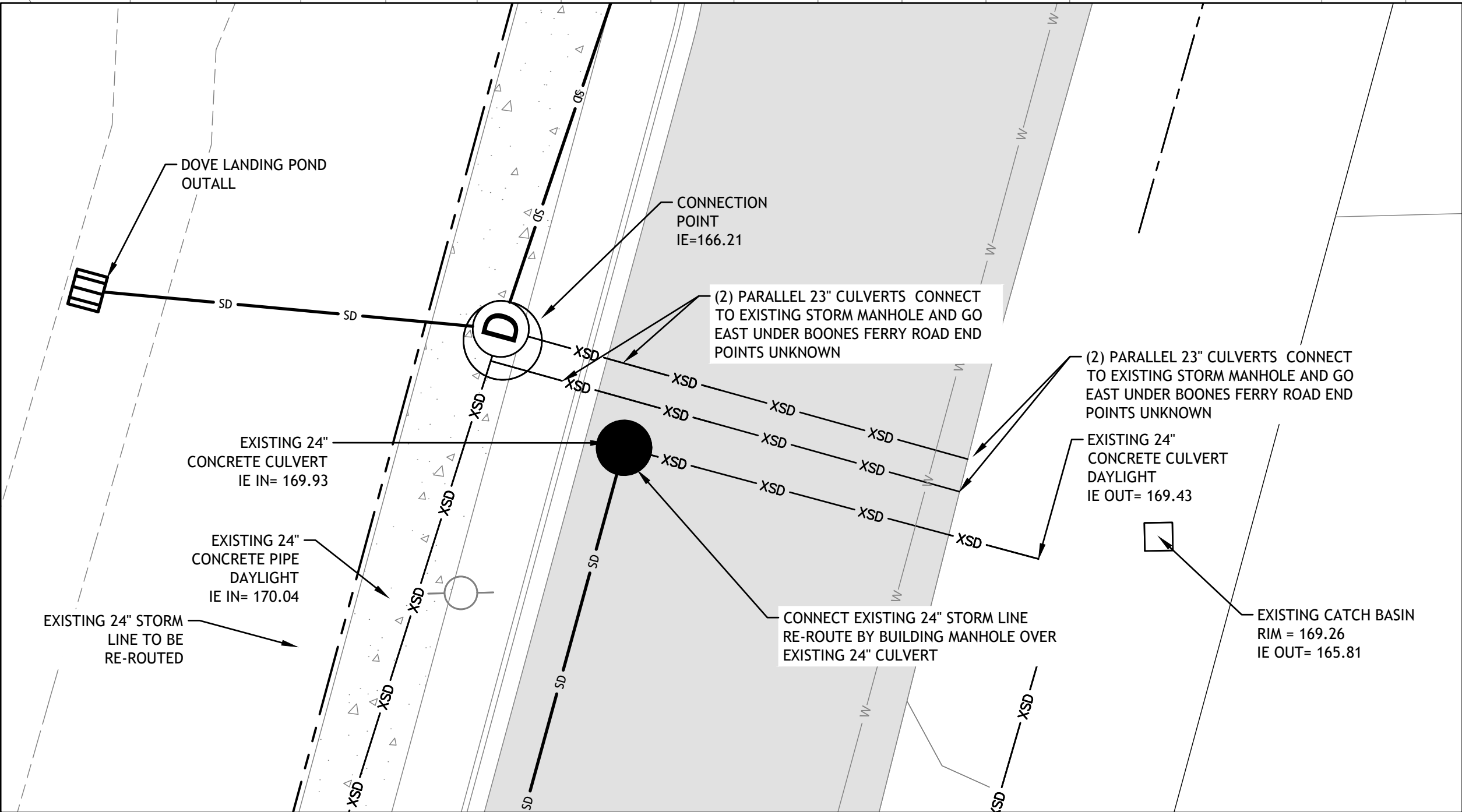
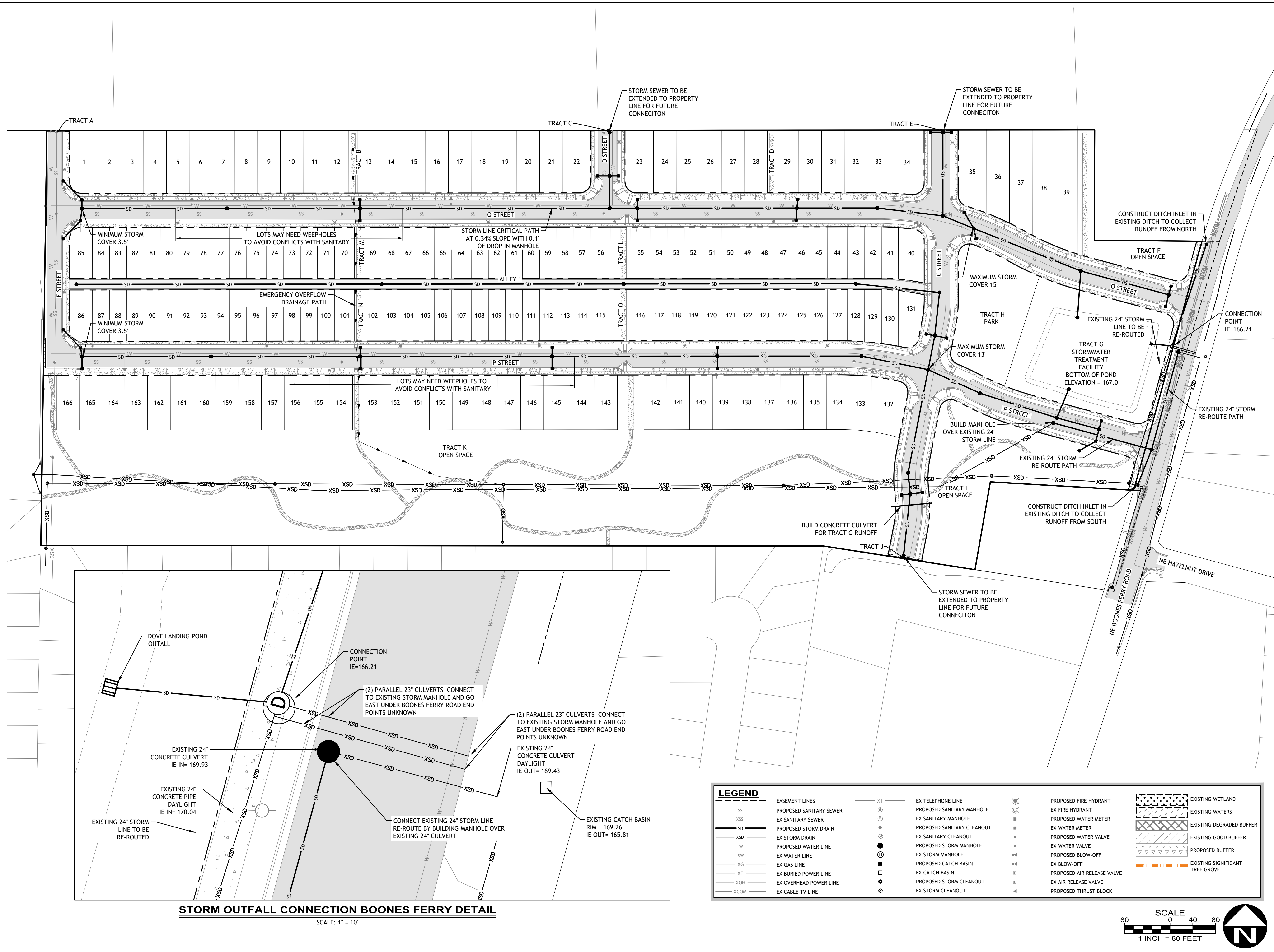
PRELIMINARY  
STORM SEWER  
PLAN



12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

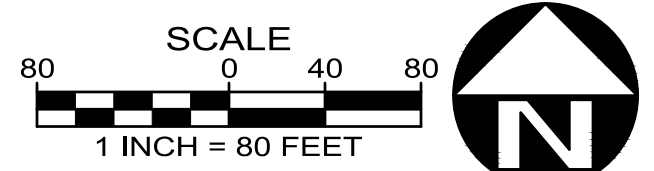
PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE

10.1



**STORM OUTFALL CONNECTION BOONES FERRY DETAIL**  
SCALE: 1" = 10'

LEGEND			
SS	PROPOSED SANITARY SEWER	XT	EX TELEPHONE LINE
XSS	EX SANITARY SEWER	⊙	PROPOSED SANITARY MANHOLE
SD	PROPOSED STORM DRAIN	⊙	EX SANITARY MANHOLE
XSD	EX STORM DRAIN	⊙	PROPOSED SANITARY CLEANOUT
W	PROPOSED WATER LINE	⊙	EX SANITARY CLEANOUT
XW	EX WATER LINE	⊙	PROPOSED STORM MANHOLE
XG	EX GAS LINE	⊙	EX STORM MANHOLE
XE	EX BURIED POWER LINE	⊙	PROPOSED CATCH BASIN
XOH	EX OVERHEAD POWER LINE	⊙	EX CATCH BASIN
XCOM	EX CABLE TV LINE	⊙	PROPOSED STORM CLEANOUT
		⊙	EX STORM CLEANOUT
		⊙	PROPOSED FIRE HYDRANT
		⊙	EX FIRE HYDRANT
		⊙	PROPOSED WATER METER
		⊙	EX WATER METER
		⊙	PROPOSED WATER VALVE
		⊙	EX WATER VALVE
		⊙	PROPOSED BLOW-OFF
		⊙	EX BLOW-OFF
		⊙	PROPOSED AIR RELEASE VALVE
		⊙	EX AIR RELEASE VALVE
		⊙	PROPOSED THRUST BLOCK
		⊙	EXISTING WETLAND
		⊙	EXISTING WATERS
		⊙	EXISTING DEGRADED BUFFER
		⊙	EXISTING GOOD BUFFER
		⊙	PROPOSED BUFFER
		⊙	EXISTING SIGNIFICANT TREE GROVE



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REVISIONS

NO.	DATE	DESCRIPTION
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DOVE  
LANDING PUD

OPEN SPACE  
SITE PLAN

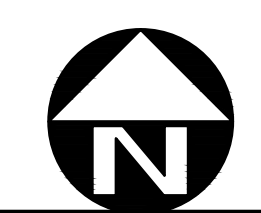
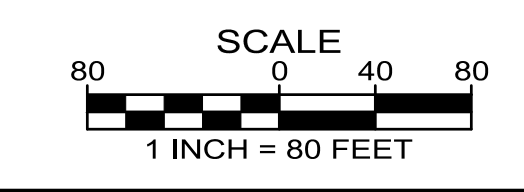


12564 SW Main Street  
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PROJECT NO.:	142-001
TYPE:	PLANNING
REVIEWED BY:	PRE



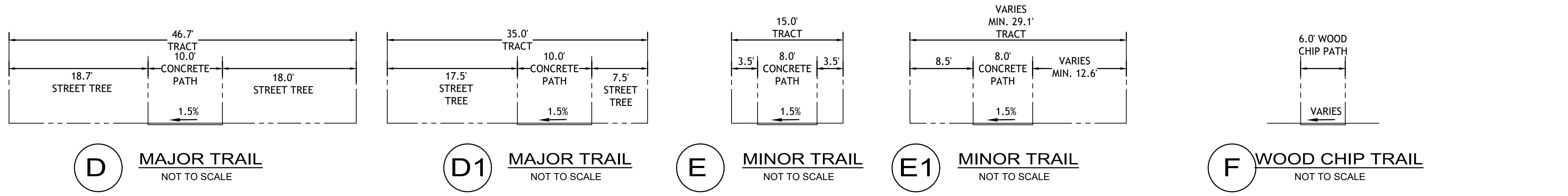
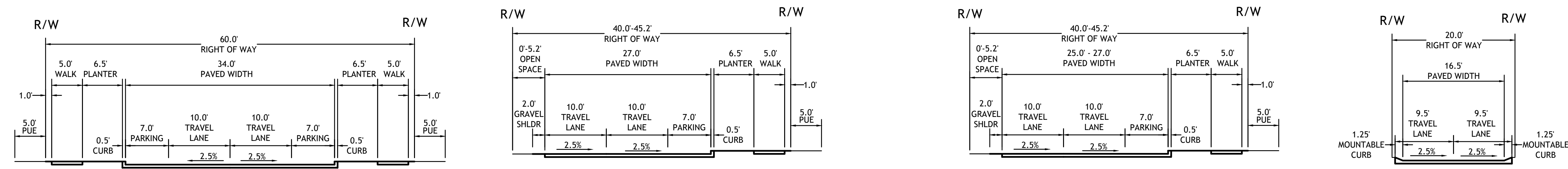
OPEN SPACE			PEDESTRIAN ELEMENTS			OPEN SPACE		
	AREA	% SITE				AREA	% SITE	
PRIVATE PARK (TRACT H)	0.58 AC	2%	10' MAJOR TRAIL	STORM FACILITY		1.17 AC	4%	
OPEN SPACE (TRACT K)	7.20 AC	23%	8' MAJOR TRAIL					
OPEN SPACE (ALL OTHER TRACTS)	1.79 AC	5%	6' WOOD CHIP TRAIL					
<b>OPEN SPACE TARGET</b>	<b>9.57 AC</b>	<b>30%</b>						
<b>GROSS SITE AREA</b>	<b>31.86 AC</b>	<b>100 %</b>						



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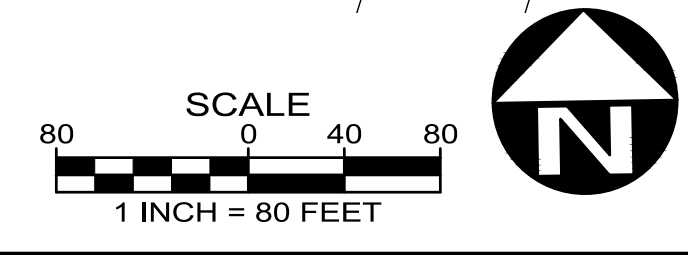
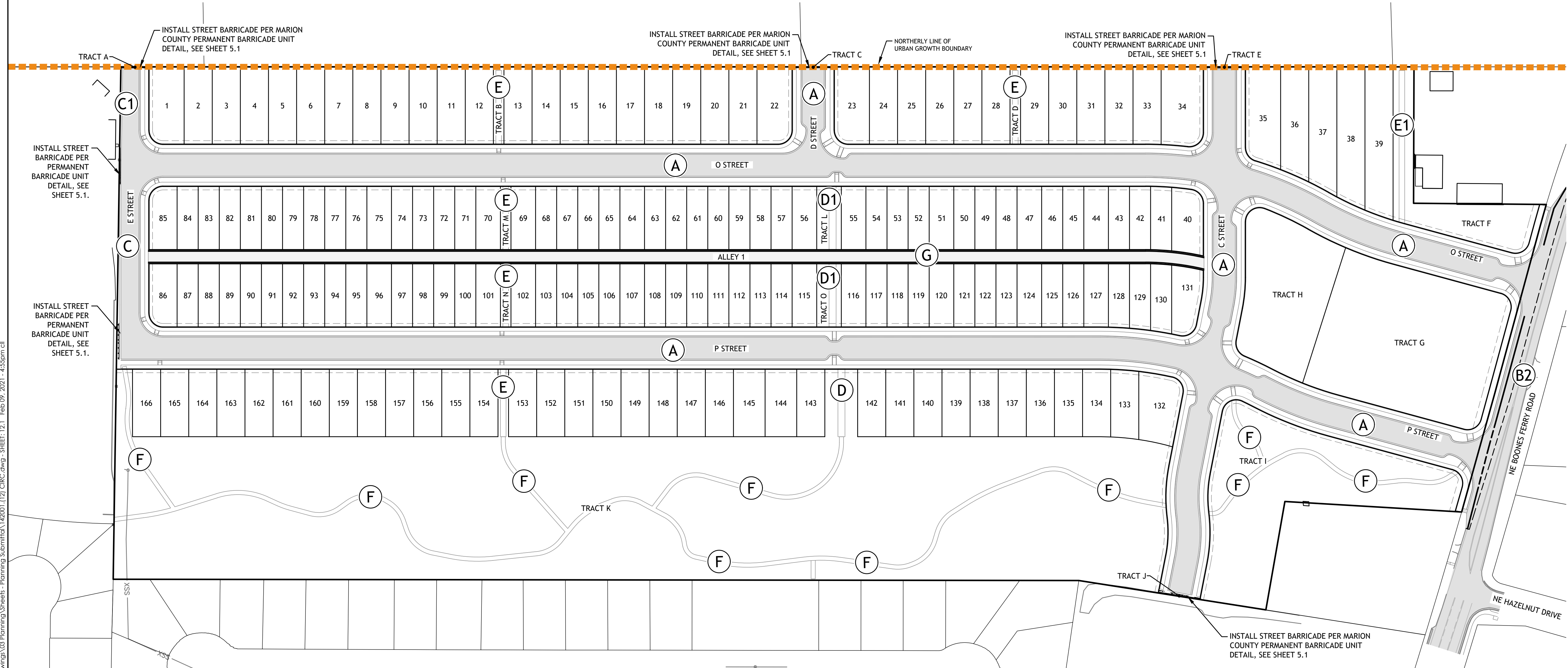
REVISIONS

NO.	DATE	DESCRIPTION
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**LEGEND:**

- (E)** ROAD SECTION TYPE SEE SHEET 5.1 FOR DETAILS
- PROJECT BOUNDARY
- URBAN GROWTH BOUNDARY



DOVE LANDING PUD

STREETS, PATHS, & CROSS SECTIONS



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TYPE: PLANNING  
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REVISIONS

NO.	DATE	DESCRIPTION

DOVE  
LANDING PUD

STREETS, PATHS,  
& CROSS SECTIONS  
BOONERS FERRY



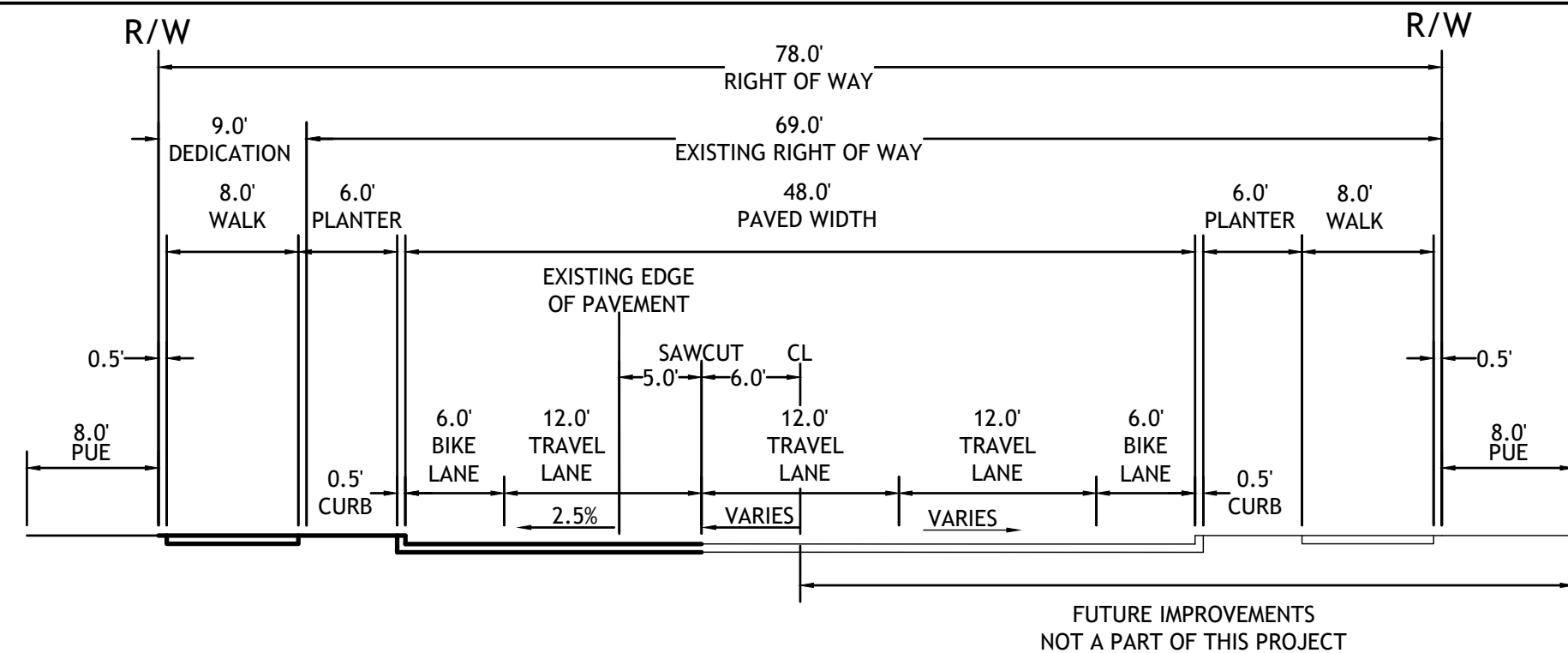
12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE

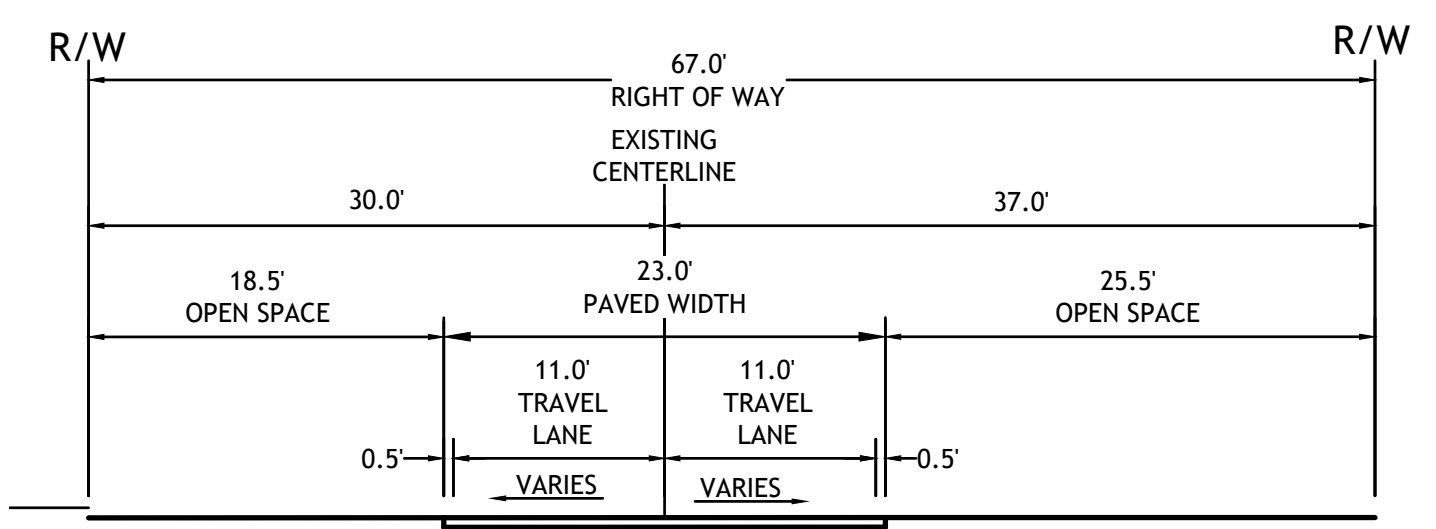
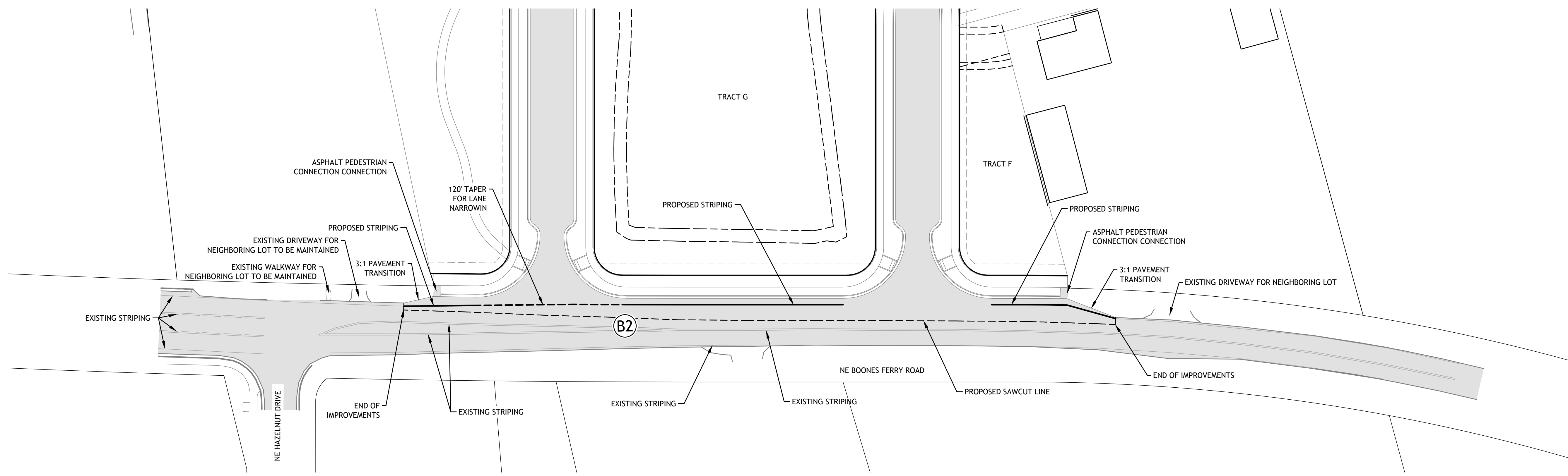
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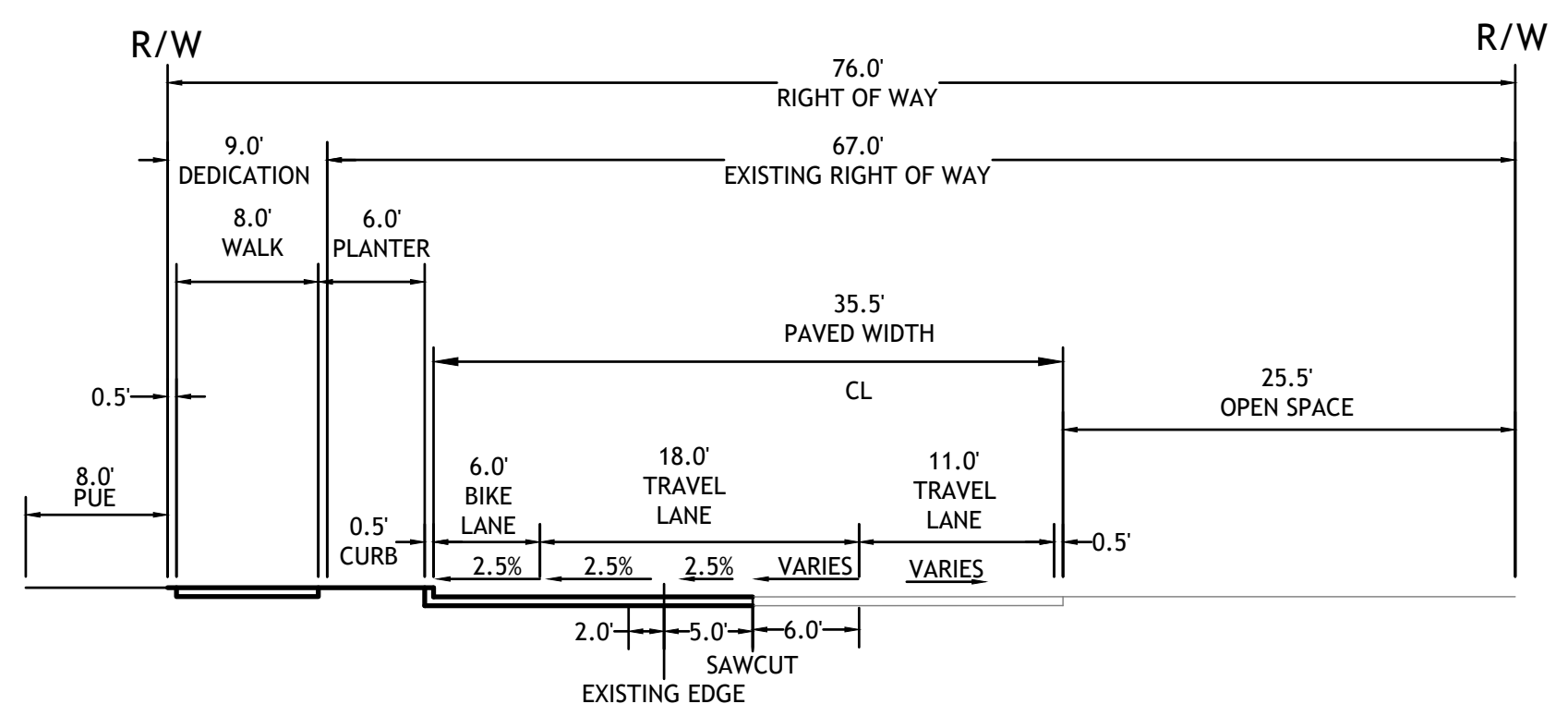
- (E) ROAD SECTION TYPE SEE SHEET 5.1 FOR DETAILS
- PROJECT BOUNDARY
- URBAN GROWTH BOUNDARY



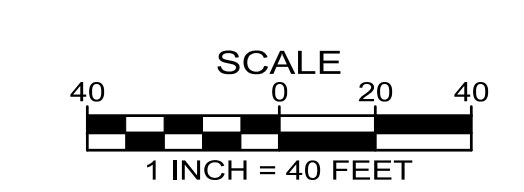
**B** BOONES FERRY ROAD  
MINOR ARTERIAL (FULL BUILDOUT)  
NOT TO SCALE



**B1** EXISTING BOONES FERRY ROAD  
MINOR ARTERIAL  
NOT TO SCALE



**B2** BOONES FERRY ROAD  
MINOR ARTERIAL (HALF STREET)  
NOT TO SCALE



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REVISIONS

NO.	DATE	DESCRIPTION
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**LEGEND**

- DECIDUOUS
- CONIFEROUS
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED WITH ROOT PROTECTION ZONE CIRCLE. TREES CLASSIFIED AS SIGNIFICANT ARE SHOWN WITH RED ROOT PROTECTION ZONE CIRCLES. SEE TREE INVENTORY FOR ADDITIONAL INFORMATION
- TREE PROTECTION FENCING PER DTL 1, SHEET 13.1
- TREE NUMBER

DOVE LANDING PUD

TREE PRESERVATION PLAN



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TYPE: PLANNING  
REVIEWED BY: PRE

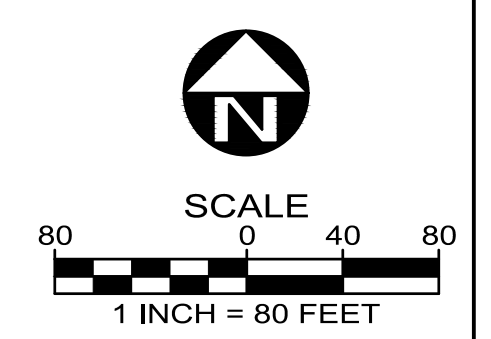
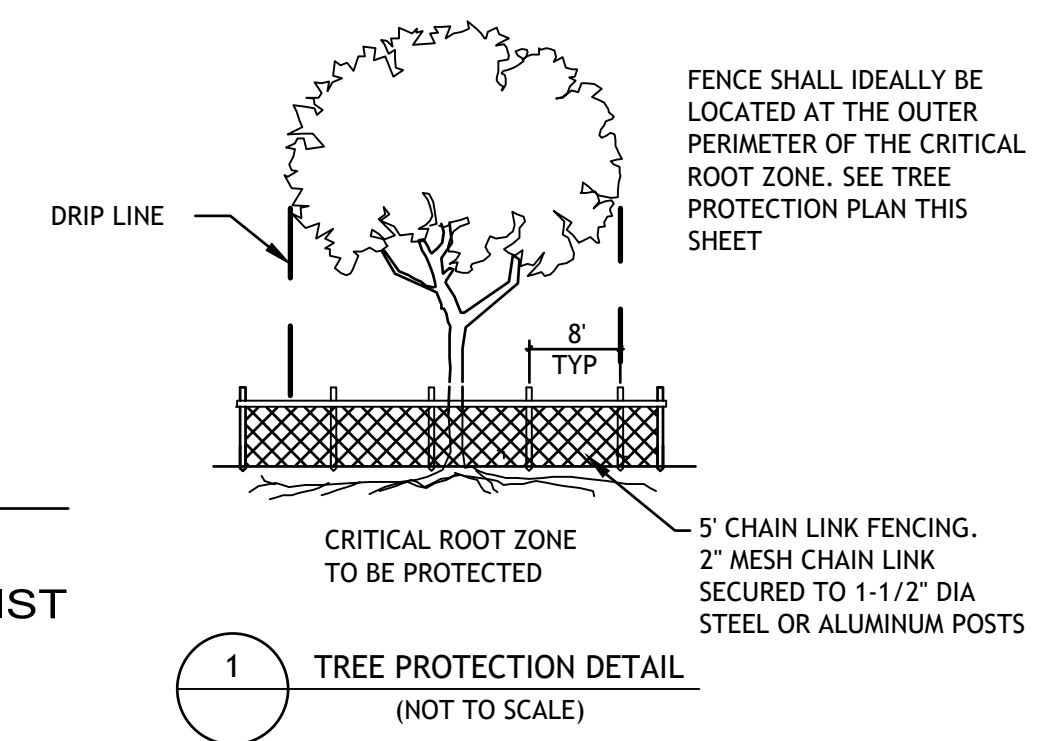
13.1

TREE PROTECTION SPECIFICATIONS:

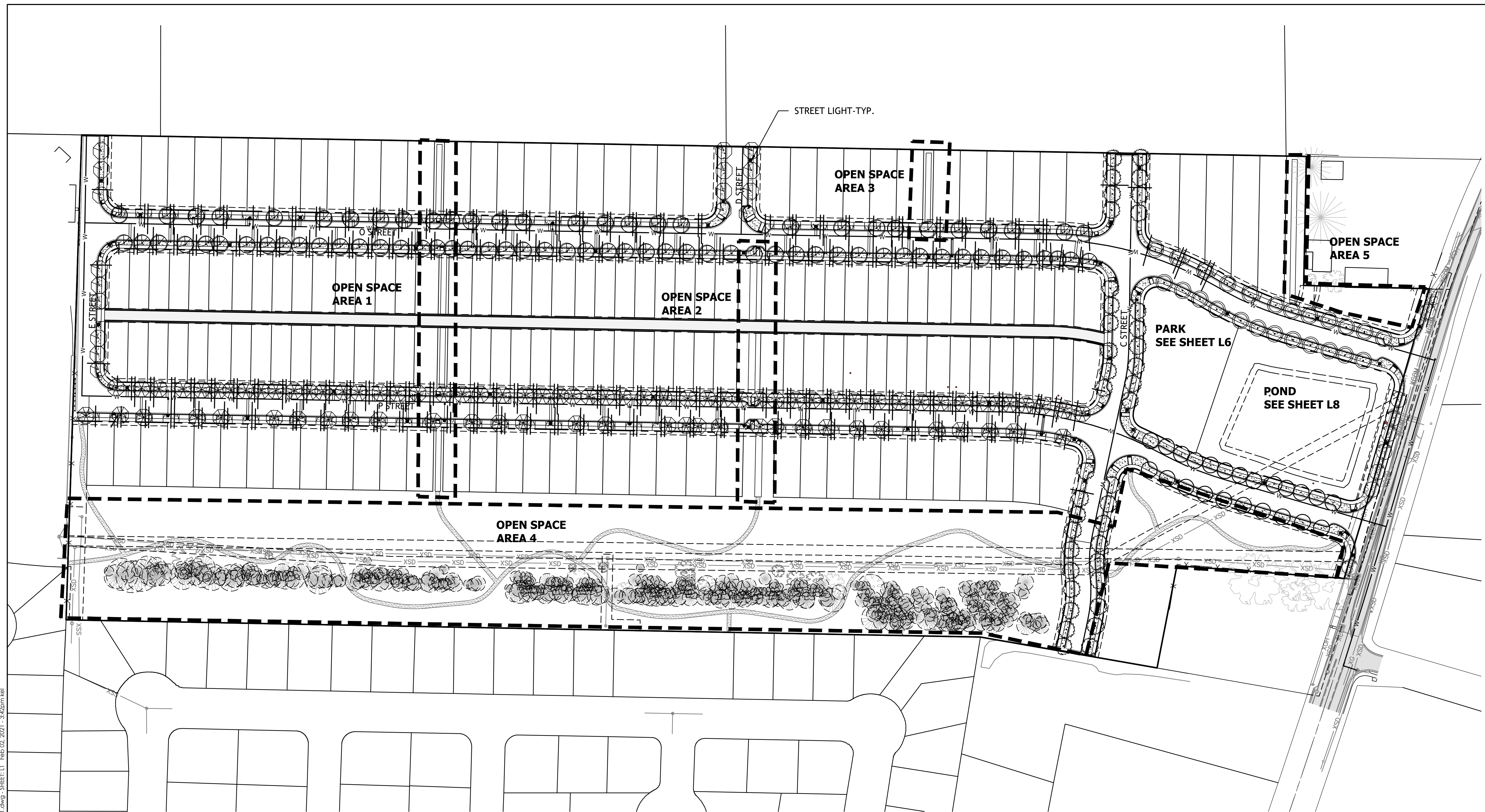
- PRECONSTRUCTION CONFERENCE. THE PROJECT ARBORIST SHALL BE ON SITE TO DISCUSS METHODS OF TREE REMOVAL AND TREE PROTECTION PRIOR TO ANY CONSTRUCTION.
- ROOT PROTECTION ZONE. THE ROOT PROTECTION ZONE IS DEFINED BY A CIRCLE OF PROTECTION EQUAL TO ONE FOOT PER INCH OF TRUNK DIAMETER FOR ON-SITE TREES AND EQUAL TO THE DRIPLINE OF TREE CANOPIES FOR OFF-SITE TREES. WHERE FEASIBLE, TREE PROTECTION FENCING SHALL BE INSTALLED AT THE EDGE OF THE RPZ AS A MINIMUM. IF WORK MUST ENCROACH INTO THE RPZ, PROTECTION FENCING MAY BE OPENED OR ADJUSTED IF THE PROJECT ARBORIST DETERMINES THAT THE TREES WILL NOT BE UNDULY DAMAGED. THE LOCATION OF THE RPZ IS SHOWN ON THE TREE PRESERVATION PLAN.
- PROTECTION FENCING. IN ACCORDANCE WITH THE TREE PRESERVATION PLAN, ALL TREES TO BE RETAINED SHALL BE PROTECTED BY 5-FOOT TALL 2-INCH MESH CHAIN LINK FENCING SECURED TO 1.5-INCH DIAMETER STEEL OR ALUMINUM POSTS PLACED NO FURTHER THAN 8-FEET ON CENTER.
- EROSION CONTROL. WHERE NEEDED, EROSION CONTROL MEASURES SHALL ONLY BE INSTALLED OUTSIDE OF THE RPZ OF PROTECTED TREES.
- ROOT PROTECTION ZONE MAINTENANCE AND PROHIBITIONS. TREE PROTECTION FENCING SHALL NOT BE MOVED, REMOVED OR ENTERED BY EQUIPMENT EXCEPT UNDER DIRECTION OF THE PROJECT ARBORIST. NO SOIL COMPACTION, MATERIALS OR SPOILS STORAGE SHALL BE ALLOWED WITHIN THE RPZ. WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE RPZ OF ANY PROTECTED TREE:
  - GRADE CHANGE OR CUT AND FILL;
  - NEW IMPERVIOUS SURFACES;
  - UTILITY OR DRAINAGE FIELD PLACEMENT; OR
  - VEHICLE MANEUVERING.
 THE RPZ MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING AND SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS. CONSTRUCTION THAT IS NECESSARY WITHIN THE RPZ SHALL BE PERFORMED UNDER ARBORIST SUPERVISION.
- DEBRIS PILE REMOVAL. EXISTING PILES OF EXCESS DIRT AND DEBRIS WITHIN THE RPZ SHALL BE CAREFULLY REMOVED BY HAND AND WITH HAND TOOLS OR WITH A SMALL RUBBER-TRACKED MACHINE OPERATING UNDER ARBORIST SUPERVISION. COORDINATE WITH THE PROJECT ARBORIST PRIOR TO OPENING TREE PROTECTION FENCING TO RESTORE NATIVE GRADE IN THESE AREAS. THE APPROXIMATE LOCATION OF THE DEBRIS PILES IS SHOWN ON THE TREE PRESERVATION PLAN.
- TREE REMOVAL. WITHIN THE RPZ OF TREES TO REMAIN, CLEARLY MARK TREES APPROVED FOR REMOVAL WITH PAINT OR FLAGGING. DIRECTIONALLY FELL OR SURGICALLY REMOVE TREES TO AVOID CONTACT OR OTHERWISE PREVENT DAMAGE TO THE TRUNKS AND BRANCHES OF TREES TO BE RETAINED. NO VEHICLES OR HEAVY EQUIPMENT SHALL BE PERMITTED WITHIN THE RPZ DURING TREE REMOVAL OPERATIONS. TREE REMOVAL SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.
- STUMP REMOVAL. WITHIN THE RPZ OF TREES TO REMAIN, STUMPS OF TREES PLANNED FOR REMOVAL SHALL REMAIN IN THE GROUND WHERE FEASIBLE. OTHERWISE, STUMPS MAY BE REMOVED BY STUMP GRINDING UP TO SIX INCHES BELOW THE GROUND SURFACE OR EXTRACTED FROM THE GROUND UNDER PROJECT ARBORIST SUPERVISION.
- POST-CLEARING TREE ASSESSMENT. ONCE THE TREES APPROVED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS STAKED AND PREPARED FOR CONSTRUCTION, COORDINATE WITH THE PROJECT ARBORIST TO REASSESS THE REMAINING TREES IN TERMS OF EXPOSURE FROM ADJACENT TREE REMOVAL AND SUITABILITY FOR PRESERVATION. IF ADDITIONAL TREES ARE DETERMINED TO BE STRUCTURALLY UNSOUND OR HAZARDOUS, THE ARBORIST SHALL DOCUMENT RECOMMENDATIONS AND ADDITIONAL NON-SIGNIFICANT TREES MAY BE REMOVED IF AUTHORIZED BY CITY STAFF.
- PRUNING. PRUNING MAY BE NEEDED TO PROVIDE CLEARANCE TO AVOID CROWN DAMAGE DURING CONSTRUCTION OR TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST CAN HELP IDENTIFY IF AND WHERE PRUNING IS RECOMMENDED ONCE TREES RECOMMENDED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS STAKED AND PREPARED FOR CONSTRUCTION. PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.
- EXCAVATION. EXCAVATION WITHIN THE RPZ SHALL BE AVOIDED IF ALTERNATIVES ARE AVAILABLE. IF EXCAVATION WITHIN THE RPZ IS UNAVOIDABLE, THE PROJECT ARBORIST SHALL EVALUATE THE PROPOSED EXCAVATION TO DETERMINE METHODS TO MINIMIZE IMPACTS TO TREES. ALL CONSTRUCTION WITHIN THE RPZ SHALL BE UNDER THE ON-SITE TECHNICAL SUPERVISION OF THE PROJECT ARBORIST.
- WOODCHIP PATH. CHAIN LINK TREE PROTECTION FENCING MAY BE OPENED WHERE THE WOOD CHIP PATH IS PROPOSED TO MEANDER THROUGH THE RPZ. COORDINATE WITH THE PROJECT ARBORIST TO FIELD-FIT AND STAKE THE FINAL ALIGNMENT. ONCE THE ALIGNMENT IS DETERMINED, WORK MAY PROCEED WITH A SMALL RUBBER-TRACKED MACHINE USING A FLAT BLADE BUCKET IF TEMPORARY ORANGE PLASTIC MESH FENCING IS FIRST INSTALLED ALONG BOTH SIDES OF THE PROPOSED PATH WITHIN THE RPZ ALLOWING UP TO TWO FEET OF ROOM TO WORK ON EITHER SIDE. IN ORDER TO CREATE A PHYSICAL BARRIER LIMITING THE MACHINES ACTIVITY TO THE PATH ALIGNMENT. IF NO TEMPORARY ORANGE PLASTIC MESH FENCING WILL BE INSTALLED, PATH CONSTRUCTION SHALL PROCEED BY HAND AND WITH HAND TOOLS AND WHEEL BARROWS ONLY. EITHER WAY, CAREFULLY REMOVE THE UPPERMOST ORGANIC MATTER ALONG THE PATH ALIGNMENT (NO EXCAVATION). THE EXCESS MATERIAL SHALL BE HAULED OUTSIDE OF THE RPZ. ONCE THE PATH IS CLEARED, PLACE A LAYER OF PERMEABLE GEOTEXTILE FABRIC ON THE GROUND SURFACE AND TOP THE FABRIC WITH 4-INCHES OF WOOD CHIPS, BUILDING UP FROM NATIVE GRADE.
- LANDSCAPING. FOLLOWING CONSTRUCTION AND PRIOR TO LANDSCAPING, THE PROTECTION FENCING MAY BE REMOVED. IVY SHOULD BE REMOVED FROM TREE TRUNKS BY HAND AND WITH HAND TOOLS ONLY. WHERE LANDSCAPING IS DESIRED, APPLY APPROXIMATELY 3-INCHES OF MULCH BENEATH THE DRIPLINE OF PROTECTED TREES, BUT NOT DIRECTLY AGAINST TREE TRUNKS. SHRUBS AND GROUND COVER PLANTS MAY BE PLANTED WITHIN TREE PROTECTION AREAS BY HAND AND FIELD-FITTED TO AVOID TREE ROOT IMPACTS. IF IRRIGATION IS USED, USE DRIP IRRIGATION ONLY BENEATH THE DRIPLINES OF PROTECTED TREES; INSTALL DRIP IRRIGATION LINES ON THE GROUND SURFACE AND COVER WITH MULCH (NO TRENCHING TO INSTALL IRRIGATION LINES BENEATH PROTECTED TREE DRIPLINES).

GENERAL NOTES:

- REFER TO "ATTACHMENT A: EXISTING TREE INVENTORY DATA" PREPARED BY MORGAN HOLEN & ASSOCIATES FOR ROOT PROTECTION ZONE DIMENSIONS.
- SEE SHEET 2 FOR EXISTING CONDITIONS AND TAX MAP INFORMATION.
- SEE SHEET 7 FOR THE PROPOSED GRADING PLAN AND RETAINING WALL LOCATIONS.
- SEE SHEETS 8-10 FOR THE PRELIMINARY UTILITY PLAN.
- SEE SHEETS L1 -L8 FOR LANDSCAPE PLAN.



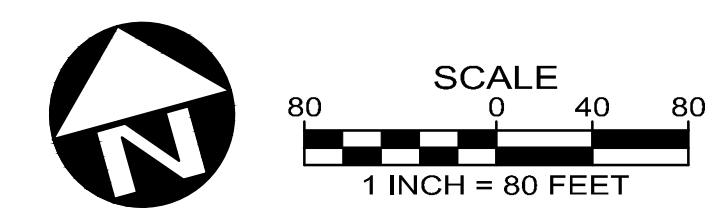
**PROJECT ARBORIST:**  
MORGAN HOLEN & ASSOCIATES, LLC.  
MORGAN HOLEN, CONSULTING ARBORIST  
[P] 971-409-9354  
[E] MORGAN@MHOLEN.COM



**1 STREET TREE - PLANTING & OPEN SPACE LOCATION PLAN**

**STREET TREE LEGEND**

SYMBOL	QTY	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION	MATURE HEIGHT
<b>SMALL TREES</b>			
	64	GERLING RED MAPLE / ACER RUBRUM 'GERLING': 2" CAL., B&B	35' HT
	64	TILFORD RED MAPLE / ACER RUBRUM 'TILFORD': 2" CAL., B&B	35' HT
	24	KWANZAN CHERRY / PRUNUS SERRULATA 'KWANZAN': 2" CAL., B&B	30' HT
	39	GOLDENRAIN TREE / KOELREUTERIA PANICULATA: 2" CAL., B&B	30' HT
	23	CHANTICLEER PEAR / PYRUSN CALLERYANA 'GLEN'S FORM': 2" CAL., B&B	40' HT
	17	HEDGE MAPLE / ACER CAMPESTRE: 2" CAL., B&B	30' HT
<b>LARGE TREES</b>			
	9	RIVERS PURPLE BEECH / FAGUS SYLVATICA 'RIVERSII': 2" CAL., B&B	50' HT
	42,454 SF	LAWN- SEED WITH GRASS SEED: SUPREME MIX PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.	



DOVE LANDING  
PUD

STREET TREE  
PLANTING  
& OPEN SPACE  
LOCATION  
PLAN



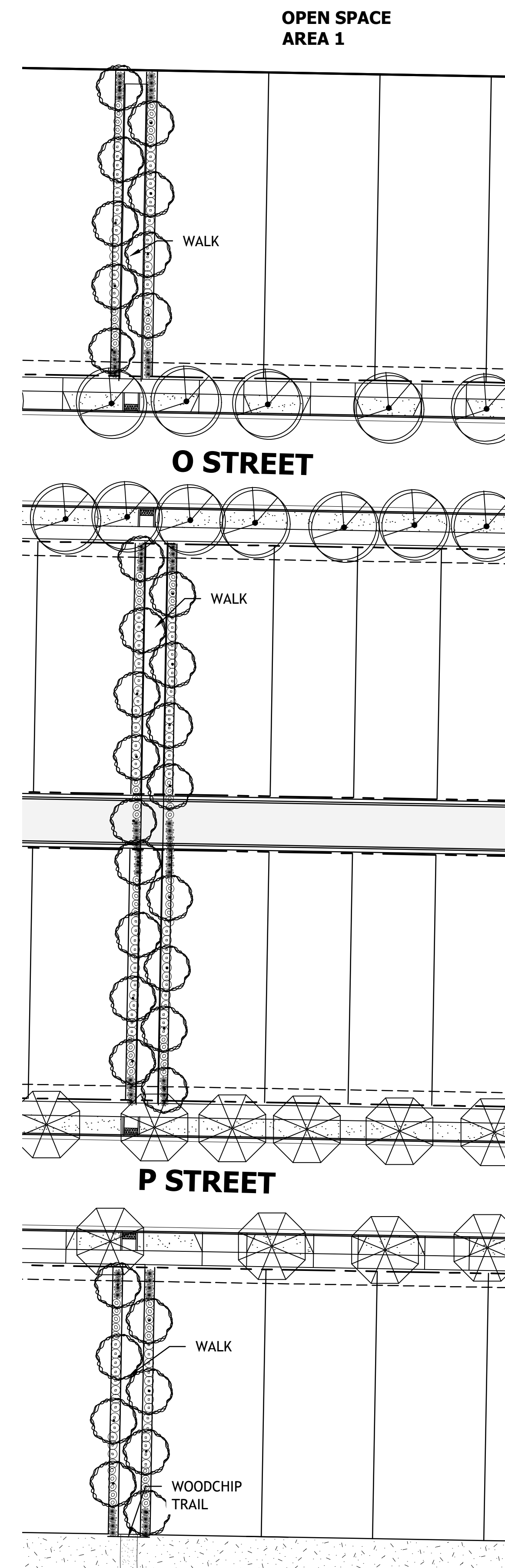
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Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE

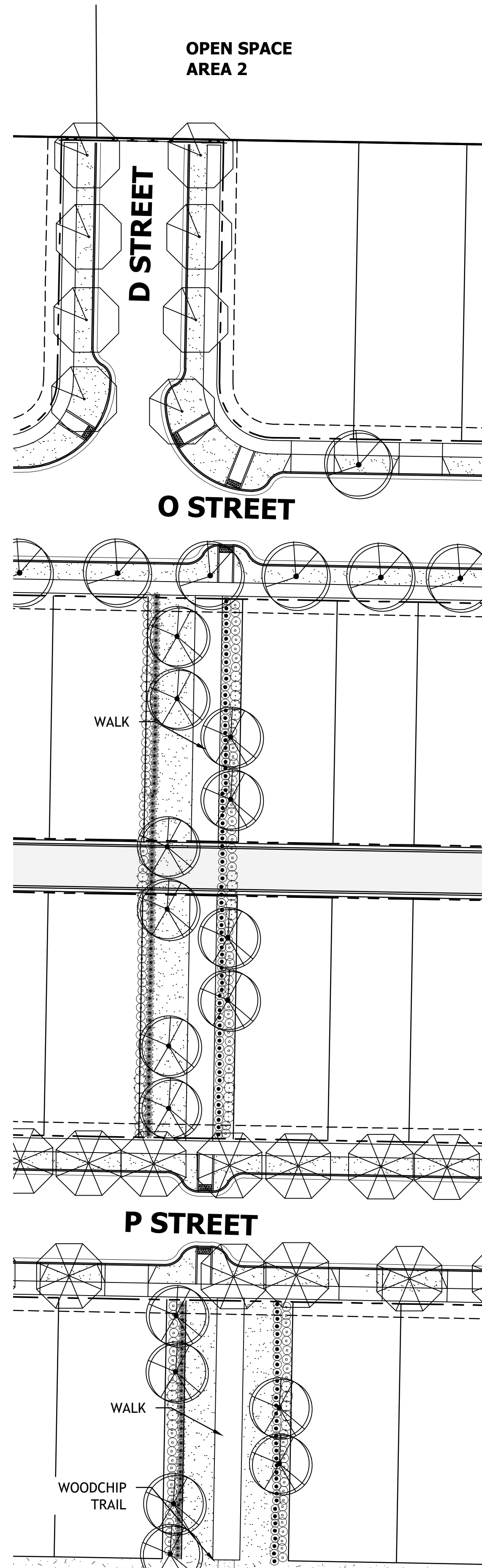
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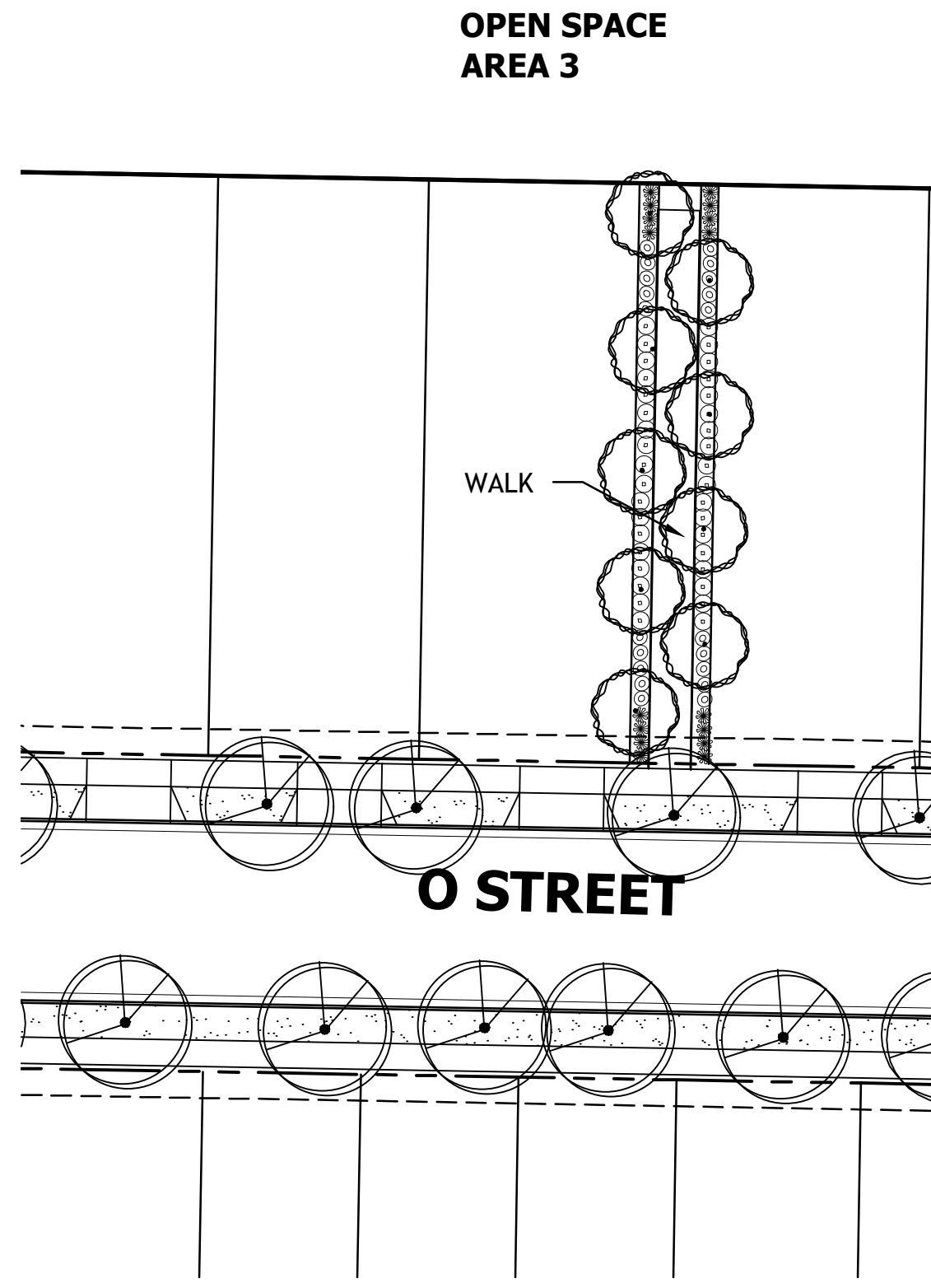
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**1 OPEN SPACE PLANTING PLAN- AREA 1**



**2 OPEN SPACE PLANTING PLAN- AREA 2**



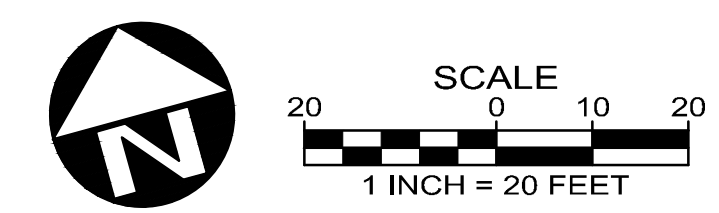
**3 OPEN SPACE PLANTING PLAN- AREA 3**

**GENERAL NOTES: OPEN SPACE PLAN**

1. THE CONTRACTOR SHALL VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO ODR.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN A BARK MULCH BED, UNLESS NOTED OTHERWISE.
5. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
7. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEIOUS MATERIAL OR DEBRIS.
8. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT TAG AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
9. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
10. WITH THE EXCEPTION OF THOSE TREES INDICATED ON THE TREE REMOVAL PLAN, CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ODR. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE ODR.
11. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY ODR TO ADJUST TREE LOCATIONS.
12. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE ODR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
13. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
14. BACK FILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO ONE PART TOPSOIL BY VOLUME, BONE MEAL PER MANUFACTURE'S RECOMMENDATION, AND SLOW RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATION.
15. GROUND COVERS AND PERENNIALS SHALL BE PLANTED WITH A MAXIMUM 2 INCH COVER OF BARK MULCH WITH NO FOLIAGE COVERED.
16. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
17. ALL PLANT MATERIALS SHALL BE NURSERY GROWN WITH HEALTHY ROOT SYSTEMS AND FULL BRANCHING, DISEASE AND INSECT FREE AND WITHOUT DEFECTS SUCH AS SUN SCALD, ABRASIONS, INJURIES AND DISFIGUREMENT.
18. ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE AND QUANTITY SPECIFIED. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SUB-STANDARD RESULTS CAUSED BY REDUCTION IN SIZE AND/OR QUANTITY OF PLANT MATERIALS.
19. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

**AREAS 1,2 AND 3 OPEN SPACE PLANTING LEGEND:**

TREES		
SYMBOL	COMMON NAME / BOTANICAL NAME:	SIZE & DESCRIPTION
	EDDIE'S WHITE WONDER DOGWOOD / CORNUS 'EDDIE'S WHITE WONDER'	2" CAL., B&B
	PAPERBARK MAPLE / ACER GRISEUM	2" CAL., B&B
SHRUBS		
SYMBOL	COMMON NAME / BOTANICAL NAME:	SIZE & DESCRIPTION
	COMPACT HEAVENLY BAMBOO / NANDINA DOMESTICA 'GULF STREAM'	2 GAL.
	NORTHERN LIGHTS HAIR GRASS / DESCHAMPSIA CESPITOSA 'NORTHER LIGHTS'	1 GAL.
	KELSEY'S DWARF RED-OSIER DOGWOOD / CORNUS SERICEA 'KELSY'	2 GAL.
	MAY NIGHT SAGE / SALVIA SYLVESTRIS 'MAY NIGHT'	1 GAL., 18"-O.C.
	DWARF FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES 'HAMELN'	2 GAL., 24" O.C.



[T] 503-941-9484 [F] 503-941-9485

DATE: 1/15/2021

REVISIONS		
NO.	DATE	DESCRIPTION

DOVE LANDING  
PUD

OPEN SPACE  
PLANTING  
PLAN



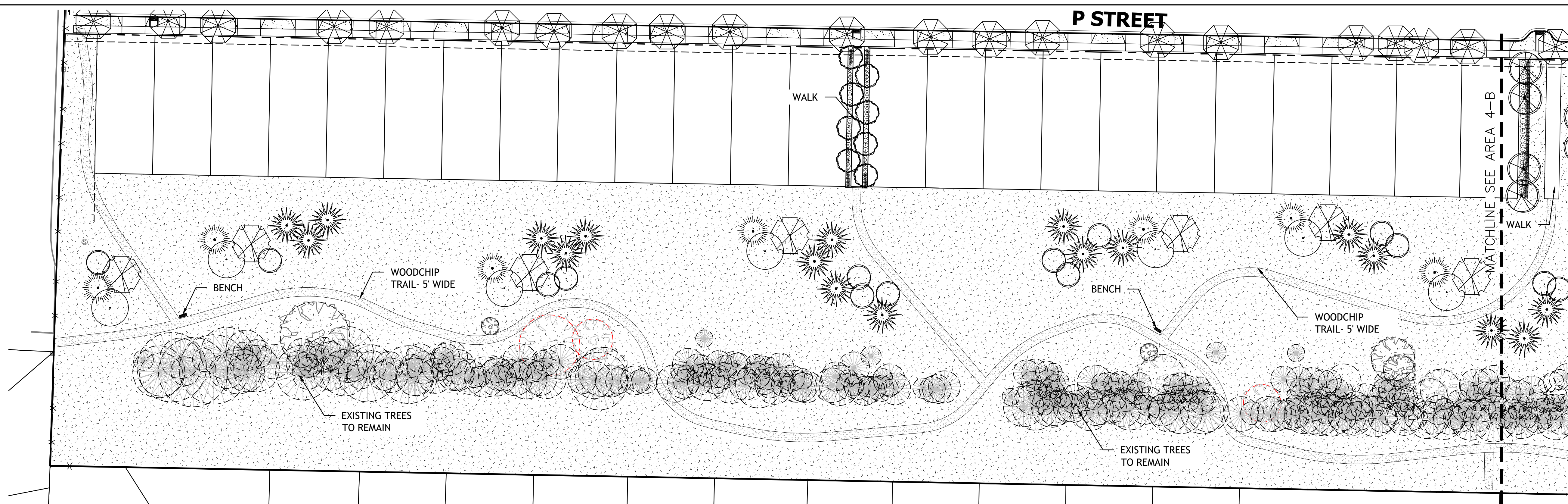
12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE

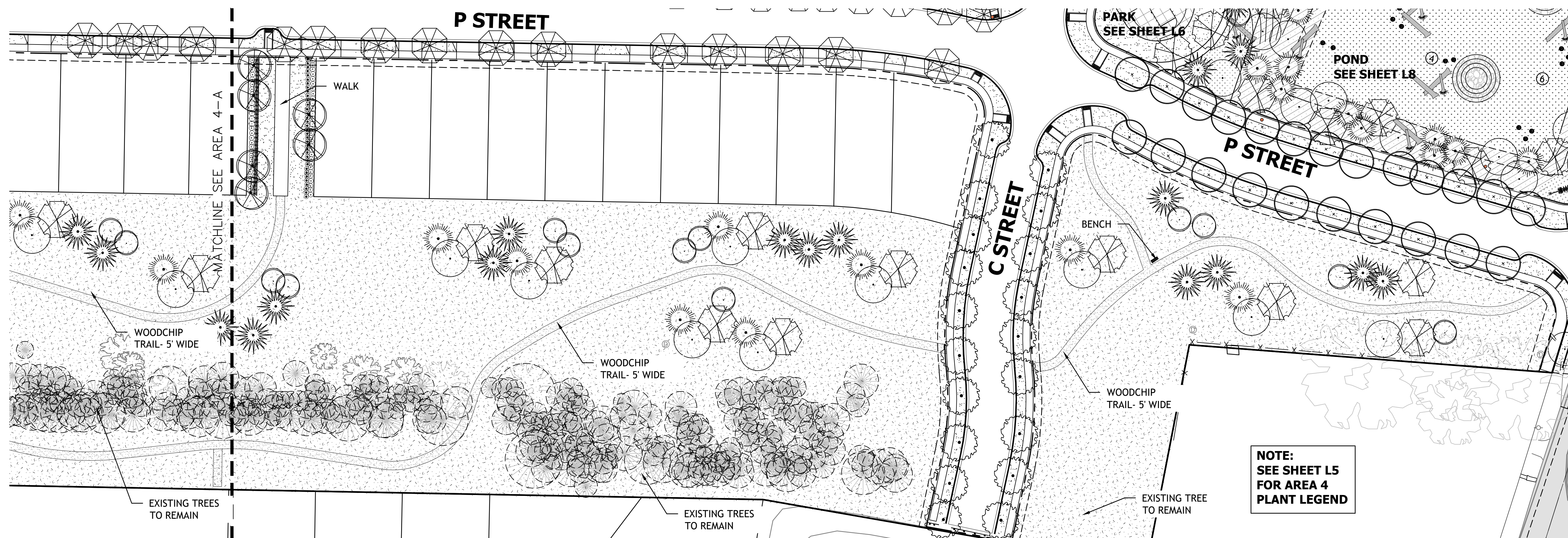
**L3**

REVISIONS

NO.	DATE	DESCRIPTION
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1 OPEN SPACE PLANTING PLAN- AREA 4- A



2 OPEN SPACE PLANTING PLAN- AREA 4- B

DOVE LANDING  
PUD

OPEN SPACE  
PLANTING  
PLAN

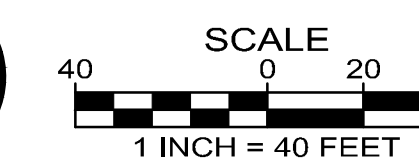


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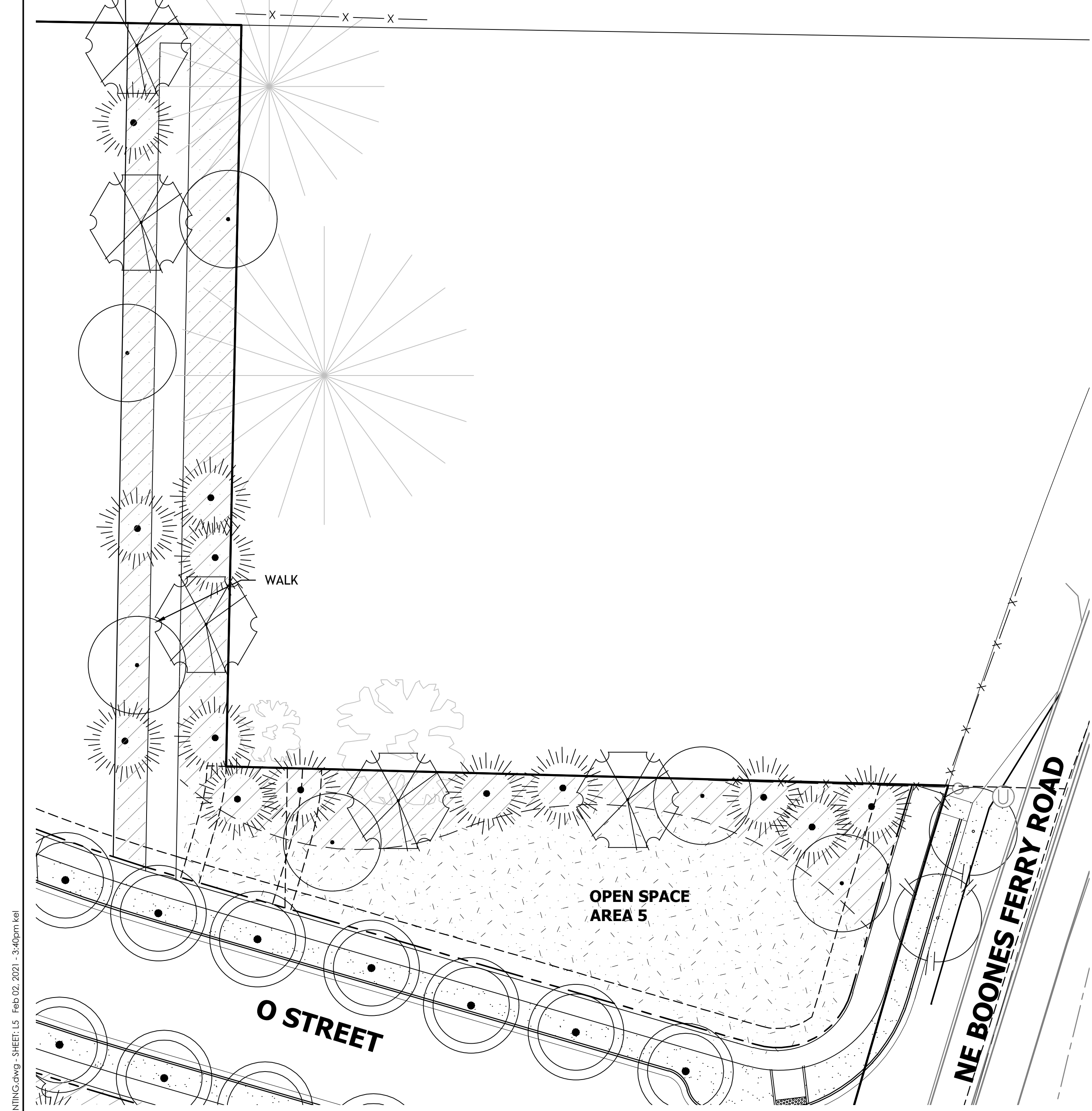
PROJECT NO.: 142-001

TYPE: PLANNING

REVIEWED BY: PRE



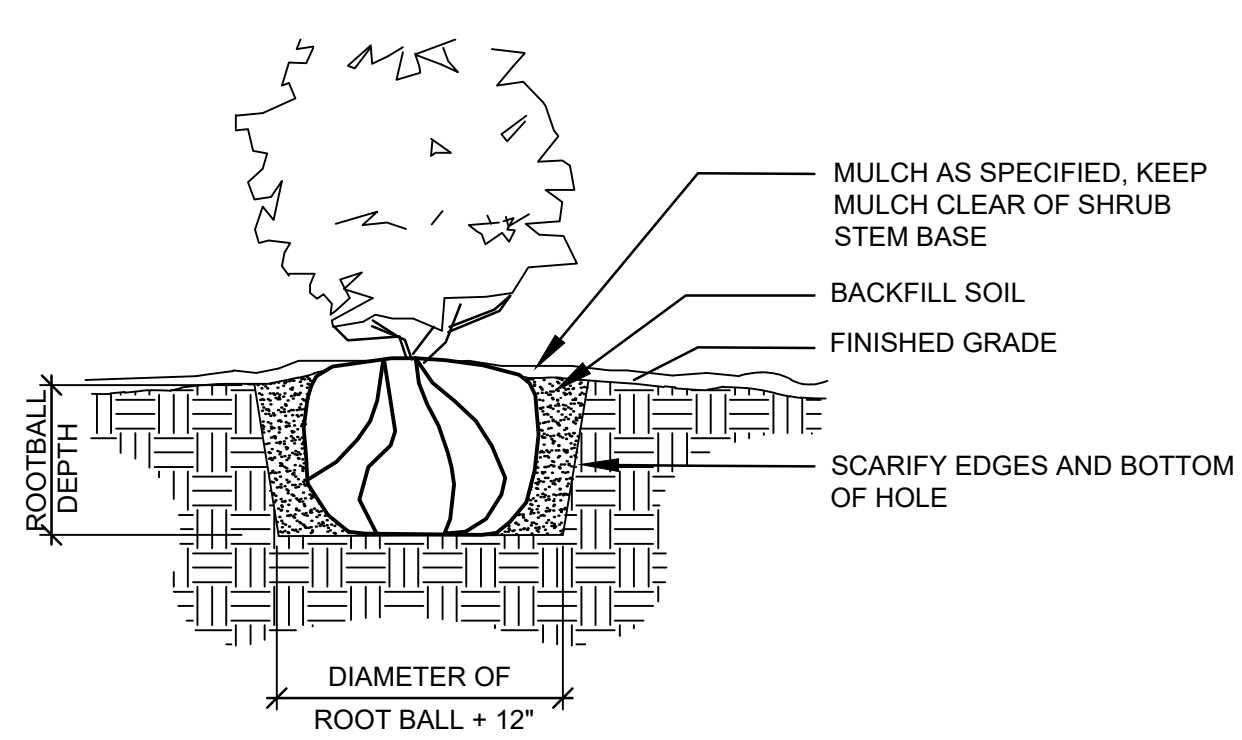
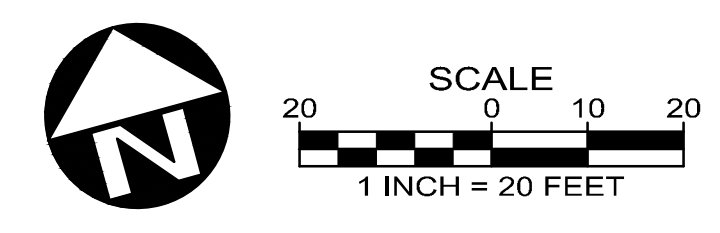
L4



**AREAS 4 AND 5 OPEN SPACE PLANTING LEGEND:**

<b>SHADE TREES - 2" CAL. / SPACING VARIES</b>	
	RED SUNSET MAPLE / ACER RUBRUM 'FRANKSRED' EMERALD VASE LACEBARK ELM / ULMUS PARVIFOLIA 'EMERALD VASE' ENGLISH OAK / QUERCUS ROBUR WHITE OAK / QUERCUS ALBA RED OAK / QUERCUS RUBRA AMERICAN HOPHORNBEAM / OSTRYA VIRGINIANA BLOODGOOD LONDON PLANETREE - PLATANUS ACERIFOLIA 'BLOODGOOD'
<b>SMALL ORNAMENTAL TREES- 2" CAL. SPACING VARIES</b>	
	CHINESE REDBUD / CERCIS CHINENSIS CAPITAL SELECT FLOWERING PEAR / PYRUS CALLERYANA 'CAPITAL' CHINESE KOUSA DOGWOOD / CORNUS KOUSA 'CHINENSIS' JAPANESE MAPLE / ACER PALMATUM YOSHINO FLOWERING CHERRY / PRUNUS X YEDOENSIS VINE MAPLE / ACER CIRCINATUM
<b>EVERGREEN TREES - 6' HGT.</b>	
	DOUGLAS FIR / PSEUDOTSUGA MENZIESII: WESTERN WHITE PINE / PINUS MONTICOLA: WESTERN RED CEDAR / THUJA PLICATA LEYLAND CYPRESS / CUPRESSOCYPARIS LEYLANDII PYRAMIDAL ATLAS CEDAR / CEDRUS ATLANTICA 'FASTIGIATA' INCENSE CEDAR / CALOEDRUS DECURRENS COLUMNAR EASTERN WHITE PINE / PINUS STROBUS FASTIGIATA
<b>GRASSES, GROUNDCOVERS AND SHRUBS- 2 GAL.</b>	
	DWARF FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES 'HAMLEN' BLUE OAT GRASS / HELICTOTRICHON SEMPERVIRENS PURPLE FOUNTAIN GRASS / PENNISETUM SETACEUM 'RUBRUM' "MASSACHUSETTS KINNIKINICK" / ARCTOSTAPHYLOS UVA-URSI 'MASS.' BEARBERRY COTONEASTER / COTONEASTER DAMMERI SCARLET MEIDLAND ROSE / ROSA MEIDLAND 'MEIKROTAL'
DAVID VIBURNUM / VIBURNUM DAVIDII ISANTI REDOSER DOGWOOD / CORNUS SERICEA 'ISANTI' ANTHONY WATERER SPIREA / SPIREA BUMALDA 'ANTHONY WATERER' COMPACT JAPANESE HOLLY / ILEX CRENATA 'COMPACTA' 'CRIMSON PYGMY' BARBERRY / BERBERIS THUNBERGII 'CRIMSON PYGMY' AZALEA / VARIES RED FLOWERING CURRENT / RIBES SANGUINEUM OREGON GRAPE / MAHONIA NERVOSA PACIFIC NINEBARK / PHYSOCARPUS CAPITATUS SNOWBERRY / SYMPHOROCARPUS ALBA RED TWIG DOGWOOD / CORNUS SERICEA SHINY LEAF SPIRAEA / SPIRAEA BETULIFOLIA SALAL / GAULTHERIA SHALLON INDIAN HAWTHORNE / RHAPHIOLEPIS UMBELLATA "MINOR" OTTO LUYKEN LAUREL / PRUNUS LAUROCERASUS "OTTO LUYKEN"	
<b>LAWN</b>	
	FINE LAWN, SEED
<b>LOW GROW NATIVE SEED MIX</b>	
	LOW GROW MEADOW MIX SUNMARK SEEDS / NATIVE RIPARIAN MIX: 1-LB PER 1,000 S.F. - OR APPROVED EQUAL SUNMARK SEEDS / NATIVE POLLINATOR SEED MIX: 1-LB PER 1,000 S.F.

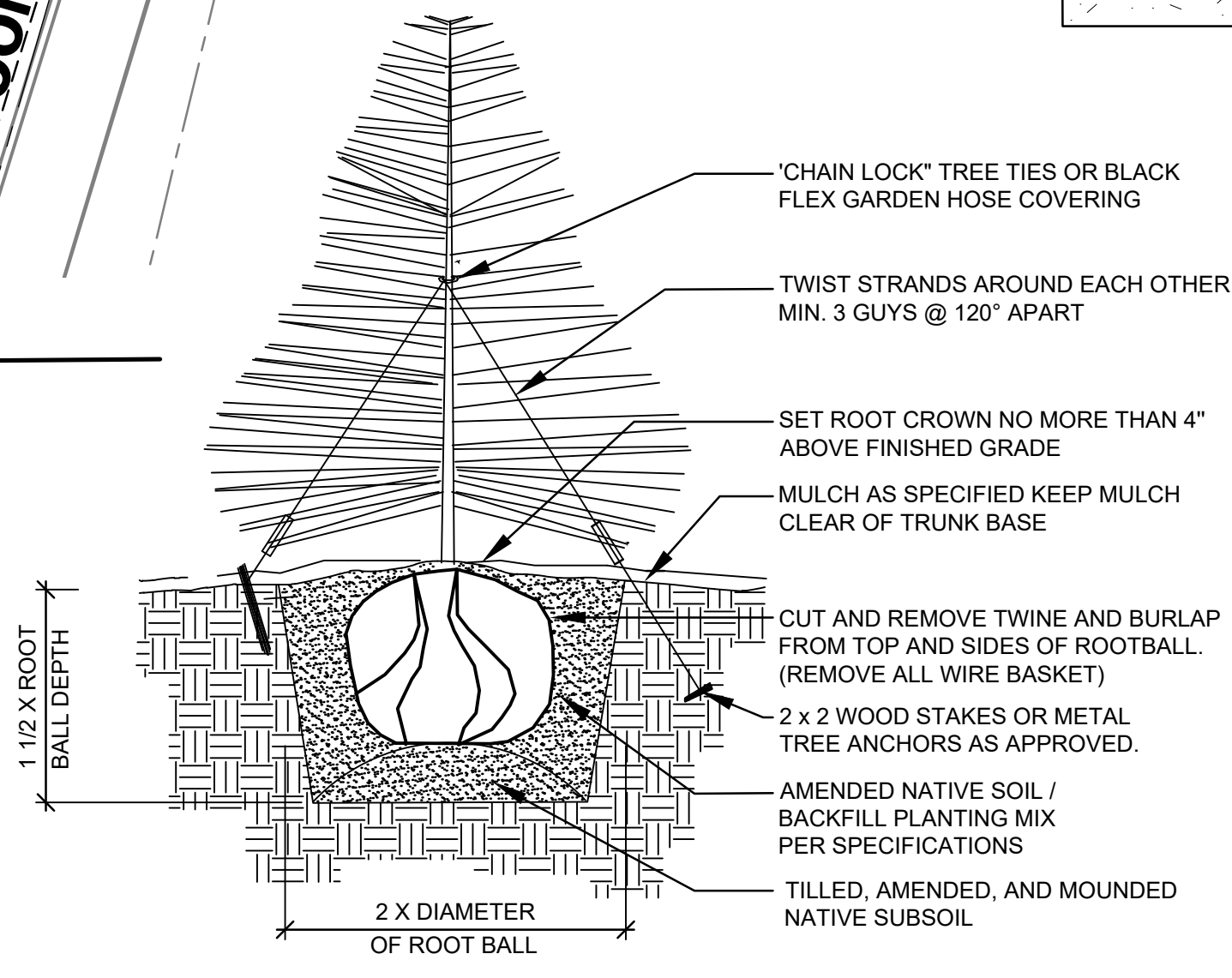
**1 OPEN SPACE PLANTING PLAN- AREA 5**



**SHRUB PLANTING DETAIL**

SCALE: N.T.S

1  
L5

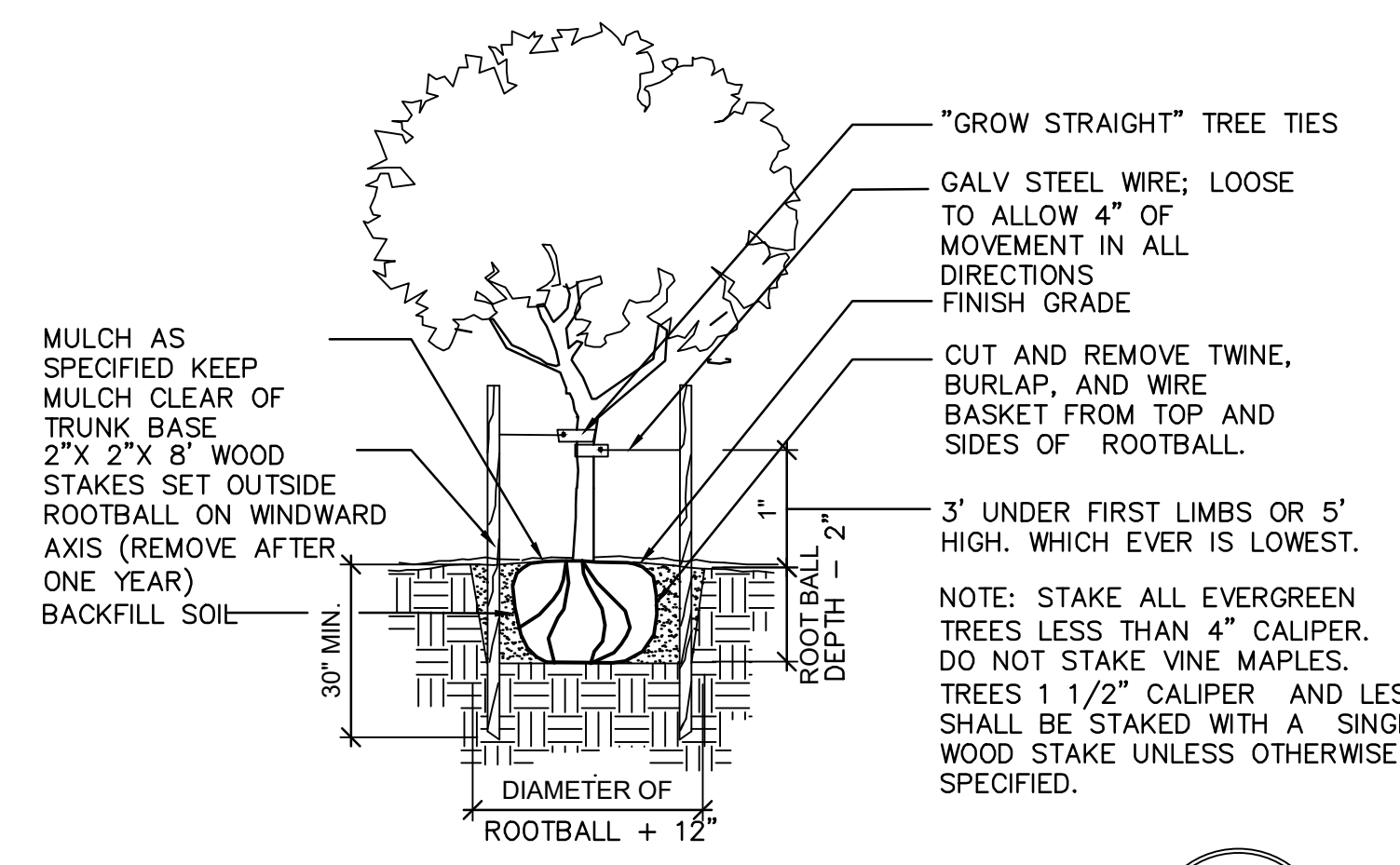


1. TIE BRUSHED OR BRIGHTLY COLORED P.V.C. RIBBON ON WIRE GUYS. (MIN. 1 PER GUY.)
2. IN LAWN AREAS CUT TREE CIRCLE AT 12' RADIUS FROM TRUNK.

**CONIFER TREE GUYING DETAIL**

SCALE: N.T.S

2  
L5



**TREE STAKING DETAIL**

SCALE: N.T.S

3  
L5

REVISIONS		
NO.	DATE	DESCRIPTION

**DOVE LANDING PUD**

**OPEN SPACE PLANTING PLAN**

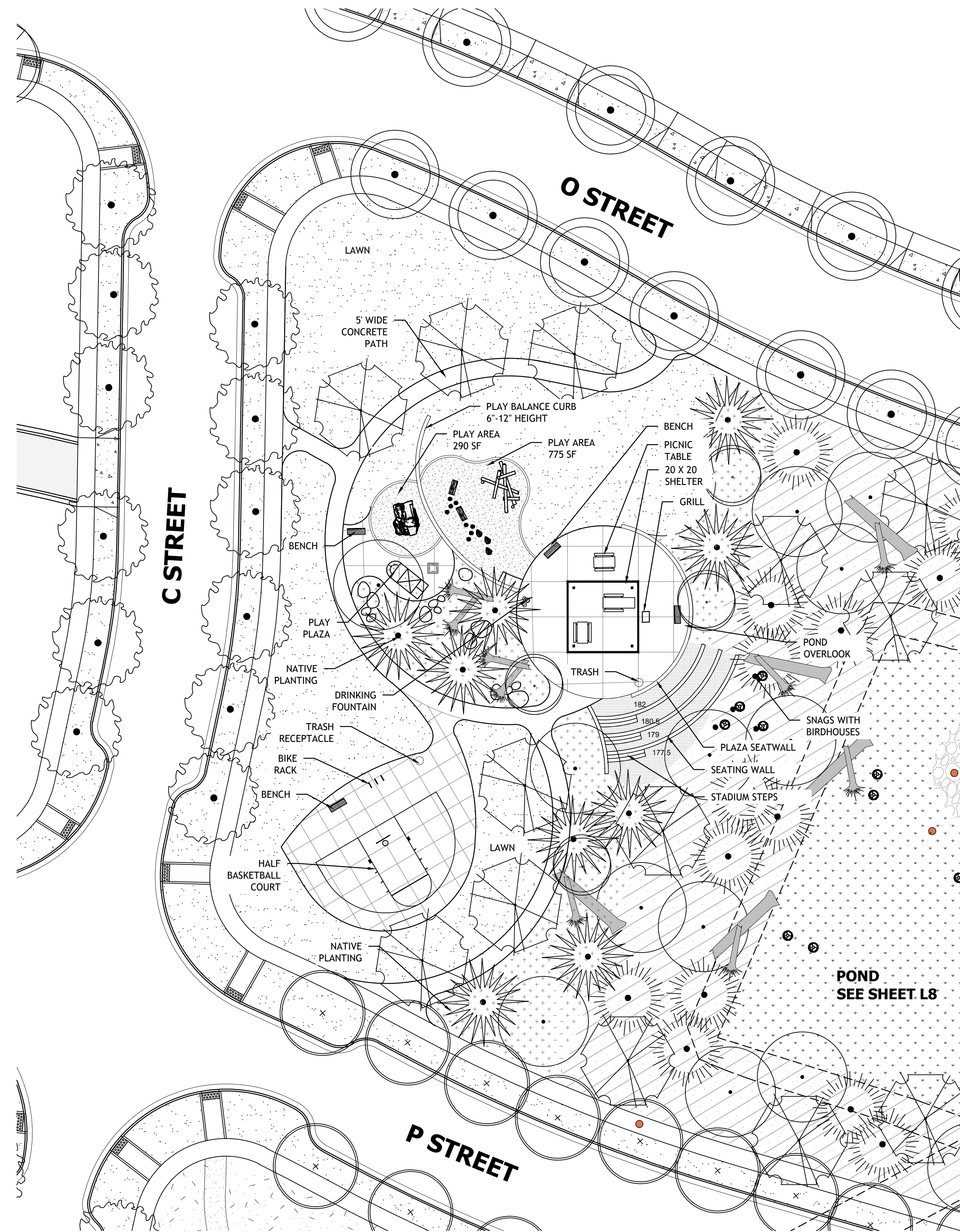


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PROJECT NO.:	142-001
TYPE:	PLANNING
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**L5**

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**PARK PLANT LEGEND:**

**SHADE TREES - 2" CAL. / SPACING VARIES**

- RED SUNSET MAPLE / ACER RUBRUM 'FRANKSRED'
- EMERALD VASE LACEBARK ELM / ULMUS PARVIFOLIA 'EMERALD VASE'
- ENGLISH OAK / QUERCUS ROBUR
- WHITE OAK / QUERCUS ALBA
- RED OAK / QUERCUS RUBRA
- AMERICAN HOPHORNBEAM / OSTRYA VIRGINIANA
- BLOODGOOD LONDON PLANETREE - PLATANUS ACERIFOLIA 'BLOODGOOD'

**SMALL ORNAMENTAL TREES- 2" CAL. SPACING VARIES**

- CHINESE REDBUD / CERCIIS CHINENSIS
- CAPITAL SELECT FLOWERING PEAR / PYRUS CALLERYANA 'CAPITAL'
- CHINESE KOUSA DOGWOOD / CORNUS KOUSA 'CHINENSIS'
- JAPANESE MAPLE / ACER PALMATUM
- YOSHINO FLOWERING CHERRY / PRUNUS X YEDOENSIS
- VINE MAPLE / ACER CIRCINATUM

**EVERGREEN TREES - 6' HGT.**

- DOUGLAS FIR / PSEUDOTSUGA MENZIESII:
- WESTERN WHITE PINE / PINUS MONTICOLA:
- WESTERN RED CEDAR / THUJA PLICATA
- LEYLAND CYPRESS / CUPRESSOCYPARIS LEYLANDII
- PYRAMIDAL ATLAS CEDAR / CEDRUS ATLANTICA 'FASTIGIATA'
- INCENSE CEDAR / CALOEDRUS DECURRENS
- COLUMNAR EASTERN WHITE PINE / PINUS STROBUS FASTIGIATA

**ORNAMENTAL GRASSES AND GROUNDCOVERS - 2 GAL.**

- DWARF FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES 'HAMLEN'
- BLUE OAT GRASS / HELICTOTRICHON SEMPERVIRENS
- PURPLE FOUNTAIN GRASS / PENNISETUM SETACEUM 'RUBRUM'
- "MASSACHUSETTS KINNIKINICK" / ARCTOSTAPHYLOS LIVA-URSI 'MASS.'
- BEARBERRY COTONEASTER / COTONEASTER DAMMERI
- SCARLET MEIDLAND ROSE / ROSA MEIDLAND 'MEIKROTAL'

**SHRUBS - 2 GAL.**

- DAVID VIBURNUM / VIBURNUM DAVIDII
- ISANTI REDOSER DOGWOOD / CORNUS SERICEA 'ISANTI'
- ANTHONY WATERER SPIREA / SPIREA BUMALDA 'ANTHONY WATERER'
- COMPACT JAPANESE HOLLY / ILEX CRENATA 'COMPACTA'
- 'CRIMSON PYGMY' BARBERRY / BERBERIS THUNBERGII 'CRIMSON PYGMY'
- AZALEA / VARIES
- RED FLOWERING CURRENT / RIBES SANGUINEUM
- OREGON GRAPE / MAHONIA NERVOSA
- PACIFIC NINEBARK / PHYSOCARPUS CAPITATUS
- SNOWBERRY / SYMPHOROCARPUS ALBA
- RED TWIG DOGWOOD / CORNUS SERICEA
- SHINY LEAF SPIRAEA / SPIRAEA BETULIFOLIA
- SALAL / GAULTHERIA SHALLON
- INDIAN HAWTHORNE / RHAPHIOLEPIS UMBELLATA 'MINOR'
- OTTO LUYKEN LAUREL / PRUNUS LAUROCERASUS 'OTTO LUYKEN'

**LAWN**

- FINE LAWN, SEED

**1 PARK PLANTING PLAN**

**REVISIONS**

NO.	DATE	DESCRIPTION
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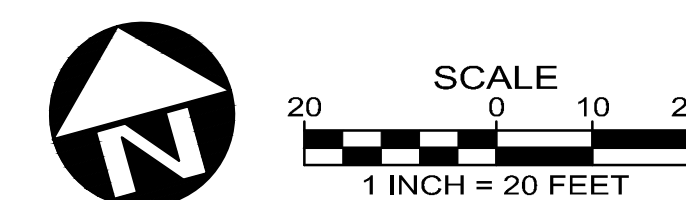
**DOVE LANDING PUD**

**PARK PLANTING PLAN**



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TYPE:	PLANNING
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**L6**

REVISIONS		
NO.	DATE	DESCRIPTION

DOVE LANDING  
PUD

PARK  
DETAILS



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PROJECT NO.:	142-001
TYPE:	PLANNING
REVIEWED BY:	PRE

**L7**



**BENCH**  
SCALE: N.T.S

1  
L7



**BIKE RACK**  
SCALE: N.T.S

2  
L7



**TRASH RECEPTACLE**  
SCALE: N.T.S

3  
L7



**PICNIC TABLE**  
SCALE: N.T.S

4  
L7



SQR 20

**20' X 20' SHELTER**  
SCALE: N.T.S

5  
L7



**DRINKING FOUNTAIN**  
SCALE: N.T.S

6  
L8

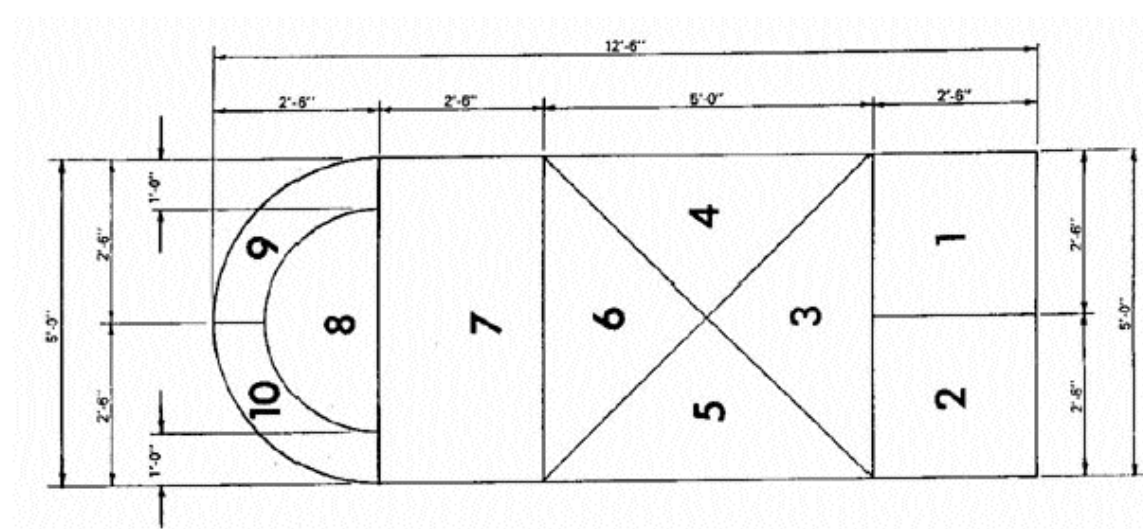


**GRILL**  
SCALE: N.T.S

7  
L9



**BALL TOSS**



**HOPSCOTCH**



**LADY BUG STEPPERS**



**PLAY BOULDER**

**PLAY EQUIPMENT**  
SCALE: N.T.S

8  
L7



**LOG CRAWL**



**LOG STEPPERS**



**CLIMBING LOGS**

REVISIONS

NO.	DATE	DESCRIPTION
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DOVE LANDING  
PUD

POND  
PLANTING  
PLAN



12564 SW Main Street  
Tigard, OR 97223  
[T] 503-941-9484

PROJECT NO.:	142-001
TYPE:	PLANNING
REVIEWED BY:	PRE

LEGEND

- 1 STORM WATER POND
- 2 ENTRY MONUMENT
- 3 VERTICAL SNAGS AT VARYING HEIGHTS (3'-9' HIGH)
- 4 DOWN WOODY DEBRIS AND ROOT WADS
- 5 NATIVE PLANTING
- 6 VERTICAL SNAGS WITH BIRD & BAT HOUSES
- 7 POND BOTTOM GRASS PLANTING
- 8 ROCK MOUNDS (3'-4' HIGH)

POND PLANTING LEGEND

TREES

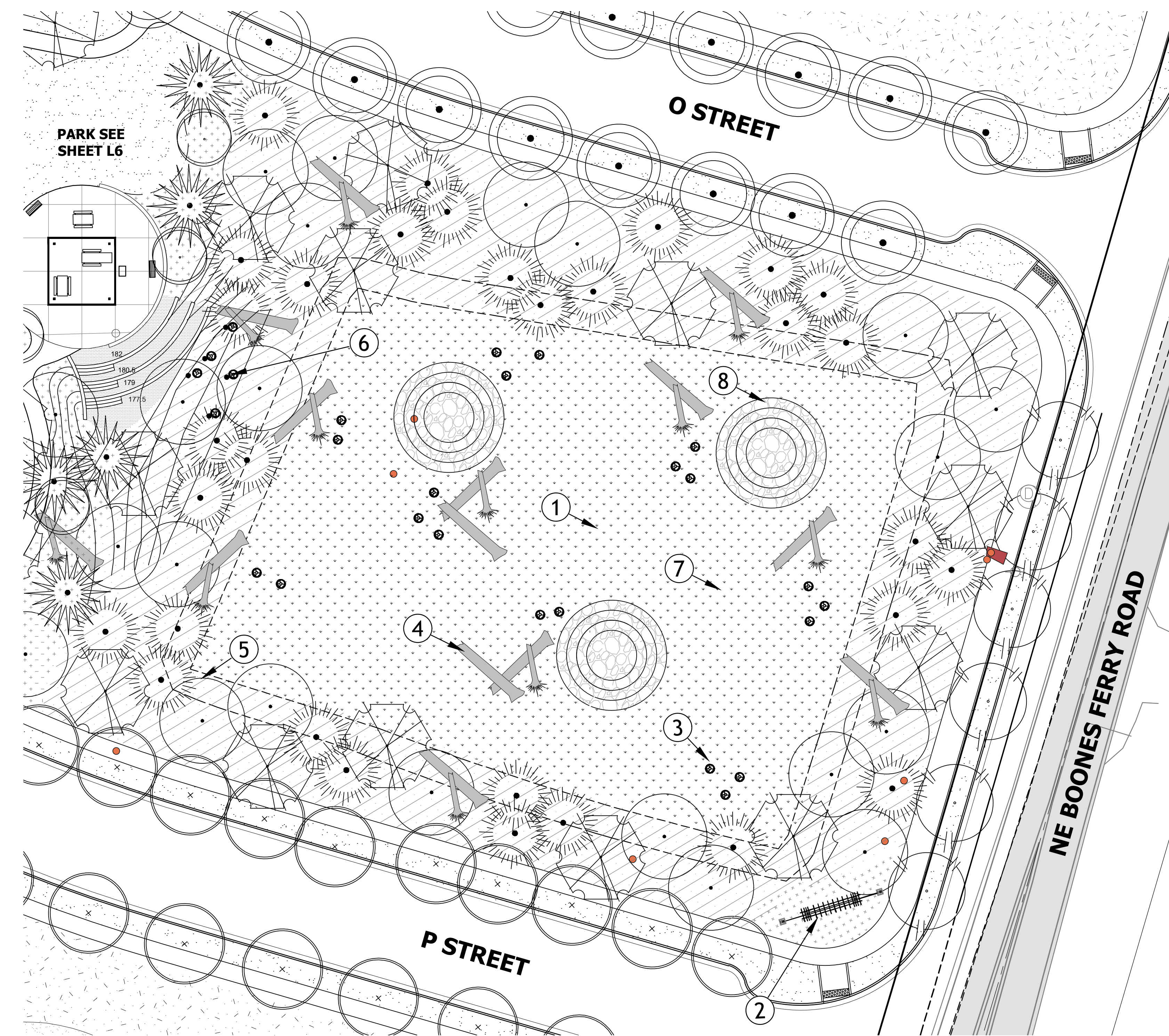
SYMBOL	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION
	MALUS FUSCA / OREGON CRABAPPLE: 3 GAL. / 4' HT.
	BIGLEAF MAPLE / ACER MACROPHYLLUM: 3 GAL. / 4' HT.
	OREGON ASH / FRAXINUS LATIFOLIA: 3 GAL. / 4' HT.
	RED ALDER / ALNUS RUBRA: 2" CALIPER, B&B
	BLACK HAWTHORNE / CRATAEGUS DOUGLASII: 3 GAL. / 4' HT.
	WESTERN RED CEDAR / THUJA PLICATA: 3 GAL. / 4' HT.
	WESTERN WHITE PINE / PINUS MONTICOLA: 3 GAL. / 4' HT.
	ALASKAN YELLOW CEDAR / CUPRESSUS NOOTKATENSIS: 8' HT.

SHRUBS

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION
		REDTWIG DOGWOOD / CORNUS STOLONIFERA: #2 CONTAINER
		SNOWBERRY / SYMPHORICARPUS ALBUS: #2 CONTAINER
		COSTAL WILLOW / SALIX CAROLINIANA: #2 CONTAINER
		PACIFIC WILLOW / SALIX LSIANDRA: #2 CONTAINER
		DOUGLAS SPIREA / SPIREA DOUGLASII: #2 CONTAINER
		MOCK-ORANGE / PHILADELPHUS LEWISII: #2 CONTAINER
		CLUSTERED ROSE / ROSA PISOCARPA: #2 CONTAINER
		ISANTI REDOSER DOGWOOD / CORNUS SERICEA 'ISANTI': #2 CONTAINER
		SITKA WILLOW / SALIX SITCHENSIS: #2 CONTAINER
		PACIFIC NINEBARK / PYSOCARPUS CAPITATUS: #2 CONTAINER

POND NATIVE GRASS MIX

SYMBOL	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION
	SUNMARK SEEDS / NATIVE SWALE MIX: 1-LB PER 1,000 S.F.
	SUNMARK SEEDS / SHRUB SWAMP MIX: 1-LB PER 1,000 S.F. OR APPROVED EQUAL



1 POND PLANTING PLAN



8 ROCK MOUND



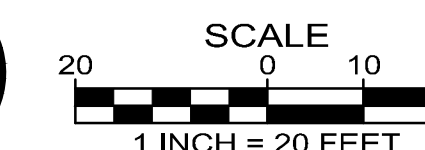
3 SNAGS



6 BIRD AND BAT HOUSES ON SELECTED SNAGS

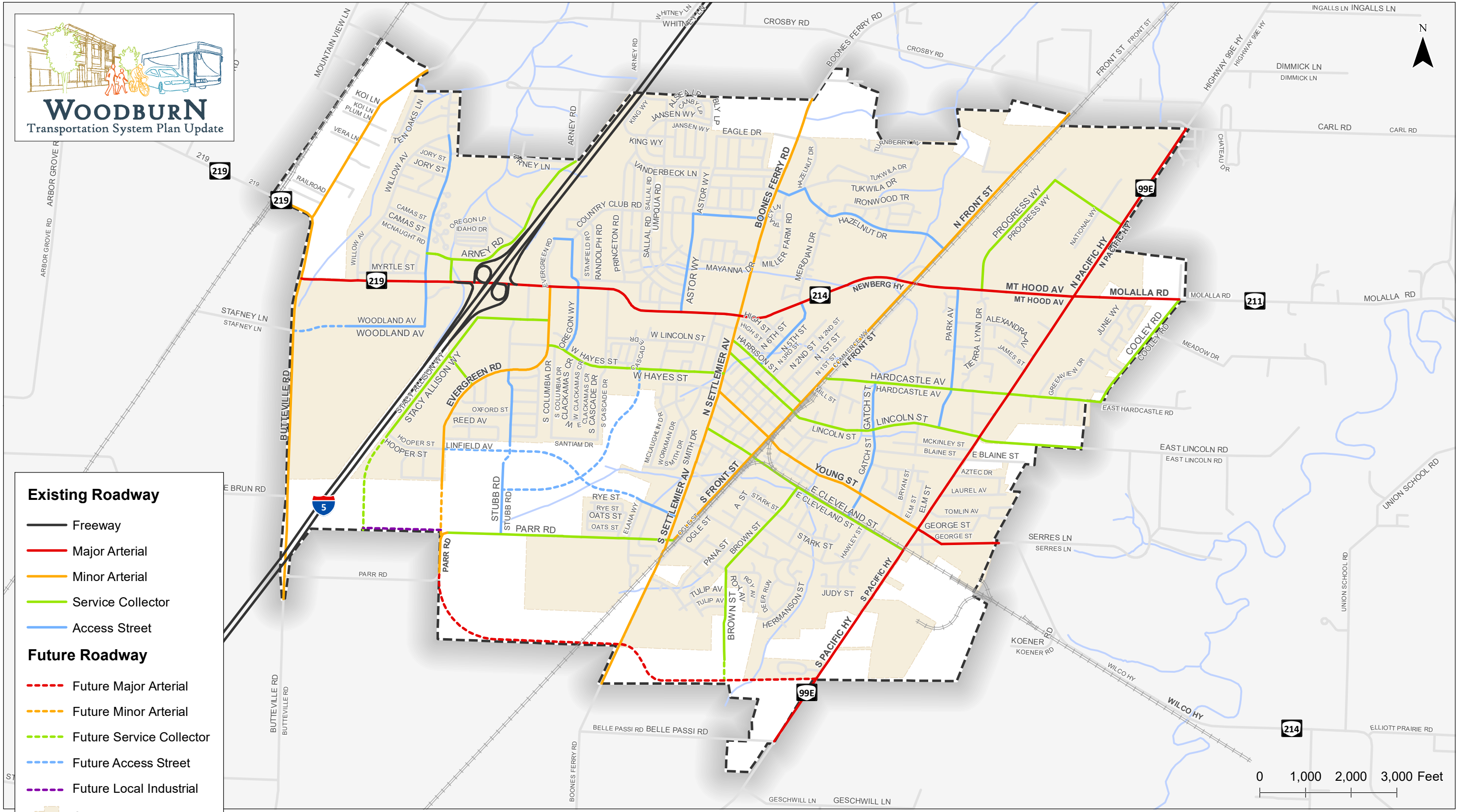
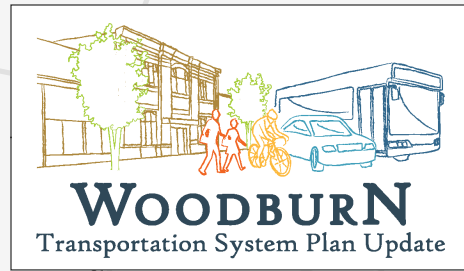


4 DOWN WOODY DEBRIS



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**Existing Roadway**

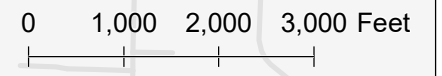
- Freeway
- Major Arterial
- Minor Arterial
- Service Collector
- Access Street

**Future Roadway**

- Future Major Arterial
- Future Minor Arterial
- Future Service Collector
- Future Access Street
- Future Local Industrial

City Boundary

Urban Growth Boundary

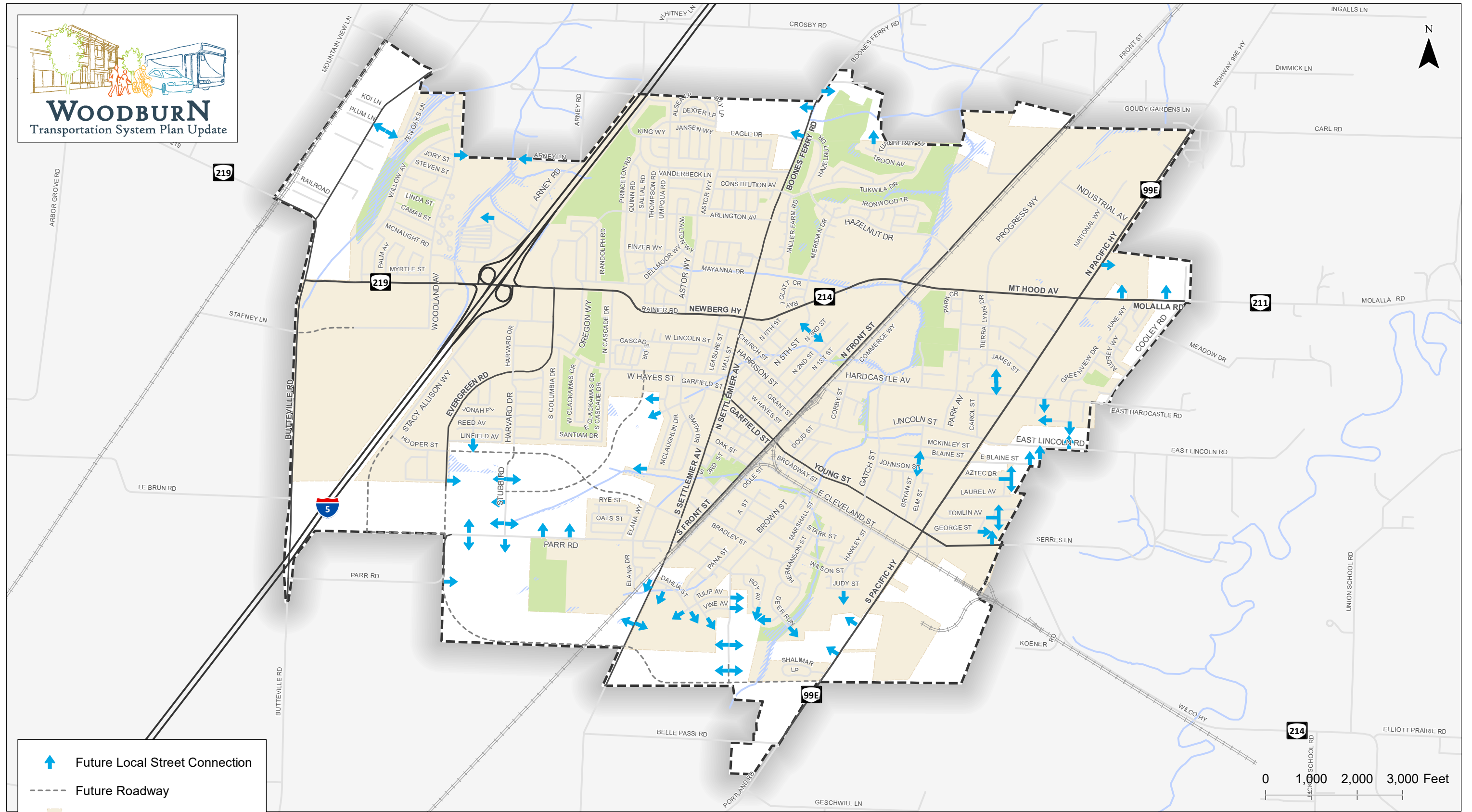






**Functional Roadway Classification**  
**Attachment 105A** Woodburn, Oregon

Figure  
**2**

Note: Future roadway alignments are approximate and subject to further refinement.

Coordinate System: NAD 1983 HARN StatePlane Oregon North FIPS 3601 Feet Intl  
Data Source: City of Woodburn, Oregon Department of Transportation



-  Future Local Street Connection
-  Future Roadway
-  City Boundary
-  Urban Growth Boundary

Note: Future roadway alignments are approximate and subject to further refinement.

**Local Street Connectivity Plan**  
**Attachment 105B** Woodburn, Oregon

Figure  
**6**

Coordinate System: NAD 1983 HARN StatePlane Oregon North FIPS 3601 Feet Intl  
Data Source: City of Woodburn, Oregon Department of Transportation

H:\1212\1071 - Woodburn TSP Update\GIS\TSP06 Local Street Connectivity Plan.mxd - mmccormick - 5:46 PM 9/16/2019

April 8, 2021

To: Planning Commission (April 8, 2021)

From: Colin Cortes, AICP, CNU-A, Senior Planner

Cc: McKenzie Granum, Assistant City Attorney  
Jim Row, Assistant City Administrator  
Chris Kerr, Community Development Director *CK*  
Stacy Connery, AICP, Planning Manager, Pacific Community Design, Inc.

Subject: Addendum to Agenda Item 6: Dove Landing PUD (ANX 2020-03)

**Summary:**

After the applicant requested to continue the hearing from March 25 to April 8, the applicant and staff worked collaboratively to reach agreement on several items allowing staff to recommend approval. Based on this agreement, below are recommended revised and additional conditions compared with published March 25 staff report:

1. Parkland: The developer agrees to dedicate the parkland with a condition accommodating parks system development charge (SDC) credit for parkland improvements:

PUD-9.

- a. Common area and parkland improvements: Improvements shall be per Attachment 203.
- b. Open space: The City and the Developer agree that the WDO standard for PUD improved common area shall be satisfied by dedication and improvement of Tracts I & K.
- c. Parks SDC credits:
  - (1) All improvements with the exception of the paths as required by Attachment 203, Part C will be 100% SDC creditable.
  - (2) The maximum cost of the improvements to the developer, including soft costs such as surveying and engineering specific to the improvements, shall not exceed the total amount of parks SDCs assessed upon the development.
  - (3) The parks SDC credits shall be administered in a manner consistent with Ordinance 2250.

Jim Row, Assistant City Administrator, indicated he'd be at the meeting to talk about parks.

**Attachment 106**

2. The developer requests to add 5 lots, and staff drafted this condition:

**PUD-12. Five more lots: This condition acknowledges and accepts a plan revision of five more lots in place of some Tract H area, for a total of 171 lots, as the applicant submitted April 6 for Planning Commission April 8, 2021.**

The developer had proposed common area / open space more than the minimum. The change means that the development provides the PUD minimum equal to 30% of gross area.

3. Enhanced pedestrian crossing: The developer requests that this required improvement be SDC creditable:

T-BP1. Bicycle/pedestrian off-site improvements: The developer shall:

- a. TSP: Construct TSP project P45 (TSP p. 64 as Attachment 104A).
- b. Off-site sidewalk: BFR & Hazelnut:

...

(4) Details: What constitutes an “enhanced pedestrian crossing” per P45, “sidewalk” per (2), and a “marked crosswalk” per (3) and their corollary improvements is up to PW determination through CEP review; however, for P45 & (3) there shall result a physical change to existing pavement and/or striping serving as an obvious indication for most pedestrians, cyclists, and drivers. **TSP Project P45 is traffic SDC creditable consistent with SDC ordinances and resolutions.**

**Recommendation:**

With the addition of Condition PUD-9, staff changes its recommendation to approval with conditions.

**Attachment(s):**

- A. Testimony by Julie Nicolarsen, 620 Troon Ave, letter (received Apr. 6, 2021)
- B. Revised plan sheet 11 Open space site plan (submitted Apr. 6, 2021)

REVISIONS

NO.	DATE	DESCRIPTION
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DOVE  
LANDING PUD

OPEN SPACE  
SITE PLAN



12564 SW Main Street  
Tigard, OR 97223  
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PROJECT NO.: 142-001  
TYPE: PLANNING  
REVIEWED BY: PRE

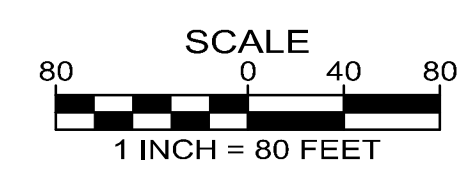


ADDED 5 LOTS.  
100' X 30' LOT DIMENSIONS  
TOTAL LOT AREA = 15,876 SF

ADDITIONAL OPEN SPACE ON POND  
TRACT ABOVE WATER LEVEL  
TOTAL OPEN SPACE AREA = 20,328 SF

LOCATION OF THE  
IMPROVED COMMON OPEN  
SPACE TO BE ESTABLISHED  
AS A PART OF THE PUBLIC  
PARK IMPROVEMENT DESIGN

OPEN SPACE			IMPROVED COMMON OPENSACE		PEDESTRIAN ELEMENTS			OPEN SPACE		
	AREA	% SITE						AREA	% SITE	
PUBLIC PARK (TRACT K & I)	8.32 AC	26%		100 SF/LOT X 171 LOTS = 17,100 SF (0.39 AC) MINIMUM				1.17 AC	4%	
OPEN SPACE (ALL OTHER TRACTS)	1.35 AC	5%								
OPEN SPACE TARGET	9.57 AC	30%								
OPEN SPACE PROVIDED	9.67 AC	30%								
GROSS SITE AREA	31.86 AC	100%								



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ANX 2020-03 Dove Landing PUD:  
Attachment 201: Dictionary & Glossary

This document defines and explains abbreviations, acronyms, phrases, and words particularly in the context of conditions of approval.

- “ADA” refers to the federal Americans with Disabilities Act of 1990.
- “Alley” means the same as in WDO 1.02. See also “Shared rear lane” below.
- “BFR” refers to N. Boones Ferry Road / Boones Ferry Road NE.
- “CAE” refers to cross access easement.
- “CC&Rs” refers to covenants, conditions, and restrictions in the context of private contract among an association of owners and/or tenants within a PUD or a conventional subdivision with common area improvements.
- “Central block” refers to the block bound by “O”, “C”, “P”, & “E” Streets.
- “CEP” refers to civil engineering plan review, which is a review process independent of land use review led by the Community Development Department Planning Division and that is led by the Public Works Department Engineering Division through any application forms, fees, and review criteria as the Division might establish. A staff expectation is that CEP follows land use review and approval, that is, a final decision, and precedes building permit application.
- “County” refers to Marion County.
- “Director” refers to the Community Development Director.
- “exc.” means excluding.
- “ft” refers to feet.
- “Hazelnut” refers to Hazelnut Drive.
- “max” means maximum.
- “min” means minimum.
- “Modal share” means the percentage of travelers using a particular type of transportation or number of trips using a type, as examples walking, cycling, riding transit, and driving.
- “Modal shift” means a change in modal share.
- “MUTCD” refers to *Manual on Uniform Traffic Control Devices* of the U.S. Department of Transportation (U.S. DOT) Federal Highway Administration (FHWA).
- “NE means northeast.
- “NW” means northwest.
- “OAR” refers to Oregon Administrative Rules.
- “o.c.” refers to on-center spacing, such as of trees or shrubs.
- “ODOT” refers to the Oregon Department of Transportation.
- “ORS” refers to Oregon Revised Statutes.

- “PBPE” refers to a public bicycle/pedestrian easement that grants pedestrian and cyclist access along sidewalk that overlaps private property or along an off-street bicycle/pedestrian path on private property. It substitutes for a PUBPE. “PLA” refers to property line adjustment.
- “PU” refers to plant unit as WDO Table 3.06B describes.
- “PUBPE” refers to a PUE adapted to grant pedestrian and cyclist access along sidewalk that overlaps private property (“roadside” or “streetside” PUBPE) or along an off-street bicycle/pedestrian path on private property (“off-street” PUBPE). A PBPE may substitute.
- “PUD” refers to planned unit development.
- “PUE” refers to public utility easement, whether along and abutting public ROW (“roadside” or “streetside” PUE) or extending into or across the interior of private property (“off-street” PUE). In the context of property line adjustment, partition, or subdivision, the developer records through the plat with drawings and notes on the face of the plat. Absent this context, recordation is separate from land use review pursuant to a document template or templates established by PW. PW is the project manager for receiving, reviewing, accepting, obtaining City Council approval for, and recording public easement materials that a developer submits.
- “PW” refers to Public Works (the department) or on rare occasion public works (civil infrastructure) depending on context.
- “RCWOD”, pronounced by City staff as “R quad”, refers to the Riparian Corridor and Wetlands Overlay District that WDO 2.05.05 describes.
- “Root barrier” refers to that illustrated by PW SS&Ds, [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “ROW” refers to right-of-way.
- “RPZ” refers to root protection zone in the context of tree preservation.
- “SE” means southeast.
- “SDA” refers to site development area, the entire territory that is the subject of the land use application package.
- “SDC” refers to system development charge, also known as an impact fee.
- “Shared rear lane” refers to what resembles and functions like an alley, but isn’t public ROW.
- “sq ft” refers to square feet.
- “SS&Ds” refers to PW [standard specifications and drawings](#).
- “Street trees” refer to trees that conform to the WDO, including 3.06.03A and Tables 3.06B & C, and that have root barriers where applicable per PW [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “Substantial construction” means that all grading necessary to accommodate full construction of both public improvements and common area improvements is complete, the developer constructed and dedicated all required public improvements, and the developer improved and dedicated all required common area tracts.

- “SW” means southwest.
- “TCE” refers to temporary construction easement.
- “Tot.” means total.
- “TPU” means the [Transit Plan Update](#) Approved Final Report dated November 8, 2010.
- “TDM” refers to transportation demand management, which means according to the TSP (p. 82), “a policy tool as well as a general term used to describe any action that removes single occupant vehicle trips from the roadway during peak travel demand periods”, and according to Wikipedia as of October 13, 2020, “the application of strategies and policies to reduce travel demand, or to redistribute this demand in space or in time.”
- “TSP” means the [Woodburn Transportation System Plan \(TSP\)](#).
- “UGB” means urban growth boundary.
- “Walkway” refers to what would otherwise be called sidewalk except the paved walking surface is on private property outside of any of ROW or an easement granting public access.
- “WDO” refers to the [Woodburn Development Ordinance](#).
- “WFD” refers to the Woodburn Fire District.
- “WTS” refers to the Woodburn Transit System.
- “w/i” means within.
- “w/o” means without.
- “VCA” refers to vision clearance area as WDO 1.02 and 3.03.06 establish or as a specific condition establishes.



**ANX 2020-03 Dove Landing PUD:**

**Attachment 202: Lot & Tract Development Standards**

**Introduction**

This attachment establishes PUD lot and tract development standards and could serve as a standalone document for both homebuilders and Planning Division review of building permits assuming the developer will have constructed all public and common area improvements and/or paid fees in-lieu, obtained final plat approval by the City, have had the Director sign the Mylar, and recorded the plat.

“WDO” refers to the Woodburn Development Ordinance, last amended via Ordinance No. 2579 adopted April 13, 2020. Refer to Attachment 201 for a dictionary/glossary, including other acronyms and abbreviations.

For improvements that the City requires of common area and City/public tracts, see Attachment 203.

**Part A. Lot Development Standards Tables**

<b>PUD 2020-02 Dove Landing PUD Development Standards for Lots Abutting Alley or Shared Rear Lane Table 202A-1</b>			
Lot Area, Min (sq ft)	Interior, flag or cul-de-sac lot		2,700
	Corner lot	Single-family dwelling	3,500
		Child care facility or group home <sup>2</sup>	Per WDO
		Middle housing: duplex, triplex, quadplex, townhouse, or cottage cluster	Same as required for single-family dwelling
		Any other use	Per WDO
Lot Width, Min (ft)	Interior, flag or cul-de-sac lot		27
	Corner lot		35
Lot Depth, Average (ft)			90
	Interior or cul-de-sac lot		25
		Single-family dwelling	25

Street Frontage Min (ft)	Corner lot	Middle housing: duplex, triplex, quadplex, townhouse, or cottage cluster	Same as required for single- family dwelling
		Any other use	Per WDO
Front Setback and Setback Abutting a Street, Min (ft) – exc. streetside porch or roofed patio			7 <sup>11</sup>
Side Setback, Min (ft) – exc. garage	Primary structure	5 <sup>11</sup> , except that each lot may have zero lot line development along one side lot line	
	Accessory structure		
Rear Setback	See “Setback Abutting an Alley or Shared Rear Lane ...” below.		
Setback Abutting an Alley or Shared Rear Lane for Both Primary & Accessory Structures, Min (ft) – exc. garage and carport			Either 1 <sup>11</sup> or where there is a required PUE on the lot alongside shared rear lane then equal to PUE
Garage and Carport Setback, Min (ft)	Either 1 or a full 15 ft. Also, in lieu of a two-car wide garage, two one-car wide garages – or a one-car wide garage and a carport – may be paired with one garage or carport at 1 ft and the other garage at 15 ft.		
Setback to a Streetside Porch, Roofed Patio, Balcony, or Open-Air Veranda, Min (ft)			5
Setback to a Private Access Easement, Min (ft)			1
Lot Coverage, Max (%)	65		
Streetside Porch or Roofed Patio, Min	Per Table 202A-3.		
Building Height, Max (ft)	Per WDO		
11. Encroachments and projections into setback minimums remain permissible per WDO 3.03.03A, D & F; 3.03.04A; and 3.03.05A.			

**PUD 2020-02 Dove Landing PUD**  
**Development Standards for Lots with Conventional Access**  
**Table 202A-2**

Lot Area, Min (sq ft)	Interior, flag or cul-de-sac lot		3,500 <sup>1</sup>
	Corner lot	Single-family dwelling	4,300 <sup>1</sup>
		Child care facility or group home <sup>2</sup>	Per WDO
		Middle housing: duplex, triplex, quadplex, townhouse, or cottage cluster	Same as required for single-family dwelling
		Any other use	Per WDO
Lot Width, Min (ft)	Interior, flag or cul-de-sac lot		35
	Corner lot		43
Lot Depth, Average (ft)			96
Street Frontage Min (ft)	Interior or cul-de-sac lot		25
	Corner lot	Single-family dwelling	25
		Middle housing: duplex, triplex, quadplex, townhouse, or cottage cluster	Same as required for single-family dwelling
		Any other use	Per WDO
	Flag lot		Per each pole if poles of adjacent flag lots are paired: 7½; Per independent pole: 11
Front Setback and Setback Abutting a Street, Min (ft) – exc. garage and carport and streetside porch or roofed patio			11 <sup>11</sup>
Side Setback, Min (ft) – exc. garage	Primary structure		5 <sup>11</sup> , except that each lot may have zero lot line development along one side lot line
	Accessory structure		
Rear Setback, Average (ft)	Primary structure		15 <sup>7, 11</sup>
	Accessory structure		Per WDO
Garage and Carport Setback, Min (ft)	Garage		19
	Carport		2

Setback to a Streetside Porch or Roofed Patio, Min (ft)	5
Setback to a Private Access Easement, Min (ft)	1
Lot Coverage, Max (%)	65
Building Height, Max (ft)	Per WDO
<p>1. Per WDO Table 2.02B Footnote 1</p> <p>5. A front setback applies to only to the pole. A flag is considered to have three sides and a rear.</p> <p>7. Per WDO Table 2.02B Footnote 7</p> <p>11. Encroachments and projections into setback minimums remain permissible per WDO 3.03.03A, D &amp; F; 3.03.04A &amp; C, and 3.03.05A-D.</p>	

**PUD 2020-02 Dove Landing PUD  
Related Development Standards Table 202A-3**

Residential Density, Min (units per net acre)		6.8		
Walkways	Each dwelling shall have a paved walkway connecting front door landing and sidewalk distinct from driveway and parking pad. Paved w/ bricks, concrete pavers, patterned poured concrete, or combination.	Min 4 ft wide. Min width may narrow to 3½ where walkway is flush w/ driveway.		
Driveway widths (For parking space/stall dimensions, see Parking spaces/stalls below.)	Access management	A lot that abuts both any of an alley, shared rear lane, or flag lot pole, and one or more streets is prohibited from a driveway approach / apron / curb cut along the street or streets.		
	Min (ft)	8		
	Max (ft)	Alley/shared rear lane	Equal to lot width	
		Street	16	
Parking spaces/stalls	Ratio	Per WDO Table 3.05A		
	Parking pads (WDO 3.05.03F.1b)	Number, Min	Alley/shared rear lane: none Street: 1	
		Dimensions, Min (ft)	Alley/shared rear lane: 8 by 15 Street: 8 by 18	
	Stalls within a garage and/or carport	Number, Min	2, either both garaged or as both a carport and garage on the same lot.	
		Dimensions, Min (ft)	8 by 18, exc. fixed encroachments such as door swings and water heaters	
	The 5-ft parking setback of WDO 3.05.02E does not apply.			
Streetside porches and roofed patios	Applies to lots abutting an alley, shared rear lane, or flag lot pole; corner lots; and specific lots per Footnote 3.			
	Number, Min	1 per lot		
	Dimensions, Min	Floor area*: 106 sq ft Narrowest*: 8½ ft Street exposure: 8½ ft length/width Height clearance: 8 ft *Measured to edges of porch flooring or patio slab.		
	Flooring	Brick, concrete pavers, poured concrete slab, linoleum, or fiber cement or wood plank.		
	Columns/posts	Per Footnote 1.		
	Delineation	Per Footnote 2.		

1. Ornamental columns. If the streetside porch or roofed patio provides one or more columns as corner supports, the columns must be ornamental by meeting one of the following standards. Wrought iron style porch supports do not meet this standard:
  - a. Large columns that are divided visually into clear areas of capital, shaft, and base. Large rectilinear columns are min 8 by 8 inches, and large rounded columns have a diameter min 8 inches; or
  - b. Groupings of 2, 3, or 4 small columns divided visually into clear areas of capital, shaft, and base. Small rectilinear columns are min 4 by 4 inches, and small rounded columns have a diameter min 4 inches.
2. Delineation includes any of balustrade, fall protection, wood fencing, and metal or wood railings and is required. 3½ ft high max. 4 ft wide max passage allowed. Fencing or railing with top member flat and min 3 inches wide. A second horizontal member below the top member (to allow affixing, hanging, or threading items below the top member).
3. Lots 12, 13, 28, 29, 36-39, 142, 143, 153, 154 & 166.

**Part B. Architecture:**

This section shall apply to lots and supersede any conflict w/ WDO 3.07.03.

1. Both Lots Abutting Alley or Shared Rear Lane & Lots with Conventional Access:
  - a. Roof pitch of site-built dwellings min 6:12; eaves not required to project from zero lot line.
  - b. Masonry cladding, if any, in a horizontal band or bands, not as multi-story vertical bands.
  - c. On a corner lot along the second frontage, windows min 10% of facade wall surface.
  - d. Windows square or vertically proportioned; may be grouped into horizontal bands. Horizontal proportion allowed if having grilles or muntins dividing lights or panes to be vertical proportion.
2. Lots Abutting Alley or Shared Rear Lane
  - a. House having an entrance on a street-facing façade and that is within or next to the required streetside porch or roofed patio.
  - b. Applies to any houses that are two or more stories or one story w/ attic story: House front having a bay or box window min 2 ft deep, 5 ft wide, and with ceiling height min 7 ft. Dimensions assume box; bay may have angled sides and a sloped roof if exceeding min dimensions. House fronts facing south or west may substitute the window for balcony or open-air veranda. Balcony min 6½ ft deep and 81 sq ft and either w/ recess min 2 ft or house roof overhang or balcony roof min 2 ft deep and 10 ft wide. Veranda min 81 sq ft, extending to min two of outer edges of porch or patio, and roofed. Fall protection having top member flat and min 3 inches wide.
  - c. Applies to all corner lot houses: The second lot frontage façade shall have a bay or box window per the dimensions of b. above.

3. Lots with Conventional Access: The facade containing the vehicular entrance for an attached garage shall be one of the following:
  - a. Face away from street min 90°; or
  - b. Max 20 ft wide along ground floor total facade width facing a street, and max a percentage of the total facade of the structure facing the street, including second stories, dormers, eyebrows, and gable ends. Percentage is 66.7% for a one-story structure and 50% for a structure of two or more stories.

### **Part C. Tract Development Standards**

1. Driveway approaches / aprons / curb cuts: min. 8 ft wide, and max. 10 ft wide.
2. Fencing: Stormwater facilities: max. 3½ ft high, if any fencing proposed for such facilities.
3. Tract G is limited to one driveway apron serving the stormwater facility and, if proposed, shall be on a frontage other than BFR. A Tract H driveway that serves access across that tract to the Tract G storm water facility may substitute for a Tract G driveway.
4. City/public tracts: The City may apply development standards relating to the P/SP zoning district instead of the RS zoning district assuming a given WDO standard doesn't conflict with a PUD standard.

### **Part D. Lighting:**

- a. Applicability:
  - (1) Permanent exterior lighting outside of ROW.
  - (2) Lots: For fixtures located facing any of ROW, streets, alleys, shared rear lanes, flag lot pole shared driveways, and common area tracts, whether on buildings or structures or in yards.
  - (3) Tracts: For fixtures located facing any of ROW, streets, alleys, shared rear lanes, flag lot pole shared driveways, and common area tracts, whether on buildings or structures or in yards, and including floodlights and lighting of permanent signage. Sports field lighting must be full cut-off from emitting light both above a horizontal plane parallel with the ground and beyond vertical planes flush with the field boundaries. The City may require separate review and approval of sports field lighting.
- b. Standards: If proposed, exterior light fixtures shall be full cut-off or fully shielded and shall not be visible beyond a line 3½ ft above the applicable lot line or tract boundary. They shall be limited in height – as measured to the underside of a fixture – as follows:

- (1) Wall: Exterior wall-mounted fixtures shall be 8 ft max above finished grade. (This height limit is not applicable to emergency egress lighting and permanent wall signs allowed through WDO 3.10 were they to have interior illumination.)
  - (2) Parking pole: On tracts, exterior pole-mounted fixtures within 4 ft of or in parking, loading, and vehicular circulation areas shall be 14½ ft high max above vehicular finished grade.
  - (3) Other pole: On lots and tracts, other exterior pole-mounted fixtures, if any, shall be 8 ft high max above grade.
- c. Conformance: Demonstrate through building permit review. The Planning Division may require inspection to be scheduled evening or night.

#### **Part E. VCA**

WDO 3.03.06 is hereby modified such that:

1. The alley part of Fig 3.03A shall apply to also any shared rear lane, except that VCA triangles shall measure min 5 by 5 ft for any of alleys and shared rear lanes.
2. Regarding the street corner part of Fig. 3.03A, VCA triangles shall measure min 15 by 15 ft, except that for the four corner lots within the central block (Lots 40, 85, 86, & 131), Fig. 3.03B shall apply instead.

#### **Part F. Signage**

WDO 3.10 is hereby modified such that for City/public tracts, the City may apply sign regulations relating to the P/SP zoning district instead of the RS zoning district.



ANX 2020-03 Dove Landing PUD:

Attachment 203: Common Area Improvements & Public Easements

**Introduction**

This attachment establishes PUD common area tract improvements and types and placements of public easements.

Refer to Attachment 201 for a dictionary/glossary, including other acronyms and abbreviations.

For lot and tract development standards, see Attachment 202.

**Part A. Common area improvements: Amenities / appurtenances / street furniture / support facilities**

Common area and off-street public improvements are per the table below:

<i>Table 203A. Common Area Improvements</i>			
<i>Improvement Type</i>	<i>Min Number</i>	<i>Placements</i>	<i>Details</i>
Benches	9	Tract K: 4, all along paths and one each at east, middle east, middle west, and west.	Place along paths and sidewalks, set back 2 ft min, and on at least 6 by 4 ft of asphalt, brick, concrete pavers, or poured concrete. If brick or pavers, pour concrete for bench post footings. 6 ft width min; 75% min of them having backs.  For public parkland, the City spec model (with back) is <a href="#">Dumor Bench 88-60PL</a> in “cedar” color and with support posts in black; for Tract C and Trillium Way ROW, this model is the standard.
		Other: 1 each Tracts F, H, I, L, & O	
Picnic benches	3	Tract I: 1.	Place in shelters. Min 1 shall be ADA-accessible from a sidewalk or path.  For public parkland, the City spec is Tree Top Products <a href="#">46” SuperSaver Commercial Square Picnic Table</a> in black (SKU 1WG5685-KB), and the
		Tract K: 2.	

<i>Table 203A. Common Area Improvements</i>			
<i>Improvement Type</i>	<i>Min Number</i>	<i>Placements</i>	<i>Details</i>
			standard <a href="#">ADA model</a> is SKU #1WG5686-BK.
Bicycle parking	16 stalls	Tract H: 4	Each facility with at least 6 by 2 ft per stall paved with asphalt, bricks, concrete pavers, or poured concrete pad. If bricks or pavers, pour concrete for the rack footings. Place all along paths and sidewalks. If along sidewalk, set back the stalls 2 ft and pave a 4-ft wide walkway between sidewalk and edge of stalls.  Cover/sheltering: At least 2 (1 U-rack) shall be covered from precipitation. Min height clearance 7 ft. The roof shall extend min 2 ft past stall edges.  For public parkland, the City spec is Oregon Corrections Enterprises [OCE] "single bike rack" powder coated black, either model #718-013-006 or #718-012-006 depending on mounting. See OCE parks and recreation catalog <a href="#">p. 15</a> . For Tract C and Trillium Way ROW, this model is the standard.
		Tract I: 2	
		Tract K: 10	
Dog waste stations	2	Tract I: 1	For public parkland, the City spec model is Mutt-Mitt Mini Dog Waste Station <a href="#">1000/1002</a> in green; for Tract C, this model is the standard.
		Tract K: 1	
Paths	Within this Attachment 203, see Part C.		
Playground	1	Either option:	As the Assistant City Administrator directs.
		Option A: Tract K	
		Option B: Tract H	
Plaza	1	Tract I: 1, flush with sidewalk at SE corner of "C" & "P" Streets.	Paved min 300 sq ft, 12 ft narrowest dimension.
Restrooms	1 pair	Tract K	For public parkland, the City recommended model is Public

Improvement Type	Min Number	Placements	Details
			<p>Restroom co. model <a href="#">PS-022-CE-ST</a> with “CMU combo finish” and “standing seam metal” roof.</p> <p>Colors:</p> <ul style="list-style-type: none"> <li>• Roof: green;</li> <li>• Walls: green on bottom split-face CMU, either cream or grayish white elsewhere;</li> <li>• Doors: green.</li> </ul> <p>Drinking fountains: On the front of the building, wall mount a pair of fountains, one fountain being ADA-compliant. The recommended model is Haws <a href="#">1011</a> Barrier-Free Dual Wall Mount Fountain.</p>
Trash receptacles	3	<p>Tract I: 1</p> <p>Tract K: 2</p>	<p>For public parkland, the City spec model for the trash receptacle is <a href="#">Dumor 41</a>-40PL-RC 40-gallon in “cedar” color and with support post in black; for Tract C, this model is the standard.</p>
Seat walls (optional)	No min; max per notes.	n/a	<p>For any tract with 2 or more benches, the developer may substitute a bench with a seat wall 6 ft wide minimum by 1½ ft deep and high, the height including a cap or lip of smoother concrete.</p>
Shelters	1 or 2	<p>Tract K: Choice of either 1 large or a combo of 1 medium and 1 small.</p>	<p>Gazebos, pavilions, or shelters each with min 10 ft height clearance. Large equals min 900 sq ft, medium equals 600, and small equals 300. Narrowest dimension is 30 ft for large, 24 for medium, and 14 for small.</p> <p>Any post base with protruding bolts/screws must be guarded or housed for trip and cut safety.</p> <p>If a shelter floor level is at grade, place an ADA-compliant picnic bench. Provide a walkway min 4 ft</p>

<i>Improvement Type</i>	<i>Min Number</i>	<i>Placements</i>	<i>Details</i>
			<p>wide between each shelter and any of a sidewalk or path.</p> <p>Include weatherized flip cap electric outlets, min 4 for large shelter or min 2 for the medium shelter.</p> <p>There is no City spec. The applicant may duplicate or mimic either the shelter model proposed on land use review Sheet L7, Detail 5 or the model in the Smith Creek Development Phase 1A plaza at Ben Brown Lane &amp; Kirksey Street (Western Wood Structures, Inc., building permit 971-20-000134-STR), which is 600 sq ft at 24 narrowest dimension.</p>
Signage	1	A park identification monument sign as the Assistant City Administrator directs or fee in-lieu per Attachment 206.	

Administrative minor adjustment by the Director to common area improvement location or placement is permissible.

**Part B. Common area improvements: landscaping:**

1. Bark dust: Excepting Class F paths, 5.0% max of landscaped area may be bark dust or wood chip.
2. Tree species: WDO Table 3.06C is hereby modified by PUD to allow anywhere within the development (outside of ROW) any tree species that isn't invasive and within ROW any tree species that isn't invasive and is a cultivar barren of fruit, nuts, and seed pods.
3. Evergreen: 15 min of trees new to the site and outside of ROW. The 15 shall be min 1 of the following coniferous or evergreen species:

Cedar, Western Red	Madrone, Pacific
Douglas-Fir	Oak, Oregon White
Fir, Grand	Pine, Ponderosa; and
Hemlock, Western	Yew, Pacific

4. Tracts: Screening: Evergreen hedge or shrubbery shall be screen at-grade electrical and mechanical equipment along their sides, excepting the side intended for technician access.
5. Complementary trees: On Tracts F, G, H, I, & K, every yard abutting a street shall have a loose row of trees that complements the row of street trees. Along each frontage, a min number equal to and placed at an approximate average o.c. spacing of 1 per 30 ft of frontage, and with trees new to the site placed at least 4 ft from edge of sidewalk and 16 ft max from ROW. For Tract I, if and where a plaza is required the developer may site trees farther away along the plaza edge.
6. Other plants: On any tract, also plant 80 PUs of any min 3 non-invasive species of shrubbery most likely to attract honeybees, having identified such species on a landscape plan.
7. Path furniture zone trees:

Tract	Trees Min. No.	Details
K	Equal to 1 per 15 ft of path	Approximate o.c. placements of 1 per 30 ft along path.
All other tracts	Equal to 1 per 30 ft of path	Mostly west side placements.

## Part C. Bicycle/Pedestrian Paths

### 1. Classes:

Class	Width (ft)	Pavement	Furniture Zones (ft)
B	10	Asphalt or concrete	6 inc 2-ft shoulder
C	8		6 inc 2-ft shoulder; in constrained mid-block tracts, 5 ft one side inc 1-ft shoulder
F	5	None; bark dust or wood chip	None

### 2. Placements:

Tract	Min.	Class	Placement	Reference
B	1	C	W/ west furniture zone.  Min 8 ft from west tract boundary.	"Path B"
D	1			"Path D"
F	1			"Path F"
I	1	F	Per Assistant City Administrator.	"Path I"
K	1 w/ 4 spurs	B; spurs C	Generally straight between east sidewalk and west tract boundary. Site as far north as 8 ft south of the south lot lines and as far south as to have its south furniture zone flush with the north boundary of the northernmost existing drainage easement.  Site north middle east segment 8 ft from Lot 142 west line. A spur from north middle east segment to south tract boundary adjacent to NE corner of Tax Lot 051W06CD01700.	"Path K" or "main path"
L	1	B	Min 6 ft from east tract boundary.	"Path L"
O	1			"Path O"
M	1	C	W/ a west furniture zone.	"Path M"
N	1			"Path N"

### 3. Basic standards:

#### a. Pavement:

(1) Asphalt: min 4 inches of hot mix asphalt (Level 3) atop min 8 inches of 1-inch minus crushed aggregate base course. ADA-compliant.

(2) Concrete: Same as PW construction standards for sidewalk.

#### b. Shoulders: Gravel, if any, within shoulders shall be placed so that the finished grade of the gravel shall be shallow sloped such that, at the path, the gravel is min. 1 inch below the path finished grade and, at 2 ft from path edge, it's min 2 inches below path finished grade.

## Part D. Public Easements

In addition to standard streetside PUEs per WDO 3.02.01B, based on WDO 3.02.01C the developer shall dedicate public easements as follows:

1. Granting bicycle/pedestrian access:
  - a. Wherever sidewalk overlaps any streetside PUE and Tracts I & K;
  - b. Tracts B, D, F, L, M, N, O;
  - c. Tract H, required at all only for Table 203A, Playground Option B; and
  - d. Tract "P" (central block alley/shared rear lane).
2. Off-street PUEs:
  - a. Tract F, arrange so that PUE min width 16 ft abuts Tax Lot 051W06C000900 west lot line;
  - b. Tract L, arrange so that PUE min width 16 ft allows tract path to have trees both sides.
  - c. Tract O, arrange same as for L.
  - d. Tract "P" (central block alley/shared rear lane). Applies if PW declines to accept as ROW:
    - (1) Both tract and PUE min width 16 ft; if tract wider, easements(s) flush one side min;
    - (2) Travel way pavement min width 14 ft. Asphalt, bricks, concrete pavers, poured concrete, or combination. Depths per WDO 3.04.04;
    - (3) 1 ft shoulders each side. May be grass, grass w/ "grasscrete", brick, concrete pavers, or poured concrete as long as any pavement doesn't duplicate that of the travel way. Gravel prohibited; and
    - (4) The two end driveway curb cuts limited to max width 14 ft.
3. Bus: On Tract F as follows: Along BFR, allowing for a bus shelter pad extending beyond ROW and a shelter. Per Assistant City Administrator direction or default easement min 20 ft wide along BFR.
4. CAE: On Tract F as follows: Min width 21 ft w/ TCE extending 5 ft sides that expires upon driveway/drive aisle construction. Place between Tax Lot 900 and "O" Street w/ west side aligned with a point 5 ft east of Tax Lot 900 west lot line. New trees prohibited.

## Part E. Association / HOA

To meet WDO 3.09.09, there shall be an association of owners and/or tenants as follows:

1. Prior to conveying land ownership of any tract, the developer shall establish an association, such as homeowners association (HOA), pursuant to ORS 94 and other applicable statutes.
2. The association shall assume maintenance of improvements on common area tracts, inc. stormwater facilities; repair, replace, and restore improvements; identify and make clear to owners association duties; and levy assessments to owners in a fair, transparent, and written way. (If the association ceases to exist resulting in a tract or tracts no longer having an existing owner for a year or more based on the Oregon Secretary of State Corporation Division business registry, and where this provision does not conflict with ORS or OAR, the City shall have right of first refusal to acquire the property in coordination with the Marion County Assessor's Office.)
3. Documents: The developer shall provide copies of articles of incorporation, bylaws, and CC&Rs for the association to the Assistant City Attorney and Director for review upon final plat application to the City or earlier if ORS 94.565(2) requires. Bylaws and/or CC&Rs shall describe the responsibilities of the association to maintain common area improvements, and bylaws and CC&Rs shall reiterate that because of ORS 94.626, any dissolution would not also dissolve obligations. To this end, the corporation shall comply with applicable statutes and the administrative rules of the Oregon Secretary of State Corporation Division. Documents shall also conform to Oregon House Bill (HB) 2001 (2019), Section 13 (p. 10), regarding "middle housing".

The above would continue to apply were the developer to either (1) establish multiple associations or (2) make use of an existing association related to adjacent existing development. The developer shall provide copies of articles of incorporation, bylaws, and CC&Rs for the multiple associations or these documents amended to conform to conditions of approval.



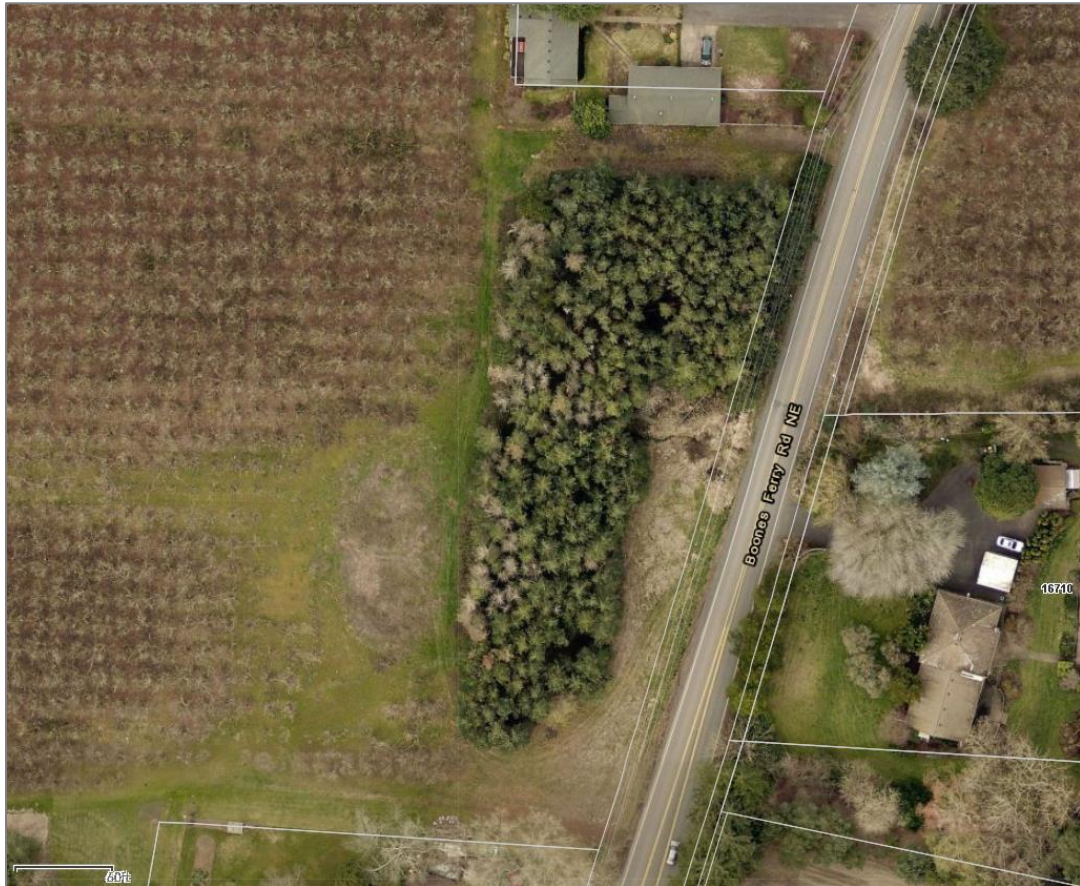
ANX 2020-03 Dove Landing PUD:

Attachment 205: Tree Protection & Environmental Remediation

**Part A. Tree preservation**

1. East:

- (a) Objective: To preserve most of the trees within the small forest across BFR, "O", & "P" ROWs and Tracts F, G, & I, with focus on Tracts F & G.



*Exhibit 205A1 Marion County Assessor's Office aerial view of subject property east area at BFR*



*Exhibit 205A1 Google Street View NW to small forest*

- (b) Street improvements, inc. both frontage and off-site improvements, shall preserve to the max extent feasible trees that lie within future planter strips and along the other side of sidewalks. The developer shall provide more detail, including the trees identified for preservation and removal, through a tree preservation plan specific to street improvements through CEP.
  - (c) Exception: The developer may be able to except from preservation one or more trees from an approved CEP tree preservation plan if (a) providing for arborist examination during street improvements construction, (b) the arborist documents why and how preservation is not physically feasible, (c) the developer submits such documentation simultaneously to the Director and PW, (d) and the Director approves such documentation prior to removal.
2. SW: Development shall preserve the trees that land use review Sheet 13.1 illustrates to be retained and shall partially retain those that the supplemental arborist memo of January 6, 2021 submitted January 15 summarizes to retain by creating snags out of trees 70522 and 70523 by reducing their heights to max 15 ft and girdling the trunks. Any removal would trigger a tree removal fee / preservation fee in-lieu per Attachment 206.
  3. Protection during construction: The developer shall follow this Attachment 205, Part B.

## **Part B. Tree preservation During Construction**

Tree preservation: Protection during construction:

The applicant shall protect the preserved trees pursuant similar to City of Portland Title [11.60.030](#), specifically either the subsections set of C.1.a.(1), (3) and C.1.b., e., & f. (clear and objective) and D.; or, the subsections set of C.2.a., b., & d.-f. (arborist's discretion) and D. as modified below and shall do so between Design Review approval and issuance of certificate of occupancy (C of O):

C. Protection methods. The Tree Plan shall show that the contractor adequately protects trees to be preserved during construction using one of the methods described below:

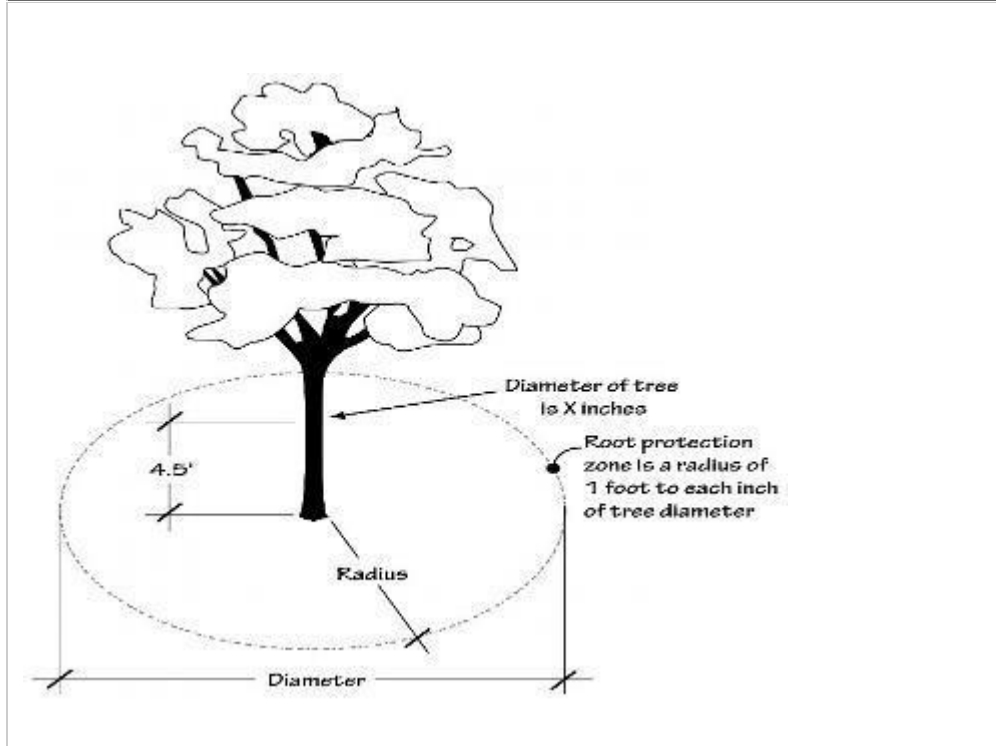
1. Clear & Objective Path.

- a. A root protection zone is established as follows:

- (1) For trees on the development site - a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter (see Figure 80-2)

**Figure 80-2**

**Root Protection Zone**

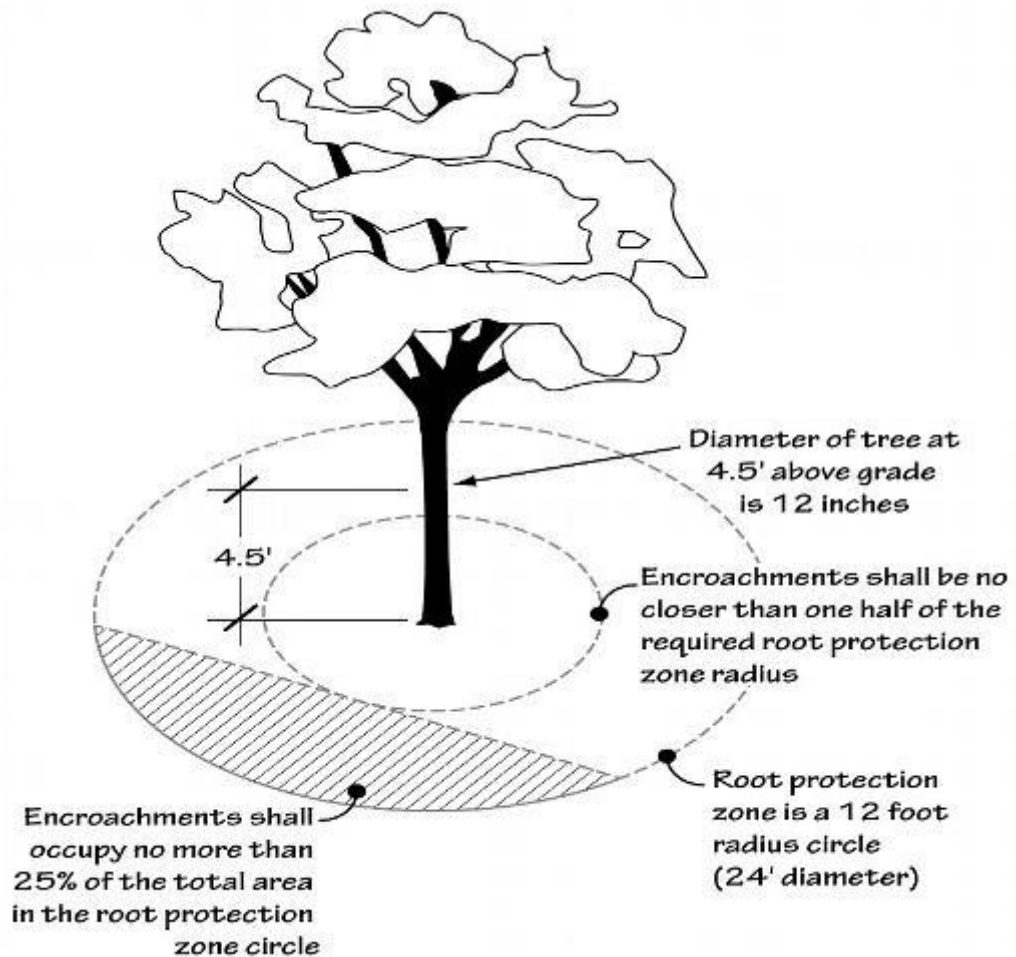


(3) Existing encroachments into the root protection zone, including structures, paved surfaces and utilities, may remain. New encroachments into the root protection zone are allowed provided:

- (a) the area of all new encroachments is less than 25 percent of the remaining root protection zone area when existing encroachments are subtracted; and
- (b) no new encroachment is closer than  $1/2$  the required radius distance (see Figure 60-1);

Figure 60-1

Permissible RPZ Encroachments



b. Protection fencing

(1) Protection fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 2-foot metal posts shall be established at the edge of the root protection zone and permissible encroachment area on the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.



(2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

e. The following is prohibited within the root protection zone of each tree or outside the limits of the development impact area: ground disturbance or construction activity including vehicle or equipment access (but excluding access on existing streets or driveways), storage of equipment or materials including soil, temporary or permanent stockpiling, proposed buildings, impervious surfaces, underground utilities, excavation or fill, trenching or other work activities; and

f. The fence shall be installed before any ground disturbing activities including clearing and grading, or construction starts; and shall remain in place until final inspection by Planning Division staff.

2. Arborist's Discretion. When the prescriptive path is not practicable, the applicant may propose alternative measures to modify the clear and objective root protection zone (RPZ), provided the following standards are met:

a. The alternative RPZ is prepared by an arborist who has visited the site and examined the specific tree's size, location, and extent of root cover, evaluated the tree's tolerance to construction impact based on its species and health, identified any past impacts that have occurred within the root zone, and forwarded a report through the developer to Planning Division staff;

b. The arborist has prepared a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site visit described above;

- d. If the alternative methods require the arborist be on site during construction activity, the applicant shall submit a copy of the contract for those services prior to permit issuance and a final report from the arborist documenting the inspections and verifying the viability of the tree(s) prior to final inspection by the Planning Division;
- e. If the alternative tree protection method involves alternative construction techniques, an explanation of the techniques and materials used shall be submitted;
- f. The arborist shall sign the tree preservation and protection plan and include contact information.

D. Changes to tree protection. Changes to the tree protection measures during the course of the development may be approved as a revision to a permit provided that the change is not the result of an unauthorized encroachment into a root protection zone (RPZ), and the applicant demonstrates that the tree protection standards of this Section continue to be met. When an unauthorized encroachment has occurred, the City may pursue an enforcement action or other remedy.

### **Part C. Environmental Remediation**

This applies to all tracts, unless otherwise specified. The developer shall:

1. Invasive plant removal: Eradicate invasive creepers, groundcover, shrubbery, vines, and weeds that might exist, at min any of the following species:
  - (a) Himalaya blackberry (*Rubus armeniacus*)
  - (b) English ivy (*Hedera helix*)
  - (c) Common reed (*Phragmites australis*)
  - (d) Giant hogweed (*Heracleum mantegazzianum*)
  - (e) Gorse (*Ulex europaeus*)
  - (f) Kudzu (*Pueraria lobata*)
  - (g) Old man's beard (*Clematis vitalba*)
  - (h) Ribbongrass (*Phalaris arundinacea var. Picta*)
  - (i) Water primrose (*Ludwigia hexapetala, peploides*)
  - (j) Yellow flag or yellow water iris (*Iris pseudacorus*)
2. Grass: Where removal of invasive plants or the unintended effect of nearby construction results in bare ground, plant lawn grass, wild grass, or a combination.

ANX 2020-03 Dove Landing PUD:  
Attachment 206: Conditioned Fees

All of the following conditioned fees are due as applicable, whether or not mentioned directly by a condition of approval.

Refer to Condition G3 for a dictionary/glossary, including acronyms and shorthand text.

**Part A. Fee Provisions**

1. Any and all conditioned fees are in addition to, and not in place or as discounts of, any existing charge or fee however termed ordinarily assessed based on any existing ordinance, resolution, or administrative policy, inc. adopted fee schedules. If and when the City amends any ordinance, resolution, or administrative policy, inc. a fee schedule, to increase a charge or fee that is both (1) the same kind of charge or fee that is conditioned, (2) the amended charge or fee amount would exceed the amount conditioned, and (3) the increase takes effect before the conditioned fee is due, then the developer shall pay the greater amount.
2. Payments of conditioned fees shall reference a final decision case file number and the condition of approval letter/number designation, be it in a check memo field or through a cover or transmittal letter. For administrative and logistical details of such fee payments, the developer is to contact and administrative assistant or similar position in either PW or the Community Development Dept. as applicable.

For all administrative and logistical questions about fee payment, the developer is to contact the permit/planning technician at (503) 982-5246 and refer to this attachment within the ANX 2020-03 Dove Landing final decision.

For payment method policy details, the developer is to contact the Finance Department at (503) 982-5222, option zero, for payment method policy details.

**Part B. Fee Table**

<i>Table 206B. Conditioned Fees</i>							
<i>Condition Reference</i>	<i>Fee Type</i>			<i>Amount</i>	<i>Context</i>	<i>Timing</i>	<i>Staff Tracking:</i>
PUD-5	Tree removal	Preservation fee in-lieu	Trees 70522 & 70523	\$500 per tree	If not reduced to “snags” per Attachment 205, Part A.	Final plat approval by the City	
G6 through this Attachment 206	CEP: Review by Planning Division; and PUD Final Plan Approval review			\$250; \$327	Original/1 <sup>st</sup> submittal; each subsequent inc. deferral/piecemeal	Before final plat approval by the City	
	Inspections by Planning Division			\$75; \$327	1st inspection or “walkthrough”; each subsequent	Subdivision improvements and building permit	
T-BP1	c. Wayfinding signage fee in-lieu			\$1,500 per location	Regardless of number of sign faces that would’ve been at a location	Final plat approval by the City	
Attachment 203	Park identification monument sign fee in-lieu			\$5,000	Assistant City Administrator discretion	Final plat approval by the City	
G6 through this Attachment 206	Bond / bonding / performance guarantee: construction			\$250 per request	Covers submittal of written request and draft materials. Applies also to deferred/piecemeal submittals.	Were the developer to request and if City is willing to consider a request	