



January 30, 2024

Alex Bertorelli, Land Development Manager
LGI Homes - Oregon, LLC
700 Washington Street, Suite 200
Vancouver, WA 98660-3191

RE: Dove Landing Planned Unit Development (PUD; Tax Lots 051W06C000800 [primary] & 400)
Subdivision Final Plat application to City (FSUB 23-02): Approval of Bond for Street Trees &
Private Common Area Tracts Landscaping (Tracts A-G & I-K)

Dear Mr. Bertorelli:

This is the bond approval letter for a construction performance bond for the [Dove Landing](#) Planned Unit Development (PUD; plat "Dove Landing") street trees and private common area tracts landscaping, specifically Tracts A-G & I-K, the improvements that the Enclosure 6 landscape plans illustrate.

Enclosure 1 is the bond titled "Subdivision Improvements Performance Bond" and is IAT Insurance Group / International Fidelity Insurance Co. / Harco National Insurance Co. Bond No. 0842178 that the developer, LGI Homes, LLC of Texas dated January 25, 2024 and submitted to the City on January 29, 2024. The amount is \$650,019, based on Enclosure 2, the applicant's cost estimates.

The developer requested bonding to address land use final decision Condition G4b by first recording final plat and second constructing, installing, or planting the private common area tracts improvements to be bonded. The Community Development Director authorized accepting a bond request for review and staff approving the requested bond for common area Tracts A-G & I-K improvements.

Bond approval is administrative and discretionary. Below are bond conditions of approval:

Condition B1: The Dove Landing bonded improvements, per the Enclosure 6 landscape plans, are due by whichever of (a.) or (b.) occurs first:

- a. By tract on the date of first request to the City for a final inspection related to a dwelling building permit on an adjacent lot as follows:

Table B1a

<i>Lot</i>	<i>Tract for Which Bonded Improvements Become Due, Including Its Adjacent Street Tree(s)</i>
The second of Lots 12 & 13: 1303 & 1297 Owl Ave	A: 1301 Owl Ave
The second of Lots 28 & 29: 1155 & 1145 Owl Ave	B: 1151 Owl Ave
Lot 39: 1055 Owl Ave	C: 1051 Owl Ave
The second of Lots 55 & 56: 1196 & 1202 Owl Ave	F: 1200 Owl Ave
The second of Lots 69 & 70: 1296 & 1302 Owl Ave	G: 1300 Owl Ave
The second of Lots 101 & 102: 1303 & 1297 Parkside Ave	I: 1301 Parkside Ave
The second of Lots 115 & 116: 1205 & 1197 Parkside Ave	J: 1201 Parkside Ave
The second of Lots 132 & 136: 3052 & 3010 Culver St	D: 3051 N. Boones Ferry Rd E: 3096 Culver St K: 3002 Culver St

- b. The arrival of July 1, 2026, based on land use final decision Condition SUB-1c, page 3.

Condition B2: The developer shall not obtain a certificate of occupancy (C of O) for each applicable dwelling per Condition B1a until each of these dwellings meets Condition B1a.

Regarding inspection requests and for planning and zoning inspection in particular, Planning Division staff reminds the developer of final decision Note to the Applicant 9:

“Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector’s schedule or general contractor convenience.”

With this bond approval (and other outstanding items to be met), the Community Development Director would be ready to sign the plat Mylar, which would allow the developer to record the plat with Marion County within 30 days per Woodburn Development Ordinance (WDO) 5.01.06C.1, upon City Engineer assent to the Director signing.

Please contact me at (503) 980-2485 or colin.cortes@ci.woodburn.or.us with questions.

Sincerely,



Colin Cortes, AICP, CNU-A
Senior Planner

cc: Vanessa Lewis, Land Development Manager, LGI Homes - Oregon, LLC
Brian Edwards, Treasury Analyst, LGI Holdings, 1450 Lake Robbins Dr, Ste 430, The Woodlands, TX 77380-3294
Chris Kerr, Community Development Director
Heidi Hinshaw, Associate Planner
Cassandra Martinez, Administrative Specialist, Community Development Dept.
Alyssa Nichols, Permit Technician
Curtis Stultz, Public Works Director
Dago Garcia, P.E., City Engineer
Cole Grube, P.E., Project Engineer
George Kuznetsov, Engineering Technician III

Enclosures (6):

1. Bond company paperwork (received January 29, 2024; 2 pages)
2. Cost estimates (January 17, 2024)
3. Bond application narrative (January 3, 2024)
4. Bond request form (January 3, 2024; 2 pages)
5. Exhibit A - Street tree fee in lieu paid for 2 trees along Culver St (January 3, 2024)
6. Landscape plans (January 2022; 5 sheets)

file(s): FSUB 23-02 Dove Landing Planned Unit Development (PUD) "Dove Landing" (Tax Lots 051W06C000800 [primary] & 400); Accela record no. 971-20-000153-PLNG



SUBDIVISION IMPROVEMENTS
PERFORMANCE BOND



Bond No. 0842178
Initial Premium \$ 8,450.00
Subject to Renewal

KNOW ALL MEN BY THESE PRESENTS: That we, LGI Homes - Oregon, LLC as Principal, and Harco National Insurance Company, a corporation duly authorized under the laws of the State of Illinois to become surety on bonds and undertakings, as Surety, are held and firmly bound unto City of Woodburn, OR as Obligee in the full and just sum of Six Hundred Fifty Thousand Nineteen and no/100 Dollars, (\$ 650,019) lawful money of the United States of America, to be paid to the said Obligee, successors or assigns; for which payment, well and truly to be made, we bind ourselves, our heirs, executors, successors, administrators and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

Whereas, the Principal and Obligee have entered into an agreement whereby principal agrees to install and complete certain designated public improvements, which said agreement, dated , and identified as project Dove Landing Street Trees, Common Area Tract Landscaping , is hereby referred to and made a part hereof; and

Whereas, said Principal is required under the terms of said agreement to furnish a bond for the faithful performance of said agreement.

Now, Therefore, the condition of this obligation is such that if the above bounded Principal. its heirs executors, administrators, successors or assigns, shall in all things stand to and abide by, and well and truly keep and perform the covenants, conditions and provisions in the said agreement and any alteration thereof made as therein provided, on their part, to be kept and performed at the time and in the manner therein specified, and in all respects according to their true intent and meaning, and shall indemnify and save harmless the Obligee, its officers, agents and employees, as therein stipulated, then this obligation shall become null and void; otherwise it shall be and remain in full force and effect.

As Part of the obligation secured hereby and in addition to the face amount specified therefor, there shall be included costs and reasonable expenses and fees, including reasonable attorney's fees, incurred by Obligee in successfully enforcing such obligation, all to be taxed as costs and included in any judgement rendered.

The surety hereby stipulates and agrees that no charge, extension of time, alteration or addition to the terms of the agreement or to the work to be performed thereunder or the specifications accompanying the same shall in anywise affect its obligations on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the agreement or to the work or the specifications.

IN WITNESS WHEREOF. the seal and signature of said Principal is hereto affixed and the corporate seal and the name of the Surety is hereto affixed and attested by its duly authorized Attorney-In Fact this 25th day of January ,

20 24

LGI Homes - Oregon, LLC
Principal
By: Charles Merdian, Chief Financial Officer
Harco National Insurance Company
By: Grace J. Gray
Grace J. Gray /Attorney-in-Fact



POWER OF ATTORNEY
HARCO NATIONAL INSURANCE COMPANY
INTERNATIONAL FIDELITY INSURANCE COMPANY

Bond # 0842178

Member companies of IAT Insurance Group, Headquartered: 4200 Six Forks Rd, Suite 1400, Raleigh, NC 27609

KNOW ALL MEN BY THESE PRESENTS: That **HARCO NATIONAL INSURANCE COMPANY**, a corporation organized and existing under the laws of the State of Illinois, and **INTERNATIONAL FIDELITY INSURANCE COMPANY**, a corporation organized and existing under the laws of the State of New Jersey, and having their principal offices located respectively in the cities of Rolling Meadows, Illinois and Newark, New Jersey, do hereby constitute and appoint

ERIC P. PRATT, GRACE J. GRAY, KATHLEEN M. O'BRIEN, DONNA M. BISHOP

North Adams, MA

their true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise, and the execution of such instrument(s) in pursuance of these presents, shall be as binding upon the said **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY**, as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by their regularly elected officers at their principal offices.

This Power of Attorney is executed, and may be revoked, pursuant to and by authority of the By-Laws of **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY** and is granted under and by authority of the following resolution adopted by the Board of Directors of **INTERNATIONAL FIDELITY INSURANCE COMPANY** at a meeting duly held on the 13th day of December, 2018 and by the Board of Directors of **HARCO NATIONAL INSURANCE COMPANY** at a meeting held on the 13th day of December, 2018.

"RESOLVED, that (1) the Chief Executive Officer, President, Executive Vice President, Senior Vice President, Vice President, or Secretary of the Corporation shall have the power to appoint, and to revoke the appointments of, Attorneys-in-Fact or agents with power and authority as defined or limited in their respective powers of attorney, and to execute on behalf of the Corporation and affix the Corporation's seal thereto, bonds, undertakings, recognizances, contracts of indemnity and other written obligations in the nature thereof or related thereto; and (2) any such Officers of the Corporation may appoint and revoke the appointments of joint-control custodians, agents for acceptance of process, and Attorneys-in-fact with authority to execute waivers and consents on behalf of the Corporation; and (3) the signature of any such Officer of the Corporation and the Corporation's seal may be affixed by facsimile to any power of attorney or certification given for the execution of any bond, undertaking, recognizance, contract of indemnity or other written obligation in the nature thereof or related thereto, such signature and seals when so used whether heretofore or hereafter, being hereby adopted by the Corporation as the original signature of such officer and the original seal of the Corporation, to be valid and binding upon the Corporation with the same force and effect as though manually affixed."

IN WITNESS WHEREOF, **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY** have each executed and attested these presents on this 31st day of December, 2023



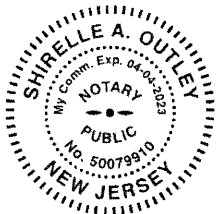
STATE OF NEW JERSEY
County of Essex

STATE OF ILLINOIS
County of Cook



Kenneth Chapman
Executive Vice President, Harco National Insurance Company
and International Fidelity Insurance Company

On this 31st day of December, 2023, before me came the individual who executed the preceding instrument, to me personally known, and, being by me duly sworn, said he is the therein described and authorized officer of **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY**; that the seals affixed to said instrument are the Corporate Seals of said Companies; that the said Corporate Seals and his signature were duly affixed by order of the Boards of Directors of said Companies.



IN TESTIMONY WHEREOF, I have hereunto set my hand affixed my Official Seal, at the City of Newark, New Jersey the day and year first above written.

Shirelle A. Outley a Notary Public of New Jersey
My Commission Expires April 4, 2023

CERTIFICATION

I, the undersigned officer of **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY** do hereby certify that I have compared the foregoing copy of the Power of Attorney and affidavit, and the copy of the Sections of the By-Laws of said Companies as set forth in said Power of Attorney, with the originals on file in the home office of said companies, and that the same are correct transcripts thereof, and of the whole of the said originals, and that the said Power of Attorney has not been revoked and is now in full force and effect.

IN TESTIMONY WHEREOF, I have hereunto set my hand on this day, January 25, 2024



Job Name: Dove Landing
 Job Number: 142-001
 Prepared By: CLL
 Reviewed By: CLL
 Date: 1/3/2024

Dove Landing Final Plat Private Tracts, Street Trees, & Landscaping Performance Bonding

Schedule A - Private Tracts, Street Trees, & Landscaping

Item	Unit Price	Unit	Quantity	Cost
Irrigation				
Install design build irrigation; to include 76 spray zones and 18 dr	\$96,350.00	LS	1	\$96,350
Sod/Seed				
Install hydro seed blend to planting strips and lawn areas	\$11,200.00	LS	1	\$11,200
Plants/Ground Cover/Street Trees				
Install street trees	\$68,000.00	LS	1	\$68,000
Install plants to tracts	\$48,845.00	LS	1	\$48,845
Root Burrier				
Install root burrier to all trees within 8' of paved surfaces	\$58,226.00	LS	1	\$58,226
Bark				
Install bark to planting areas	\$9,025.00	LS	1	\$9,025
Soils				
Install 3 way blend to lawn areas	\$19,700.00	LS	1	\$19,700
Street Trees				
Street Trees	\$500.00	EA	244	\$122,000

TOTAL SCHEDULE A COST	\$433,346
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TOTAL PERFORMANCE BOND AMOUNT (150%)	\$650,019
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EXPIRES: 12-31-24

FSUB 23-02:
RECEIVED
 Street tree & private tract
 landscaping bond request
 JAN 17 2024
 COMMUNITY DEVELOPMENT
 DEPARTMENT

December 29, 2023

City of Woodburn
Community Development Department
Planning Division
270 Montgomery Street
Woodburn, OR 97071

RE: Dove Landing Street Trees/Tracts- PUD-2020-02, SUB-2020-03, ANX-2020-03

LGI Homes-Oregon, LLC proposes to post a performance bond for street tree, planter strip grass, and landscaping of common area Tracts A, B, E, F, G, I, J, K, and M.

Scope of Landscape:

- Installing irrigation for 76 spray zones and 18 drip zones.
- Supply/install street trees
- Install tree root barriers within 8' of paved or concrete surface.
- Install plants and shrubs in tract areas
- Install bark to tract planting areas
- Install 3 way blended soils to lawn areas.

All landscaping will be installed per the landscape plans for the plat development. Street trees and planter strip landscaping will be installed with the construction of each home. Tract landscaping will be installed upon the build out of houses surrounding the tract, but no later than submittal of the final building permit.



City of Woodburn
 Community Development Department
 Planning Division
 270 Montgomery Street
 Woodburn, OR 97071
 Phone: 503-982-5246
 Email: planning@ci.woodburn.or.us

Visit the City of Woodburn [Planning webpage](#) for the most current forms and applications.

Bond or Performance Guarantee Request Form: Street Trees and/or Tract Landscaping

Project			
Name:	Dove Landing		
Land Use Master/Parent Case File Number:	PUD-2020-02, SUB-2020-03, ANX-2020-03, FSUB 23-02		
Address(es), if applicable:	3001 N. Boones Ferry Rd.		
Tax Lot #(s):			
Partition or Subdivision Plat Name, if applicable and recorded:			
Developer			
Name:	Alex Bertorelli	Title:	Land Development Manager
Phone:	971-221-2855	Firm:	LGI Homes, Oregon, LLC
Mailing Address:	700 Washington St STE 200, Vancouver, WA 98660		
Email:	alex.bertorelli@lgihomes.com		
Civil Engineer			
Name:	Craig Larson	Title:	Project Engineer
Phone:	503-941-9484	Firm:	Pacific Community Design
Mailing Address:	12564 SW Main St., Tigard, OR 97223		
Email:	craig@paciifc-community.com		
Landscape Architect			
Name:	Kristina Koltavary	Title:	Landscape Architect
Phone:	503-941-9484	Firm:	Pacific Community Design
Mailing Address:	12564 SW Main St., Tigard, OR 97223		
Email:	michelle.hundley@pacific-community.com		

RECEIVED

JAN 03 2024

Requested Item(s) to Bond:

- Street trees
- Tract landscaping: private common area tracts

For all public improvements other than street trees, do not use this form. Contact the Public Works Department Engineering Division directly to ask about bonds, bonding, or performance guarantees for all other public improvements.

Submittal Checklist:

- 1. Fee payment per any as applicable:
 - A. Land use final decision document 200 series attachment conditioned fee for bond request
 - B. Planning Division fee schedule
 - C. City fee schedule

It is likely that A. is the source of the applicable fee for a request.
- 2. Letter or narrative describing degree, extent, and nature of requested items to bond.
- 3. Maps or plans of street tree locations and/or tract landscaping from a civil engineering plan (CEP) drawing set that the Public Works Department Engineering Division approved or a landscaping plan set that the Community Development Department Planning Division approved.
- 4. Exhibit(s) of itemized items with cost estimates and total cost estimate, stamped by a licensed professional.
- 5. What terms of approval, if any, the developer would like City staff to consider.

Certifications: I as developer:

- Have read and understood Woodburn Development Ordinance (WDO) 4.02.08 "Performance Guarantees".
- Acknowledge that City acceptance, review, and approval of a bond or performance guarantee request is administrative, discretionary, and not guaranteed.
- Hereby declare that I have read the foregoing request form and know the contents of the request form to be true.

Developer's Signature	
<i>Alexander Bertorelli</i>	
Print Name	Title
Alex Bertorelli LGI Homes-Oregon, LLC	Land Development Manager
Date	
12/27/2023	

EXHIBIT A



1 STREET TREE - PLANTING PLAN



REVISIONS		
NO.	DATE	DESCRIPTION

DOVE
LANDING PUD



STREET TREE
PLANTING
PLAN



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: KMK

L1.02



DATE: 01/28/2022

REVISIONS		
NO.	DATE	DESCRIPTION

DOVE
LANDING PUD



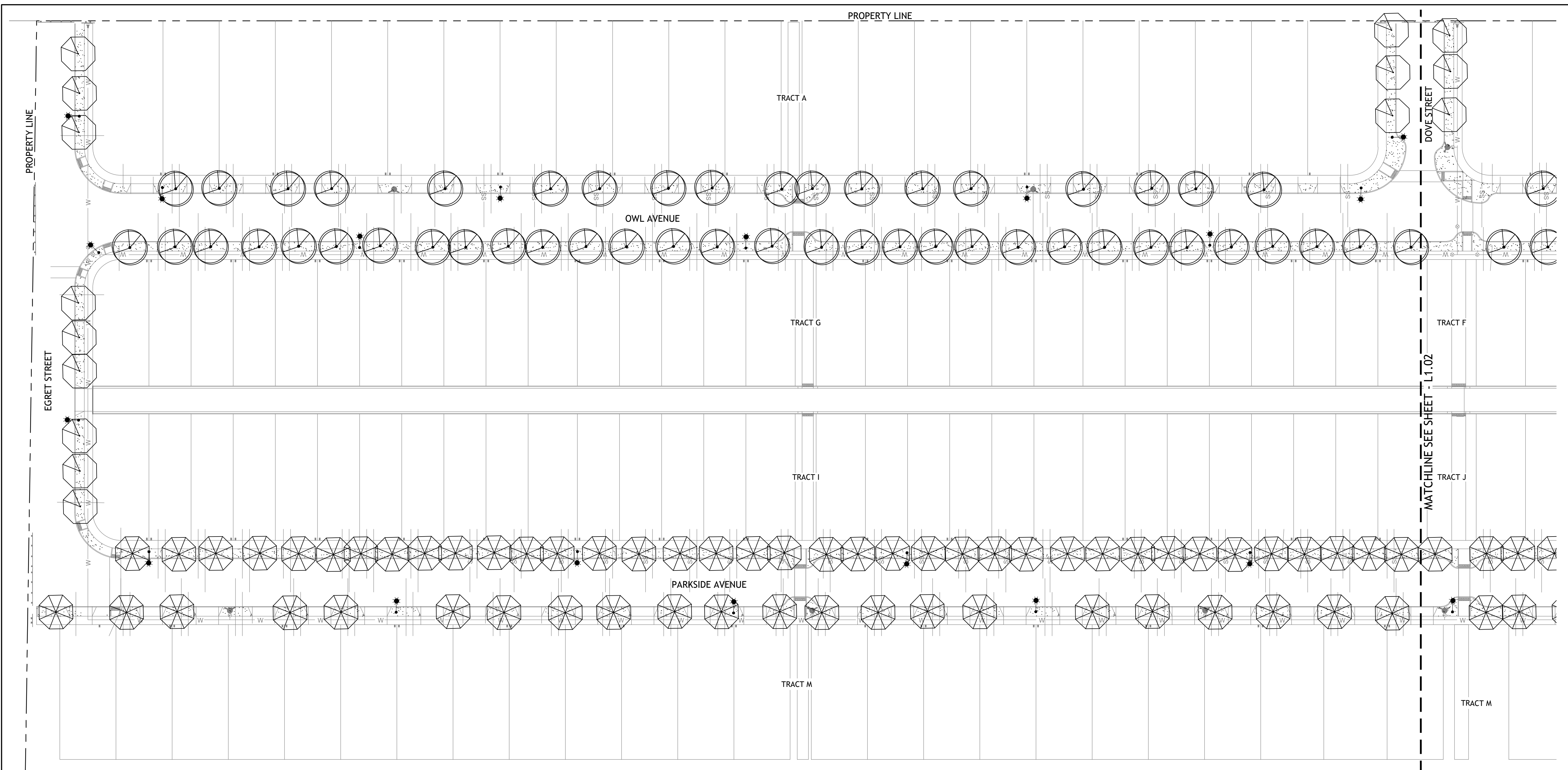
STREET TREE
PLANTING
PLAN



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: KMK

L1.01



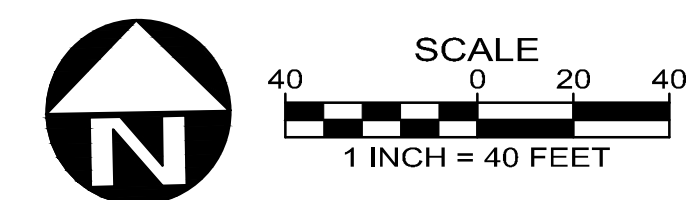
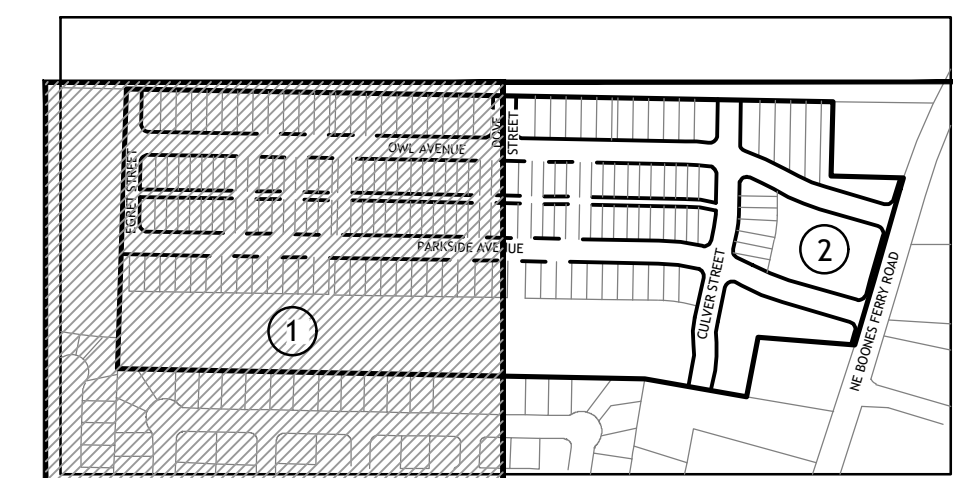
1 STREET TREE - PLANTING PLAN

STREET TREE LEGEND

SYMBOL	QTY	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION	MATURE HEIGHT
	77	GERLING RED MAPLE / <i>ACER RUBRUM</i> 'GERLING': 2" CAL., B&B	35'
	89	RANCHO LITTLELEAF LINDEN / <i>TILIA CORDATA</i> 'RANCHO': 2" CAL., B&B	50'
	21	KWANZAN CHERRY PLUM / <i>PRUNUS SERRULATA</i> 'KWANZAN': 2" CAL., B&B	30'
	37	PYRAMIDAL EUROPEAN HORNBEAM / <i>CARPINUS BETULUS</i> 'FASTIGIATA': 2" CAL., B&B	35'
	23	TILFORD RED MAPLE / <i>ACER RUBRUM</i> 'TILFORD': 2" CAL., B&B	30'
	15	HARVEST GOLD MONGOLIAN LINDEN / <i>TILIA MONGOLICA</i> 'HARVEST GOLD': 2" CAL., B&B	30'
	49,030 SF	LAWN- SEED WITH GRASS SEED: SUPREME MIX PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.	

NOTES:

1. PLANTERS UNDER STREET TREES UNLESS OTHERWISE NOTED ARE TO BE SEEDED GRASS SEED SUPREME MIX (LAWN). SEE LEGEND AND GENERAL PLANTING SHEET FOR ADDITIONAL INFORMATION.
2. A PERMANENT UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL STREET TREE LAWN AREAS.
3. ALL STREET TREES IN R.O.W. ARE TO BE INSTALLED WITH A GEO TEXTILE ROOT CAPPING SYSTEM PER DETAIL 1 SHEET L4.01.



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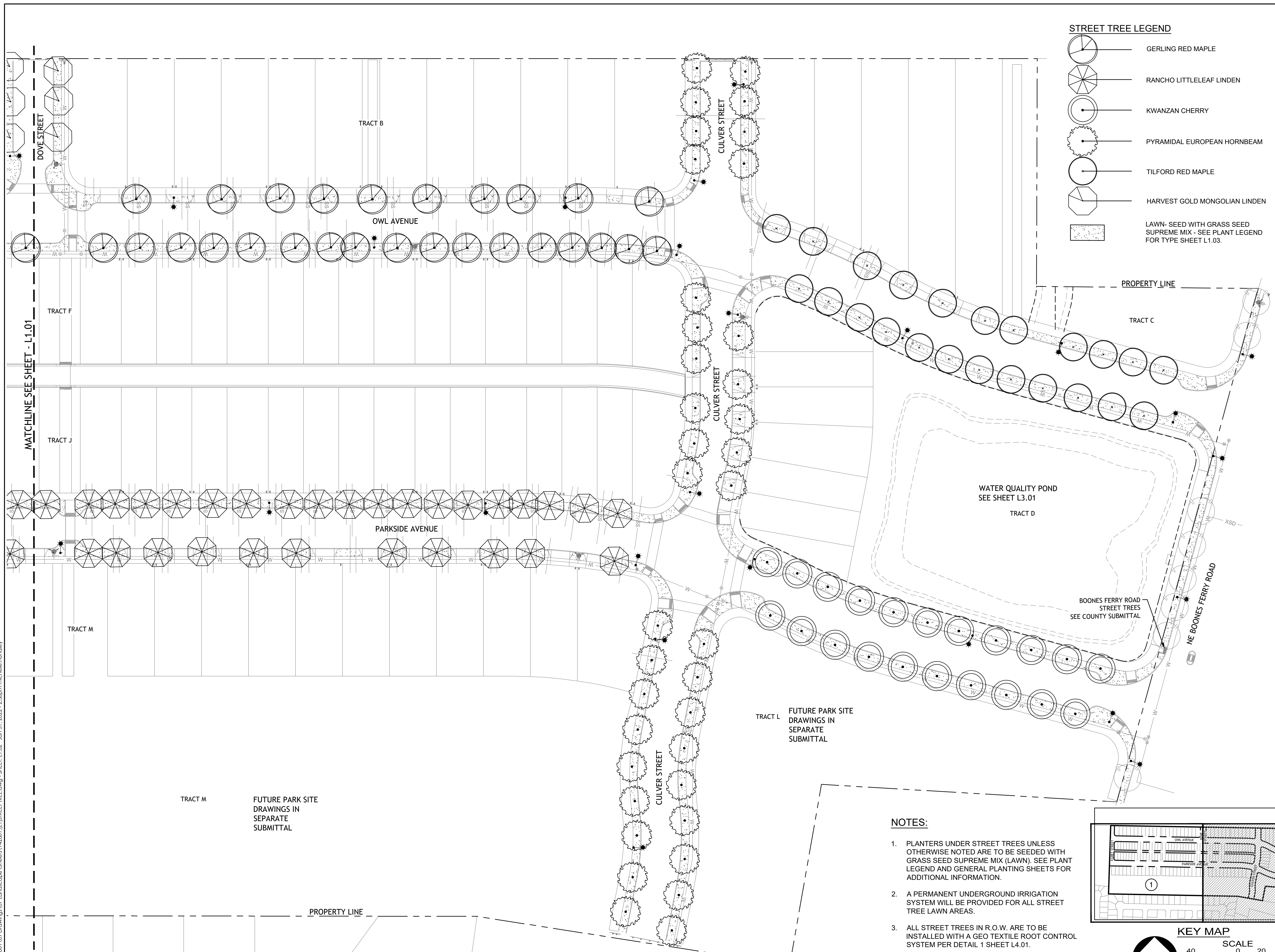
DATE: 01/28/2022

REVISIONS

NO.	DATE	DESCRIPTION

STREET TREE LEGEND

	GERLING RED MAPLE
	RANCHO LITTLELEAF LINDEN
	KWANZAN CHERRY
	PYRAMIDAL EUROPEAN HORNBEAM
	TILFORD RED MAPLE
	HARVEST GOLD MONGOLIAN LINDEN
	LAWN- SEED WITH GRASS SEED SUPREME MIX - SEE PLANT LEGEND FOR TYPE SHEET L1.03.

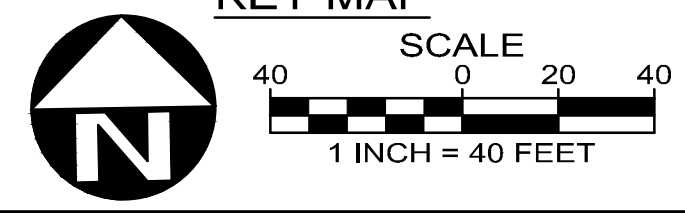
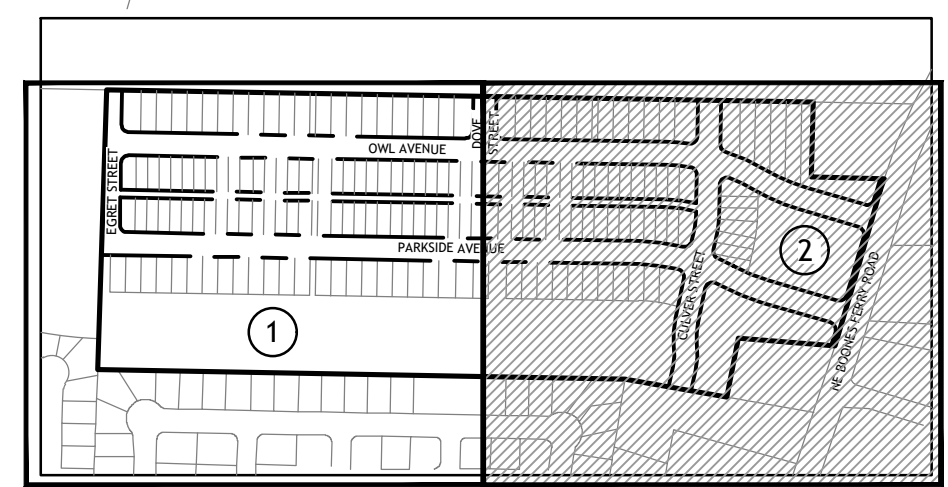


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1 STREET TREE - PLANTING PLAN

NOTES:

1. PLANTERS UNDER STREET TREES UNLESS OTHERWISE NOTED ARE TO BE SEEDED WITH GRASS SEED SUPREME MIX (LAWN). SEE PLANT LEGEND AND GENERAL PLANTING SHEETS FOR ADDITIONAL INFORMATION.
2. A PERMANENT UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL STREET TREE LAWN AREAS.
3. ALL STREET TREES IN R.O.W. ARE TO BE INSTALLED WITH A GEO TEXTILE ROOT CONTROL SYSTEM PER DETAIL 1 SHEET L4.01.



DOVE LANDING PUD



STREET TREE PLANTING PLAN



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: KMK

L1.02



DATE: 01/28/2022

REVISIONS		
NO.	DATE	DESCRIPTION

DOVE
LANDING PUD



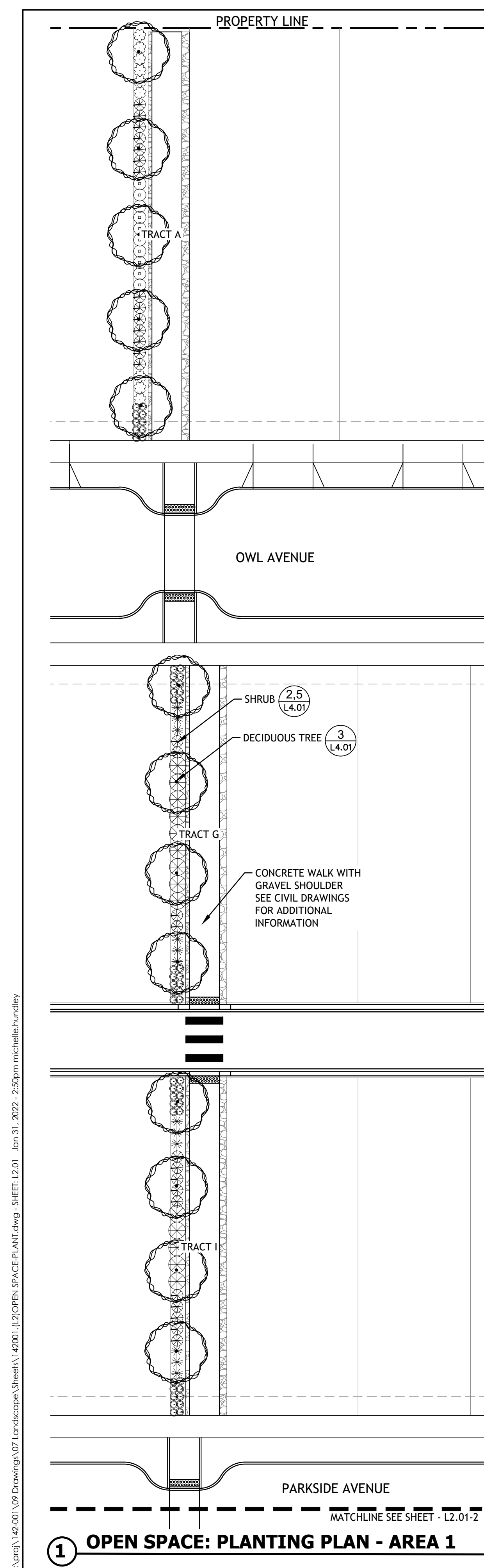
OPEN SPACE
PLANTING
PLAN



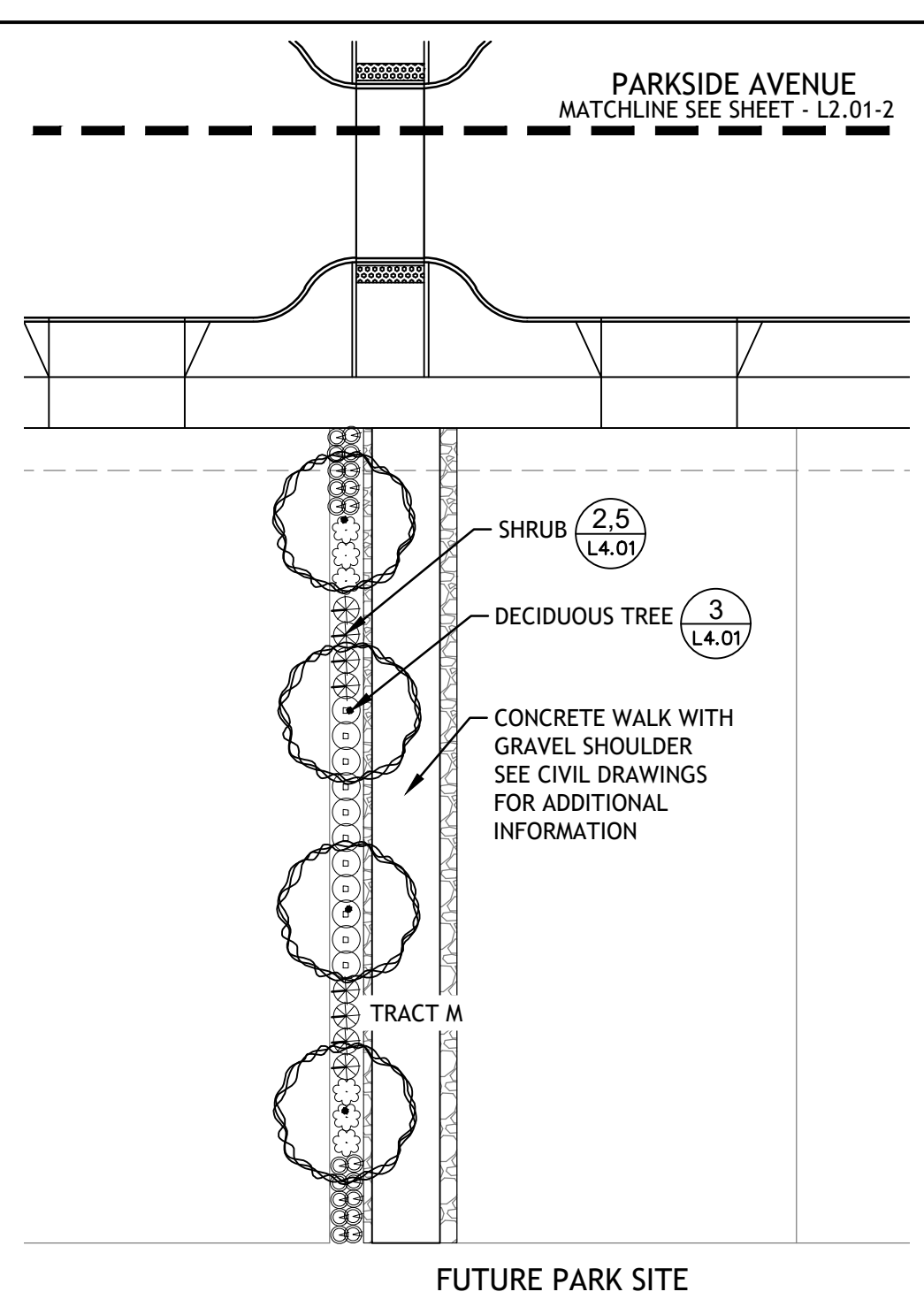
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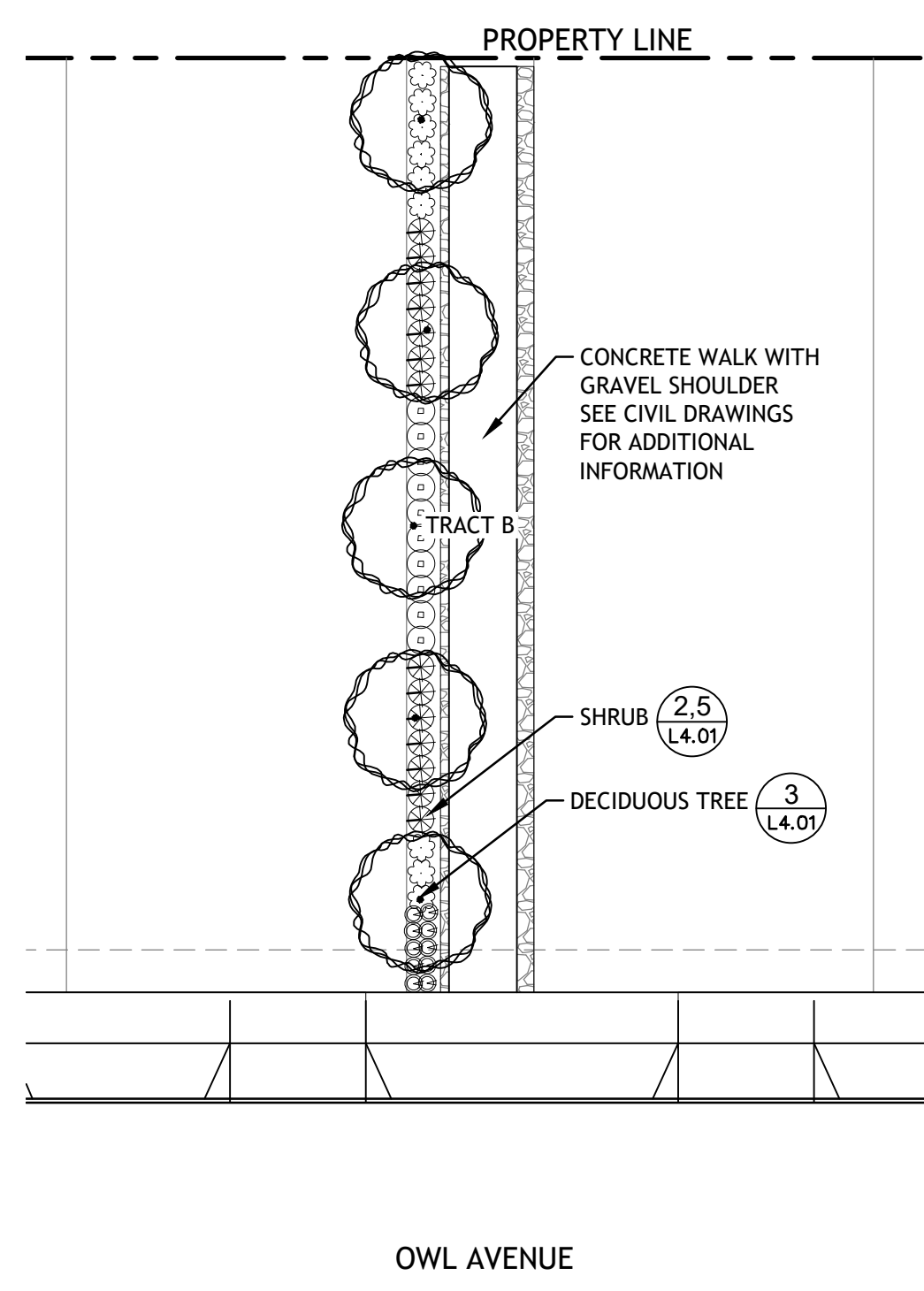
L2.01



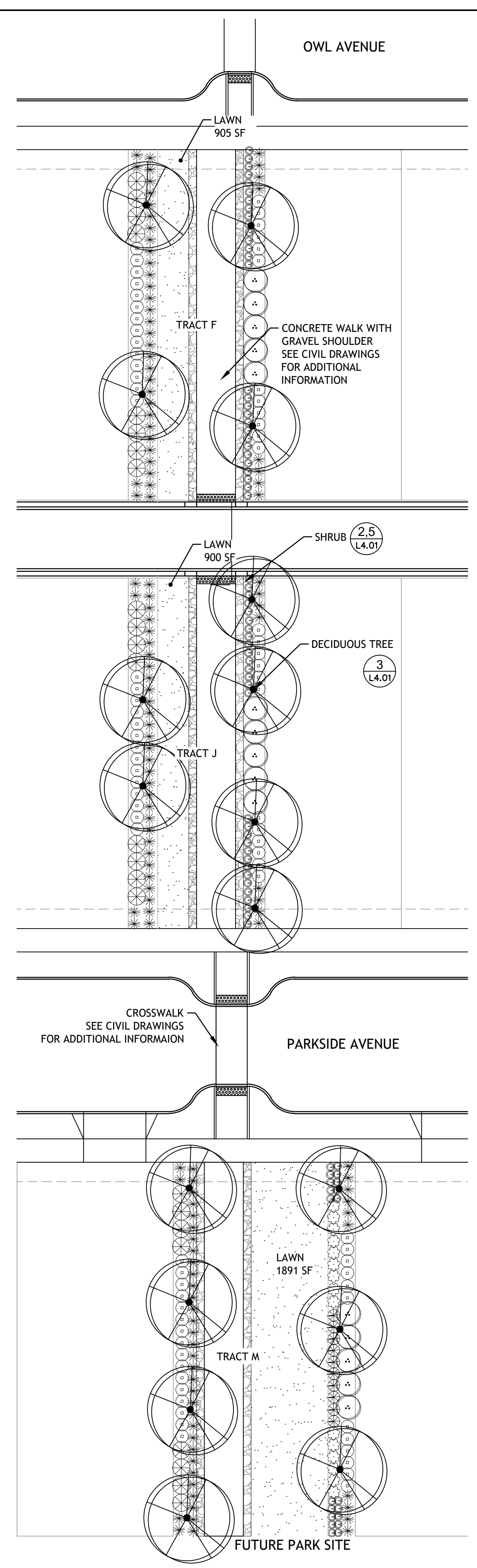
1 OPEN SPACE: PLANTING PLAN - AREA 1



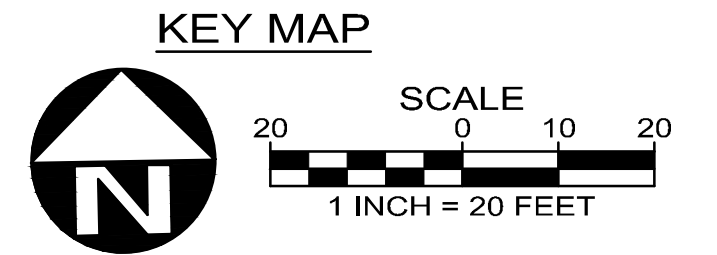
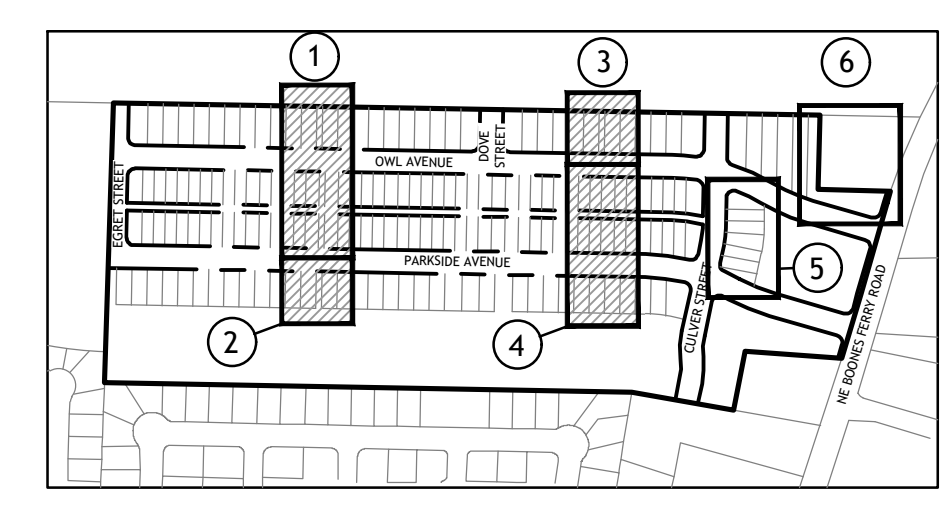
2 OPEN SPACE: PLANTING PLAN - AREA 2



3 OPEN SPACE: PLANTING PLAN - AREA 3



4 OPEN SPACE: PLANTING PLAN - AREA 4



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DATE: 01/28/2022

REVISIONS

NO. DATE DESCRIPTION

DOVE
LANDING PUD



OPEN SPACE
PLANTING
PLAN



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: KMK

L2.02

OPEN SPACE PLANTING LEGEND:

TREES	SYMBOL	QTY	COMMON NAME / BOTANICAL NAME:	SIZE & DESCRIPTION
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		14	EDDIE'S WHITE WONDER DOGWOOD / CORNUS 'EDDIE'S WHITE WONDER': 1.5" CAL., B&B	
		14	PAPERBARK MAPLE / ACER GRISEUM : 1.5" CAL., B&B	
		5	WHITE OAK / ABIES GRANDIS: 2" CAL., B&B	
		8	HOGAN CEDAR / THUJA PLICATA 'HOGAN': 8'-10' HT., B&B	
		22	INCENSE CEDAR / CALOCEDRUS DECURRENS: 7'-8' HT., B&B	

SHRUBS	SYMBOL	QTY	COMMON NAME / BOTANICAL NAME:	SIZE & DESCRIPTION
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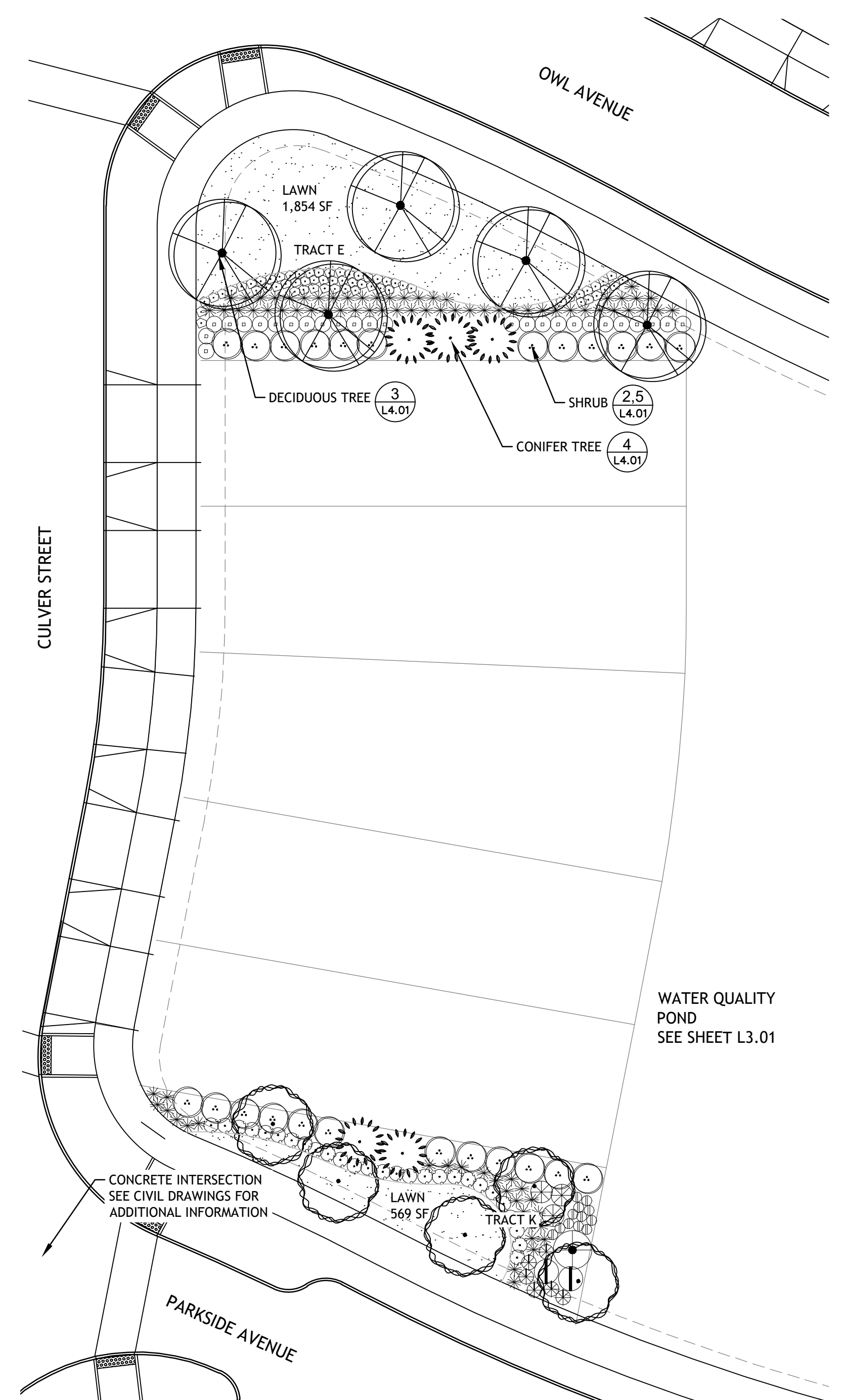
		72	SPIKE WINTER HAZEL / CORYLOPSIS SPICATA: #5 CONT.*	
		202	LUCKY LOTS ABELIA / ABELIA X GRANDIFLORA 'LUCKY LOTS': #2 CONT.*	
		146	NORDIC INKBERRY HOLLY / ILEX GLABRA 'CHAMZIN': #1 CONT.*	
		63	PURPLE ROCKROSE/ CISTUS PURPUREUS : #2 CONT.*	
			GIBBY HEBE / HEBE 'GIBBY': #2 CONT.	

ORNAMENTAL GRASS, LAWN AND GROUND COVER	SYMBOL	CODE	QTY	COMMON NAME / BOTANICAL NAME:
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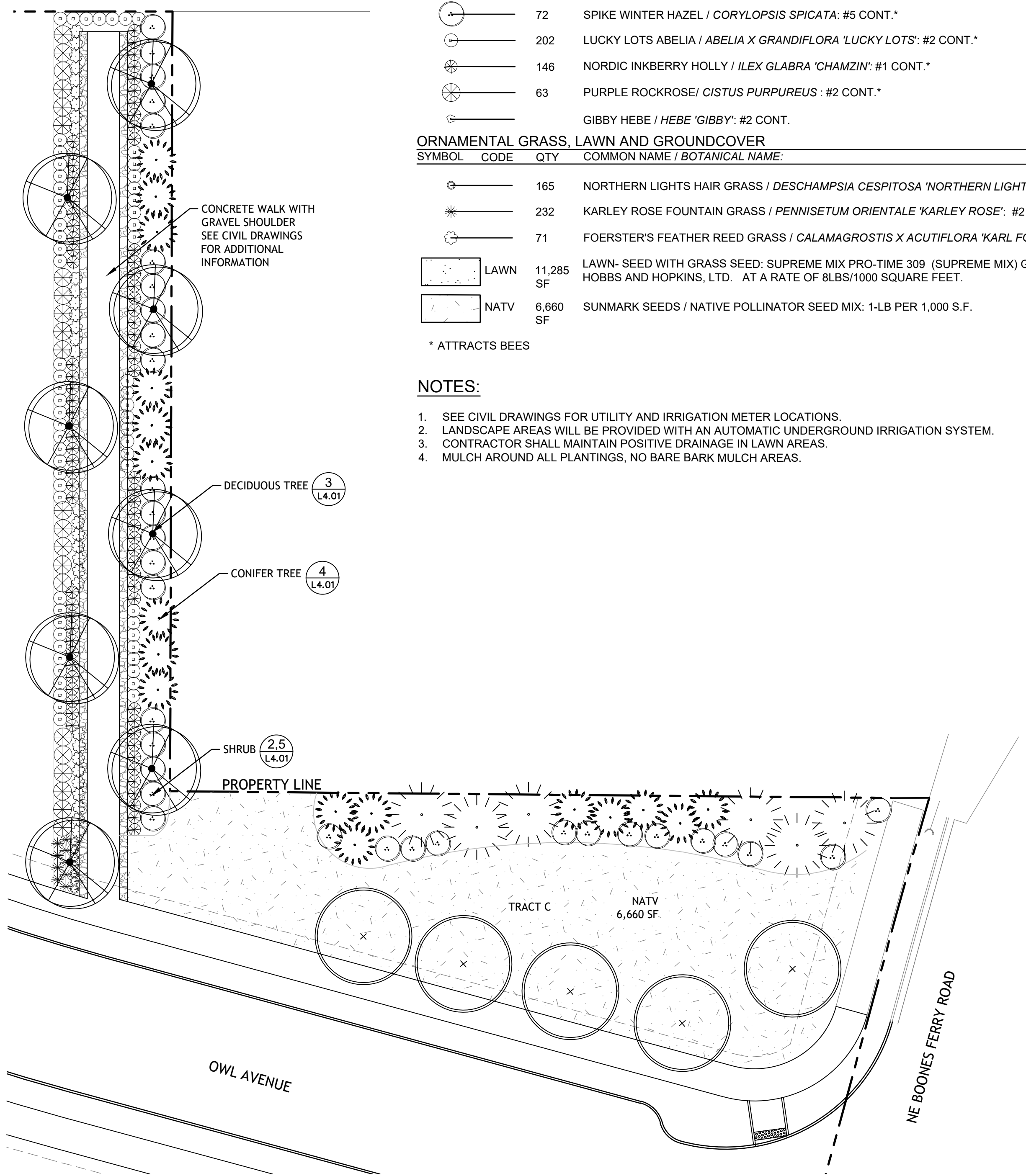
			165	NORTHERN LIGHTS HAIR GRASS / DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS': #1 CONT.
			232	KARLEY ROSE FOUNTAIN GRASS / PENNISETUM ORIENTALE 'KARLEY ROSE': #2 CONT.
			71	FOERSTER'S FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER': 1 GAL.
		LAWN	11,285 SF	LAWN- SEED WITH GRASS SEED: SUPREME MIX PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.
		NATV	6,660 SF	SUNMARK SEEDS / NATIVE POLLINATOR SEED MIX: 1-LB PER 1,000 S.F.

NOTES:

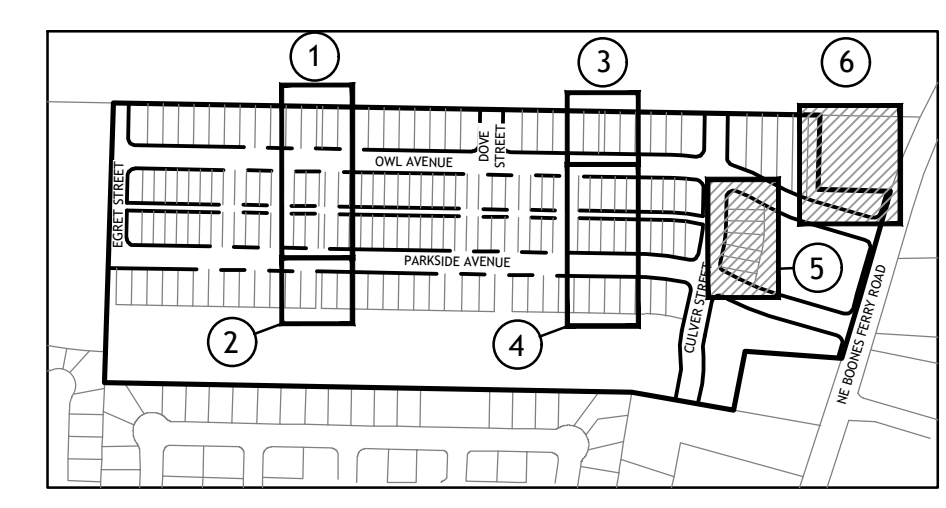
- SEE CIVIL DRAWINGS FOR UTILITY AND IRRIGATION METER LOCATIONS.
- LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- MULCH AROUND ALL PLANTINGS, NO BARE BARK MULCH AREAS.



1 OPEN SPACE: PLANTING PLAN - AREA 5



2 OPEN SPACE: PLANTING PLAN - AREA 6



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DATE: 01/28/2022

REVISIONS

NO.	DATE	DESCRIPTION

DOVE
LANDING PUD



WATER QUALITY
POND
PLANTING
PLAN



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: KMK

L3.03

WATER QUALITY POND PLANTING LEGEND

TREES

SYMBOL	QTY	COMMON NAME / BOTANICAL NAME:	SIZE AND DESCRIPTION
	10	WESTERN HEMLOCK / <i>TSUGA HETROPHYLLA</i>	8'-10' HT., B&B
	22	WILLOW OAK / <i>QUERCUS PHELLOS</i>	2" CAL., B&B
	34	RED ALDER / <i>ALNUS RUBRA</i>	2" CAL., B&B
	17	GRAND FIR / <i>ABIES GRANDIS</i>	6' HT., B&B
	18	BLACK HAWTHORNE / <i>CRATAEGUS DOUGLASII</i>	2" CAL., B&B

SHRUBS / ORNAMENTAL GRASSES

SYMBOL	QTY	COMMON NAME / BOTANICAL NAME:	SIZE AND DESCRIPTION
	84	NOOTKA ROSE / <i>ROSA NUTKANA</i>	#1 CONT.
	29	INDIAN PLUM / <i>OEMLERIA CERASIFORMIS</i>	#1 CONT.
	53	SITKA WILLOW / <i>SALIX STICHENSIS</i>	#1 CONT.
	32	BLUE ARCTIC WILLOW / <i>SALIX PURPUREA 'NANA'</i>	#1 CONT.
	100	ARCTIC FIRE RED TWIG DOGWOOD / <i>CORNUS SERICEA 'FARROW'</i>	#1 CONT.
	300	DOUGLAS SPIREA / <i>SPIREA DOUGLASII</i>	#1 CONTAINER
	113	RED FLOWERING CURRENT / <i>RIBES SANGUINEUM</i>	#1 CONT.
	337	SNOWBERRY / <i>SYMPHOROCARPUS ALBA</i>	#1 CONT.
	61	LUCKY LOTS ABELIA/ <i>ABELIA X GRANDIFLORA 'LUCKY LOTS'</i>	#2 CONT.
	105	PURPLE ROCKROSE/ <i>CISTUS PURPUREUS</i>	#2 CONT.
	86	NORTHERN LIGHTS HAIR GRASS / <i>DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS'</i>	#1 CONT.
	24	APRICOT WHISPER CINQUEFOIL/ <i>POTENTILLA FRUTICOSA 'APRICOT WHISPER'</i>	#2 CONT.

SIDE SLOPE SEED MIX: CWS LOW GROW - 120 LB PER ACRE

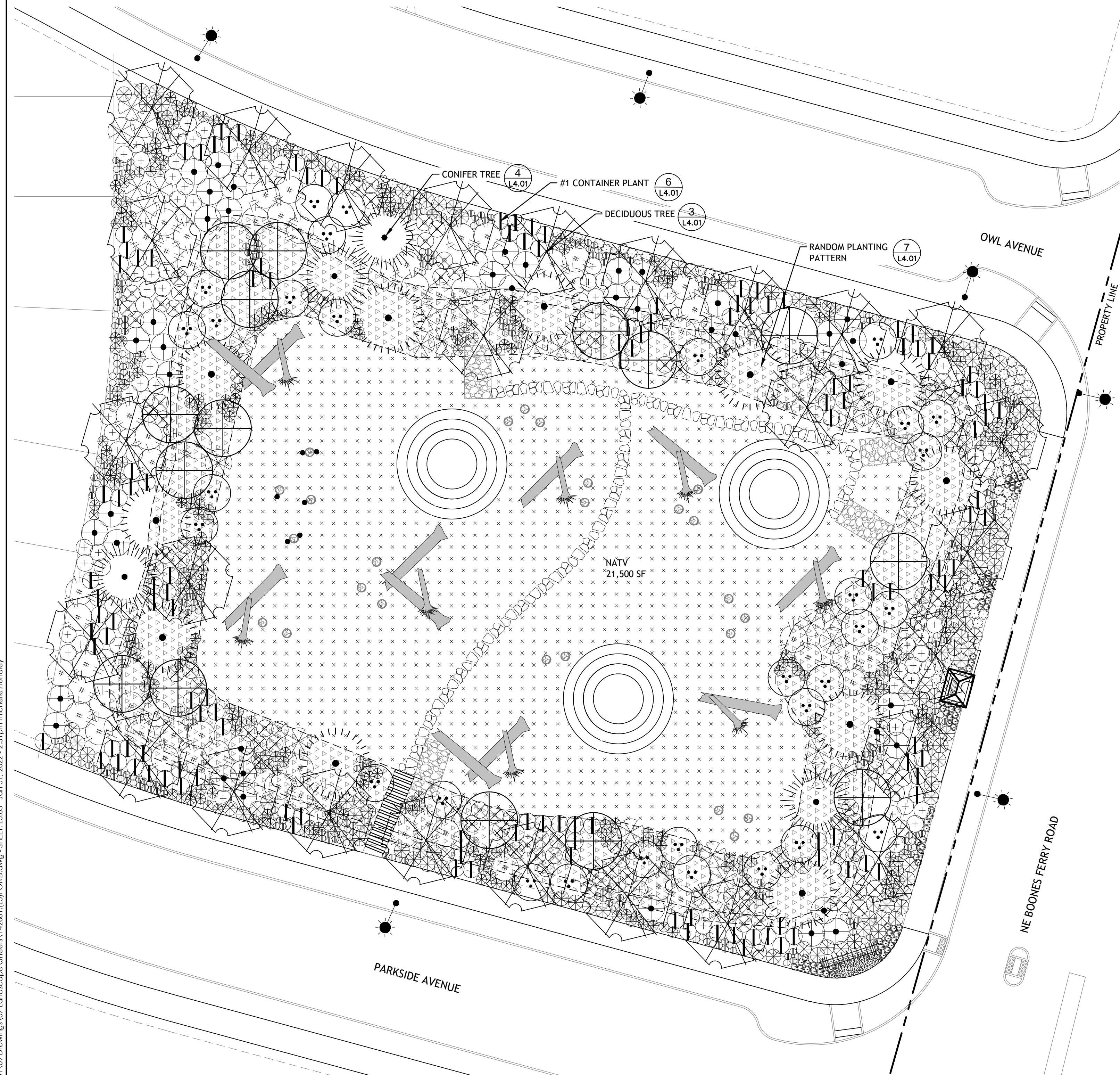
SYMBOL	QTY	COMMON NAME / BOTANICAL NAME
	40%	DWARF TALL FESCUE / <i>FESTUCA ARUNDINACEA</i>
	30%	DWARF PERENNIAL RYEGRASS / <i>LOLIUM PERENNE 'PR8820'</i>
	25%	CREEPING RED FESCUE / <i>FESTUCA RUBRA</i>
	5%	HIGHLAND COLONIAL BENTGRASS / <i>AGROSTIS TENUIS 'HIGHLAND'</i>

POND BOTTOM NATIVE SEED MIX

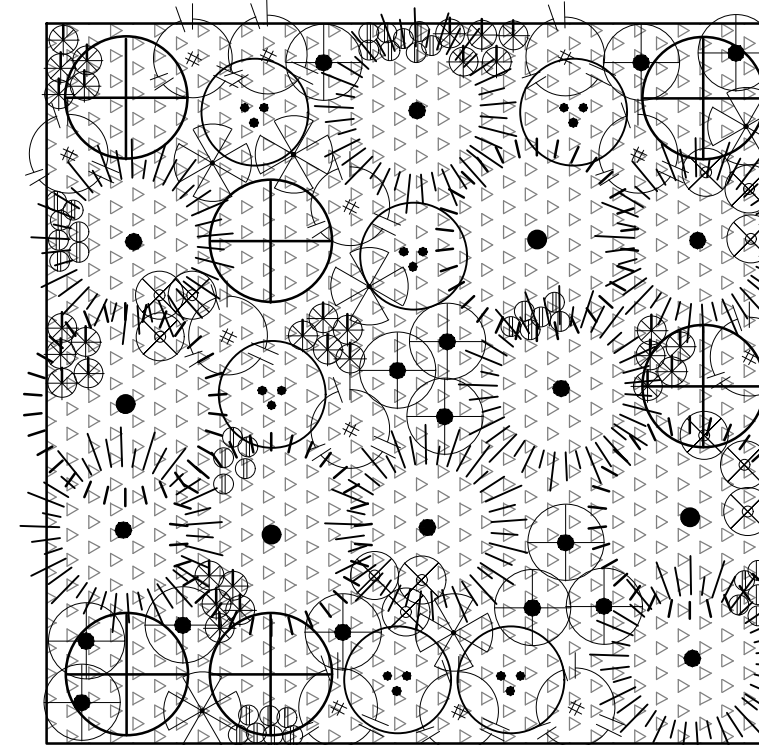
SYMBOL	COMMON NAME / BOTANICAL NAME:	SIZE & DESCRIPTION
	NATV	SUNMARK SEEDS / NATIVE SWALE MIX: 1-LB PER 1,000 S.F.
	NATV	SUNMARK SEEDS / SHRUB SWAMP MIX: 1-LB PER 1,000 S.F. ** OR APPROVED EQUAL

NOTES:

1. WATER QUALITY FACILITY PLANT MATERIAL SHALL BE PROVIDED WITH A TEMPORARY AUTOMATIC IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER. TEMPORARY IRRIGATION SYSTEM SHALL BE MAINTAINED A MINIMUM OF THREE (3) GROWING SEASONS.



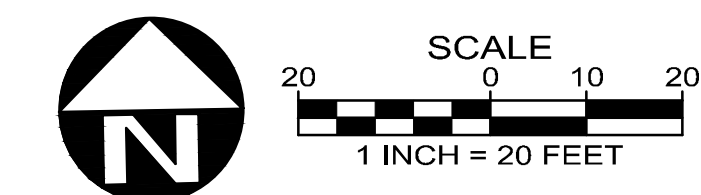
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WATER QUALITY FACILITY
TYPICAL PLANTING PLAN



KEY MAP



1 WATER QUALITY POND: PLANTING PLAN