



City of Woodburn
Community Development Dept.

Memorandum

270 Montgomery Street Woodburn, Oregon 97071 Phone (503) 982-5246 Fax (503) 982-5244

Date: November 8, 2021
To: Dago Garcia, P.E., City Engineer
Cc: Chris Kerr, AICP, Community Development Director
Craig Larson, PE, Project Engineer, Pacific Community Design
From: Colin Cortes, AICP, CNU-A, Senior Planner *CC*
Subject: **Planning Division review comments on original submittal October 18 of civil engineering plans for Dove Landing PUD (ANX 2020-03)**

Summary

Planning Division staff identifies revisions needed before sign-off on Public Works Department Engineering Division approval and issuance of civil engineering plans for the Dove Landing planned unit development (PUD; ANX 2020-03) along the west side of Boones Ferry Road NE.

The City Engineer hosted a virtual meeting with Planning Division staff November 8 regarding the original submittal of October 18.

Revision Items

The applicant needs to address the items below.

Part I

These are required items.

- A. Condition G4b: Sheet 201 symbolizes Culver St east sidewalk as, “sidewalk built by home builder”, and includes a segment adjacent to Tract H. Sheets 202-204 also include “sidewalk built by home builder”. Condition G4b prohibits this. (The condition is silent on City Administrator discretion regarding a developer’s construction bond or performance guarantee request through written application to, review, and processing by the Public Works Department Engineering Division guided by WDO 4.02.08.)
- B. PUD-3a: There are no sheets for Boones Ferry Rd NE (BFR) frontage improvements, and Sheet L1.02 has a note, “See County submittal”. Even at plan size, with a small drawing and a 1:40 scale staff can’t confirm conformance (planter strip 6 ½ ft wide including curb width). The developer’s narrative, unlabeled page 3, states, “Since BFR is still a county road we are preparing a BFR submittal package to Marion County. That package will be submitted to the city with the second city submittal. Coordination with the County is still ongoing.” Demonstrate conformance.
- C. PUD-3c:
 - 1. Demonstrate conformance with, “The BFR sidewalk dead-end(s) and ‘P’ Street west dead-end shall have ADA-compliant transitions spanning between sidewalk and road shoulder” for the north dead-end.
 - 2. Revise Sheet 210 to correct the Egret Street plan and cross section sidewalk from 5 to 6 ft.
- D. PUD-3f: Regarding electric power lines and along BFR, the applicant’s narrative unlabeled page 3 states, “See Proposed Public Utility Easements on sheets 201 through 210.” P. 3 also states, “Since BFR is still a county road we are preparing a BFR submittal package to Marion County. That package will be submitted to the city with the second city submittal. Coordination with the County is still ongoing.” Demonstrate conformance.
- E. PUD-3g(2): A patterned poured concrete crosswalk is missing from the east leg of the intersection of Egret Street & Parkside Avenue. Revise Sheets 210 & CR6.
- F. PUD-4: Revise all sheets with a barricade sign detail, including SS2 and D2.02, to revise the detail so that the sign face copy is shorter per Public Works direction and the text is or includes what WDO 3.01.05A.2c requires: “This Street is Planned for Future Extension”.

G. PUD-5: Regarding tree preservation:

1. Per Attachment 205 Part A1(a) & (b), demonstrate conformance with a supplemental sheet or sheets.
2. To indicate application of Attachment 205 Part A2 to trees 70522 & 70523 (“snags”), revise Sheet 112, submit a supplemental sheet, or both.
3. Per Attachment 205 Part B, p. 4 “Protection fencing”, revise the Sheet 112 fencing detail from 5 ft to 6 ft high.

H. PUD-9: There are no sheets illustrating and noting park land improvements per condition part a and as the developer negotiated with the Assistant City Administrator per condition part c. Sheet L1.02 notes, “future park site drawings in separate submittal”. If not already negotiated, to start see also Item I about PUD-11.

I. PUD-11: Regarding PUD Final Plan Approval Process (FP): Is the developer’s intent to accomplish FP review through CEP submittals? Either way, a fee is due for FP review per the Attachment 206 fee table, row G6: \$250. See also Item H about PUD-9. As well as improvements proposed for public tracts, illustrate and note landscaping conforming to WDO 3.06B min size at planting, and Attachment 203 Part B. See further direction about FP in Note to the Applicant 19 (final decision p. 13).

Pay the FP review fee, submit a narrative that explains the developer’s understanding and proposed application of Condition PUD-9c(2), and submit drawings of proposed improvements of park land (Tracts J & L). Staff recommends that before drafting and submitting documents, the developer directly contact Jim Row, Assistant City Administrator, (503) 982-5265, jim.row@ci.woodburn.or.us, for direction, drawing his attention to the [final decision document](#) found on the [City project webpage](#), specifically [Attachment 203](#) Part A (Table 203A). (Upon FP submittal, City staff will consult him.)

J. T-BP1: Regarding bicycle/pedestrian off-site improvements:

1. Regarding condition part a., “Construct TSP project P45 (TSP p. 64 ...)”:

<i>Project No.</i>	<i>Location</i>	<i>Type</i>	<i>Description</i>
P45	Boones Ferry Road/Constitution Avenue/Tukwila Drive	Enhanced crossing	Install an enhanced pedestrian crossing. This project improves safe routes to school for Woodburn High School

The developer’s narrative, unlabeled page 5, states, “Proposed locations of connections currently being coordinated with Marion County and will be shown on the associated plans.” The P45 area is well within city limits; demonstrate conformance. Submit plan sheets specific to this improvement.

2. Regarding condition parts b., BFR & Hazelnut sidewalk, and c. wayfinding signage, the developer’s narrative, unlabeled page 5, states, “Proposed locations of connections currently being coordinated with Marion County and will be shown on the associated plans.” See Item W about County coordination.

- K. T-T1: Regarding the school bus stop shelter, the developer's narrative, unlabeled page 6, states, "Coordination with the school district has begun and a location along Boones Ferry Road has been identified as the preferred location of the shelter. Bus shelter will be shown in future submittal and BFR Plan submittal." Demonstrate conformance through addressing Item W about County coordination.
- L. Final Decision Attachment 203 Part C2: Tract L: Demonstrate conformance to the standards in Parts C1 & 3. Per Condition PUD-9c(1), the paths other than the middle east and west spur paths also are required and aren't parks system development charge (SDC) credit eligible.
- M. Attachment 203, Part D2d: On November 8, the City Engineer confirmed to Planning staff that Public Works desires the alley to be instead be a shared rear lane, that is, private tract with public easement(s), and Part D2d applies. Do D2d and per Part D2d(4) revise Sheets 211 & 213 to have the shared rear lane two driveways max 14 ft wide. See also Item O5.
- N. Cross access easement:
1. Revise Sheet 201 to shift the conceptual cross access easement (CAE) east 5 ft to meet Attachment 203 Part D4.
 2. Avoid planting a street tree within where a future driveway would be based on the Tract F CAE by revising Sheet L1.02 to (a) delineate the CAE and (b) remove the street tree west of the street light that is nearest the CAE as Sheet 201 illustrates.
- O. Street tracts: Remove all and replace with ROW as follows:
1. Tract A: Remove Tract A and have Egret Street ROW extend to the north subdivision boundary. Revise Sheet 104 and any other sheets that delineate or label it.
 2. Tract C: Remove Tract C and have Dove Street ROW extend to the north subdivision boundary. Revise Sheet 104 and any other sheets that delineate or label it.
 3. Tract E: Remove Tract E and have Culver Street ROW extend to the north subdivision boundary. Revise Sheet 105 and any other sheets that delineate or label it.
 4. Tract J: Remove Tract J and have Culver Street ROW extend to the south subdivision boundary. Revise Sheet 105 and any other sheets that delineate or label it.
 5. Re-designate all the remaining tracts as A through M, and revise all sheets accordingly. Revise Sheets L2.01 & L2.02 to add the tract letters. Provide a key or table listing tracts letters from (a) final decision document Sheets 6.1 & 6.2 (preliminary plat), through (b) CEP original submittal, and to (c) re-designations for CEP re-submittal (and later final plat submittal).

P. Street trees:

1. Revise Sheet L1.01, Note 3, which references a Detail 1 on Sheet L4.06. The correct sheet number appears to be L4.02.
2. Swap the east block Owl Avenue Kwanzan cherry and Parkside Avenue Tilford red maple species placements. Revise Sheet L1.02.
3. Street tree root barrier detail: Revise any of Sheets D2.01-2.03 to copy the PW Detail Drawing No. 1 "Street Tree Planting New Construction" found on Sheet L4.02.

Q. Path tracts and associated landscaping:

1. Tract B:
 - a. Extend the bike/ped path up to the north subdivision boundary. Revise Sheets 104, F1, and any other sheet that shows it.
 - b. Based on Attachment 203 Part C2 ("furniture zone"), shift the path to be 2 ft from the east tract boundary and 5 ft from the west. Revise Sheet 104, Sheet F1 plan and cross section E views, and any other sheet that shows it.
 - c. Because the above item b. leaves too little width for east side trees, revise Sheet L2.01 to remove them.
2. Tract D:
 - a. Extend the bike/ped path up to the north subdivision boundary. Revise Sheets 105, F2, and any other sheet that shows it.
 - b. Based on Attachment 203 Part C2 ("furniture zone"), shift the path to be 2 ft from the east tract boundary and 5 ft from the west. Revise Sheet 105, Sheet F2 plan and cross section E views, and any other sheet that shows it.
 - c. Revise Sheet L2.01 both to add a fifth tree to the west side and, because the above item b. leaves too little width for east side trees, to remove them. Also revise to remove north three shrubs between path and north subdivision boundary because of item a.
3. Tract F:
 - a. Extend the bike/ped path up to the north subdivision boundary. Revise Sheets 105, F3, and any other sheet that shows it.
 - b. The Sheet F3 cross section E view seems incorrect compared to the plan view; revise.
4. Tract L middle east spur:
 - a. Shift the path to be 8 ft from west boundary per Attachment 203 Part C2. Revise Sheet 104, Sheet F5 plan and cross section E1 view, and any other sheet that shows it.
 - b. Revise the large symbol trees from 4 on the east and 2 on the west to 4 on the west and 3 on the east.
 - c. Add a north end medium or large symbol tree between the path and the tract east boundary and just outside the streetside PUE.
5. Tract L middle west spur:
 - a. Shift the path to be 5 ft from west boundary and 2 ft from the east. Revise Sheet 104, Sheet F4 plan and cross section E view, and any other sheet that shows it.
 - b. Because the above item leaves too little width for east side trees, revise Sheet L2.01 to remove them.

6. Tract M:
 - a. Based on Attachment 203 Part C2 (“furniture zone”), shift the path to be 2 ft from the east tract boundary and 5 ft from the west. Revise Sheet 105, Sheet F2 plan and cross section E views, and any other sheet that shows it.
 - b. Because the above item leaves too little width for east side trees, revise Sheet L2.01 to remove them.
 7. Tract N:
 - a. Based on Attachment 203 Part C2 (“furniture zone”), shift the path to be 2 ft from the east tract boundary and 5 ft from the west. Revise Sheet 105, Sheet F2 plan and cross section E views, and any other sheet that shows it.
 - b. Because the above item leaves too little width for east side trees, revise Sheet L2.01 to remove them.
- R. Other landscaping:
1. Bark dust / wood chip: Revise Sheet L2.02 to revise or add a general note demonstrating conformance with Attachment 203 Part B1.
 2. Tract F:
 - a. Per Attachment 203 Part B5, revise Sheet L2.02, Detail 2 / Area 6 to shift the large symbol trees in the south open lawn to be a row close to sidewalk and just outside the streetside PUE. Keep them outside the cross access easement (CAE).
 - b. Revise Sheet L2.02, Detail 2 / Area 6 to relocate north boundary trees outside the CAE.
 3. Attachment 203 Part B5: Revise to demonstrate conformance also for Tracts H, I, J, & L, keeping trees just outside the streetside PUEs.
 4. Demonstrate conformance with Attachment 203 Part B6.
- S. Owl Avenue & Dove Street NE corner: Straighten the curb ramps relative to sidewalks so that there’s no or almost no out-of-direction travel between west and south curb ramps. (This may lead to widening of corner sidewalk towards the southwest.) Revise Sheets 209 & CR3. See the exhibit below.

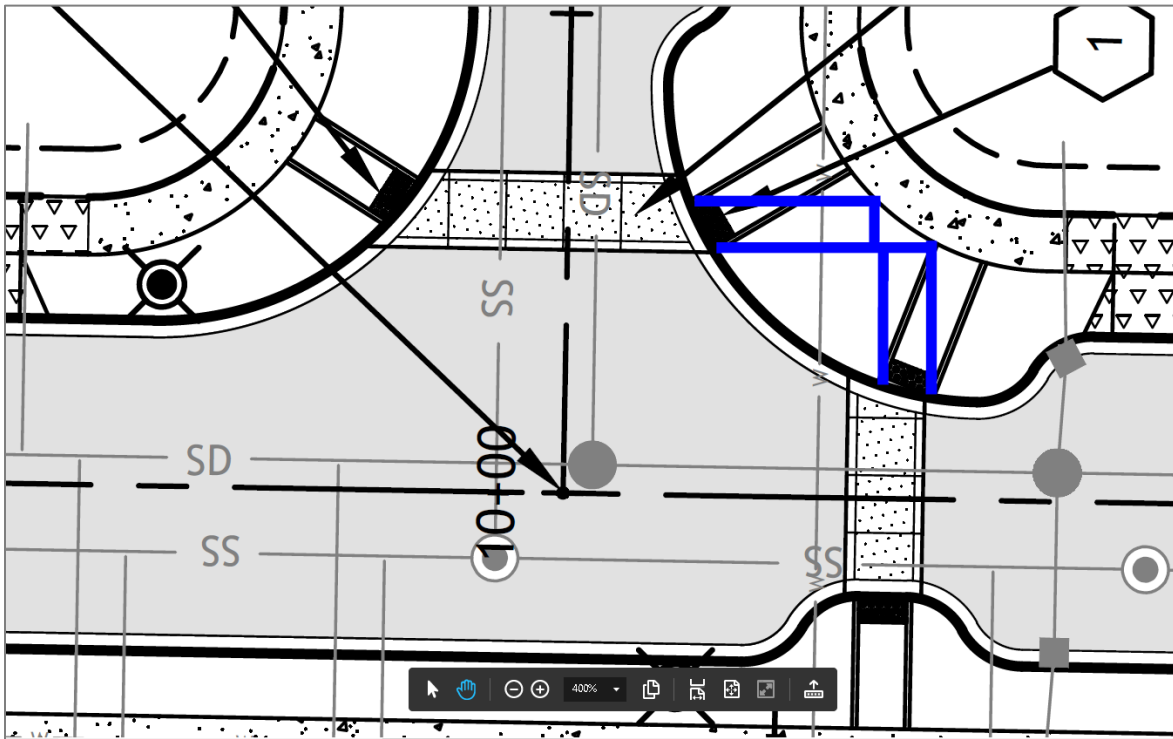


Exhibit S Conceptual Alignment of ADA transitions and landing area / sidewalk

- T. Sheet SS1: Correct sign detail 7 to correct the name from NE Boones Ferry Road to N. Boones Ferry Road.
- U. Subdivision identification monument signage: Remove Sheets S1-S3, and move them to [sign permit application](#) materials for subdivision identification signage. Dan Handel, AICP, Associate Planner and Alyssa Nichols, Permit Technician handle sign permits. Dan might advise to delay application until the plat is recorded so it would be clear on what tract(s) signage would be.
- V. Minor corrections:
 1. The Sheet L1.01 scale indicates 1:80, but the actual scale is 1:40; revise.
 2. Sheet 207, Detail A4 “local residential street with parking on one side”: The right side streetside PUE indication mistakenly overlaps indicated ROW.
- W. County coordination: The narrative, unlabeled page 3, states, “Since BFR is still a county road we are preparing a BFR submittal package to Marion County. That package will be submitted to the city with the second city submittal. Coordination with the County is still ongoing.” Submit for City CEP review prior to County submittal to preclude the County from reviewing and approving elements that wouldn’t meet City conditions of approval.
- X. Narrative: Paginate the narrative.
- Y. Cover letter: A revised narrative may serve to meet Notes to the Applicant 19C2 & C3 if it contains what they describe.

- Z. Resubmittal fee: With the CEP 2nd submittal / 1st revised submittal, pay the \$327 fee that Condition G6 establishes through Attachment 206, Part B: Table 206B. (See Attachment 206 Part A for administrative details.)

Part II. Recommendations

These are just that: optional items.

AA. Condition SUB-1a: In the narrative clarify:

1. If final plat application will include delineations and text for all easements, and whether the developer's surveyor will indicate all easements on the face of the plat drawings and convey through plat or whether some easements will be conveyed through separate documents, and if so, if per Public Works Engineering Division templates.

Note: The following text is required among the Tract F cross access easement (CAE) text: "Per Woodburn Development Ordinance (WDO) 3.04.03B.3, the public shared access (ingress and egress) right of this easement is revocable only with the written concurrence of the Community Development Director."

2. When relative to construction of public improvements that the developer intends to apply to the City for final plat.

BB. Shared rear lane:

1. Mark the two path crossings of the shared rear lane through any of the following:
 - a. Extension of path poured concrete, or
 - b. Striping that mimics that shown on Sheet SS2, bottom left corner, Detail V.Revise Sheets 211 & 212 and F6-F9 to symbolize and note where in the plan set are the set marking standards.
2. Retitle Sheets 211-213 to append "East", "Middle", and "West" respectively and update the cover sheet index.

CC. Tract L middle east and west spur paths: Though per Condition PUD-9c(1) paths are required and not SDC credit eligible, City staff remain mindful of the condition and interested in getting the most improvements for the money. Because Sheets F4 & F5 propose concrete, Attachment 203 Part C3a allows paths to be asphalt, and asphalt is usually less expensive, if indeed less expensive then consider revising to propose asphalt instead of concrete for Tract L paths that the developer is to pave.

DD. Other landscaping:

1. Sheet L2.01, Detail 4 / Area 4: Tract O:
Revise to have 3 large symbol trees east of the path and 4 west.
2. Sheet L2.02, Detail 2 / Area 6: Tract F:
Revise to have min 4 large symbol trees west of the path.

EE. Irrigation: Regarding Sheet L1.01 Note 2, L1.02 Note 2, and L2.03 Notes 9 & 12, establish with the Public Works Department Engineering Division sooner than later measures for temporary irrigation during construction and the details of transferring irrigation and remaining maintenance responsibilities upon dedication of tracts to the City. Revise or add landscape sheet notes if and as Public Works directs.

FF. Stormwater detention pond: Provide walking access from sidewalk through the thickly landscaped perimeter for association maintenance technicians, such as a wood chip path and, if and where necessary because of proposed steeper grading per Sheet L3.02, “light on the land” steps such as those formed through soil retained by anchored wood plank or log retainers defining the steps. Revise Sheet L3.03. Two examples are illustrated below:



If the developer desires, any necessary stairs can instead be conventional poured concrete. Access is important because an association is more likely to maintain the subdivision stormwater detention pond if its contracted maintenance technicians can actually access it.

Next Steps

Planning Division requests revisions and re-submittal by the applicant and affirms that the Public Works Department Engineering Division is not to approve civil engineering plan until Planning outstanding items are resolved.

When you receive a 2nd submittal / 1st revised submittal from the applicant, please notify me and provide PDF and print copies of the materials and specify a desired due date for Planning review comments.

Feel free to contact me at (503) 980-2485 or <colin.cortes@ci.woodburn.or.us>.

Attachment(s):

- Civil engineering plan set: (1st submittal, October 18, 2021; excerpted: Sheets 100, 104, & 105)

DOVE LANDING CIVIL ENGINEERING PLANS

TL 400 & 800 TOWNSHIP 5 SOUTH, RANGE 1 WEST, SEC. 6 W.M.
MARION COUNTY, OREGON



DATE: 8/31/2021

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

GROSS ACREAGE: 31.86 AC (171 LOTS)

BENCHMARK:

ELEVATIONS ARE BASED OFF OF MARION COUNTY CONTROL POINT NO. 9214, BEING A MARION COUNTY STAMPED (MR 6 CR 513) BRASS CAP IN MONUMENT BOX SET IN PAVEMENT.

ELEVATION DATUM: NGVD 29, ELEVATION = 181.174

UTILITIES & SERVICES:

WATER:	CITY OF WOODBURN
STORM:	CITY OF WOODBURN
SEWER:	CITY OF WOODBURN
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	WOODBURN FIRE DISTRICT
POLICE:	WOODBURN POLICE DEPARTMENT
SCHOOL:	WOODBURN SCHOOL DISTRICT
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	CENTURYLINK

APPLICANT:

LGI HOMES - OREGON, LLC
12951 BEL-RED ROAD, STE 150
BELLEVUE, WA 98005
[P] 425-330-2453
CONTACT: VANESSA LEWIS

OWNER:

SCHULTZ FARM, LLC
16710 NE BOONES FERRY ROAD
WOODBURN, OREGON, 97071
CONTACT: CHRISTY SCHULTZ

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN ST.
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP
PATRICK DAVENPORT, AICP

CIVIL ENGINEER:

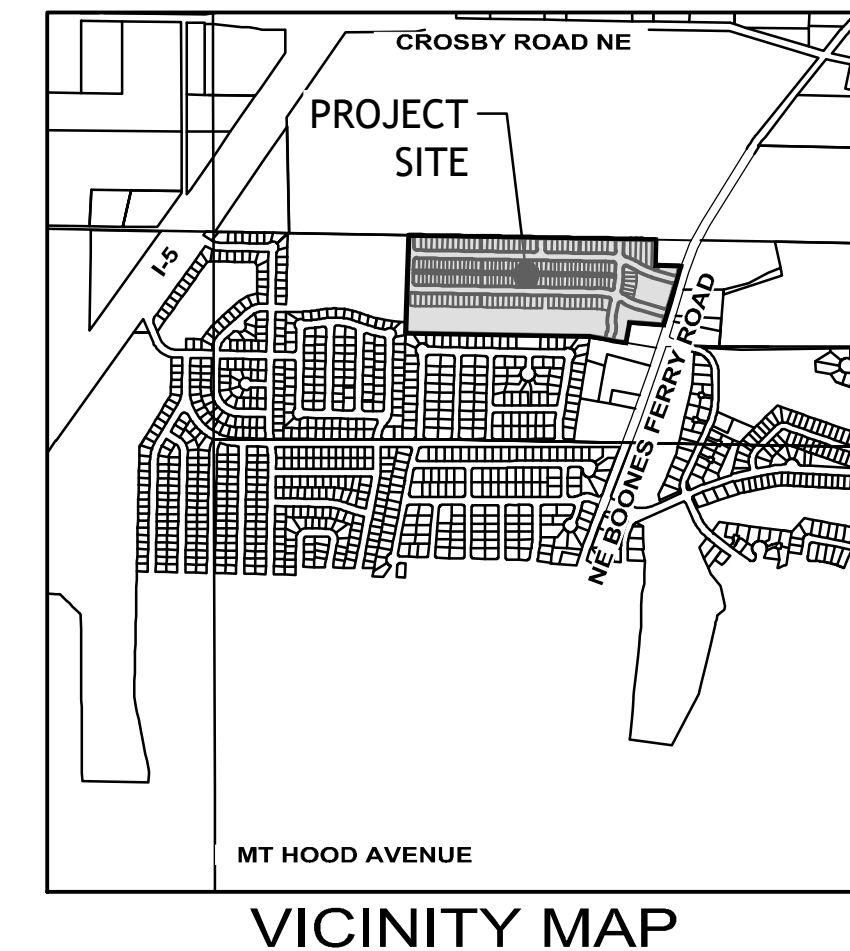
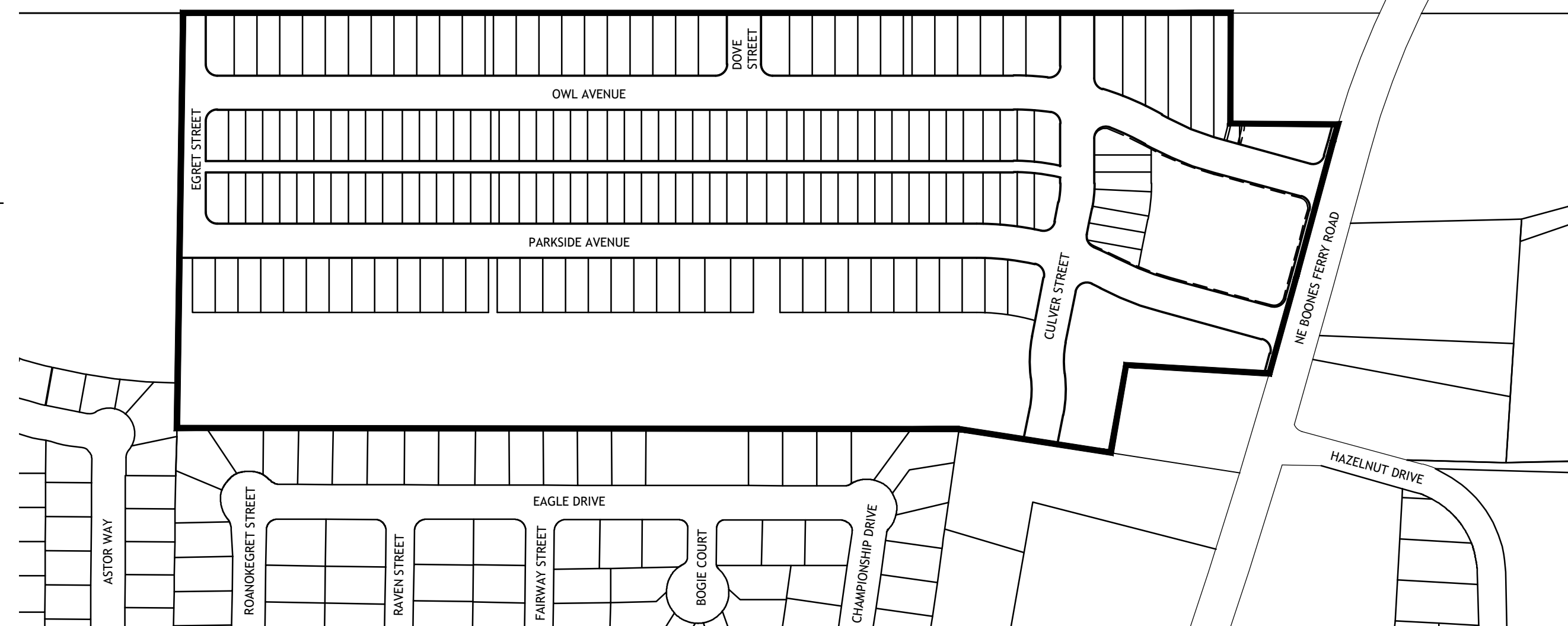
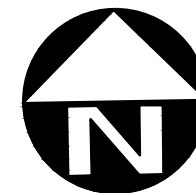
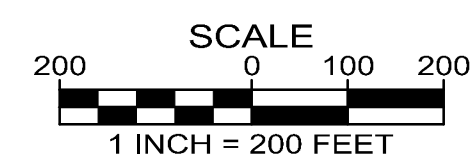
PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN ST.
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: CRAIG LARSON, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN ST.
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

LEGEND:

- PROPERTY LINES
- ROW LINES
- PROJECT BOUNDARY



SHEET INDEX:

- 100 COVER SHEET
- 101 GENERAL CONSTRUCTION NOTES
- 102 EXISTING CONDITIONS
- 103 EXISTING CONDITIONS
- 104 SITE PLAN (WEST)
- 105 SITE PLAN (EAST)
- 106 GRADING PLAN (WEST)
- 107 GRADING PLAN (EAST)
- 108 LOT GRADING SECTIONS
- 109 LOT GRADING SECTIONS
- 110 COMPOSITE UTILITY PLAN
- 111 COMPOSITE UTILITY PLAN
- 112 TREE PROTECTION PLAN
- 113 TREE PROTECTION PLAN
- 114 TREE PROTECTION PLAN
- 115 TREE PROTECTION PLAN
- 116 TREE PROTECTION PLAN
- 117 TREE PROTECTION PLAN
- 118 TREE PROTECTION PLAN

SHEET INDEX (CONT.):

- F4 TRACT L (WEST) GRADING PLAN
- F5 TRACT L (EAST) GRADING PLAN
- F6 TRACT M GRADING PLAN
- F7 TRACT N GRADING PLAN
- F8 TRACT O GRADING PLAN
- F9 TRACT P GRADING PLAN
- SS1 SIGNAGE AND STRIPING PLAN
- SS2 SIGNAGE AND STRIPING DETAILS
- D2.01 STREET DETAILS
- D2.02 STREET DETAILS
- D2.03 STREET DETAILS
- D2.04 STREET DETAILS
- 301 SDLN-1 STORM PLAN & PROFILE
- 302 SDLN-1 STORM PLAN & PROFILE
- 303 SDLN-1 STORM PLAN & PROFILE
- 304 SDLN-2 STORM PLAN & PROFILE
- 305 SDLN-3 STORM PLAN & PROFILE
- 306 SDLN-4 STORM PLAN & PROFILE
- 307 SDLN-5 STORM PLAN & PROFILE
- 308 SDLN-5 STORM PLAN & PROFILE
- 309 SDLN-5 STORM PLAN & PROFILE
- 310 SDLN-6 STORM PLAN & PROFILE
- 311 SDLN-7 STORM PLAN & PROFILE
- 312 SDLN-8 STORM PLAN & PROFILE
- 313 SDLN-8 STORM PLAN & PROFILE
- 314 SDLN-8 STORM PLAN & PROFILE
- 315 SDLN-EX 36" STORM PLAN & PROFILE
- 316 SDLN-EX 36" STORM PLAN & PROFILE
- 317 SDLN-EX 36" STORM PLAN & PROFILE
- 318 SDLN-EX 24" STORM PLAN AND PROFILE
- 319 SDLN-EX 24" STORM PLAN AND PROFILE
- 320 SDLN-EX 24" STORM PLAN AND PROFILE
- 321 WATER QUALITY FACILITY PLAN & PROFILE

SHEET INDEX (CONT.):

- 407 SSLN-B SANITARY PLAN & PROFILE
- 408 SSLN-C AND SSLN-D SANITARY PLAN & PROFILE
- D4.01 SANITARY DETAILS
- D4.02 SANITARY DETAILS
- 501 WATER PLAN
- 502 WATER PLAN
- 503 12" WATER LINE EXTENSION IN BOONES FERRY PLAN AND PROFILE
- D5.01 WATER DETAILS
- D5.02 WATER DETAILS
- EC1.0 COVER SHEET
- EC1.1 EROSION & SEDIMENT CONTROL NOTES
- EC1.2 EROSION & SEDIMENT CONTROL NOTES
- EC2.1 EXISTING CONDITIONS AND DEMOLITION PLAN
- EC2.2 EXISTING CONDITIONS AND DEMOLITION PLAN
- EC3.0 RUNOFF CONTROL PLAN
- EC4.0 SITE IMPROVEMENT PLAN
- EC5.1 VERTICAL CONSTRUCTION AND SITE STABILIZATION PLAN
- EC5.2 VERTICAL CONSTRUCTION AND SITE STABILIZATION PLAN
- EC6.1 EROSION AND SEDIMENT CONTROL DETAILS
- EC6.2 EROSION AND SEDIMENT CONTROL DETAILS
- IL-1 ILLUMINATION DETAILS
- IL-2 ILLUMINATION PLAN
- L1.01 STREET TREE PLANTING PLAN
- L1.02 STREET TREE PLANTING PLAN
- L1.03 STREET TREE PLANTING LEGEND, NOTES, & DETAILS
- L2.01 OPEN SPACE PLANTING PLAN
- L2.02 OPEN SPACE PLANTING PLAN
- L2.03 OPEN SPACE PLANTING LEGEND & NOTES
- L3.01 WATER QUALITY POND LAYOUT & MATERIALS PLAN
- L3.02 WATER QUALITY POND GRADING PLAN
- L3.03 WATER QUALITY POND PLANTING PLAN
- L3.04 WATER QUALITY POND PLANTING LEGEND & NOTES
- L4.01 WATER QUALITY POND CONSTRUCTION DETAILS
- L4.02 PLANTING DETAILS

N:\proj\142-001\09 Drawings\04 Civil\Sheets - CD\Submission\42001_100-101 COVER & NOTES.dwg - SHEET: 100 - Oct 12, 2021 - 4:53pm.ctb

DOVE LANDING PUD



COVER SHEET



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: PRE

100



DATE: 8/31/2021

REVISIONS

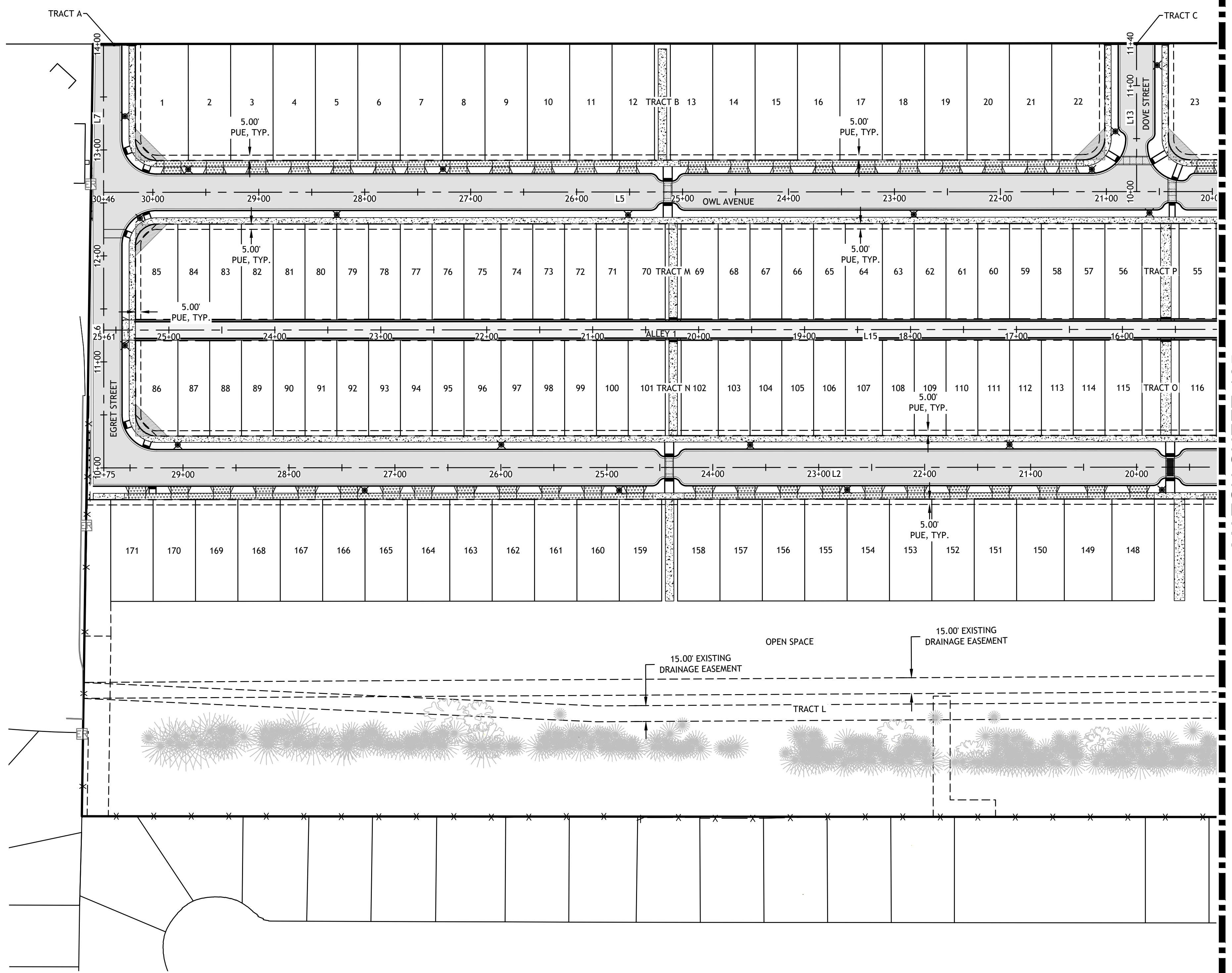
NO.	DATE	DESCRIPTION

LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING BOUNDARY LINE
- VISION CLEARANCE TRIANGLE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK BY OTHERS
- PROPOSED STREET LIGHT

LINE TABLE

LINE #	LENGTH	BEARING
L2	1383.54'	N88° 59' 51"W
L5	975.00'	N88° 59' 51"W
L6	260.00'	N1° 00' 09"E
L7	139.76'	N1° 00' 09"E
L13	140.00'	N1° 00' 09"E
L15	1447.73'	N88° 59' 51"W



MATCH SHEET 105

DOVE LANDING PUD

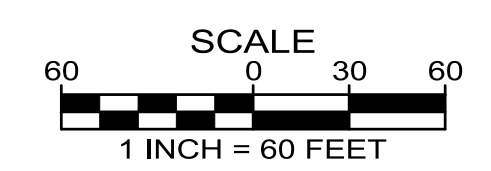
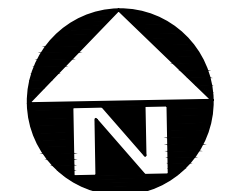


SITE PLAN (WEST)



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: PRE



N:\proj\142-001\09 Drawings\04 Civil\Sheets - CD\Submission\42001_104_105 SITE PLAN.dwg - SHEET: 104 - Oct 07, 2021 - 5:43pm.cpl

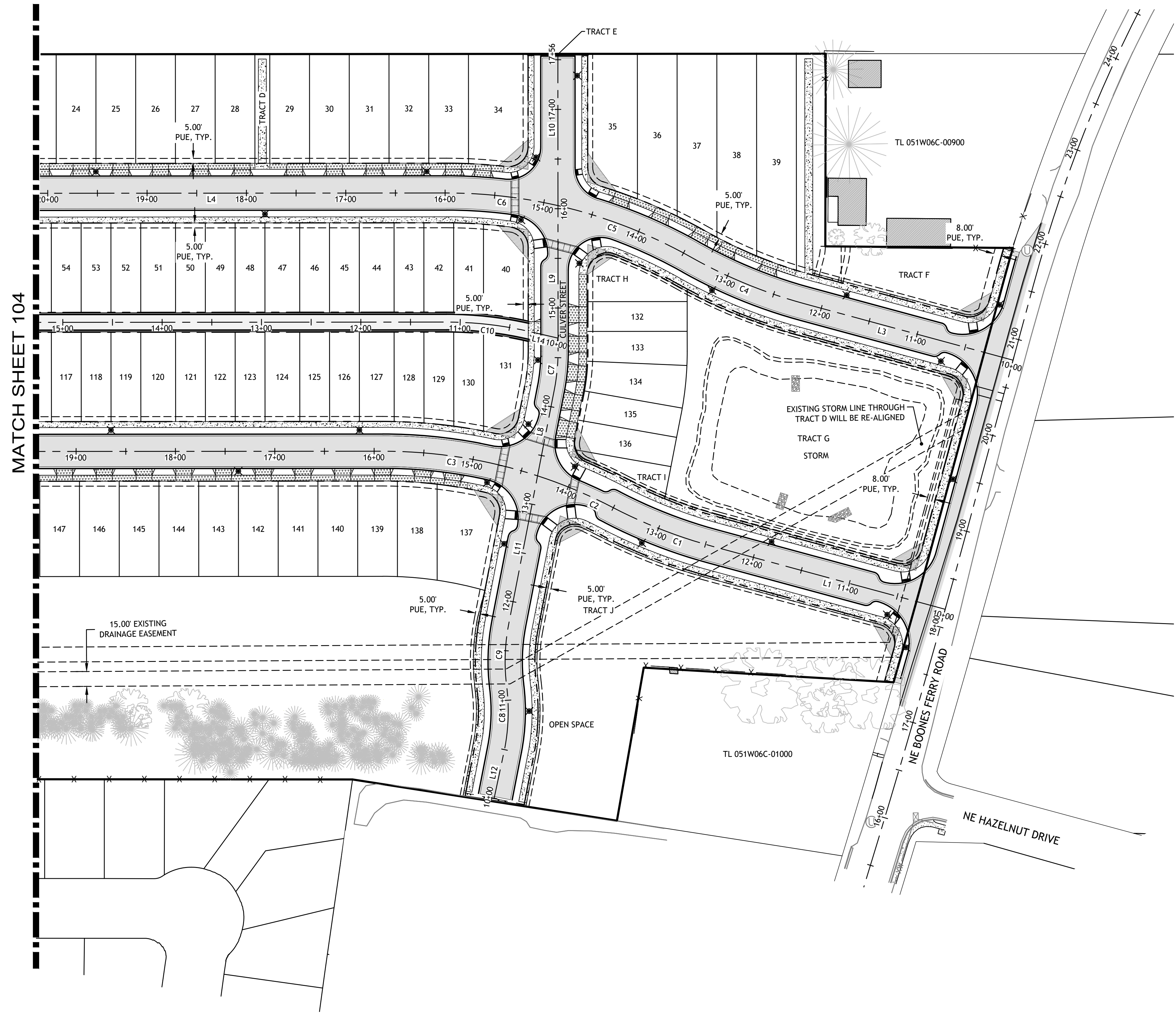


DATE: 8/31/2021

REVISIONS		
NO.	DATE	DESCRIPTION

LEGEND

- PROPOSED RIGHT-OF-WAY
- - - EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- - - EXISTING CENTERLINE
- - - PROPOSED PUBLIC UTILITY EASEMENT
- - - PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - EXISTING BOUNDARY LINE
- ▲ VISION CLEARANCE TRIANGLE
- ▤ PROPOSED HANDICAP RAMP
- ▨ PROPOSED A.C. PAVING
- ▧ PROPOSED SIDEWALK
- ▩ PROPOSED SIDEWALK BY OTHERS
- COLORED STAMPED CONSTRUCTION CONCRETE
- ✱ PROPOSED STREET LIGHT



LINE TABLE

LINE #	LENGTH	BEARING
L1	243.05'	N73° 48' 21"W
L2	1383.54'	N88° 59' 51"W
L3	216.90'	N73° 48' 21"W
L4	472.73'	N88° 59' 51"W
L8	88.74'	N12° 03' 09"E
L9	146.68'	N1° 00' 09"E
L10	152.77'	N1° 00' 09"E
L11	151.62'	N12° 03' 09"E
L12	50.50'	N13° 02' 30"E
L14	29.76'	N75° 59' 31"W
L15	1447.73'	N88° 59' 51"W

CURVE TABLE

CURVE #	RADIUS	LENGTH	CHORD DIRECTION
C1	500.00'	107.81'	N67° 37' 43"W
C2	500.00'	82.01'	N66° 09' 00"W
C3	500.00'	158.38'	N79° 55' 23"W
C4	500.00'	124.61'	N66° 39' 59"W
C5	500.00'	143.95'	N67° 46' 29"W
C6	500.00'	113.23'	N82° 30' 35"W
C7	200.00'	38.57'	N6° 31' 39"E
C8	200.00'	63.51'	N2° 57' 18"E
C9	200.00'	63.51'	N2° 57' 18"E
C10	370.00'	83.99'	N82° 29' 41"W

MATCH SHEET 104

**DOVE
LANDING PUD**

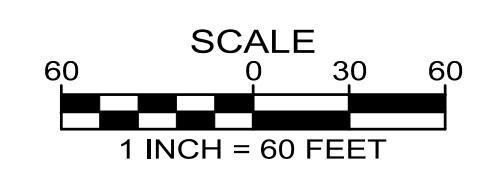
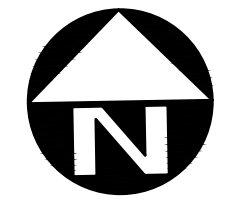


**SITE PLAN
(EAST)**



12564 SW Main Street
Tigard, OR 97223
[T] 503-941-9484

PROJECT NO.: 142-001
TYPE: CONSTRUCTION
REVIEWED BY: PRE



N:\projects\142-001\02 Drawings\04 Civil\Sheets - CD\Submission\42001_104-105 SITE PLAN.dwg - SHEET: 105 - Oct 07, 2021 - 5:44pm.cll