



Final Decision

Planning Commission

File number: MOC 22-03

Related files: DR 21-05, PUD 21-01, & RCWOD 21-02 "Woodburn Senior Living Apartments"

Project name: Sprague Lane Multifamily

Date of decision: March 23, 2023

Date of mailing: March 30, 2023

Applicant: Todd Woodley, WB Sprague Lane LLC

Landowner: WB Sprague Lane LLC

Site location: 2385 Sprague Lane (Tax Lot 052W12B000100)



3D Rendering of the Modified Site Plans

Summary:

The Planning Commission held a public hearing on March 23, 2023 and unanimously approved the Modification of Conditions (MOC) application with the conditions recommended by staff through the staff report published March 16, except with one modification to the tree removal condition 5.b. to allow a Public Works Department inspection of the tree in lieu of an arborist report. Verbal testimony was received from Jeremy Rodgers, Security Director for the Woodburn Premium Outlets, who shared concerns about the driveway.

The subject property, 2385 Sprague Lane, is an undeveloped site west of the Woodburn Premium Outlets. It was annexed into the city in 2017 as part of the Woodland Crossing Apartments project and was originally approved for a recreational vehicle (RV) storage lot. In 2021, the property owner at the time decided to abandon the RV Storage Lot use and pursue a residential project instead. On October 14, 2021, the Planning Commission approved a land use application package for a 98-unit senior housing development for the subject property (DR 21-05, PUD 21-01, & RCWOD 21-02).

The property has since changed ownership, and the new owner sought to modify the approved PUD through this MOC application. Approved modifications generally focus on:

- A decrease in total units, from 98 down to 73;
- Changing the use from senior housing to standard multifamily housing;
- Shifting indoor amenities into a separate clubhouse building; and
- Adjustments to the configuration of the parking lot and common areas to accommodate the clubhouse building and meet the minimum parking requirement.

Several conditions were modified and a number of new conditions were added as a result of the modifications to the site plans. These modified and new conditions serve the following purposes:

- Allow removal of the tree in the middle of the site;
- Remove the age restriction on the dwelling units;
- Require a one-time \$25,000 fee payment to the Woodburn Transit system;
- Bring various site aspects into conformance with June 2022 WDO amendments;
- Pave the private path that loops around the back of the buildings; and
- Remove foliage and relocate utility cabinets near the driveway to increase visibility and safety.

Condition of Approval

The conditions of approval for DR 21-05, PUD 21-01, & RCWOD are hereby modified by MOC 22-03 to be as follows.

1. Substantial conformance: The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this Modification of Conditions application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. Senecal Creek tributary trail plan: Prior to building permit final inspection, the developer shall submit to the Community Development Department a greenway trail plan for the portion of Senecal Creek tributary running between the south property line of the subject property and the approved westerly extension of Arney Lane. The plan shall be developed to the satisfaction of the Community Development Director. The plan shall assume the trail will run along the east side of the tributary and include:
 - a. Optimum trail route based on:
 - i. physical and natural constraints,
 - ii. existing and proposed development;
 - b. Trail width and construction materials; and
 - c. Benches, at least one per 300 feet of trail.
3. Easements: Prior to building permit final inspection, the developer shall record the following easements with Marion County. Easements shall be in a form acceptable to the City.
 - a. RCWOD easements:
 - i. Per WDO 3.02.02A., a Creek and Watercourse Maintenance Easement covering the extent of the subject property that is within the FEMA flood map 100-year floodplain.
 - ii. A recreational trail construction and public access easement covering the extent of the subject property that is within the FEMA flood map 100-year floodplain. This easement shall allow for the construction of and access to a future trail along the adjacent Senecal Creek tributary.
 - iii. The developer may consolidate the two easements outlined in i. and ii. into a single easement.
 - b. Future street easements:

- i. A 30-foot wide easement along the south property line for the purpose of a future street connection. This is illustrated and noted in the site plans as a “Future 30’ Right-of-Way Dedication”. The easement document shall include a provision outlining the removal of any private improvements within this easement area at the time public improvements are constructed. Removal of private improvements is the property owner’s responsibility.
 - ii. A 5-foot wide public utility easement abutting the 30-foot easement identified in i. above. This is illustrated and noted in the site plans as a “Future 5’ Public Utility Easement”.
 - c. N/A – Struck by the Planning Commission.
 - d. Water line easement: A 16-foot public utility easement centered on the looped water line running through the property. Hydrants connected to this water line must be centered within a 5-foot public utility easement.
 - e. Streetside PUE: A 5-foot public utility easement along the subject property’s Sprague Lane frontage per WDO 3.02.01B.
4. Public bench amenity: The proposed public bench amenity near the driveway entrance shall be open to the public.
5. Trees:
 - a. Plans illustrate removal of three significant trees (tree nos. 24130, 24133, and 24326). The developer shall pay a fee equal to \$185 per significant tree removed, payable to the City for the Urban Forestry Tree Giveaway Program. This is due prior to building permit issuance.
 - b. Plans illustrate preservation of one significant tree (tree no. 24603). The developer shall protect and preserve this tree throughout the construction process of this development. This tree may only be removed if the Public Works Department confirms that the tree is diseased, dying, or dead; if construction of the project will result in irreparable damage to the tree; or if preservation is not physically possible. If it is determined that the tree will be removed, the applicant shall pay a tree removal fee of \$185 prior to building permit issuance. Tree protection measures are per Attachment 106 (City of Portland tree protection rules).
6. RCWOD maintenance: Prior to building permit final inspection, the developer shall inspect the extent of the subject property within the RCWOD, submit a report on existing conditions within this area to the Community Development Department, and remove any invasive plants. Such maintenance work shall be in compliance with applicable outside agency regulations and permitting requirements (e.g. Department of Environmental Quality, Department of State Lands, Army Corps of Engineers).

7. Exterior site lighting: On-site exterior lighting fixtures shall be full cut-off or fully shielded fixtures and be limited to the following heights (measured from grade to underside of fixture). Submit an exterior lighting plan illustrating fixture locations and noting fixture heights as part of the building permit application.
 - a. Wall-mounted fixtures: 10 feet tall;
 - b. Parking area poles: 18 feet tall above vehicle grade;
 - c. Other poles: 10 feet tall;
 - d. Carport fixtures: 10 feet tall.
8. Accessible parking: The developer shall provide accessible parking in compliance ORS 447.233.
9. Existing driveway approach: Prior to building permit final inspection, the developer shall close the existing Sprague Lane driveway approach and construct restorative improvements including curb and sidewalk. Such work shall be in compliance with applicable Public Works Department standards and permitting requirements.
10. Public Works: Follow the attached "Public Works Conditions October 7, 2021" (Attachment 101A).
11. Covered parking: Per WDO 3.05.03F.2., at least 50 percent of parking stalls shall be covered under a carport or within a garage. Carports and garages shall not be located within the future street easement.
12. Transit: To further numerous Transit projects outlined within the Transportation System Plan for planning, implementing, and maintaining a robust transit system within the community, the developer shall pay a fee of \$25,000 to Woodburn Transit. Fee payment is due prior to issuance of the first building permit.
13. Bicycle parking:
 - a. Front racks: Concrete pavement shall be extended to be underneath the four bicycle racks in front of the buildings.
 - b. Outdoor closets: Every patio and balcony outdoor closet, if any, shall have a bicycle hook or rack that meets the locking standards of 3.05.06C.2. If hooks, they shall be foldable or retractable.
14. Wide walkway: Pursuant to WDO 3.04.06B, revise plans to illustrate an 8-foot wide walkway connecting the building stairwells to sidewalk within Sprague Lane. This is due prior to building permit issuance.

15. Electric vehicle parking: Pursuant to WDO Table 3.05E and 3.05.03I, revise plans to illustrate at least 8 electric vehicle parking stalls. Stalls shall be served with minimum Level 2 or faster charging (240 volt AC charging) equipment, with signage and pavement striping to indicate the stalls are for electric vehicles.
16. Private path: The private path wrapping around the rear of the buildings shall be at least 8 feet wide and paved with concrete, asphalt, or brick pavers. There shall be at least three benches sited along the path, spaced at least 150 feet apart. Revise plans to illustrate this prior to building permit issuance.
17. Trash enclosure: Pursuant to WDO Table 3.06D, any outdoor trash enclosures shall be enclosed behind an architectural wall that meets the design standards in 3.06.06B.
18. Parking striping: Pursuant to WDO 3.05.02K and Figure 3.05C, parking stalls shall be delineated by double parallel lines. Revise plans to illustrate this prior to building permit issuance.
19. Driveway safety: The developer shall remove obstructing foliage surrounding the driveway and relocate utility cabinets within the sight triangles to the satisfaction of the City Engineer.

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Records: Staff recommends that the applicant retain a copy of the subject approval.
3. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
4. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
5. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
6. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
7. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.
8. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.

9. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
10. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
11. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
12. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
13. SDCs: The developer pays System Development Charges prior to building permit issuance.

Expiration

Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

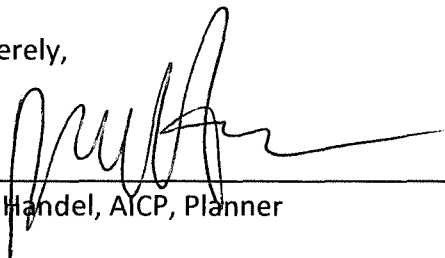
1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

Appeals

Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO 4.02.01. The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or planning@ci.woodburn.or.us.

Sincerely,

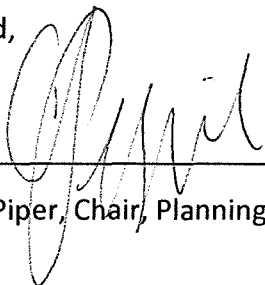


Dan Handel, AICP, Planner

3/24/2023

Date

Affirmed,



Charlie Piper, Chair, Planning Commission

3-23-23

Date

Attachments:

1. Public Works Conditions October 7, 2021" (Staff Report Attachment 101A)
2. Modified Site Plans (Staff Report Attachment 103)



**Woodburn Senior Living Apartments
DR 21-05
2385 Sprague Lane
Public Works Conditions**

October 7, 2021

CONDITIONS OF LAND USE APPROVAL:

1. The Applicant/owner, not the City, is responsible for obtaining permits from City, State, County and/or Federal agencies that may require such permit or approval.
2. If required, a Permit from the Oregon Division of State Lands and US Army Corps of Engineers will need to be obtained to mitigate/delineate any wetlands, and for discharging private storm drainage into Senecal Creek, as applicable. Permits shall be obtained, and copies sent to the City prior to city issuance of permit(s).
3. Construct private storm sewer system, including detention facilities, in accordance with the approved plans and drainage report. All required on-site detention area for the runoff from this site shall be provided in accordance with the hydraulic analysis. All on-site detention areas shall be maintained by the property owner in perpetuity.
4. All City-maintained facilities located in private property shall require a minimum of 16-foot wide utility easement conveyed to the City by the property owner. Provide and record the required right-of-way dedication, public utility easements, and waterline easements prior to building permit issuance.
5. The Applicant shall obtain the required 1200C Erosion Control Permit from the Department of Environmental Quality prior to City issuance of permit(s).
6. Final review of the Civil Plans will be done during the building permit application. Public infrastructure will be constructed in accordance with plans approved by public works and other agencies that may require the applicant to obtain permits.
7. The Applicant, by this Development, shall not cause storm water runoff to be impounded on adjacent properties.
8. All sanitary sewer laterals serving the proposed developments are private up to the main line.

9. The water mains serving this development shall be a looped system, and shall be sized in accordance with flow and fire protection requirements.
10. Fire hydrants locations and fire protection requirements shall be as per the Woodburn Fire District and City of Woodburn requirements.
11. Actual fire hydrant locations and in-line valving locations shall not be determined until the construction final plan review.
12. System Development Charges shall be paid prior to building permit issuance.
13. Relationship to Woodland Crossing: The applicant shall comply with the applicable conditions of approval for the Woodland Crossing Final Order dated December 13, 2017 (ANX 2017-03, CU 2017-02, DR 2017-03, PLA 2017-04, RCWOD 2017-03, VAR 2017-03). These include Condition 10 (intersection safety and operations improvements) and Condition 18 (Street and Storm Capital Construction Fund contribution).

ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
ADA	AMERICANS WITH DISABILITIES ACT
BC	BEGINNING OF CURVE
BMP	BEST MANAGEMENT PRACTICE
BO	BLOW OFF
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION
BVCS	BEGINNING OF VERTICAL CURVE STATION
BW	BACK OF SIDEWALK
CB	CATCH BASIN
CL	CENTER LINE
CLR	CLEAR
CO	CLEANOUT
COMM	COMMUNICATION
COW	CITY OF WOODBURN
DI	DUCTILE IRON
DS	DOWN SPOUT
E	ELECTRIC
EC	EROSION CONTROL
EG	EXISTING GRADE
ELEV	ELEVATION
ESA	ENDANGERED SPECIES ACT
EVCS	END OF VERTICAL CURVE ELEVATION
EVCS	END OF VERTICAL CURVE STATION
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE/BOTTOM OF CURB
FR	FIBER ROLL
FW	FIRE WATER
GM	GAS METER
HB	HOSE BIB
HDPE	HIGH-DENSITY POLYETHYLENE
INV	INVERT ELEVATION OF PIPE
IRRV	IRRIGATION VALVE
JB	JUNCTION BOX
K	CURVE COEFFICIENT
LAT	LATERAL
LT	LEFT
LVC	LENGTH OF VERTICAL CURVE
MH	MANHOLE

MID	MIDPOINT OF CURVE
MJ	MECHANICAL JOINT
NO	NUMBER
NTS	NOT TO SCALE
OH	OVERHEAD
OSHA	OCCUPATIONAL STATE HEALTH AGENCY
P	POWER
PC	POINT OF CURVATURE
PED	PEDESTAL
POT	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVE
PSE	PUBLIC SERVICE EASEMENT
PT	POINT
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
RCWOD	RIPARIAN CORRIDOR AND WETLAND OVERLAY DISTRICT
RD	ROOF DRAIN
RIM	RIM ELEVATION
ROW	RIGHT OF WAY
RPP	REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR
RR	RAIL ROAD
RT	RIGHT
S	SLOPE, FOOT PER FOOT
SAN	SANITARY
SD	STORM DRAIN
SDAD	STORM DRAIN AREA DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDCO	STORM DRAIN CLEANOUT
SDCS	STORM DRAIN CONTROL STRUCTURE
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SIG	SIGNAL
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
STA	STATION
TBC	TOP BACK OF CURB
TFC	TOP FACE OF CURB
TOW	TOP OF WALL
TR	TRANSFORMER
TYP	TYPICAL
UG	UNDERGROUND
USPS	UNITED STATES POSTAL SERVICE
W	DOMESTIC WATER

UTILITY NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E. G. UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).
- ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE.
- IF APPLICABLE, PROVIDE 2 INCH PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1.3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS.
- IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE LANDSCAPE PLANS AND SPECIFICATIONS.
- SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
- CONTRACTOR TO MAINTAIN MINIMUM 3 FEET OF COVER OVER ALL UTILITY PIPING AND CONDUITS, UNLESS NOTED OTHERWISE.
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTORS SHALL SCOPE ALL PRIVATE ONSITE GRAVITY SYSTEM LINES THAT ARE BEING CONNECTED TO FOR PROPOSED SERVICE. SCOPING SHALL OCCUR A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH AS-BUILT RECORDS/SURVEY FINDINGS OR IF THE EXISTING UTILITIES ARE DAMAGED OR SHOW SIGNS OF SIGNIFICANT DETERIORATION. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VIDEO RECORDS, ALONG WITH A SKETCH IF THE LOCATIONS DIFFER FROM AS-BUILT PLANS OR SURVEY FINDINGS.
- PRODUCT MATERIAL SUBMITTALS FOR REVIEW BY THE ENGINEER SHALL BE ACCOMPANIED BY A MANUFACTURER'S CERTIFICATION THAT THE PRODUCT IS CAPABLE OF MEETING PERFORMANCE EXPECTATIONS (I.E. WATERTIGHT, MINIMUM/MAXIMUM BURIAL, PREVENTION OF GROUNDWATER INTRUSION, ETC.) BASED ON THEIR REVIEW OF THE PROJECT PLANS. IN THE ABSENCE OF A MANUFACTURER'S CERTIFICATION, THE GENERAL CONTRACTOR'S REVIEW STAMP SHALL CONSTITUTE THAT THEY HAVE PERFORMED THE NECESSARY REVIEW TO CERTIFY THE PRODUCTS CONFORMANCE TO PROJECT SPECIFICATIONS AND GENERAL EXPECTATIONS.
- PIPE LENGTHS SHOWN ON PLANS ARE TWO DIMENSIONAL AND MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- RIM ELEVATIONS SHOWN ON PLANS REFERENCE THE CENTER OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONCILING LIDS/GRATES ETC. TO THE SLOPES OF THE SITE GRADING.
- MANHOLE OR VAULT RIM ELEVATIONS SHALL BE SET FLUSH IN PAVEMENT AREAS AND 3-4 INCHES ABOVE GRADE IN LANDSCAPE AREAS. RIMS IN PAVEMENT AREAS SHALL BE H-20 TRAFFIC RATED.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION.
- CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTIONS IMPROVEMENTS TO NEW FINISH GRADES.
- REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT.
- CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY.
- CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT.

DEMOLITION NOTES

- INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY DEMOLITION ACTIVITIES.
- DEMOLISH AND REMOVE ALL STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES), AS SHOWN.
- DEMOLISH ALL PAVED AREAS ON SITE AS SHOWN, DOWN TO NATIVE SUBGRADE.
- ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK, UNLESS NOTED OTHERWISE (E.G. PROTECTED TREES).
- PROTECT ALL EXISTING LANDSCAPING AT AND BEYOND LIMITS OF WORK.
- PROTECT ALL UNDERGROUND UTILITY SERVICES AND CONDUIT UNLESS NOTED OTHERWISE.
- WHERE APPLICABLE, VERIFY DISCONNECT OF GAS AND ELECTRIC WITH UTILITY. CUT/CAP UTILITY SERVICES (STORMWATER AND SANITARY WITHIN 5 FEET OF EDGE OF R.O.W.) CAP WATERLINE ON OWNER'S SIDE OF METER AND PERFORM OTHER DEMOLITION TASKS AS REQUIRED. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM ACCORDINGLY PRIOR TO BID.

GRADING NOTES

- ROUGH GRADING: ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING SLABS, PAVEMENTS, BASE COURSES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS.
- FINISH GRADING: BRING ALL FINISH GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDSCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE SOFTSCAPE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ABUTTING WALKWAYS OR CURBS, OR MATCHING OTHER SOFTSCAPE GRADES. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- SITE TOPSOIL STOCKPILED DURING CONSTRUCTIONS AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION.
- ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS.
- PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. SHALL BE CONSTRUCTED AT AND 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (8.33% FOR DESIGNATED RAMPS).

EROSION CONTROL NOTES

SEE C1.40

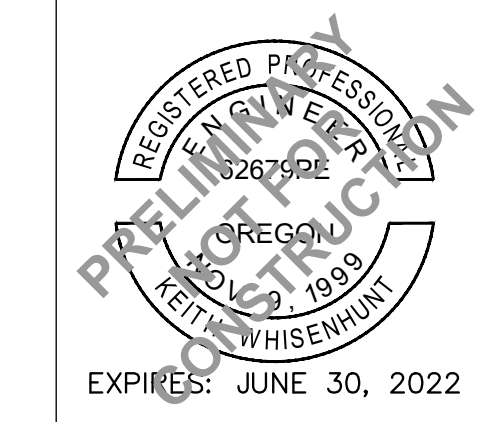
SITE WORK NOTES

- ALL CURB RADII TO BE 3 FEET UNLESS NOTED OTHERWISE.
- STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. OSCC).
- WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE INSTALLED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015).

	SUBJECT PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	PROPOSED AC
	PROPOSED PCC SIDEWALK
	EXISTING AC
	EXISTING PCC SIDEWALK
	EXISTING CURB
	EXISTING TREE
	EXISTING TREE (TO BE REMOVED)
	EXISTING MAILBOX
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER PIPE
	EXISTING SANITARY SEWER CLEANOUT

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER PIPE
	EXISTING STORM SEWER CATCH BASIN
	PROPOSED STORM AREA DRAIN
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER PIPE
	EXISTING TELEPHONE RISER
	EXISTING POWER VAULT
	EXISTING ELECTRICAL BOX
	EXISTING POWER POLE
	EXISTING POWER POLE WITH DROP
	EXISTING GUY ANCHOR
	EXISTING POWER POLE WITH LIGHT
	EXISTING POWER LINE
	EXISTING GAS LINE
	EXISTING COMMUNICATION LINE
	EXISTING COMMUNICATION LINE
	EXISTING FIBER OPTIC LINE
	EXISTING TELEPHONE LINE

	EXISTING TELEPHONE LINE
	EXISTING WATER VALVE
	EXISTING WATER MAIN
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED FIRE HYDRANT
	PROPOSED DCDV VAULT
	PROPOSED WATER METER
	PROPOSED WATER VALVE
	PROPOSED WATER (DOMESTIC)
	PROPOSED WATER (FIRE)
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING FLOW ARROW
	PROPOSED FLOW ARROW
	INLET PROTECTION
	SILT FENCE



DATE SIGNED: 6/15/22

WB SPRAGUE LANE, LLC
WORKFORCE MULTIFAMILY
PLANNED UNIT DEVELOPMENT SUBMISSION
LAKE OSWEGO, OREGON

ISSUANCE NO.	DESCRIPTION	DATE	BY

SHEET TITLE:

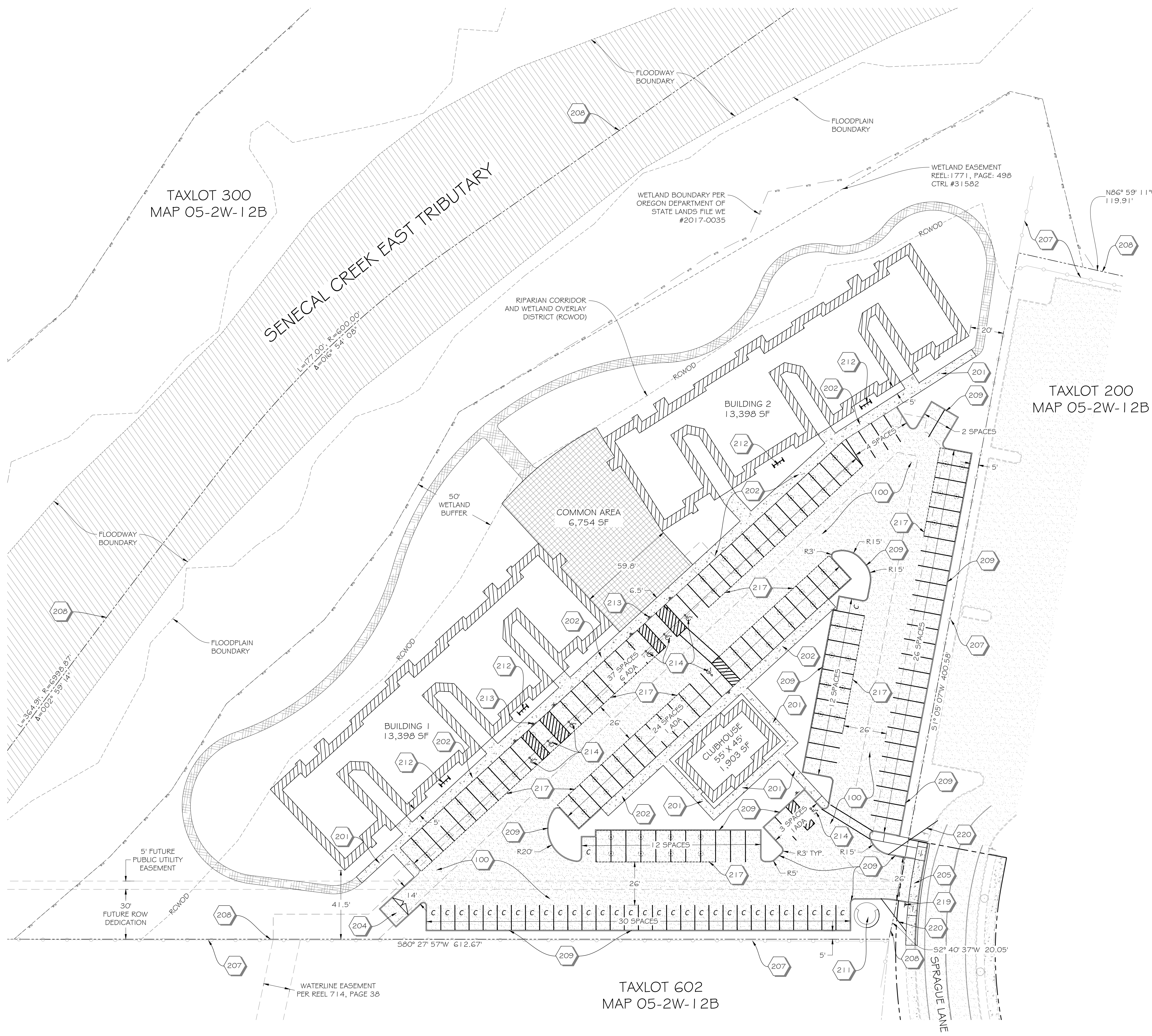
CIVIL NOTES AND LEGEND

CO.01



EXPIRES: JUNE 30, 2024
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WB SPRAGUE LANE, LLC
**WORKFORCE MULTIFAMILY
PLANNED UNIT DEVELOPMENT SUBMISSION**
LAKE OSWEGO, OREGON



- KEYNOTES**
- 200. ASPHALT PAVEMENT
 - 201. 5' WIDE SIDEWALK.
 - 202. 6.5' WIDE SIDEWALK WITH INTEGRAL 6" VERTICAL CURB.
 - 203. PARKING STALL STRIPING. ALL STRIPING SHALL BE DOUBLE STRIPED PER CITY OF WOODBURN SDO SECTION 3.05.02.K.
 - 204. TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
 - 205. PROPOSED CITY OF WOODBURN STANDARD DRIVEWAY ENTRANCE.
 - 206. CORNER CURB RAMP.
 - 207. EXISTING CHAIN LINK FENCE.
 - 208. PROPERTY LINE.
 - 209. 6" VERTICAL CURB.
 - 210. PROPERTY LINE.
 - 211. WOODBURN APARTMENT SIGNAGE AND BENCH FEATURE. REFERENCE LANDSCAPE PLANS.
 - 212. BICYCLE PARKING (4 EACH LOCATION).
 - 213. ACCESSIBLE SIGN WITH VAN PLACARD.
 - 214. ACCESSIBLE PARKING STALL AND SIGNAGE.
 - 215. PERPENDICULAR CURB RAMP.
 - 216. PARALLEL CURB RAMP.
 - 217. PROPOSED CARPORT.
 - 218. PROPOSED 15' WIDE PUBLIC WATERLINE EASEMENT.
 - 219. STOP SIGN.
 - 220. VISION TRIANGLE.

PARKING DATA

STANDARD SPACES	118
COMPACT SPACES	32
COVERED CARPORT SPACES	76
UNCOVERED SPACES	74
ACCESSIBLE SPACES	8
TOTAL SPACES	150

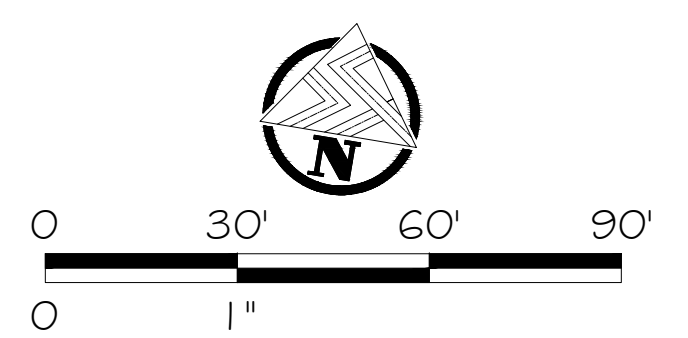
BIKE PARKING SPACES:

REQUIRED 1/10 PARKING SPACES	13
SPACES PROVIDED	16

ISSUANCE NO.	DESCRIPTION	DATE	BY

SHEET TITLE:
SITE PLAN

C.I.11



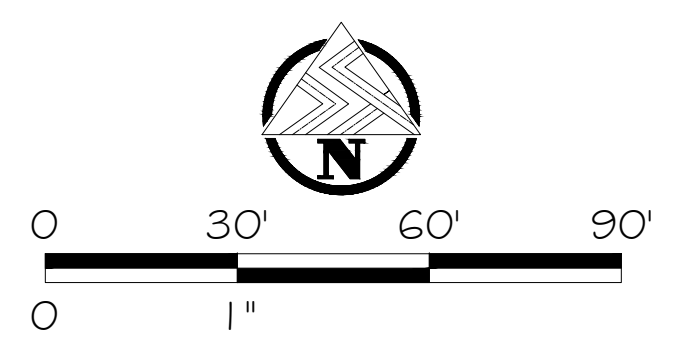
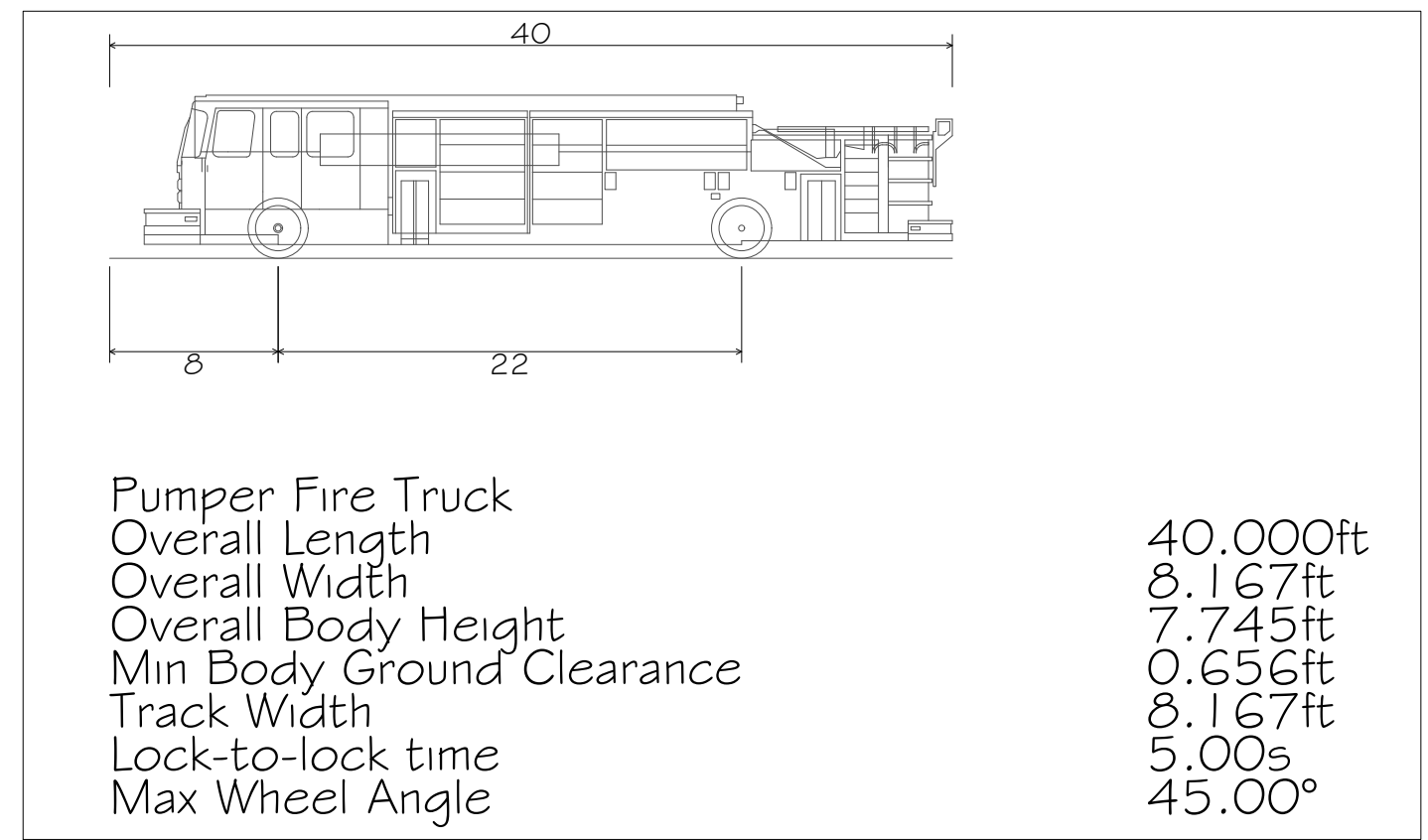
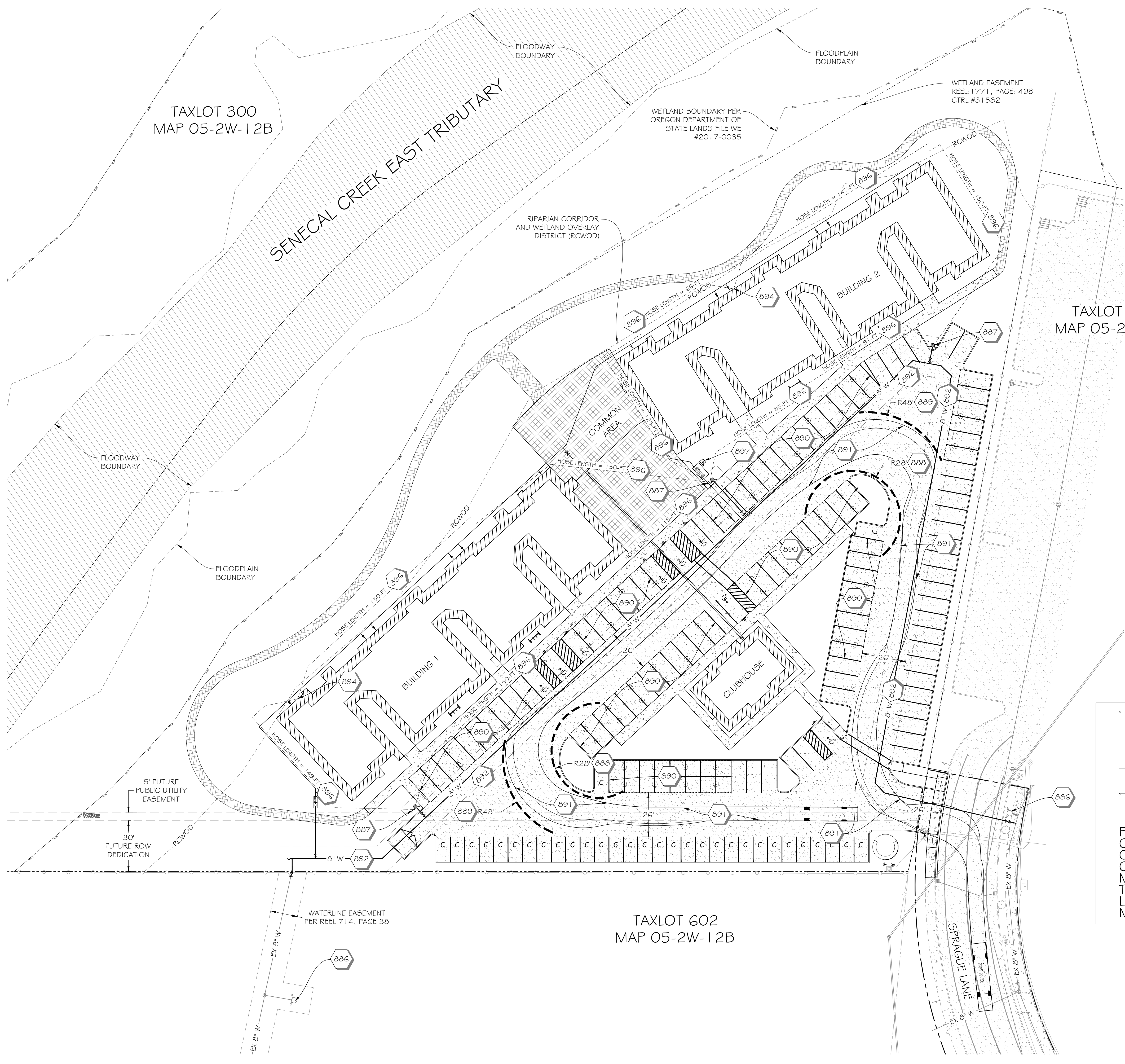
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WORKFORCE MULTIFAMILY
PLANNED UNIT DEVELOPMENT SUBMISSION
LAKE OSWEGO, OREGON

- KEYNOTES**
- 109. SAWCUT EXISTING PAVEMENT. WHEN CUTTING PAVEMENT, THE CUT WILL BE CLEAN, STRAIGHT LINES BY SAWING AND AT FULL DEPTH. THE PAVEMENT RESTORATION WILL BE PURSUANT TO THE DETAILS ON THE DRAWINGS.
 - 142. CONTRACTOR IS REQUIRED TO EXCAVATE, SHORE, DEWATER, BACKFILL, AND RESTORE TRENCH FOR RUSA STAFF TO PERFORM THEIR WORK.
 - 886. EXISTING FIRE HYDRANT
 - 887. PROPOSED FIRE HYDRANT
 - 888. 28' INSIDE FIRE TRUCK TURNING RADIUS
 - 889. 48' OUTSIDE FIRE TRUCK TURNING RADIUS
 - 890. CARPORT OVERHANG
 - 891. FIRE TRUCK TURNING MOVEMENTS
 - 892. 8" PUBLIC WATERLINE
 - 894. STANDPIPE AT GRADE WITH WFD APPROVED SIGNAGE
 - 896. HOSE DRAG LENGTH (150' MAXIMUM)
 - 897. PROPOSED FDC WITH WFD APPROVED SIGNAGE



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ISSUANCE NO.	DESCRIPTION	DATE	BY
1	REVISED FIRE PLAN AND ADD LIGHTING PLAN	1/17/23	KW

SHEET TITLE:

FIRE ACCESS PLAN

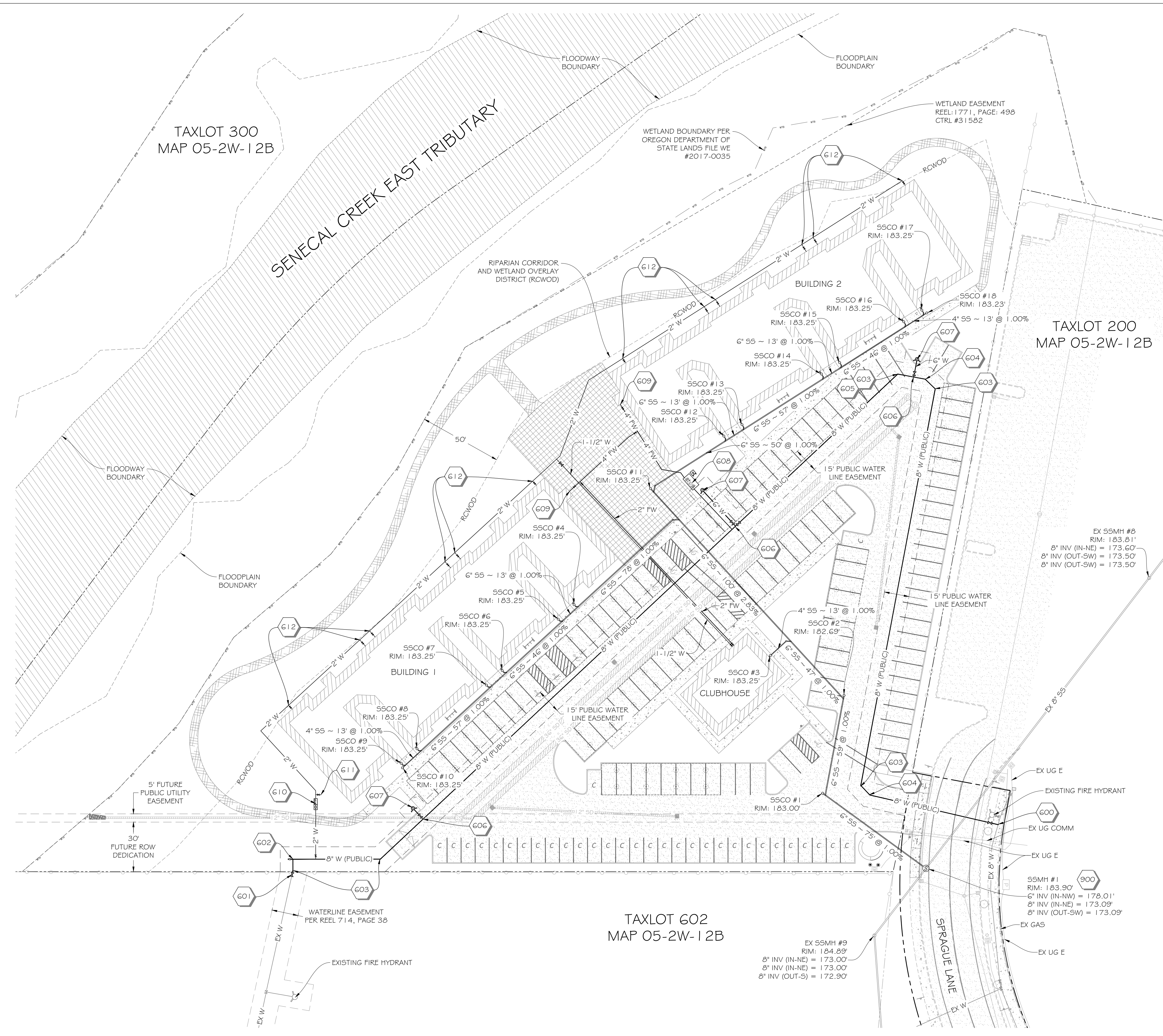
CI.12



EXPIRES: JUNE 30, 2024
DATE SIGNED:

GENERAL CONSTRUCTION NOTES:
1. ALL WATER MAIN JOINTS TO BE RESTRAINED ACCORDING TO CITY OF WOODBURN DESIGN STANDARDS.

- KEYNOTES
- G00. HOT-TAP EXISTING 8" WATER MAIN.
 - G01. REMOVE EXISTING BLOWOFF AND INSTALL 8" GATE VALVE.
 - G02. INSTALL 8" TEE AND CAP WEST LEG FOR FUTURE EXTENTION.
 - G03. INSTALL 8" 45Ø BEND.
 - G04. INSTALL 8" 22.5Ø BEND.
 - G05. INSTALL 8" 11.25Ø BEND.
 - G06. INSTALL 8"x6" MJ TEE.
 - G07. PROPOSED FIRE HYDRANT.
 - G08. 4" DCDV VAULT WITH FIRE DEPARTMENT CONNECTION.
 - G09. FIRE SERVICE TO BUILDING.
 - G10. DOMESTIC WATER DCDV VAULT AND WATER METER.
 - G11. LANDSCAPE IRRIGATION STUB.
 - G12. DOMESTIC WATER SERVICE TO BUILDING.
 - 900. INSTALL SANITARY SEWER MANHOLE OVER EXISTING SANITARY SEWER MAIN.



WB SPRAGUE LANE, LLC

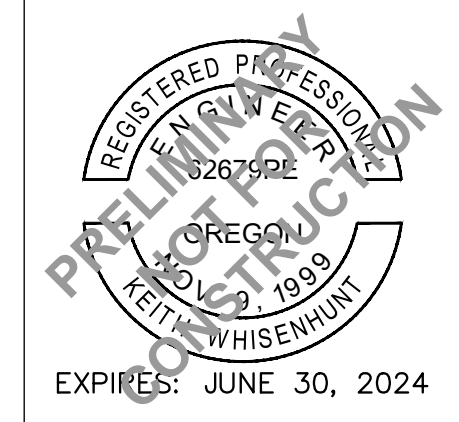
WORKFORCE MULTIFAMILY PLANNED UNIT DEVELOPMENT SUBMISSION

LAKE OSWEGO, OREGON

ISSUANCE NO.	DESCRIPTION	DATE	BY

SHEET TITLE:
**WATER AND
SANITARY PLAN**

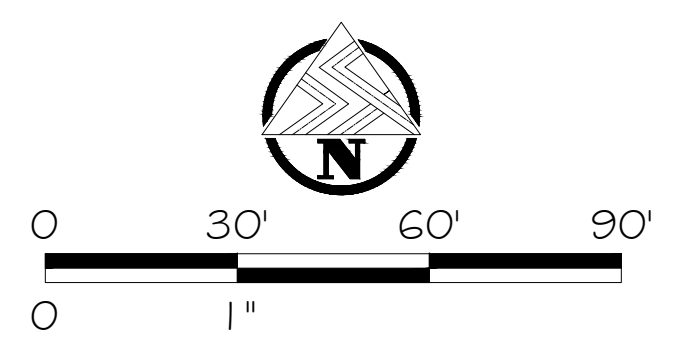
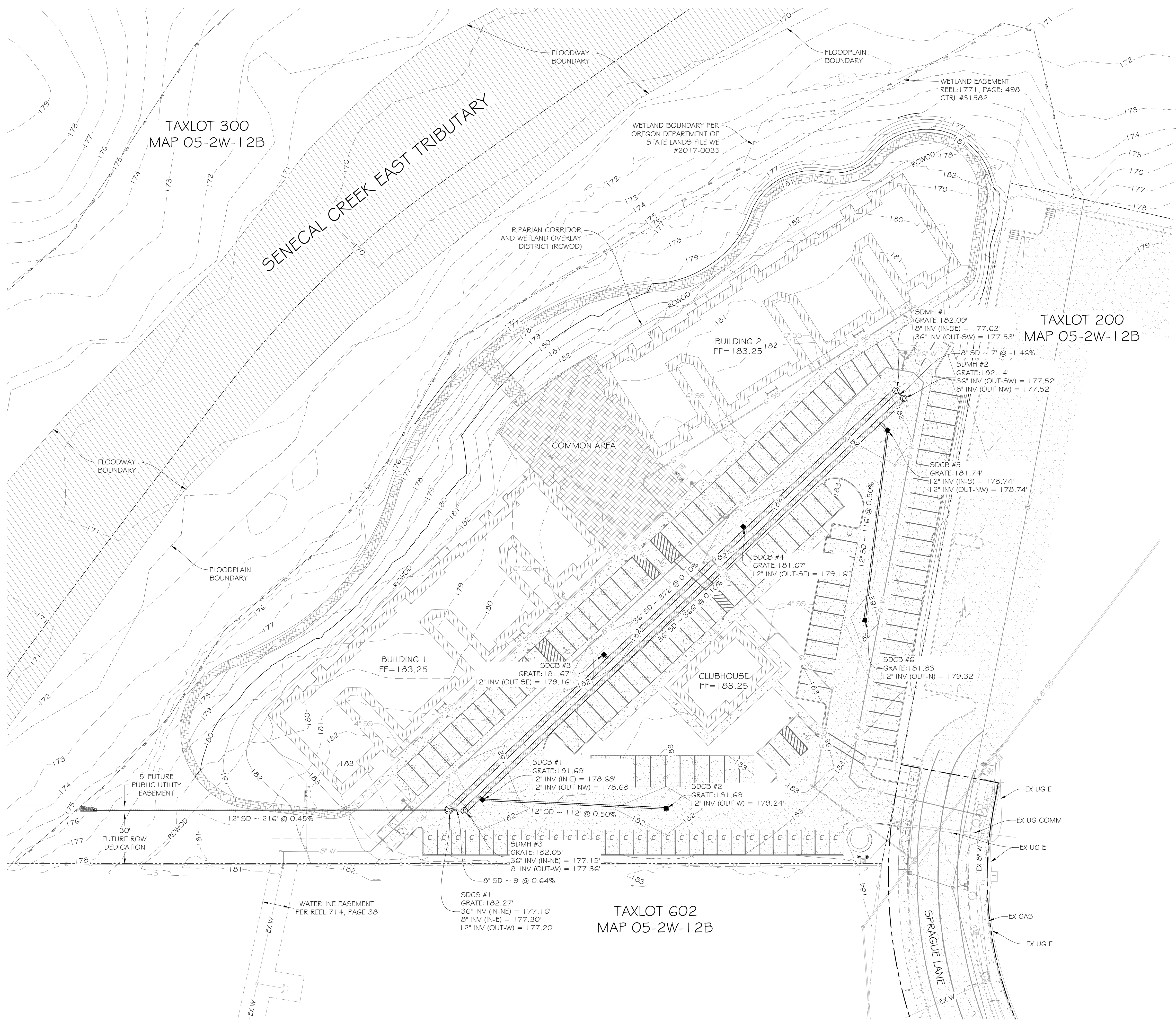
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PLANNED UNIT DEVELOPMENT SUBMISSION
LAKE OSWEGO, OREGON

GENERAL CONSTRUCTION NOTES:
1. BUILDING FOOTING DRAIN AND DOWNSPOUTS TO BE PLUMBED DIRECTLY INTO PROPOSED STORM DETENTION PIPES.



ISSUANCE NO.	DESCRIPTION	DATE	BY

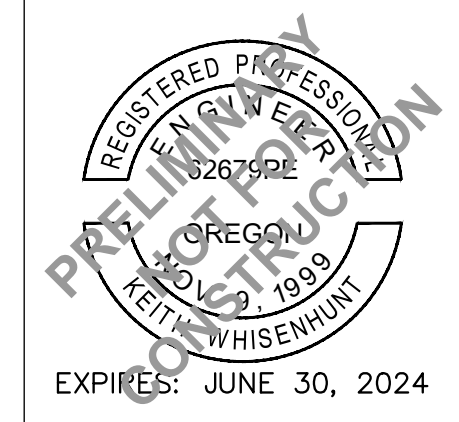
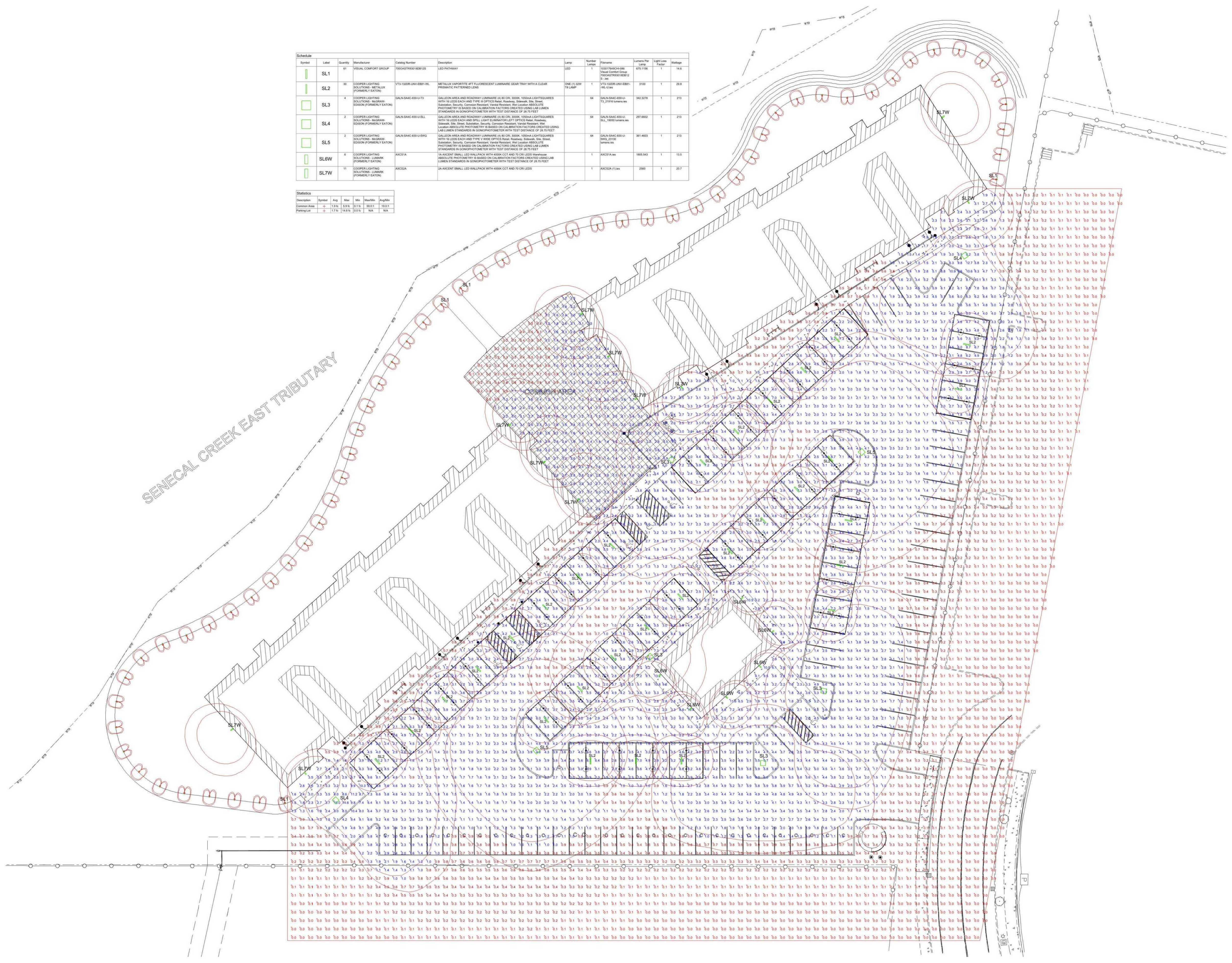
SHEET TITLE:
STORMWATER PLAN

C1.31

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Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Footcandle	Light Loss Factor	Height
SL1	1	1	VISUAL COMFORT GROUP	1000AT938180818	LED PATHWAY	LED	1	1000	0.8	14.6
SL2	30	30	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EDISON)	V73-100W-UNV-881-ML	METALUX VAPORITE 4FT FLUORESCENT LUMINAIRE GRAB TRAY WITH A CLEAR PRISMATIC PATTERNED LENS	ONE (1) 80W T8 LAMP	1	100	0.8	29.8
SL3	4	4	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EDISON)	GALN-SAC-850-U-TL	GALLEON AREA AND ROADWAY LUMINAIRE (H: 8 FT, 2000K, 100W) LIGHTSQUARES WITH 16 LED EACH AND TYPE II WIDE OPTIC Beam Spread, 30W, 500lm. PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN CONFORMANCE WITH TEST DISTANCE OF 30 FEET	GALN-SAC-850-U-TL 2000K, 100W, 500lm	64	342,327.6	0.8	21.3
SL4	2	2	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EDISON)	GALN-SAC-850-U-SLL	GALLEON AREA AND ROADWAY LUMINAIRE (H: 8 FT, 2000K, 100W) LIGHTSQUARES WITH 16 LED EACH AND TYPE II WIDE OPTIC Beam Spread, 30W, 500lm. PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN CONFORMANCE WITH TEST DISTANCE OF 30 FEET	GALN-SAC-850-U-SLL 2000K, 100W, 500lm	64	297,662.0	0.8	21.3
SL5	2	2	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EDISON)	GALN-SAC-850-U-SHG	GALLEON AREA AND ROADWAY LUMINAIRE (H: 8 FT, 2000K, 100W) LIGHTSQUARES WITH 16 LED EACH AND TYPE II WIDE OPTIC Beam Spread, 30W, 500lm. PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN CONFORMANCE WITH TEST DISTANCE OF 30 FEET	GALN-SAC-850-U-SHG 2000K, 100W, 500lm	64	361,463.0	0.8	21.3
SL6W	6	6	COOPER LIGHTING SOLUTIONS - LUMINAIR (FORMERLY EDISON)	ANCS1A	16' ANCHOR SMALL LED WALLPACK WITH 4000K CCT AND 70 CRI LEDs	ANCS1A 4000K	1	180,943.0	0.8	13.5
SL7W	11	11	COOPER LIGHTING SOLUTIONS - LUMINAIR (FORMERLY EDISON)	ANCS1A	16' ANCHOR SMALL LED WALLPACK WITH 4000K CCT AND 70 CRI LEDs	ANCS1A 4000K	1	260	0.8	20.7

Statistics	Symbol	Qty	Max	Min	Max/Min	Height
Common Area	SL	136	3.9	0.1	38.0	18.0
Perimeter	SL	17	16.8	0.0	N/A	N/A



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LAKE OSWEGO, OREGON

NO.	ISSUANCE DESCRIPTION	DATE	BY
1	REVISED FIRE PLAN AND ADD LIGHTING PLAN	1/17/23	KW

SHEET TITLE:
PHOTOMETRIC PLAN

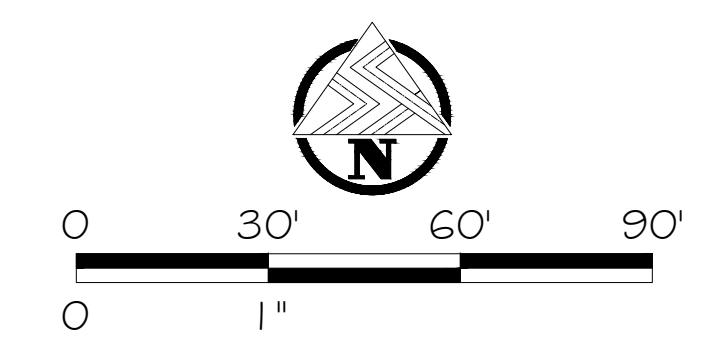
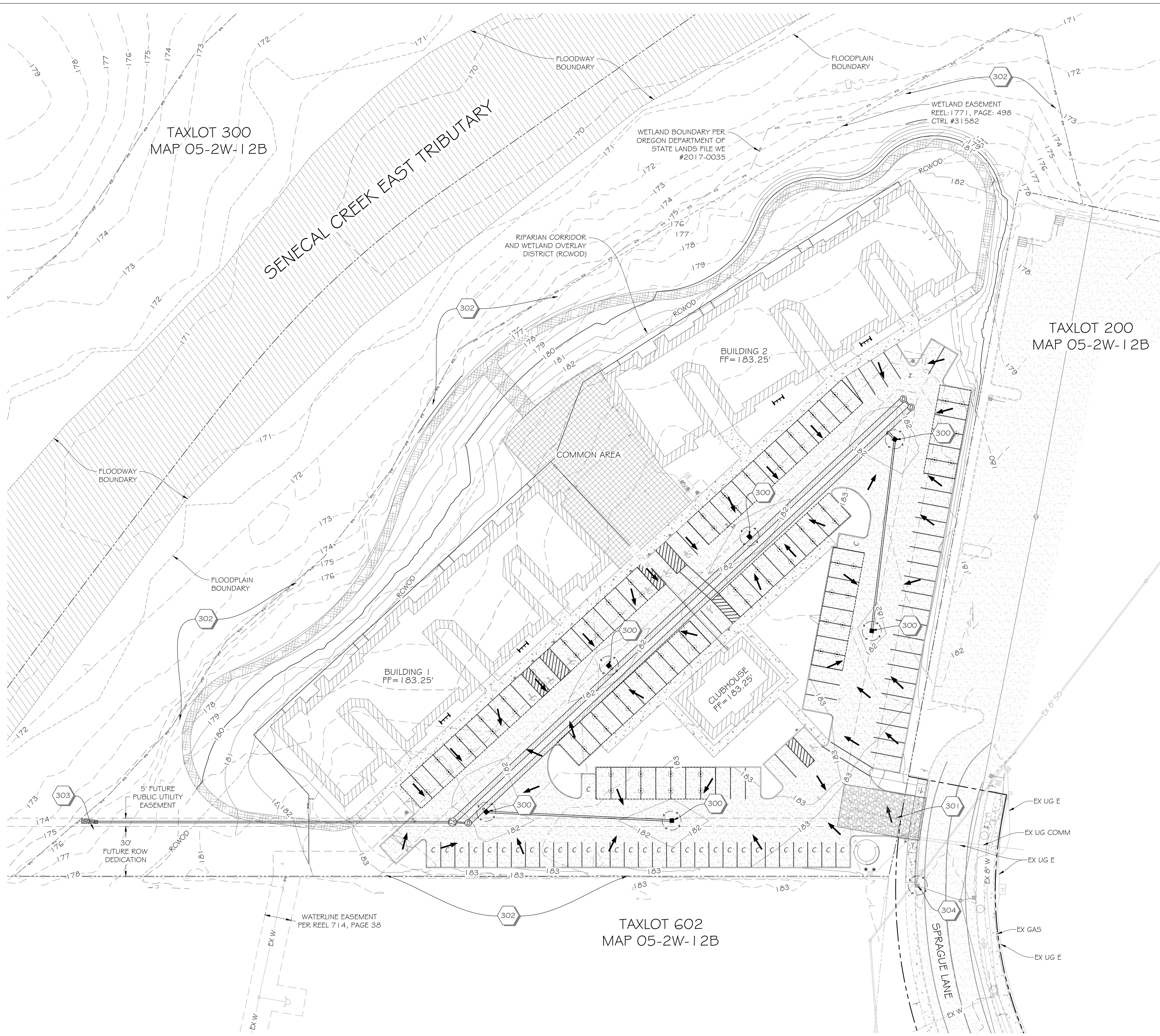


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WORKFORCE MULTIFAMILY
PLANNED UNIT DEVELOPMENT SUBMISSION
LAKE OSWEGO, OREGON

GENERAL CONSTRUCTION NOTES:
1. REFERENCE DETAIL 946 ON SHEET C1.41 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES.

- KEYNOTES**
- 300. INSTALL TYPE 5 INLET PROTECTION. REFERENCE DETAIL 920 ON SHEET C1.41.
 - 301. INSTALL CONSTRUCTION ENTRANCE. REFERENCE DETAIL 855 ON SHEET C1.41.
 - 302. INSTALL COMPOST BERM. REFERENCE DETAIL 890 ON SHEET C1.41.
 - 303. INSTALL OUTLET PROTECTION. REFERENCE DETAIL 820 ON SHEET C1.41.
 - 304. INSTALL TYPE 4 INLET PROTECTION. REFERENCE DETAIL 915 ON SHEET C1.41.



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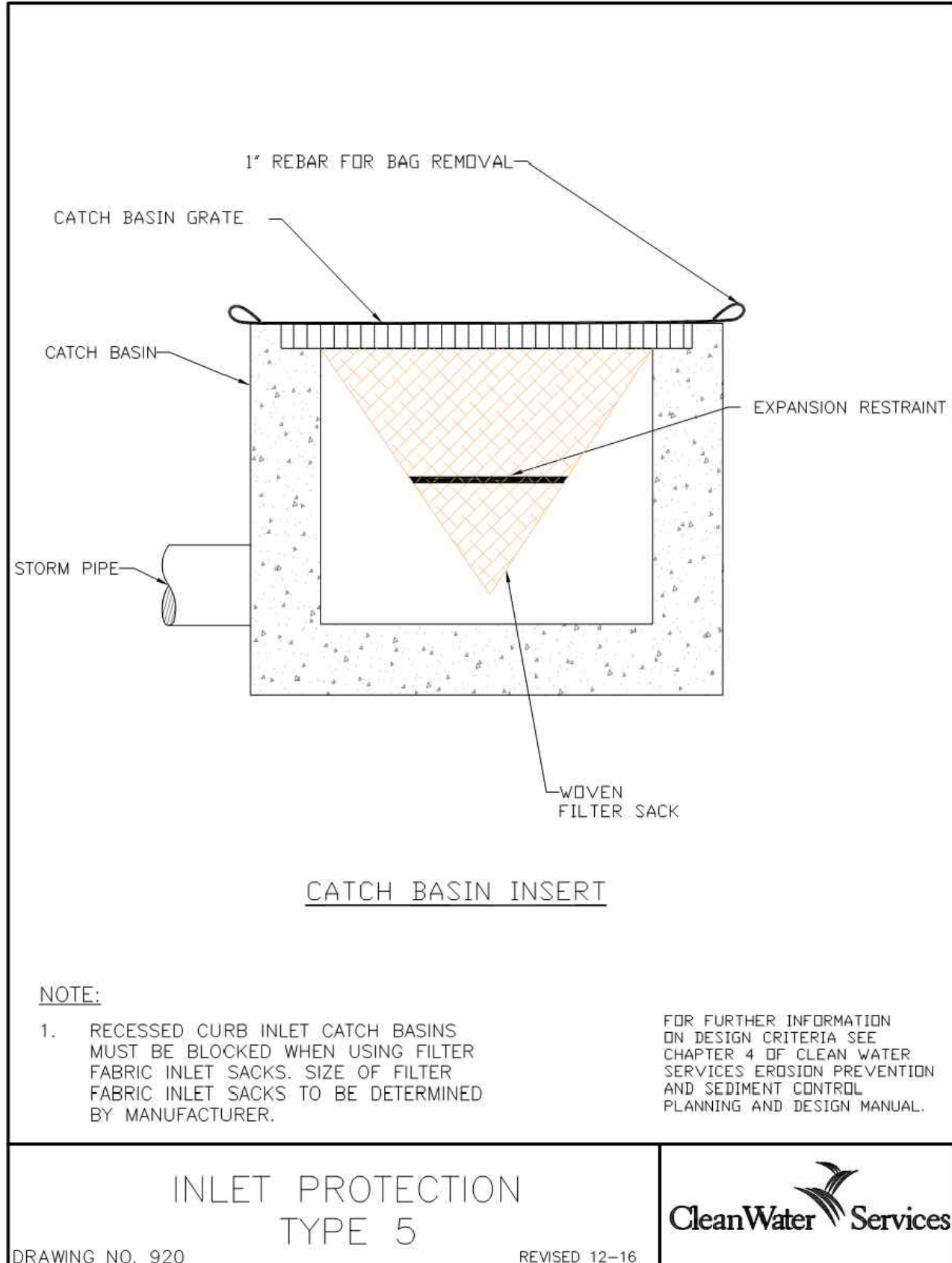
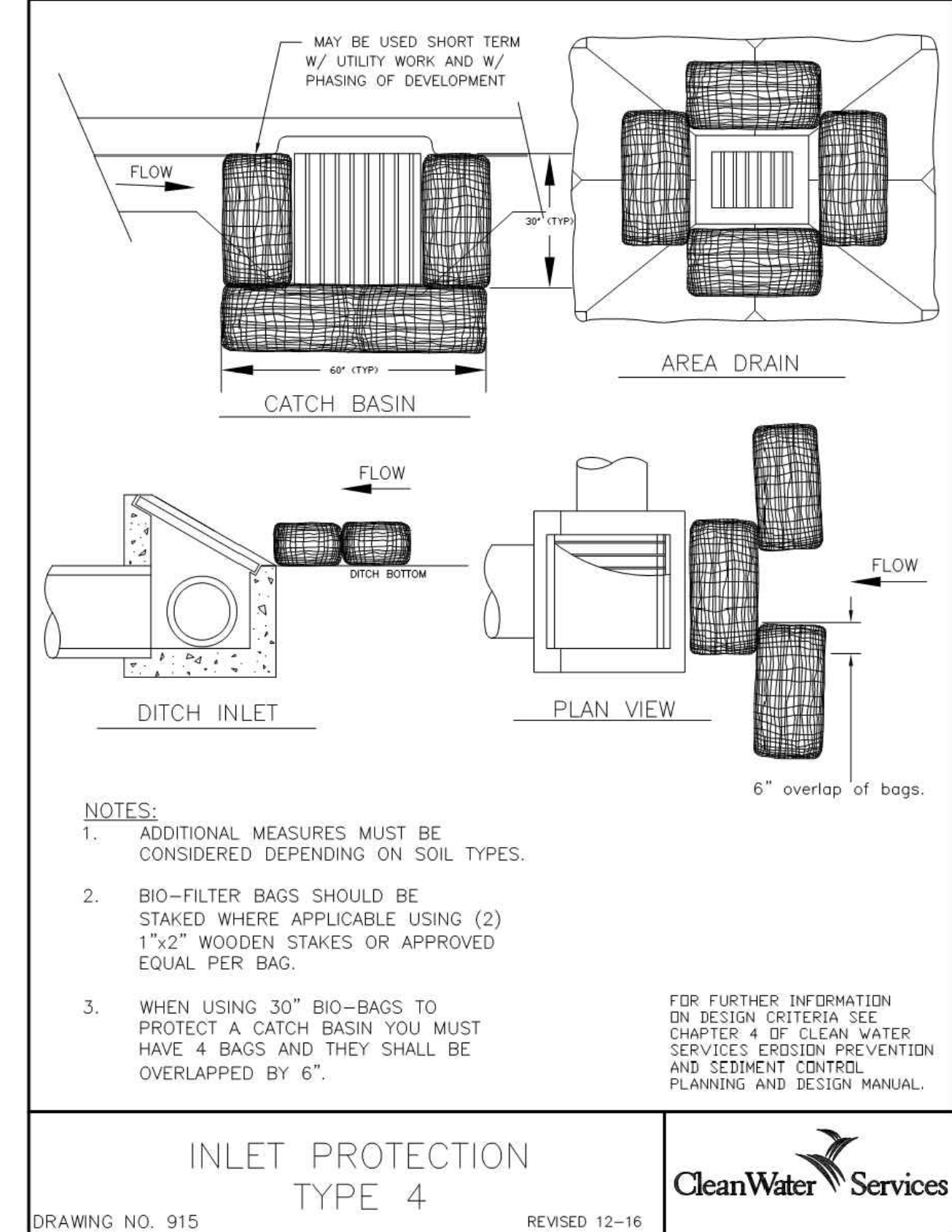
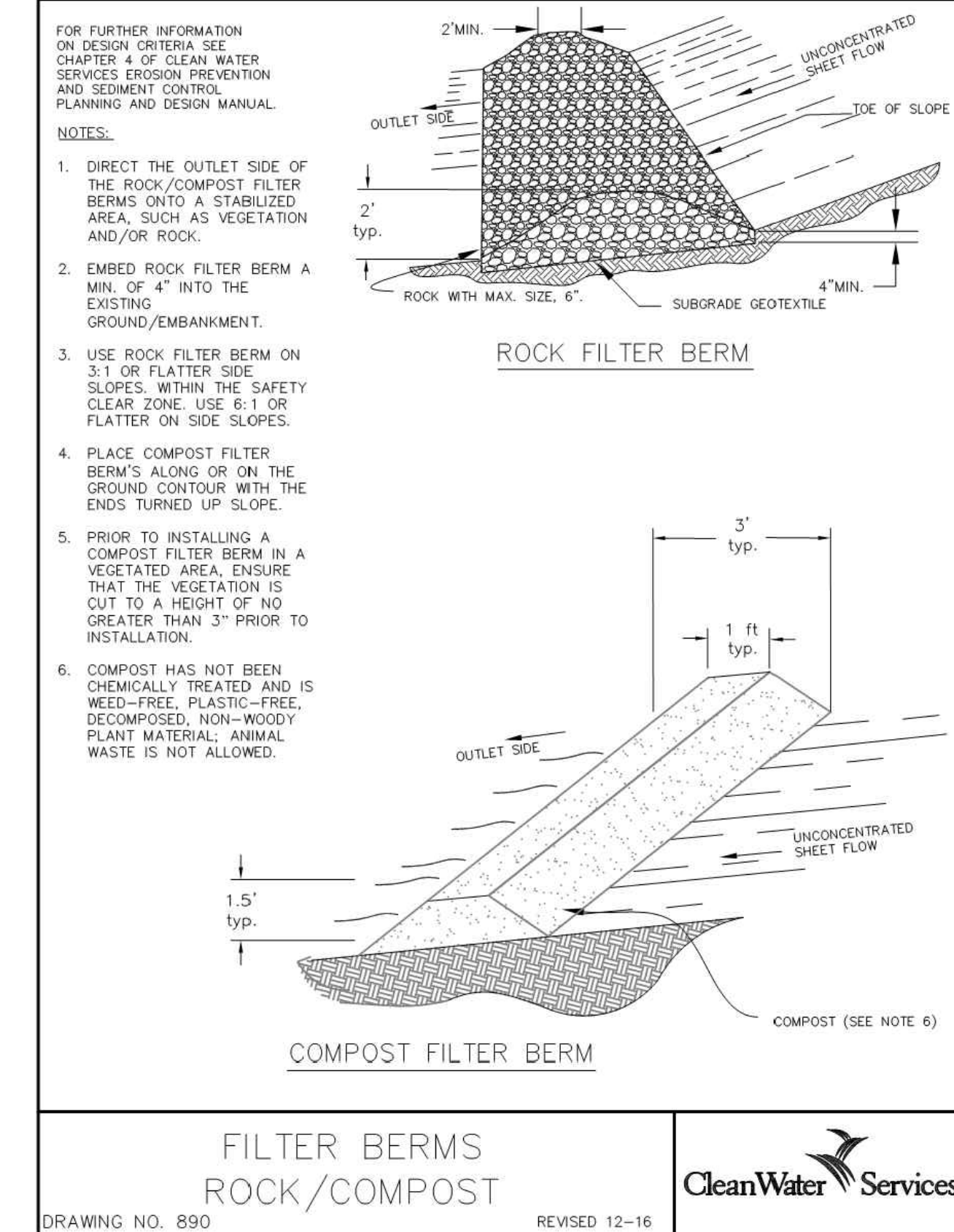
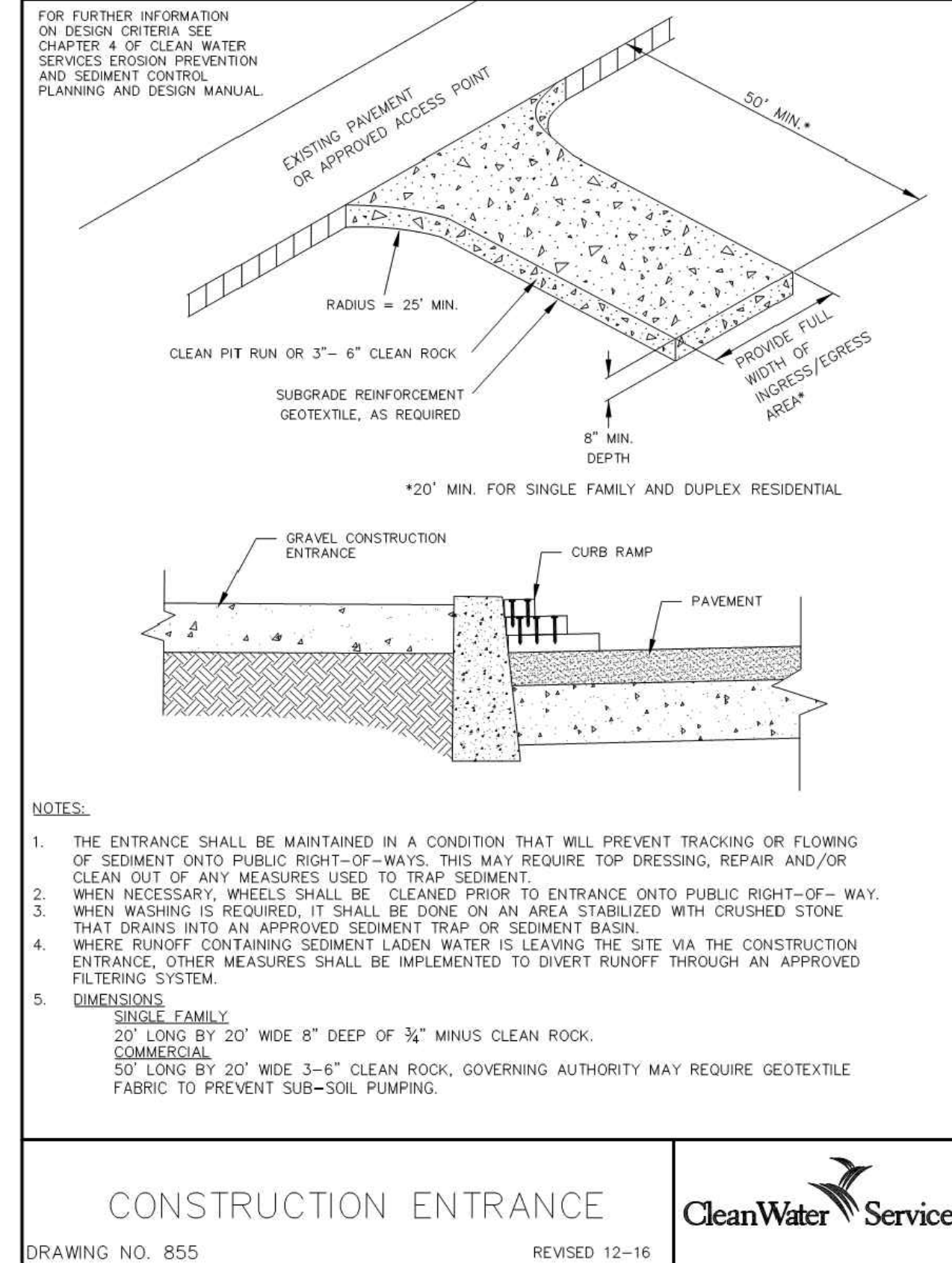
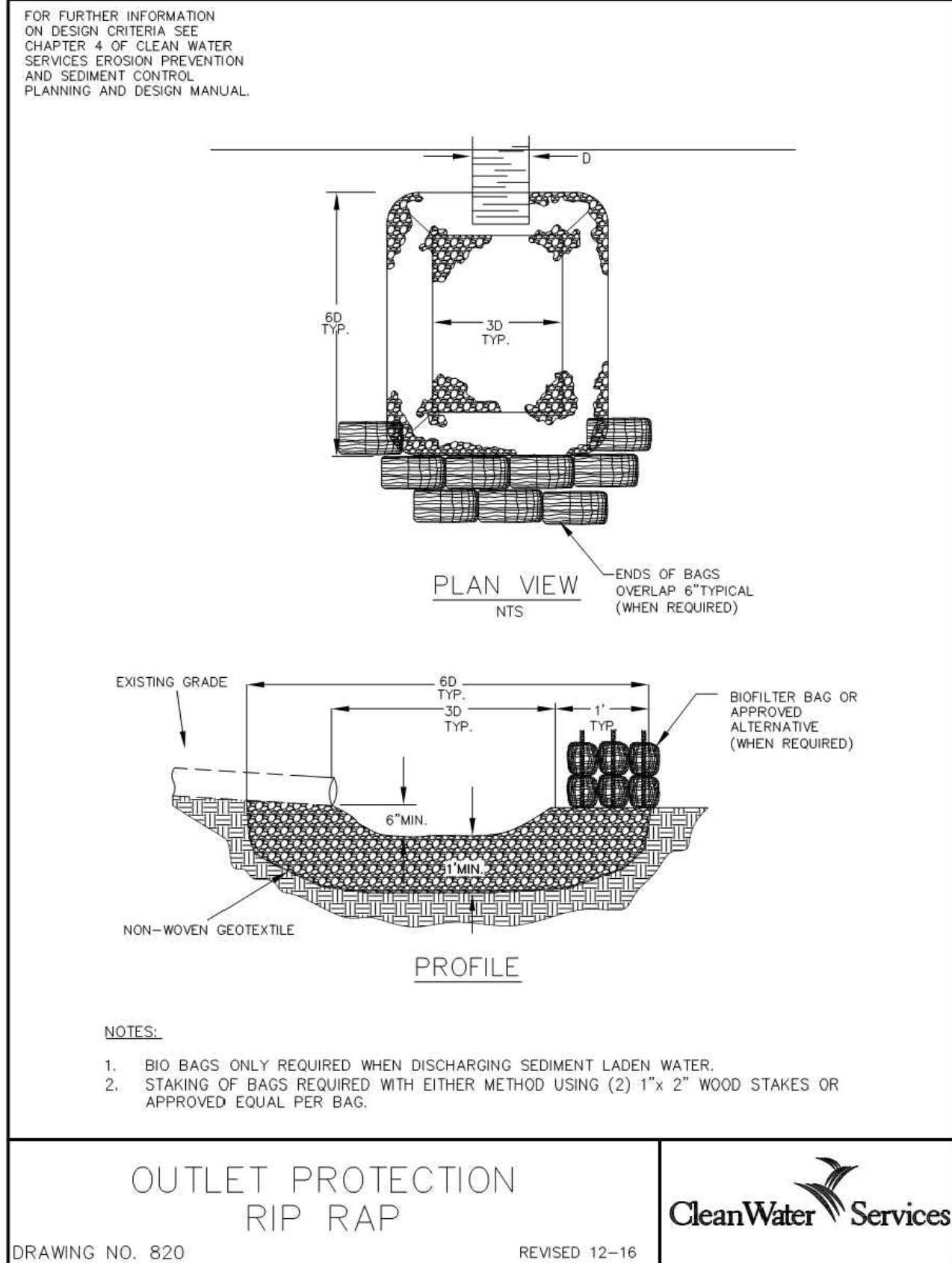
ISSUANCE NO.	DESCRIPTION	DATE	BY

SHEET TITLE:
EROSION CONTROL PLAN
C1.40



EXPIRES: JUNE 30, 2024
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PLANNED UNIT DEVELOPMENT SUBMISSION
LAKE OSWEGO, OREGON



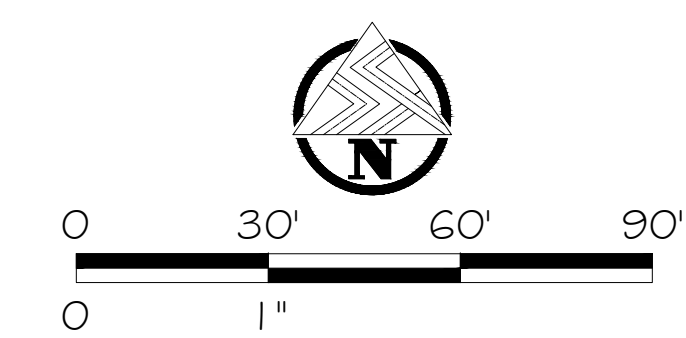
GENERAL EROSION CONTROL NOTES:
1. COMPLY WITH ALL APPLICABLE PROVISIONS IN CHAPTER 6 OF THE DESIGN AND CONSTRUCTION STANDARDS (CURRENT); R&O 19-5 AS AMENDED BY R&O 19-22, ADOPTED NOVEMBER 12, 2019.
2. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP LIKE A FILTER BAG.
3. ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD, OCTOBER 1 - MAY 31.
4. HOLD A PRECONSTRUCTION MEETING WITH PROJECT CONSTRUCTION PERSONAL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS.

PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES:
1. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH, CHIPPINGS, STRAW WATTLES OR OTHER APPROVED MATERIALS.
2. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL AND APPROVED IN AN INITIAL INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
3. RUN-ON AND RUN-OFF SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.

GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:
1. IF VEGETATED SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX IN THOSE AREAS. SEED USED FOR TEMPORARY OR PERMANENT SEEDING OUTSIDE VEGETATED CORRIDORS SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
A. DWARF GRASS MIX (MIN. 100 LB./AC.)
1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
2. CREEPING RED FESCUE (20% BY WEIGHT)
B. STANDARD HEIGHT GRASS MIX (MIN. 100LB.AC)
1. ANNUAL RYEGRASS (40% BY WEIGHT)
2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
10. COVER CATCH BASINS, MANHOLES AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACT COAT ETC. TO PREVENT PRODUCTS FROM ENTERING THE STORM SYSTEM.

EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:
1. ALL SEDIMENT BARRIERS TO BE INSTALLED AFTER GRADING SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
2. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
3. THE STORM WATER FACILITY SHALL BE CONSTRUCTED AND LANDSCAPED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
4. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

STANDARD EROSION CONTROL NOTES FOR SITES 1 ACRE AND GREATER
DRAWING NO. 946 REVISED 6-30-21
CleanWater Services



ISSUANCE	DATE	BY
DESCRIPTION		
NO.		

SHEET TITLE:
EROSION CONTROL NOTES AND DETAILS

Plant Schedule

PARKING AND STREET TREES:

SYMBOL	PLANT NAME	MATURE SIZE	SIZE
	PARKING TREES		
	Acer rubrum 'Bowhall' / Bowhall Red Maple	20'x15' Medium	2" Cal., B&B
	Cladrastis kentukea / American Yellowwood	75'x70' Large	2" Cal., B&B
	Platanus x acerifolia / London Plane Tree	80'x95' Large	2" Cal., B&B
	Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova	85'x75' Large	2" Cal., B&B

MIXED TREE, SHRUB, AND GROUND COVER PLANTS:

SYMBOL	PLANT NAME	MATURE SIZE	SIZE
	MIXED TREE		
	Acer griseum / Paperbark Maple	25'x20' Small	2" Cal., B&B
	Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam	30'x10' Small	2" Cal., B&B
	Cercis canadensis / Eastern Redbud	30'x30' Small	2" Cal., B&B
	Metasequoia glyptostroboides / Dawn Redwood	70'x30' Large	2" Cal., B&B
	Prunus x yedoensis / Yoshino Cherry	40'x60' Medium	2" Cal., B&B
	Sophora japonica / Japanese Pagoda Tree	50'x75' Medium	2" Cal., B&B
	Thuja plicata / Western Red Cedar	150'x70' Large	2" Cal., B&B

SHRUBS AND GROUND COVER

Acer circinatum / Vine Maple	15'x15'	5 Gal.
Arctostaphylos uva-ursi / Kinnikinnick	24" o.c.	1 Gal.
Cistus x hybridus / White Rockrose	4'x4'	3 Gal.
Cornus sericea 'Kelsey' / Kelsey's Dwarf Red Twig Dogwood	2'x2'	2 Gal.
Daphne odora / Winter Daphne	4'x4'	3 Gal.
Fragaria chiloensis / Beach Strawberry	12" o.c.	4" Pot
Holodiscus discolor / Oceanspray	8'x8'	3 Gal.
Hydrangea quercifolia / Oakleaf Hydrangea	6'x6'	3 Gal.
Ilex crenata 'Compacta' / Dwarf Japanese Holly	6'x6'	2 Gal.
Mahonia aquifolium / Oregon Grape	4'x4'	2 Gal.
Mahonia nervosa / Cascade Barberry	2'x2'	1 Gal.
Mahonia repens / Creeping Mahonia	24" o.c.	1 Gal.
Nandina domestica / Heavenly Bamboo	6'x6'	3 Gal.
Physocarpus capitatus / Pacific Ninebark	10'x10'	5 Gal.
Ribes sanguineum / Red Flowering Currant	8'x8'	3 Gal.
Sarcococca confusa / Sweetbox	4'x4'	2 Gal.
Spiraea japonica / Japanese Spirea	3'x3'	2 Gal.
Viburnum davidii / David Viburnum	3'x3'	2 Gal.

TURF

ProTime 301 Water Smarter Fescue	Seed
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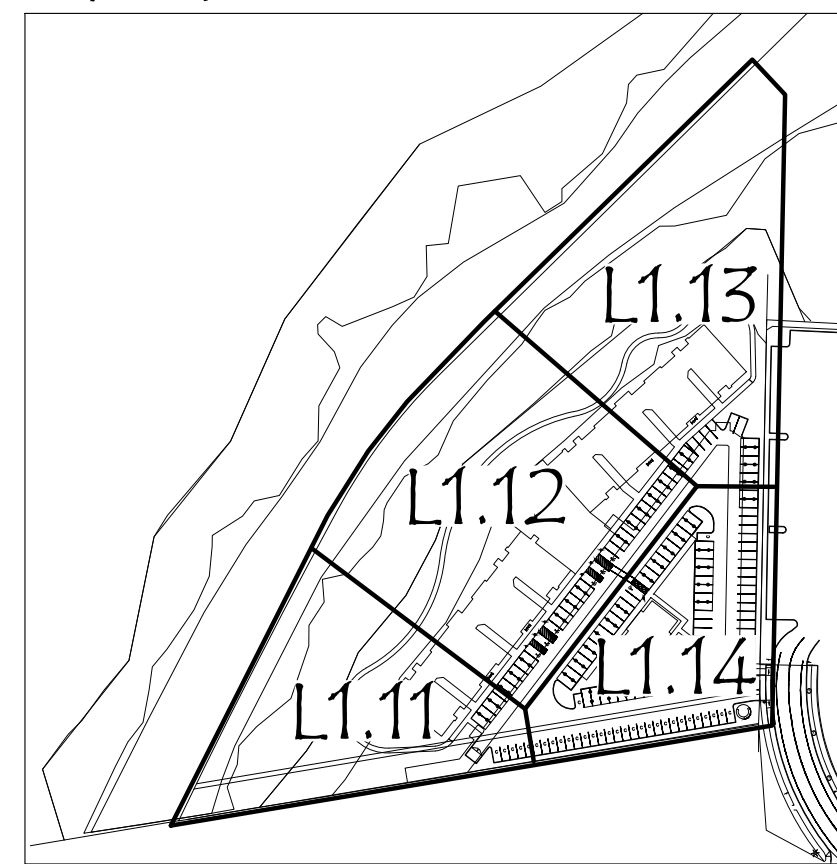
RIPARIAN SEED

ProTime 402 Native Riparian Mix	Seed
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SHRUB SCREENING PLANTS:

SYMBOL	PLANT NAME	MATURE SIZE	SIZE
	LOW SCREEN		
	Arbutus unedo 'Compacta' / Compact Strawberry Tree	6'x6'	5 Gal.
	Ilex crenata 'Compacta' / Dwarf Japanese Holly	6'x6'	5 Gal.
Prunus laurocerasus 'Zabeliana' / Zabel English Laurel	6'x6'	5 Gal.	
	HIGH SCREEN		
	Arbutus unedo / Strawberry Tree Shrub	10'x10'	5 Gal.
	Myrica californica / Pacific Wax Myrtle	10'x10'	5 Gal.
Osmanthus heterophyllus / Holly Olive	8'x8'	5 Gal.	

Key Map:



Site Information

TOTAL SITE AREA (SF) = 388,197 SF (8.9 ACRES)
TOTAL LANDSCAPE AREA = 198,382 SF (4.55 ACRES)

Landscape Requirements

OPEN SPACE: 166,161 SF
RECREATION SPACE: 10,615 SF
PARKING LOT LANDSCAPE: 10,992 SF

BUFFER YARDS:
REQUIRED: 234 PU PROPOSED: 832 PU

PARKING LOT LANDSCAPE:
REQUIRED: 550 PU AND 10 MED. TREES PROPOSED: 785 PU AND 17 MED. TREES

COMMON AREAS:
REQUIRED: 9,953 PU PROPOSED: 10,156 PU

General Notes:

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- SEE CIVIL DRAWINGS FOR STORMWATER INFORMATION.
- SITE INFORMATION SEE SHEET L1.10.
- PLANT SCHEDULE SEE SHEET L1.10.
- CONTRACTOR TO REPAIR DISTURBANCE WITHIN RIPARIAN SETBACK AS NEEDED WITH SPECIFIED MIX.
- SITE FURNISHINGS TO BE SELECTED.
- IRRIGATION TO BE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

Plant Units

SIGNIFICANT TREE = 15 PU
LARGE TREE = 10 PU
MEDIUM TREE = 8 PU
SMALL TREE = 4 PU
LARGE SHRUB = 2 PU
SMALL/MEDIUM SHRUB = 1 PU / 50 SF
BENCH = .5 PU / LF



Laurus
Designs, LLC



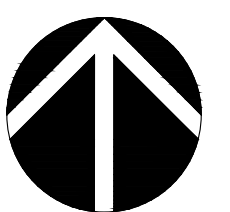
1012 Pine Street
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Lane, LLC
Workforce
Multifamily

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Woodburn, Oregon



PLANTING KEY
PLAN AND
SCHEDULES



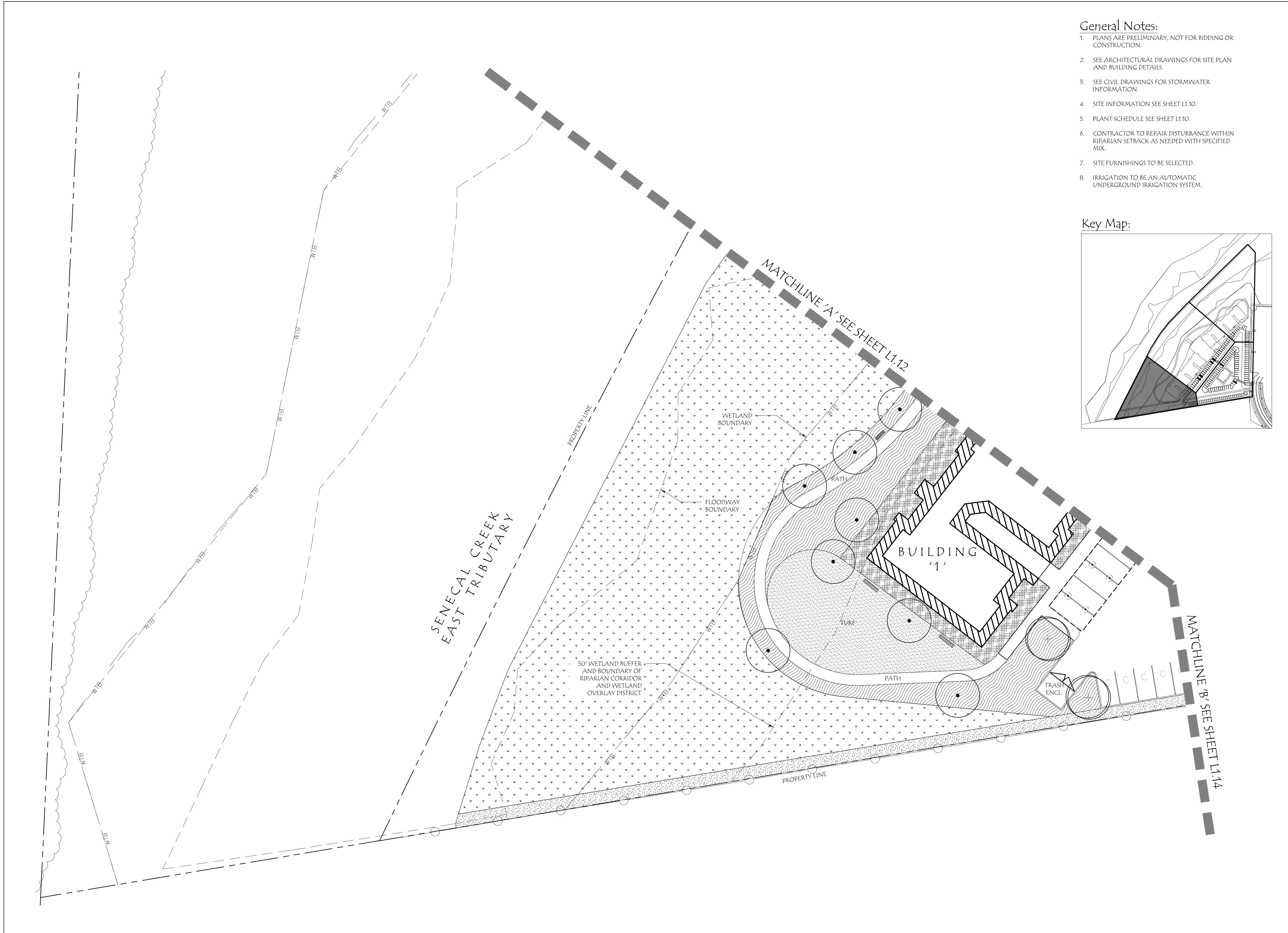
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December 28th, 2022

REVISIONS

#	DATE	NOTES	INITIALS

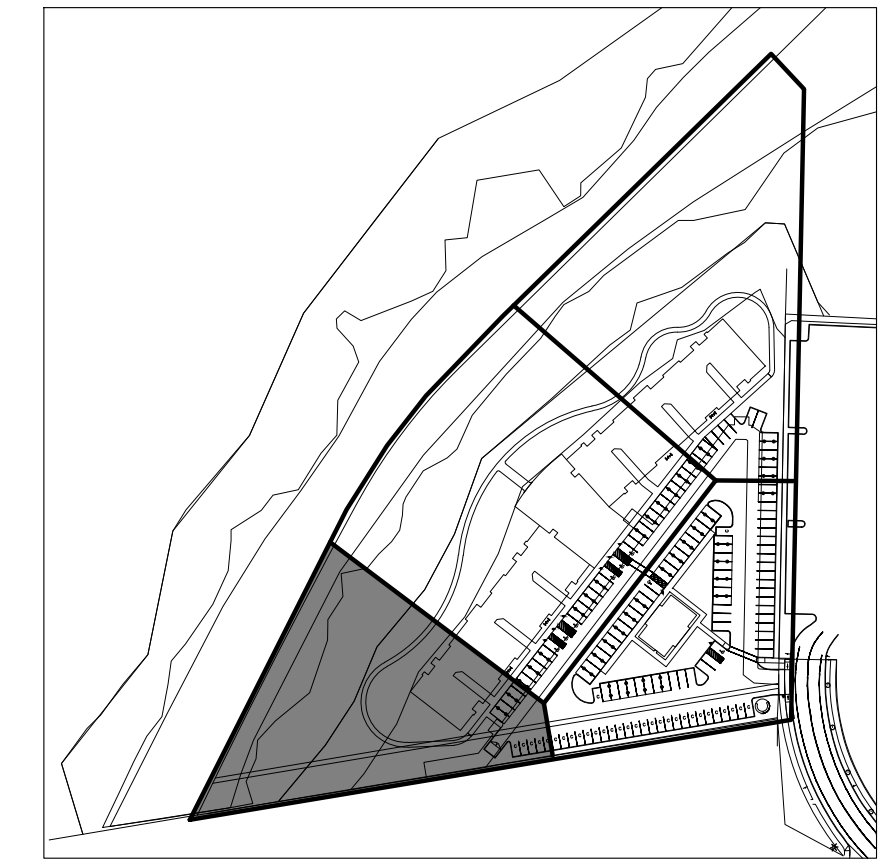
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Key Map:



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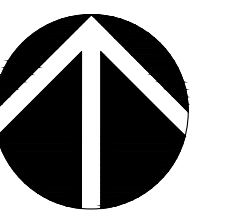
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Workforce Multifamily

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PLANTING PLAN



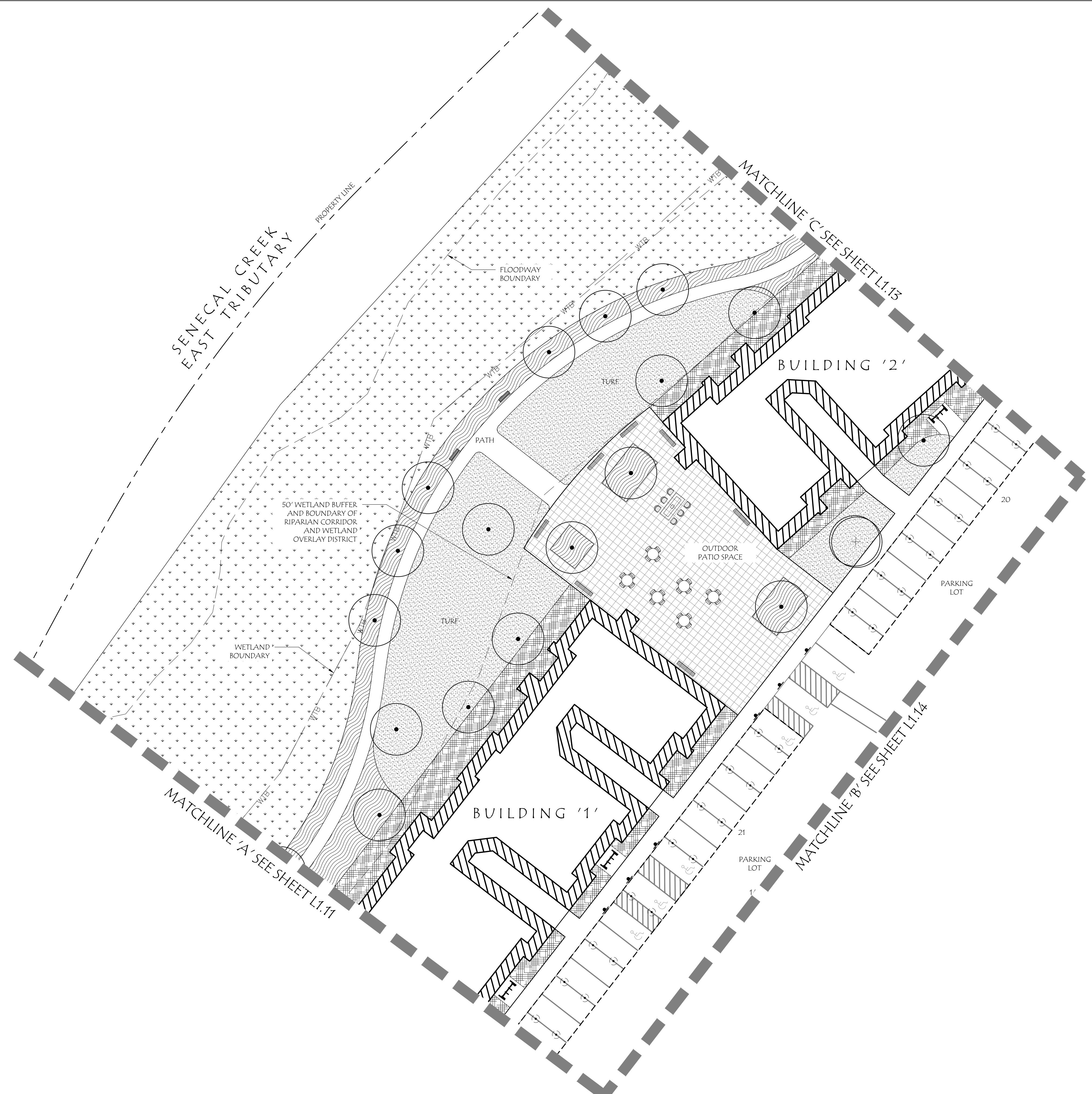
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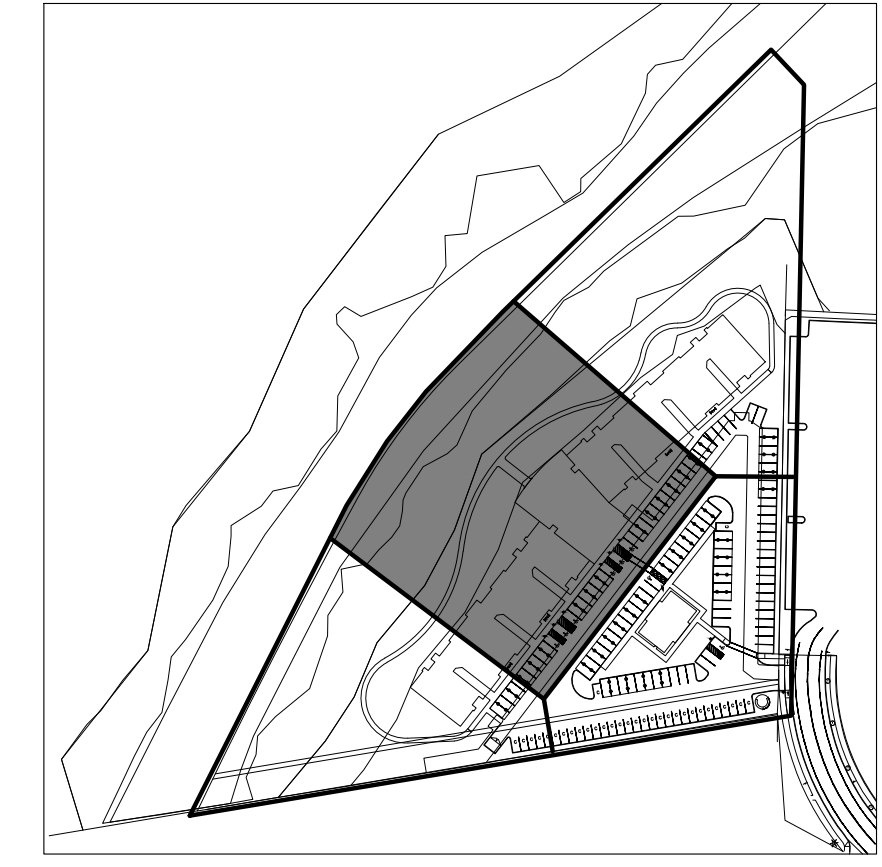
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Key Map:



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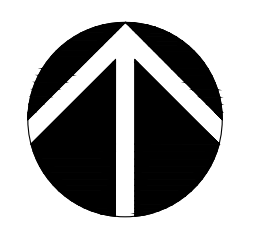
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Workforce Multifamily

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643
PRELIMINARY
LAURA A. ANTONSON
OREGON
11/16/2007
LANDSCAPE ARCHITECT

PLANTING PLAN



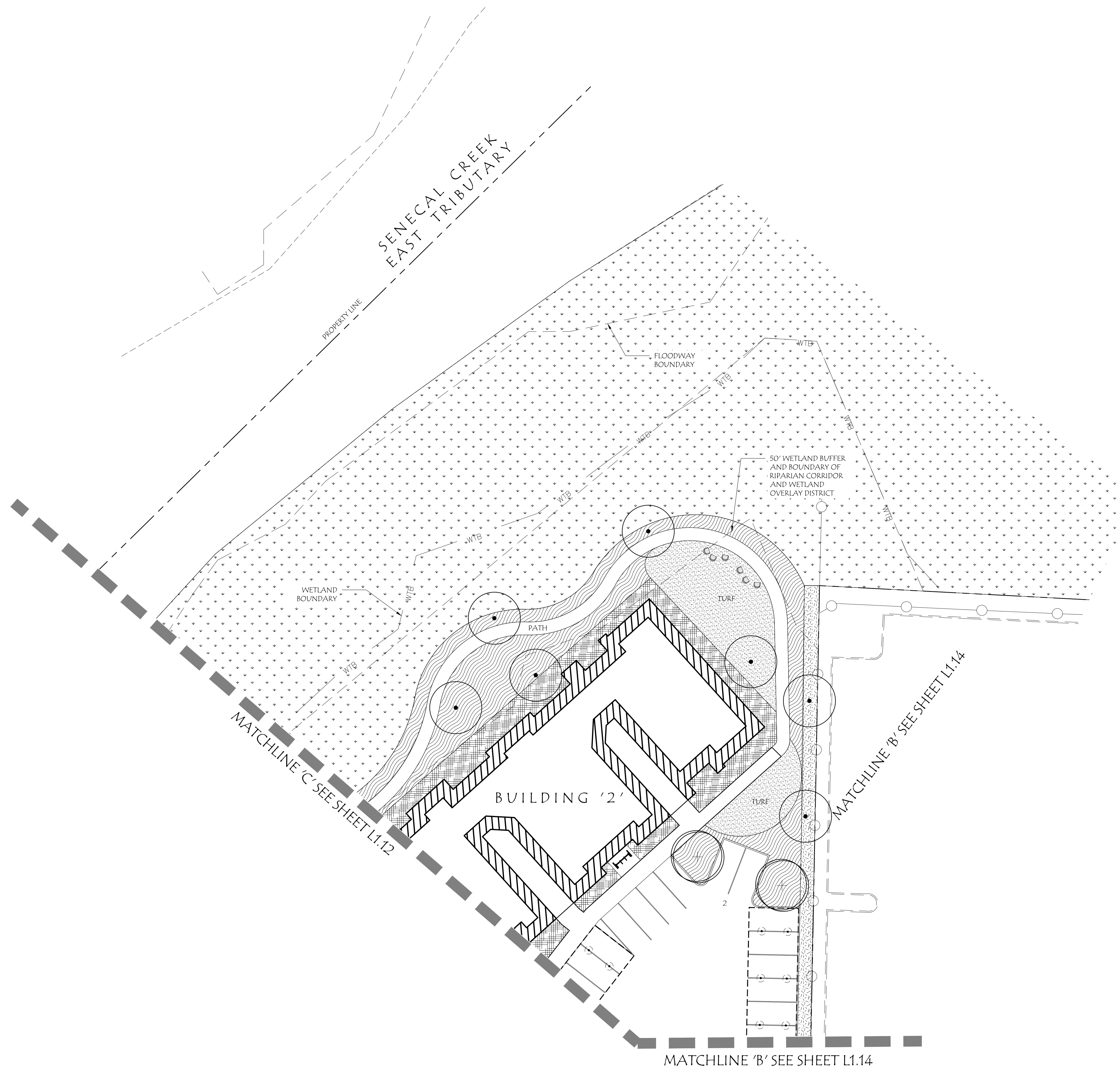
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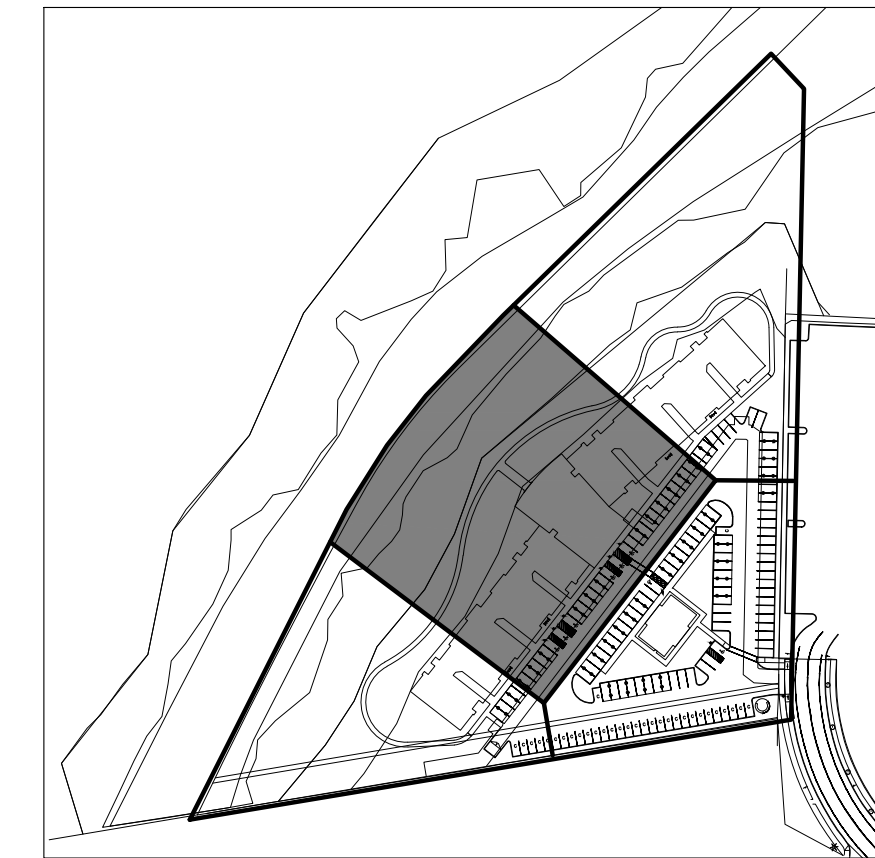
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Key Map:



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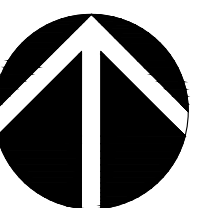
WB Sprague Lane, LLC

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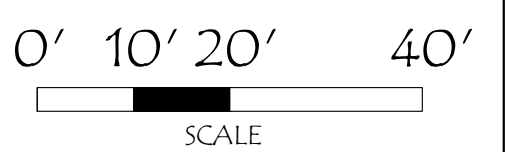
Sprague Lane
Woodburn, Oregon



PLANTING PLAN



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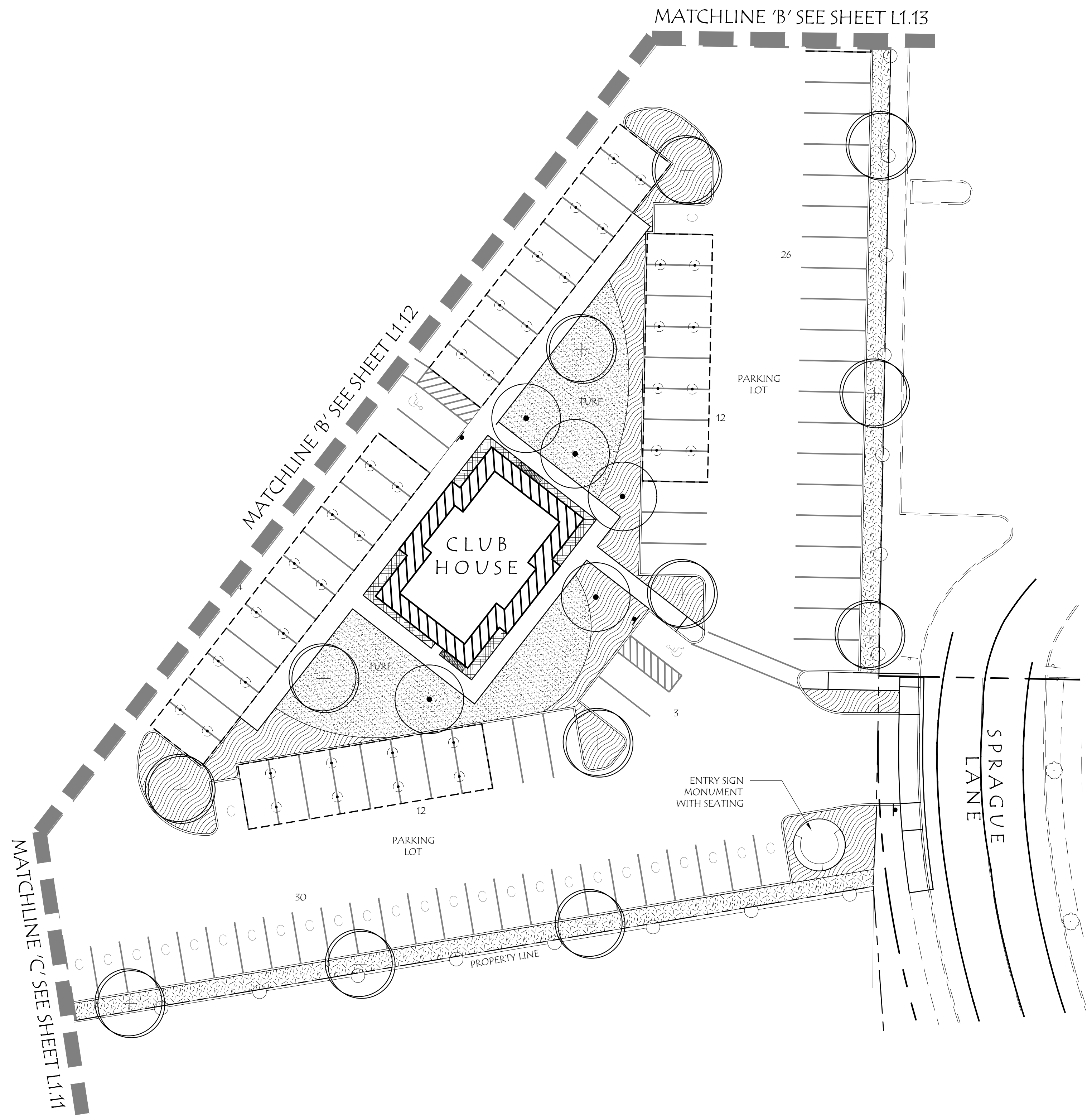


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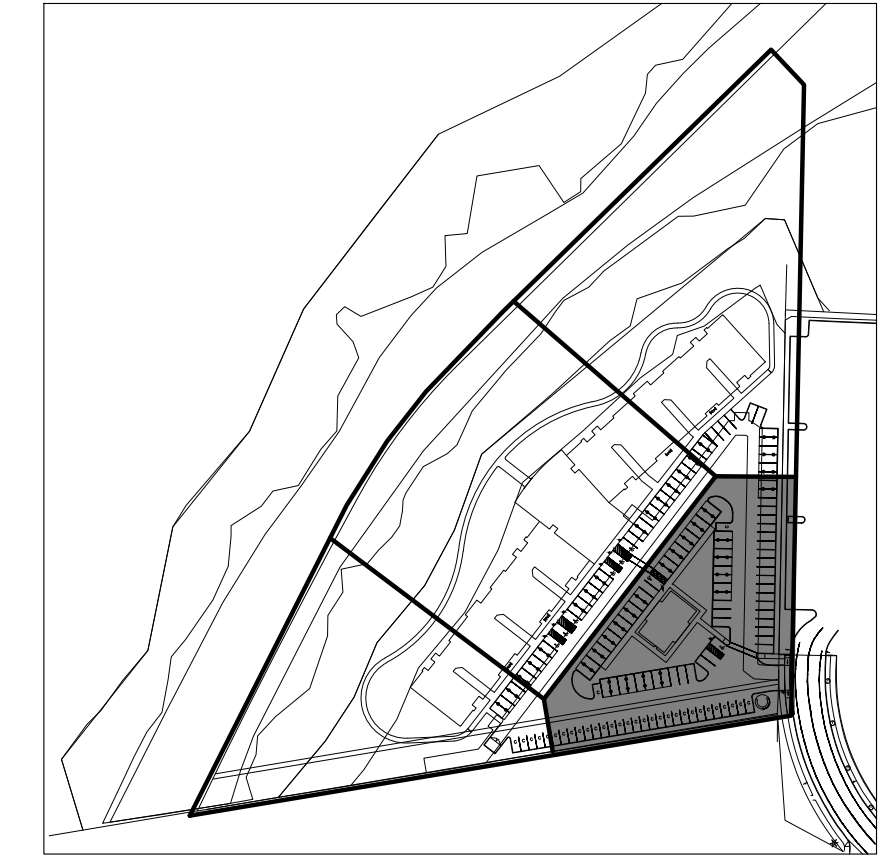
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Key Map:



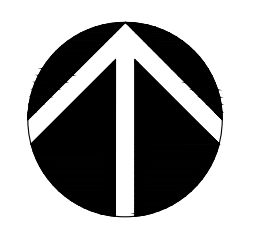
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Workforce Multifamily
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PLANTING PLAN



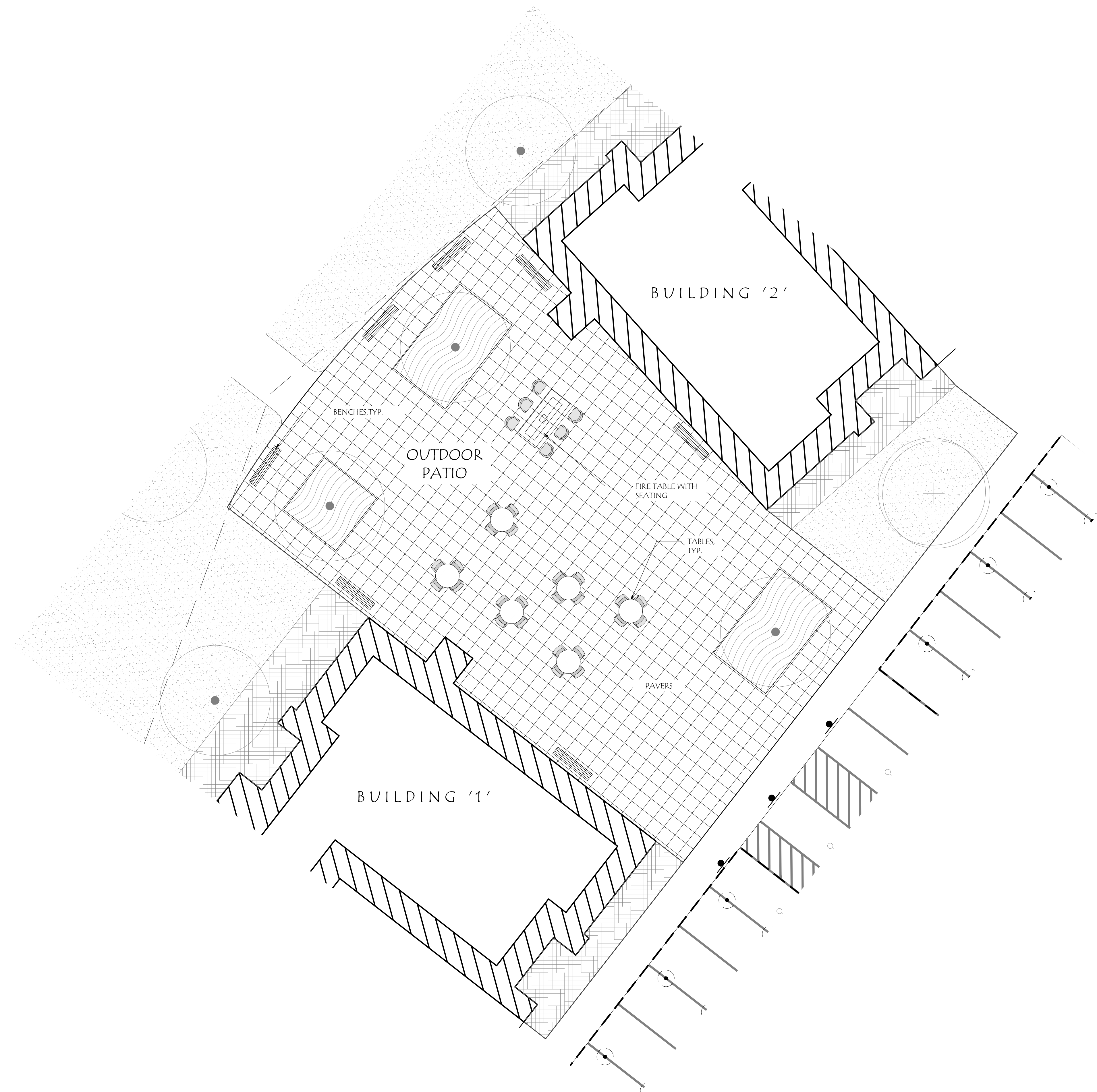
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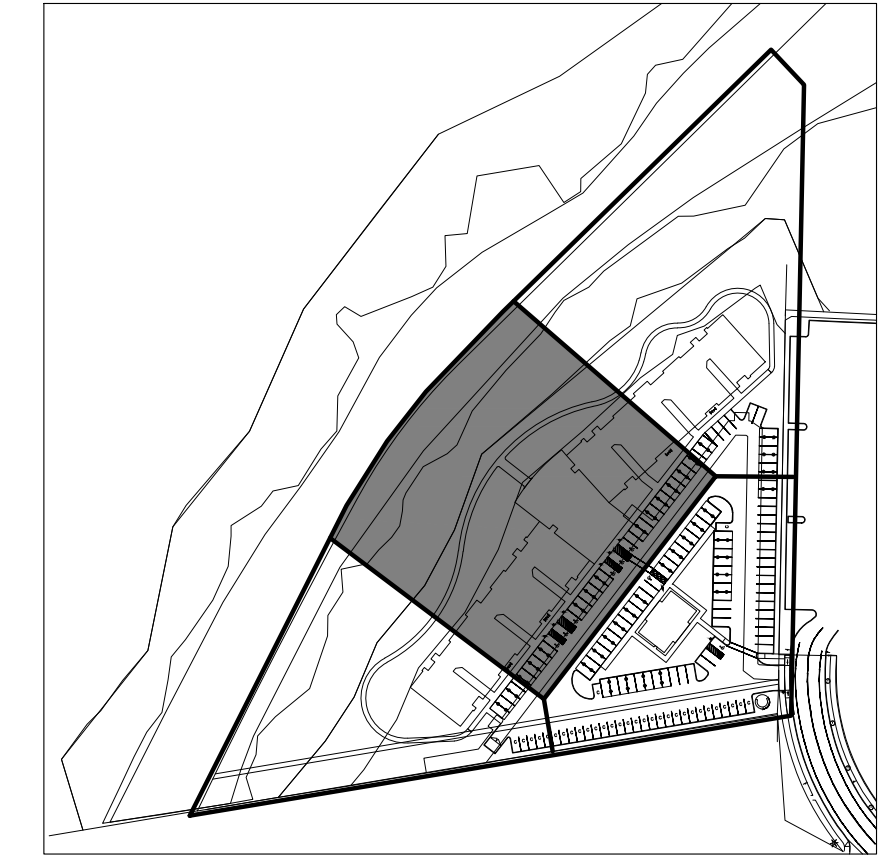
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3. SEE CIVIL DRAWINGS FOR STORMWATER INFORMATION.
4. SITE INFORMATION SEE SHEET L1.10.
5. PLANTING PLAN SEE SHEETS L1.11 TO L1.14.
6. SITE FURNISHINGS TO BE SELECTED.

Key Map:



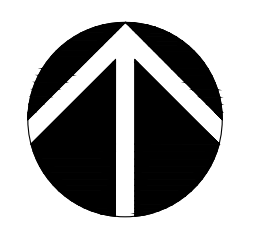
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PATIO ENLARGEMENT



SCALE: 1"=10'-0"
0' 5' 10' 20'
SCALE

December 28th, 2022

REVISIONS			
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L1.31







ELEVATION KEYNOTES

- ① ASPHALT COMPOSITE SHINGLES
- ② FIBER CEMENT PANEL SIDING
- ③ FIBER CEMENT LAP SIDING
- ④ FIBER CEMENT VERTICAL SIDING
- ⑤ "BELLY BAND" ACCENT
- ⑥ MIDPOINT OF LARGEST HIP = 36'-11" A.F.F.



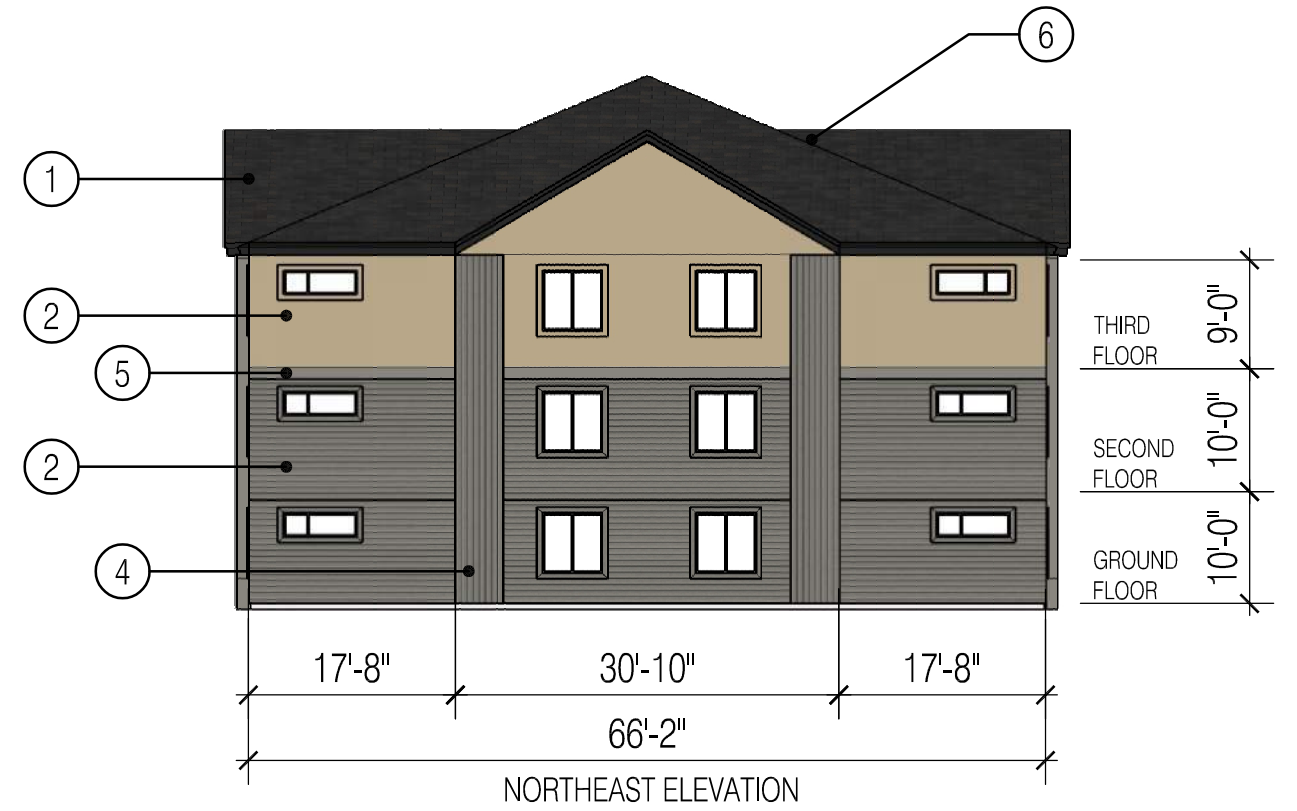
NORTHEAST ELEVATION



SOUTHEAST ELEVATION

ELEVATION KEYNOTES

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- ③ FIBER CEMENT LAP SIDING
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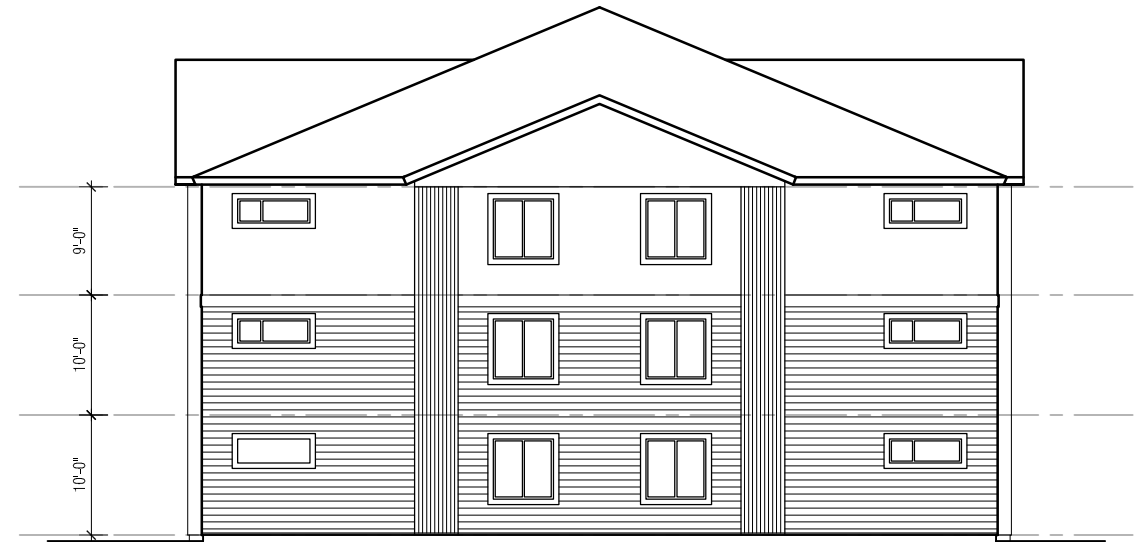




NORTHEAST ELEVATION



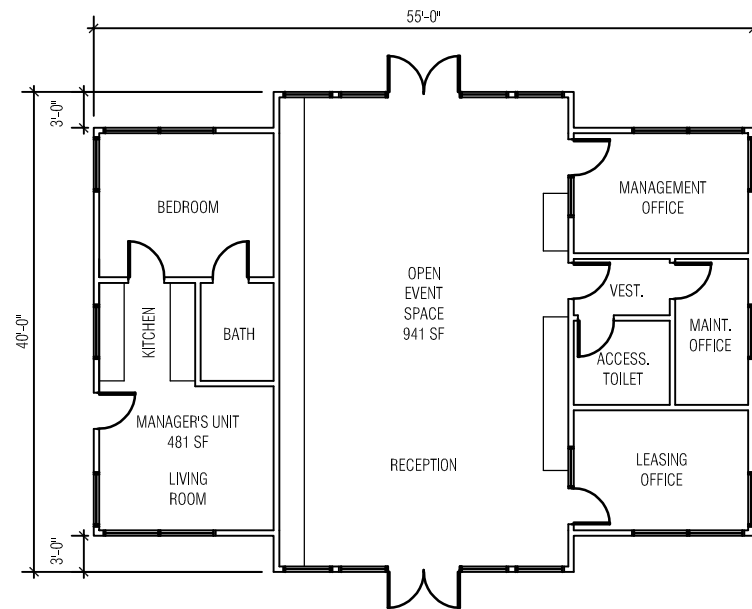
SOUTHEAST ELEVATION



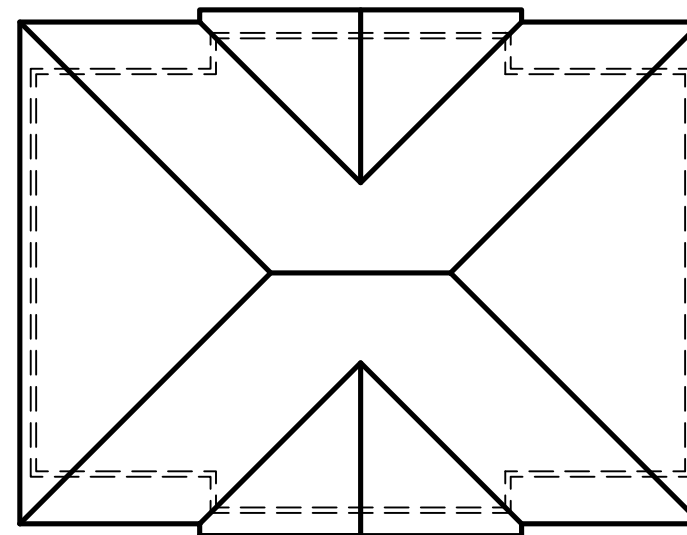
SOUTHWEST ELEVATION



NORTHWEST ELEVATION



FLOOR PLAN
 INTERIOR AREA = 1,934sf



ROOF PLAN



SOUTHEAST
 ELEVATION



SOUTHWEST
 ELEVATION

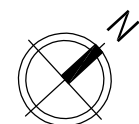


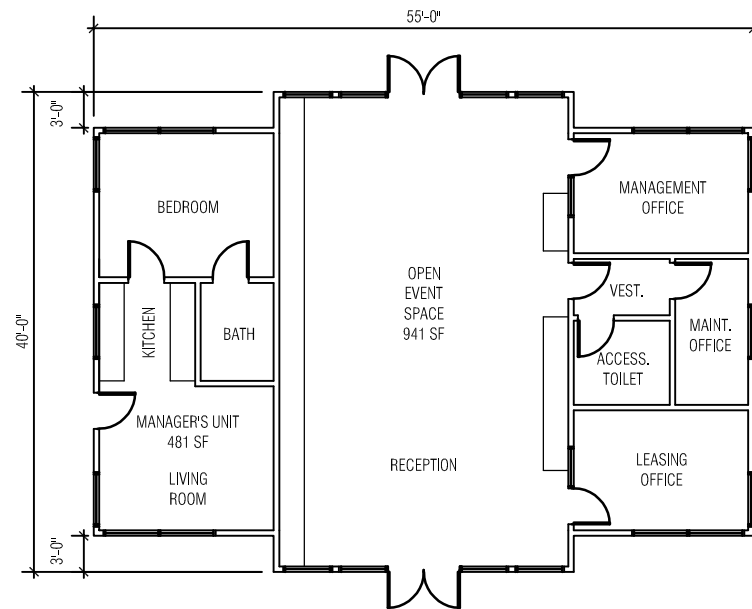
NORTHWEST
 ELEVATION



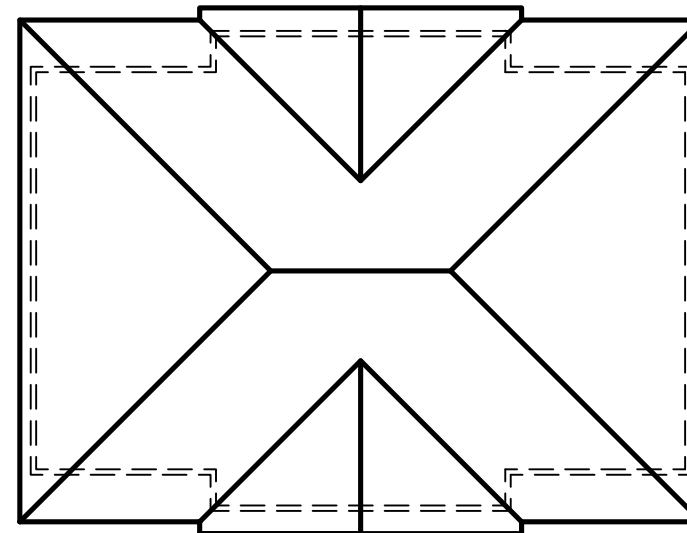
NORTHEAST
 ELEVATION

CLUBHOUSE





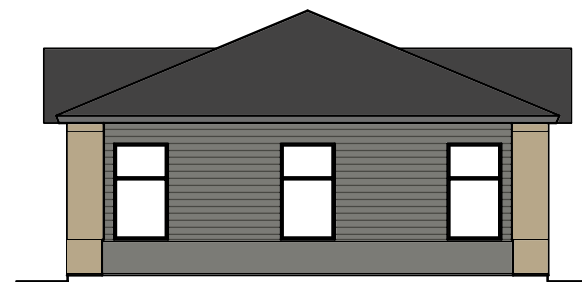
FLOOR PLAN
 INTERIOR AREA = 1,934sf



ROOF PLAN



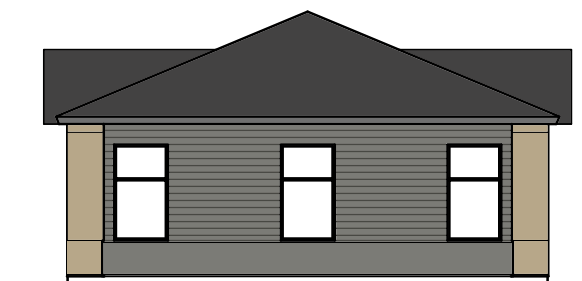
SOUTHEAST
 ELEVATION



SOUTHWEST
 ELEVATION



NORTHWEST
 ELEVATION



NORTHEAST
 ELEVATION

CLUBHOUSE

