



Final Decision Type II Staff Report

File number(s): DR 21-06 & EXCP 21-02
Related files: PLA 2020-04
Project name: Parr Road Water Well
Date of decision: June 21, 2021
Date of mailing: June 22, 2021
Applicant: Eric Liljequist, P.E., Public Works Projects & Engineering Director
Landowner: City of Woodburn
Site location: 900 Parr Road
Tax Lot(s): 052W130000700

Summary:

The applicant applied for Design Review (DR) 21-06 and Exception to Street Right of Way and Improvement Requirements ("Street Exception", EXCP) 21-02 to construct a new water well to serve the Parr Road Treatment Plant at 828 Parr Road. The Street Exception application was included to request to maintain Parr Road improvements as they exist today.

The application submittal date is April 13, 2021, the completeness date is May 13, 2021, and the 120th day deadline for final action per Oregon Revised Statutes (ORS) 227.178 would have been September 7, 2021.

Section references throughout this staff report are to the [Woodburn Development Ordinance \(WDO\)](#). The subject property is approximately 25.21 acres and located within the Public / Semi-Public (P/SP) zoning district.

Staff finds that the application meets WDO provisions or can meet them with conditions and approves it with conditions. Because it is a Type II administrative approval requiring no public hearing, this staff report serves as both a preliminary partition approval and public notice of final decision to owners of property within 250 feet of the subject property.

Conditions of Approval

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

General

G-1. The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

Design Review

DR-1. Driveway: Applicant shall revise plans to illustrate and note the 12ft access road paved to the standard outlined in WDO 3.04.04. This is due prior to building permit issuance.

Street Exception

EXCP-1. Right-of-Way (ROW): Applicant shall dedicate ROW along Parr Road equal to half of the deficit needed to achieve the planned width of a Service Collector street. Existing ROW appears to be 60ft, Figure 3.01D calls for 72ft of ROW, resulting in a 12ft deficit. Half the deficit would therefore be 6ft. This is due prior to building permit final inspection.

Notes to the Applicant

The following are not conditions of approval, but are important notes for the applicant to be aware of and follow:

1. Right-Of-Way (ROW) Permit: Prior to performing any work within City ROW or easements, apply for and obtain a ROW permit through the [Public Works Department](#).
2. Plumbing & Electrical Permits: Plumbing and electrical permits for work on private property are administered by [Marion County Public Works](#).
3. Building Permit: Building permits are applied for using the [Oregon ePermitting](#) online system.
4. Records: Staff suggests that the applicant and landowner retain a copy of this staff report / final decision.

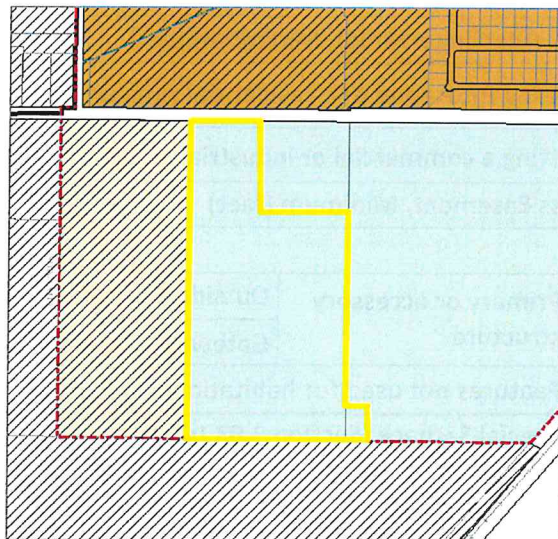
Analyses & Findings:

This final decision analyzes the application materials and finds through statements how the application materials relate to and meet applicable provisions such as criteria, requirements, and standards. They confirm that a given standard is met or if not met, they call attention to it, suggest a remedy, and have a corresponding recommended condition of approval. Symbols aid locating and understanding categories of findings:

<i>Symbol</i>	<i>Category</i>	<i>Indication</i>
✓	Requirement (or guideline) met	No action needed
✗	Requirement (or guideline) not met	Correction needed
⊖	Requirement (or guideline) not applicable	No action needed
▲	<ul style="list-style-type: none"> Requirement (or guideline) met, but might become unmet because of condition applied to meet separate and related requirement that is not met Plan sheets and/or narrative inconsistent Other special circumstance benefitting from attention 	Revision needed for clear and consistent records
■	Street Exception or Variance	Request to vary from requirement

Land Use & Zoning

<i>Comprehensive Plan Land Use Designation</i>	Open Space and Parks; Public Use
<i>Zoning District</i>	Public / Semi-Public (P/SP)
<i>Overlay District(s)</i>	n/a
<i>Existing Use(s)</i>	Centennial Park



An excerpt from the City zoning map.

Marion County Assessor Records provides a legal description for the subject property as “ACRES 25.21”; staff surmises it is a legal lot of record. The applicable provisions appear in bold below and on the following pages.

Design Review Provisions

2.04 Industrial and Public Zones

The subject property is zoned Public / Semi-Public (P/SP) therefore the allowed uses are per Table 2.04A and the applicable site development standards are per Table 2.04D.

Uses Allowed in Industrial Zones Table 2.04A						
Use			Zone			
A	Accessory Uses (A) (P) Special Permitted Uses (S)	Conditional Uses (CU) Permitted Uses Specific	IL	IP	P/SP	SWIR
	Civic Uses					
4	Rights-of-way, easements and improvements for streets, water, sanitary sewer, gas, oil, electric and communication lines, stormwater facilities and pump stations.		P	P	P	P

Public/Semi-Public (P/SP) - Site Development Standards Table 2.04D			
Lot Area, Minimum		No minimum	
Lot Width, Minimum		No minimum	
Lot Depth, Minimum		No minimum	
Street Frontage, Minimum		No minimum	
Front Setback and Setback Abutting a Street, Minimum (feet)		20 ¹	
Side or Rear Setback, Minimum (feet)	Abutting P/SP zone or a residential zone or use		20
	Abutting a commercial or industrial zone		0 or 5 ²
Setback to a Private Access Easement, Minimum (feet)		5	
Lot Coverage, Maximum		Not specified ³	
Building Height, Maximum (feet)	Primary or accessory structure	Outside Gateway subarea	35
		Gateway subarea	50
	Features not used for habitation		No minimum
<ol style="list-style-type: none"> 1. Measured from the Special Setback (Section 3.03.02), if any. 2. A building may be constructed at the property line, or shall be set back at least five feet. 3. Lot coverage is limited by setbacks, off-street parking, and landscaping requirements. 			

There are no minimum values for lot area, lot width, lot depth, street frontage, and no maximum lot coverage in the P/SP zone. As illustrated on the site plan (Figure 1), the proposed building will meet or exceed setbacks to property lines. There are no private access easements. The building elevations sheet (Figure 7) illustrates the building height will be 12.25 feet to the roof peak.

✓ The provisions are met.

2.05 Overlay Districts

2.05.05 Riparian Corridor and Wetlands Overlay District

A. Purpose

The Riparian Corridor and Wetlands Overlay District (RCWOD) is intended to conserve, protect and enhance significant riparian corridors, wetlands, and undeveloped floodplains in keeping with the goals and policies of the Comprehensive Plan. The RCWOD is further intended to protect and enhance water quality, prevent property damage during floods and storms, limit development activity in designated areas, protect native plant species, maintain and enhance fish and wildlife habitats, and conserve scenic and recreational values.

B. Boundaries of the RCWOD

1. The RCWOD includes:

- a. Riparian corridors extending upland 50 feet from the top of the bank of the main stem of Senecal Creek and Mill Creek and those reaches of their tributaries identified as fish-bearing perennial streams on the Woodburn Wetlands Inventory Map; and
- b. Significant wetlands identified on the Woodburn Wetlands Inventory Map. Where significant wetlands are located fully or partially within a riparian corridor, the RCWOD shall extend 50 feet from the edge of the wetland; and
- c. The 100-year floodplain on properties identified as vacant or partly vacant on the 2005 Woodburn Buildable Lands Inventory.

2. The approximate boundaries of the RCWOD are shown on the Zoning Map. The precise boundaries for any particular lot should be verified by the property owner when making a land use application. Map errors may be corrected as provided in this Ordinance (Section 1.02.04).

C. Permitted Uses and activities

The following uses and activities are allowed, provided they are designed and constructed to minimize intrusion into the RCWOD:

1. Erosion or flood control measures that have been approved by the Oregon Department of State Lands, the U.S. Army Corps of engineers, or another state or federal regulatory agency
2. Maintenance of existing structures, lawns and gardens
3. Passive recreation uses and activities
4. Removal of non-native plant species and replacement with native plant species
5. Streets, roads, and paths that are included in an element of the Comprehensive Plan
6. Utilities
7. Water-related and water-dependent uses, including drainage facilities, water and sewer facilities, flood control projects, drainage pumps, public paths, access ways, trails, picnic areas or interpretive and educational displays and overlooks, including benches and outdoor furniture

D. Prohibited Uses and Activities

1. New buildings or structures or impervious surfaces, except for replacement of existing structures within the original building footprint
2. Expansion of existing buildings or structures or impervious surfaces

3. Expansion of areas of pre-existing non-native landscaping such as lawn, gardens, etc.
4. Dumping, piling, or disposal of refuse, yard debris, or other material
5. Removal of vegetation except for:
 - a. Uses permitted by this section
 - b. Perimeter mowing of a wetland for fire protection purposes;
 - c. Water-related or water-dependent uses, provided they are designed and constructed to minimize impact on the existing riparian vegetation;
 - d. Removal of emergent in-channel vegetation that has the potential to cause flooding;
 - e. Hazardous tree removal.
6. Grading, excavation and the placement of fill except for uses permitted by this Section.

E. Variances

The restrictions of this Section may be reduced or removed if they render an existing lot or parcel unbuildable or work an excessive hardship on the property owner. The reduction or removal shall be decided through the Variance process.

F. Site Maintenance

1. Any use, sign or structure, and the maintenance thereof, lawfully existing on the date of adoption of this ordinance, is permitted within the RCWOD. Such use, sign or structure may continue at a similar level and manner as existed on the date of the adoption of this ordinance.
2. The maintenance and alteration of pre-existing ornamental landscaping is permitted as long as no native vegetation is disturbed. Maintenance of lawns, planted vegetation and landscaping shall be kept to a minimum and not include the spraying of pesticides or herbicides. Vegetation that is removed shall be replanted with native species. Maintenance trimming of existing trees shall be kept at a minimum and under no circumstances can the trimming maintenance be so severe as to compromise the tree's health, longevity, and resource functions. Vegetation within utility easements shall be kept in a natural state and replanted when necessary with native plant species.

G. Site Plan

When a use or activity that requires the issuance of a building permit or approval of a land use application is proposed on a parcel within, or partially within the RCWOD, the property owner shall submit a site plan to scale showing the location of the top-of-bank, 100-year flood elevation, jurisdictional delineation of the wetland boundary approved by the Oregon Department of State Lands (if applicable), riparian setback, existing vegetation, existing and proposed site improvements, topography, and other relevant features.

H. Coordination with the Department of State Lands

The Oregon Department of State Lands shall be notified in writing of all applications to the City for development activities, including applications for plan and/or zone amendments, development or building permits, as well as any development proposals by the City that may affect any wetlands, creeks or waterways.

The zoning map illustrates "Other Wetlands" in the area of proposed work on the subject property, though it does not specifically include the RCWOD designation over this area. The RCWOD provisions are therefore not applicable. Out of an abundance of caution, staff submitted a Wetland Land Use Notice to the Department of State Lands on May 20, 2021.

☉ The provisions are not applicable.

3.01 Streets

3.01.01 Applicability

- A. Right-of-way standards apply to all public streets.
- B. Improvement standards apply to all public and private streets, sidewalks and bikeways.
- C. Functional standards are identified in the Woodburn TSP.
- D. This applies to all development, and is not limited to partitions, subdivisions, multi-family, commercial or industrial construction, or establishment of a manufactured dwelling or recreational vehicle park. Construction of a single-family dwelling or placement of a manufactured dwelling does not, for the purposes of this Section, constitute development, however, in no case can this type of development occur without minimal access as determined by the Director.

3.01.02 General Provisions

- A. No development shall be approved, or access permit issued, unless the internal streets, boundary streets and connecting streets are constructed to at least the minimum standards set forth in this Section, or are required to be so constructed as a condition of approval.
- D. The standards of this Section may be modified, subject to approval of an Exception to Street Right-of-Way and Improvement Requirements.

3.01.04 Street Cross-Sections

- A. These standards are based on the functional classification of each street as shown in the Woodburn TSP. The street right-of-way and improvement standards minimize the amount of pavement and right-of-way required for each street classification, consistent with the operational needs of each facility, including requirements for pedestrians, bicycles, and public facilities.
- B. All public streets under the jurisdiction of the City of Woodburn shall comply with the cross-sections depicted in this Section.

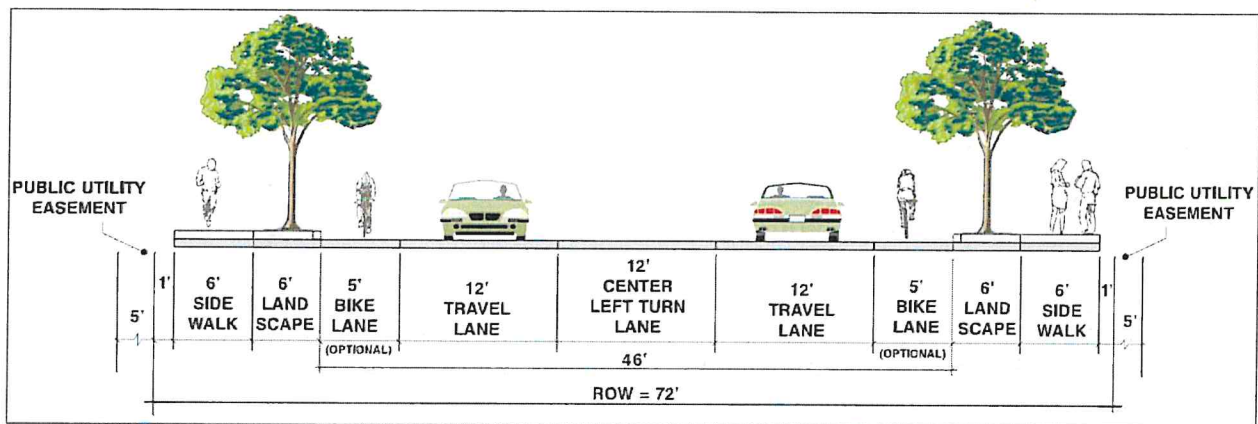


Figure 3.01D – Service Collector

The subject property has frontage along Parr Road, a public street. Figure 2 from the Woodburn Transportation System Plan (TSP) identifies Parr Road as a Service Collector street, for which the applicable WDO cross-section is Figure 3.01D. The proposal includes commercial construction of a 440 sq ft wellhouse building therefore the provisions of 3.01 do apply. Pursuant to 3.01.02D., the applicant submitted a Street Exception request.

■ Staff addresses the Parr Road frontage improvements further under the Street Exception provisions.

3.01.03 Improvements Required for Development

A. With development, the Internal, Boundary, and Connecting streets shall be constructed to at least the minimum standards set forth below.

C. Boundary Streets

The minimum improvements for a Boundary Street shall be:

- 1. One paved 11-foot travel lane in each direction;**
- 2. On-street parking on the side of the street abutting the development, if on-street parking is indicated in the TSP;**
- 3. Curb on the side of the street abutting the development;**
- 4. Drainage facilities on the side of the street abutting the development;**
- 5. Street trees on the side of the street abutting the development; and**
- 6. A sidewalk on the side of the street abutting the development.**

Existing conditions of Parr Road along the subject property include:

- One paved travel lane in each direction and a center left turn lane, 12 ft wide each;
- No on-street parking lanes;
- Curb on both sides of the street;
- Drainage facilities on both sides of the street;
- Street trees south of the multi-use path; and
- A sidewalk and multi-use path on the side of the street abutting the development.

The TSP does not require parking lanes for Service Collector streets therefore the minimum improvements exist.

✓ The provisions are met.

3.02.01 Public Utility Easements

A. The Director shall require dedication of specific easements for the construction and maintenance of municipal water, sewerage and storm drainage facilities located on private property.

B. A five-foot wide public utility easement shall be dedicated along each lot line abutting a public street.

C. As a condition of approval for development, including property line adjustments, partitions, subdivisions, design reviews, or Planned Unit Developments (PUDs), the Director may require dedication of public utility easements.

The proposal includes various municipal utility facilities on the subject property therefore subsection A. applies however staff received counsel from the Assistant City Attorney that because the site is City-owned property, there is no need to dedicate public utility easements (PUEs) at this time. If the City were to sell the property in the future, PUEs could be dedicated as part of that process.

✓ The provisions are met.

3.02.03 Street Lighting

A. Public Streets

Public streets abutting a development shall be illuminated with street lights installed to the standards of the City and the electric utility.

Public Works Department staff did not identify a need for additional street lighting along this section of Parr Road.

✓ The provision is met.

3.02.04 Underground Utilities

All permanent utility service to and within a development shall be underground, except where overhead high-voltage (35,000 volts or more) electric facilities exist.

Page 8 of the applicant's narrative states the following in response to this provision:

All existing utility services to and within the site are located underground with the exception of a fire hydrant which will be installed at grade. New electric service will be routed to the site with all electrical service conduits and conductors run underground in accordance with PGE service requirements. See Figures 2 and 3 for the proposed utility plan showing the proposed utilities.

Staff concurs.

✓ The provision is met.

3.04 Vehicular Access

3.04.01 Applicability and Permit

A. Street Access

Every lot shall have:

- 1. Direct access to an abutting public street, or**
- 2. Access to a public street by means of an access easement and maintenance agreement to the satisfaction of the Director, and revocable only with the concurrence of the Director.**

3.04.03 Driveway Guidelines and Standards

A. Number of Driveways

- 3. For nonresidential uses, the number of driveways should be minimized based on overall site design, including consideration of:**
 - a. The function classification of abutting streets;**
 - b. The on-site access pattern, including parking and circulation, joint access, turnarounds and building orientation;**
 - c. The access needs of the use in terms of volume, intensity and duration characteristics of trip generation.**

B. Joint Access

- 1. Lots that access a Major Arterial, Minor Arterial, or Service Collector should be accessed via a shared driveway.**

C. Interconnected Parking Facilities

- 1. All uses on a lot shall have common or interconnected off-street parking and circulation facilities.**
- 2. Similar or compatible uses on abutting lots shall have interconnected access and parking facilities.**

Access Requirements Table 3.04A				
		1 to 4 Dwellings, Living Units or Individual Lots ⁶	5 or More Dwelling or Living Units, School, or House of Worship ⁶	Commercial or Industrial Use
Flag Lot Access Width (feet) (See Figure 3.04A)		20 minimum	24 minimum	30 minimum
Paved Width of Driveway (feet) ^{3,4}	1-way	n/a	12 minimum 20 maximum	12 minimum 20 maximum
	2-way	20 minimum 30 maximum	24 minimum 30 maximum (Add 8' if a turn lane is provided)	24 minimum 36 maximum (Add 8' if a turn lane is provided)
	Manufactured Dwelling Park	10 minimum	n/a	n/a
Curb Flare Radius (feet)		15 minimum	25 minimum	30 minimum
Throat Length (feet) ⁵	Major Arterial, Minor Arterial, Service Collector	n/a	50 minimum	50 minimum
	Access or Local Street	n/a	20 minimum	20 minimum
Corner Clearance (feet) ¹ Guidelines (See Figure 3.04B)	Access or Local Street	30 minimum	30 minimum	30 minimum
	Service Collector	50 minimum	50 minimum	50 minimum
	Minor Arterial	245 minimum	245 minimum	245 minimum
	Major Arterial	300 minimum	300 minimum	300 minimum
Driveway Separation Guidelines (feet) ^{1,2} (See Figure 3.04B)	Driveway on the same parcel	22 minimum	50 minimum	50 minimum
	Access or Local Street	none	none	none
	Service Collector	50 minimum	50 minimum	50 minimum
	Minor Arterial	245 minimum	245 minimum	245 minimum
	Major arterial	300 minimum	300 minimum	300 minimum

1. The separation should be maximized.
2. Driveways on abutting lots need not be separated from each other, and may be combined into a single shared driveway.
3. Driveways over 40 feet long and serving one dwelling unit may have a paved surface 12 feet wide.
4. Notwithstanding the widths listed in this table, the minimum clearance around a fire hydrant shall be provided (See Figure 3.04D).
5. Throat length is measured from the closest off-street parking or loading space to the right-of-way. A throat applies only at entrances (See Figure 3.05B).
6. Maximum of 4 individual lots can be served from single shared driveway (See Figure 3.01D).

The subject property has frontage along Parr Road, a public street, with an existing two-way driveway. There is also an existing shared exit-only driveway with the adjacent property to the east (828 Parr Road, Tax Lot 052W130000600 and also owned by the City). Parking facilities between the subject property and 828 Parr Road are interconnected.

✓ The provisions are met.

3.04.04 Improvement Standards

The portion of a driveway on private property shall be paved with:

- A. Portland cement concrete to a minimum depth of six inches, or
- B. Asphalt concrete to a minimum depth of two inches, or
- C. Brick or pavers with a minimum depth of two and one-fourth inches.

The proposal includes adding a 12ft wide gravel access road along the east property line and new asphalt pavement around the wellhouse building. Staff adds *Condition of Approval DR-1* to revise the gravel access road to be paved per this standard.

△ The provisions are met with *Condition DR-1*.

3.04.05 Traffic Impact Analysis

- A. A Traffic Impact Analysis (TIA) may be required by the Director prior to the approval of a City access permit when the Director estimates a development proposal may generate either 100 or more additional, peak hour trips, or 1,000 or more additional daily trips, within ten years of a development application.
- B. A TIA shall evaluate the traffic impacts projected of a development proposal and the estimated effectiveness of potential traffic impact mitigation measures.
- C. The methodology for a TIA shall be consistent with City standards.

The applicant states that all traffic to the wellhouse building will come from the treatment plant at 828 Parr Road, so there will be no trips generated beyond the subject property. Staff concurs that a TIA is not required.

⊗ The provisions are not applicable.

3.05 Off-Street Parking and Loading

3.05.01 Applicability

The provisions of this Section shall apply to the following types of development:

- A. All requirements and standards of Section 3.05 shall apply to any new building or structure constructed after the effective date of the Woodburn Development Ordinance (WDO).
- B. Any additional parking or loading required to accommodate a change in use, or expansion of an existing use, shall conform to all parking, loading and landscaping standards of the WDO.

3.05.02 General Provisions

3.05.03 Off-Street Parking

- A. Number of Required Off-Street Parking Spaces
 - 1. Off-street vehicle parking spaces shall be provided in amounts not less than those set forth in this Section (Table 3.05A).
 - 2. Off-street vehicle parking spaces shall not exceed two times the amount required in this Section (Table 3.05A).
- B. Accessible parking shall be provided in amounts not less than those set forth in Table 3.05B. The number of accessible spaces shall be included as part of total required vehicle parking spaces.
- D. Off-street vehicle parking spaces and drive aisles shall not be smaller than specified in this Section (Table 3.05C).

Off-Street Parking Ratio Standards Table 3.05A	
Use ^{1,2}	Parking Ratio - spaces per activity unit or square feet of gross floor area
46. Government and public utility buildings and structures	Greater of: 2 or one per employee at location
1. The Director may authorize parking for any use not specifically listed in this table. The applicant shall submit an analysis that identifies the parking needs, and a description of how the proposed use is similar to other uses permitted in the zone. The Director may require additional information, as needed, to document the parking needs of the proposed use. 2. There is no required parking ratio for non-residential uses and residential units above first floor commercial uses in the DDC zone (See Section 3.07.07.C.12).	

Accessible Parking Ratio Standards Table 3.05B			
Total Spaces ^{2,3}	Minimum Total Accessible Spaces ¹	Minimum Van Accessible Spaces	Minimum "Wheelchair User Only" Spaces
1 to 25	1	1	
1. "Van Accessible Spaces" and "Wheelchair User Only" are included in "Total Accessible Spaces." 2. Facilities providing outpatient services require ten percent of the total number of parking spaces to be accessible spaces. 3. Facilities that specialize in treatment or services for persons with mobility impairments require 20 percent of the total number of parking spaces to be accessible spaces.			

Parking Space and Drive Aisle Dimensions Table 3.05C							
Parking Angle	Type of Space	Stall Width (feet)	Curb Length (feet)	Stripe Length (feet)	Stall to Curb (feet)	Drive Aisle Width (feet)	
						1-way	2-way
A		B	C	D	E	F	G
90°	Standard or Accessible	9.0	9.0	19.0	19.0	24.0	24.0
	Compact	7.5	7.5	15.0	15.0	22.0	
	Car Accessible Aisle	6.0	6.0	19.0	19.0	24.0	
	Van Accessible Aisle	8.0	8.0	19.0	19.0		
<ol style="list-style-type: none"> 1. A parking space may occupy up to two feet of a landscaped area or walkway. At least four feet clear width of a walkway must be maintained. 2. Space width is measured from the midpoint of the double stripe. 3. Curb or wheel stops shall be utilized to prevent vehicles from encroaching on abutting properties or rights-of-way. 4. The access aisle must be located on the passenger side of the parking space, except that two adjacent parking spaces may share a common access aisle. 5. Where the angle of parking stalls differ across a drive aisle, the greater drive aisle width shall be provided. 							

The submitted narrative and site plan indicate the general provisions of 3.05.02 to be met. Regarding 3.05.03, the application materials indicate two parking stalls will be provided in conformance with Tables 3.05A and 3.05C. The narrative indicates that the building is considered non-occupied with no employees and not open to the public. Staff concurs therefore the accessible parking standards do not apply.

✓ The provisions are met.

3.05.04 Off-Street Loading

A. Off-street loading spaces shall comply with the dimensional standards and amounts not less than those set forth in this Section (Table 3.05D).

The proposal is a 440 sq ft municipal utility building in the P/SP zone. Table 3.05D does not require loading spaces for uses in the P/SP zone therefore the provision is not applicable.

⊙ The provision is not applicable.

3.06 Landscaping

3.06.01 Applicability

A. To the site area for all new or expanded non-residential development, parking and storage areas for equipment, materials and vehicles.

3.06.02 General Requirements

3.06.03 Landscaping Standards

A. Street Trees

Within the public street right-of-way abutting a development, street trees shall be planted to City standards, prior to final occupancy.

1. One tree per every entire 50 feet of street frontage shall be planted within the right-of- way, subject to vision clearance area standards and placement of public utilities.
2. Street trees shall be planted according to the property’s zoning, and the abutting street’s classification in the Transportation System Plan:
 - b. Medium trees shall be planted along Service Collector and Access/Commercial Streets;
3. The Director may modify this requirement, based on physical constraints and existing conditions, including the location of driveways and utilities. Such modification may include relocating the street trees to abutting private property.

B. Site landscaping shall comply with Table 3.06A.

Planting Requirements Table 3.06A		
Location	Planting Density, Minimum	Area to be Landscaped, Minimum
Setbacks abutting a street	1 PU/15 square feet	Entire setback excluding driveways
Buffer yards	1 PU/20 square feet	Entire yard excluding off-street parking and loading areas abutting a wall
Other yards	1 PU/50 square feet	Entire yard, excluding areas subject to more intensive landscaping requirements and off-street parking and loading areas
Off-street parking and loading areas	<ul style="list-style-type: none"> • 1 small tree per 10 parking spaces; or¹ • 1 medium tree per 15 parking spaces; or¹ • 1 large tree per 25 parking spaces¹ and <ul style="list-style-type: none"> • 1 PU/20 square feet excluding required trees² 	<ul style="list-style-type: none"> • RS, R1S, RSN, RM, RMN, P/SP, CO, CG and MUV zones: 20% of the paved surface area for off-street parking, loading and circulation • DDC, NNC, IP, IL, and SWIR zones: 10% of the paved surface area for off-street parking, loading and circulation • Landscaping shall be within or immediately adjacent to paved areas
Common areas, except those approved as natural common areas in a PUD	3 PU/50 square feet	Entire common area
<ol style="list-style-type: none"> 1. Trees shall be located within off-street parking facilities, in proportion to the distribution of the parking spaces. 2. Required landscaping within a setback abutting a street or an interior lot line that is within 20 feet of parking, loading and circulation facilities may also be counted in calculating landscaping for off-street parking, loading and circulation areas. 		

Plant Unit (PU) Value Table 3.06B		
Material	Plant Unit (PU) Value	Minimum Size
1. Significant tree ¹	15 PU each	24" Diameter
2. Large tree (60-120 feet high at maturity) ¹	10 PU each	10' Height or 2" Caliper
3. Medium tree (40-60 feet high at maturity) ¹	8 PU each	10' Height or 2" Caliper
4. Small tree (18-40 feet high at maturity) ¹	4 PU each	10' Height or 2" Caliper
5. Large shrub (at maturity over 4' wide x 4' high) ¹	2 PU each	3 gallon or balled
6. Small to medium shrub (at maturity maximum 4' wide x 4' high) ¹	1 PU each	1 gallon
7. Lawn or other living ground cover ¹	1 PU / 50 square feet	
8. Berm ²	1 PU / 20 lineal feet	Minimum 2 feet high
9. Ornamental fence ²	1 PU / 20 lineal feet	2½ - 4 feet high
10. Boulder ²	1 PU each	Minimum 2 feet high
11. Sundial, obelisk, gnomon, or gazing ball ²	2 PU each	Minimum 3 feet high
12. Fountain ²	3 PU each	Minimum 3 feet high
13. Bench or chair ²	0.5 PU / lineal foot	
14. Raised planting bed constructed of brick, stone or similar material except CMU ²	0.5 PU / lineal foot of greatest dimension	Minimum 1 foot high, minimum 1 foot wide in least interior dimension
15. Water feature incorporating stormwater detention ²	2 per 50 square feet	None
1. Existing vegetation that is retained has the same plant unit value as planted vegetation. 2. No more than twenty percent (20%) of the required plant units may be satisfied by items in lines 8 through 15.		

The proposal is for a new 440 sq ft utility building in the P/SP zone. The landscape plan illustrates the general requirements of 3.06.02 are met. The narrative on page 15 indicates the proposed landscaping improvements are comprised of native plant materials that do not require irrigation. The subject property has approximately 352.30 ft of frontage along Parr Road, a Service Collector street, meaning seven medium street trees are required. The landscape plan illustrates eight existing street trees south of the multi-use path. These appear to be on private property however this is acceptable per 3.06.03A.3. because the existing conditions include landscape strips that are too narrow to adequately accommodate street trees.

The landscape plan tabulates the Plant Unit (PU) requirement per Table 3.06B and provides a planting schedule for the proposed landscaping per Table 3.06C. The PU tabulation incorrectly assumes the only applicable yard type is the “Other yards” category. In fact, there are two applicable yard types:

- “Off-street parking and loading areas” is based on 20% of the total paved surface area at a planting ratio of 1 PU per 20 sq ft. Staff estimates this to be 68 sq ft (20% of the area of two parking stalls), equating to 17 PUs required; and
- “Other yards” accounts for all other landscaping areas, which the landscape plan tabulation already indicates as 400 PUs required.

The incorrect PU tabulation is irrelevant because the proposal provides 786 PUs, well in excess of the 400 PUs required (Footnote 2 of Table 3.06A allows the landscaping in the other yard types to account for the off-street parking and loading areas requirement).

✓ The provisions are met.

3.06.05 Screening

A. Screening between zones and uses shall comply with Table 3.06D.

Screening Requirements Table 3.06D		
N = No screening required F = Sight-obscuring fence required W = Architectural wall required D = Architectural wall, fence, or hedge may be required in the Design Review process		
Adjacent properties – zone or use that receives the benefit of screening		
Property being Developed – must provide screening if no comparable screening exists on abutting protected property		P/SP zone
P/SP zone	Permitted use	N
	Conditional use	D

<ol style="list-style-type: none"> 1. Screening is only required from the view of abutting streets, parking lots, and residentially zoned property. Storage shall not exceed the height of the screening. 2. Six to seven feet in height 3. Six to nine feet in height 4. Abutting streets must also be screened. 5. Screening is required abutting multiple-family dwellings, commercial or industrial uses only. 6. In industrial zones, screening is required only where the refuse collection facility is in a yard abutting a public street, parking lot, or residentially zoned property. 7. Child care facility for 12 or fewer children, group home for five or fewer persons. 8. Child care facility for 13 or more children, group home for six or more persons.
<p>General notes:</p> <ol style="list-style-type: none"> 9. Screening is subject to height limitations for Vision Clearance Areas (Section 3.03.06) and adjacent to streets (Section 2.01.02). 10. No screening is required where a building wall abuts a property line. 11. Where a wall is required and is located more than two feet from the property line, the yard areas on the exterior of the wall shall be landscaped to a density of one plant unit per 20

The proposal is a 440 sq ft municipal utility building in the P/SP zone. Table 3.06D does not require screening for uses in the P/SP zone that abut other properties zoned P/SP therefore the provision is not applicable.

☉ The provision is not applicable.

3.07 Architectural Design

3.07.01 Applicability of Architectural Design Standards and Guidelines

A. For a Type I review, the criteria of this Section shall be read as “shall” and shall be applied as standards. For a Type II or III review, the criteria of this Section shall be read as “should” and shall be applied as guidelines.

3.07.06 Standards for Non-Residential Structures in Residential, Commercial and Public/Semi-Public Zones

A. The following design guidelines shall be applicable to all non-residential structures and buildings in the RS, RSN, R1S, RM, RMN, CO, CG, and P/SP zones.

B. Architectural Design Guidelines

1. Mass and Bulk Articulation Guidelines

a. Building facades visible from streets and public parking areas should be articulated, in order to avoid the appearance of box-like structures with unbroken wall surfaces.

b. The appearance of exterior walls should be enhanced by incorporating three-dimensional design features, including the following:

- (1) Public doorways or passage ways through the building
- (2) Wall offsets or projections
- (3) Variation in building materials or textures
- (4) Arcades, awnings, canopies or porches

2. Materials and Texture Guidelines

- a. Building exteriors should exhibit finishes and textures that reduce the visual monotony of bulky structures and large structural spaces. Building exteriors should enhance visual interest of wall surfaces and harmonize with the structural design.**
- b. The appearance of exterior surfaces should be enhanced by incorporating the following:**
 - (1) At least 30% of the wall surface abutting a street should be glass.**
 - (2) All walls visible from a street or public parking area should be surfaced with wood, brick, stone, designer block, or stucco, or with siding that has the appearance of wood lap siding.**
 - (3) The use of plain concrete, plain concrete block, corrugated metal, plywood, T-111 and sheet composite siding as exterior finish materials for walls visible from a street or parking area should be avoided.**
 - (4) The color of at least 90 percent of the wall, roof and awning surface visible from a street or public parking area should be an "earth tone" color containing 10 parts, or more of brown or a "tinted" color, containing 10 parts or more white.**
 - (5) Fluorescent, "day-glo," or any similar bright color shall not be used on the building exterior.**

3. Multi-Planed Roof Guidelines

- a. The roof line at the top of a structure should establish a distinctive top to the building.**
- b. The roof line should not be flat or hold the same roof line over extended distances. Rather, the roof line should incorporate variations, such as:**
 - (1) Offsets or jogs in the plane of the roof;**
 - (2) Changes in the height of the exterior wall for flat roof buildings, including parapet walls with variations in elevation or cornices**

4. Roof-Mounted Equipment Guidelines

All roof-mounted equipment, except solar collectors, should be screened from view by:

- a. Locating roof-mounted equipment below the highest vertical element of the building, or**
- b. Screening roof-mounted equipment using materials of the same character as the structure's basic materials**

5. Weather Protection Guidelines

All building faces abutting a street or a public parking area should provide weather protection for pedestrians. Features to provide this protection should include:

- a. A continuous walkway at least eight feet wide along the face of the building utilizing a roof overhang, arcade, awnings or canopies**
- b. Awnings and canopies that incorporate the following design features:**
 - (1) Angled or curved surfaces facing a street or parking area**
 - (2) A covering of fabric, or matte finish vinyl**
 - (3) A constant color and pattern scheme for all buildings within the same development**
 - (4) No internal back lighting**

6. Solar Access Protection

Obstruction of existing solar collectors on abutting properties by site development should be minimized.

C. Building Location Guidelines

- 1. Within the prescribed setbacks, building location and orientation should compliment abutting uses and development patterns.**
- 2. The maximum yard abutting a street should be 150 feet.**

The proposal is a Type II review, meaning the provisions of 3.07.06 are guidelines. The elevations show largely what the provisions describe.

✓ The provisions are met.

3.08 Partitions and Subdivisions

⊖ The proposal does not include a partition or subdivision.

3.09 Planned Unit Developments

⊖ The proposal does not include a planned unit development.

3.10 Signs

⊖ The proposal does not include any proposed signage.

4.01 Decision-Making Procedures

4.01.07 Consolidated Applications

An applicant may request, in writing, to consolidate applications needed for a single development project. Under a consolidated review, all applications shall be processed following the procedures applicable for the highest type decision requested. It is the express policy of the City that development review not be segmented into discrete parts in a manner that precludes a comprehensive review of the entire development and its cumulative impacts.

The application package consists of a Type II Design Review and a Type II Street Exception. Per 4.01.07, the two are consolidated and reviewed at the Type II level.

5.02 Type II (Quasi-Administrative) Decisions

5.02.03 Design Review, Type II

A. Purpose: The purpose of Type II design review is to ensure that new buildings or additions to existing buildings comply with Land Use and Development Guidelines and Standards of this ordinance (Sections 2 and 3).

B. Applicability: Type II Design Review is required for the following:

1. Non-residential structures 1,000 square feet or less in the RS, R1S, RM, and P/SP zones.

The proposal includes a 440 sq ft municipal utility building therefore the Design Review is a Type II.

✓ The provisions are met.

Street Exception Provisions

5.02.04 Exception to Street Right of Way and Improvement Requirements

A. Purpose: The purpose of a Type II Street Exception is to allow deviation from the street standards required by this Ordinance (Section 3.01) for the functional classification of streets identified in the Woodburn Transportation System Plan. An exception for a development reviewed as a Type I or II

application shall be considered as a Type II application, while development reviewed as a Type III application shall be considered a Type III application.

B. Criteria:

1. The estimated extent, on a quantitative basis, to which the rights-of-way and improvements will be used by persons served by the building or development, and whether the use is for safety or convenience;
2. The estimated level, on a quantitative basis, of rights-of-way and improvements needed to meet the estimated extent of use by persons served by the building or development;
3. The estimated impact, on a quantitative basis, of the building or development on the public infrastructure system of which the rights-of-way and improvements will be a part;
4. The estimated level, on a quantitative basis, of rights-of-way and improvements needed to mitigate the estimated impact on the public infrastructure system.

C. Proportionate Reduction in Standards: An exception to reduce a street right-of-way or cross-section requirement below the functional classification standard may be approved when a lesser standard is justified, based on the nature and extent of the impacts of the proposed development. No exception may be granted from applicable construction specifications.

D. Minimum Standards: To ensure a safe and functional street with capacity to meet current demands and to ensure safety for vehicles, bicyclists and pedestrians, as well as other forms of non-vehicular traffic, there are minimum standards for rights-of-way and improvements that must be provided to meet the standards of this Ordinance (Section 3.01).

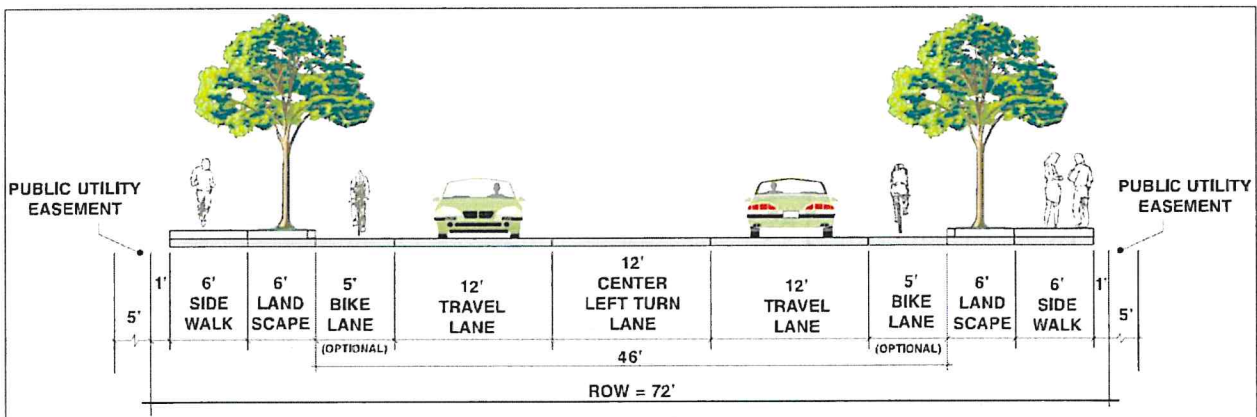


Figure 3.01D – Service Collector

As noted in the analysis for 3.01, the proposal includes a Street Exception request for the frontage improvements along Parr Road, a Service Collector street. Existing conditions of Parr Road along the subject property include:

- 60 ft of ROW;
- One paved travel lane in each direction and a center left turn lane, 12 ft wide each;
- No bike lanes;
- Curb on both sides of the street;
- Drainage facilities on both sides of the street;
- Street trees on the side of the street abutting the subject property, south of the multi-use path; and
- A sidewalk and multi-use path on the side of the street abutting the subject property.

Comparing the existing conditions to Figure 3.01D, missing half-street improvements include the bike lane, 6-ft landscape strip, and 6-ft buffered sidewalk. The applicant's narrative on page 4 states:

Parr Road is already developed with travel lanes, curbs, drainage structures, landscape strips, a multi-use path, and sidewalks. The City of Woodburn plans to increase the ROW dedication from 60' to 72' along Parr Road. 6' more will be dedicated with a 5' PUE included.

The applicant is requesting to maintain the existing configuration of improvements. Staff accepts the applicant's request because the existing conditions provide adequate pedestrian and bicycle facilities with a row existing street trees on the south side. The existing paved area of the street already provides for the vehicular needs illustrated in the cross-section. Staff adds *Condition of Approval EXCP-1* to dedicate half of the ROW deficit (appears to be 6ft).

▲ The provisions are met with *Condition EXCP-1*.

Conclusion

Staff finds that the application meets WDO provisions or can meet them with conditions and approves it with conditions.

Submitted by:



Dan Handel, AICP, Associate Planner

Affirmed,



Chris Kerr, Community Development Director

Attachments:

101. Submitted site plans
102. Tax Map, marked

Expiration: Per WDO 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

Appeals: Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal due date is twelve (12) days from the mailing date of this notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

Any person who is adversely affected or aggrieved or who is entitled to written notice of the decision may appeal the decision. The decision will not become final until the period for filing an appeal to the City Council has expired, and it cannot be appealed directly to the Oregon Land Use Board of Appeals (LUBA). This document is a copy of the decision. A copy of the decision is also available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071 during normal business hours. For questions or additional information, contact the Community Development Department at (503) 982-5246 or planning@ci.woodburn.or.us.

CITY OF WOODBURN, OREGON

NEW PRODUCTION WELL FOR THE

PARR ROAD TREATMENT PLANT

LAND USE SUBMITTAL



MARCH 2021

INDEX OF FIGURES

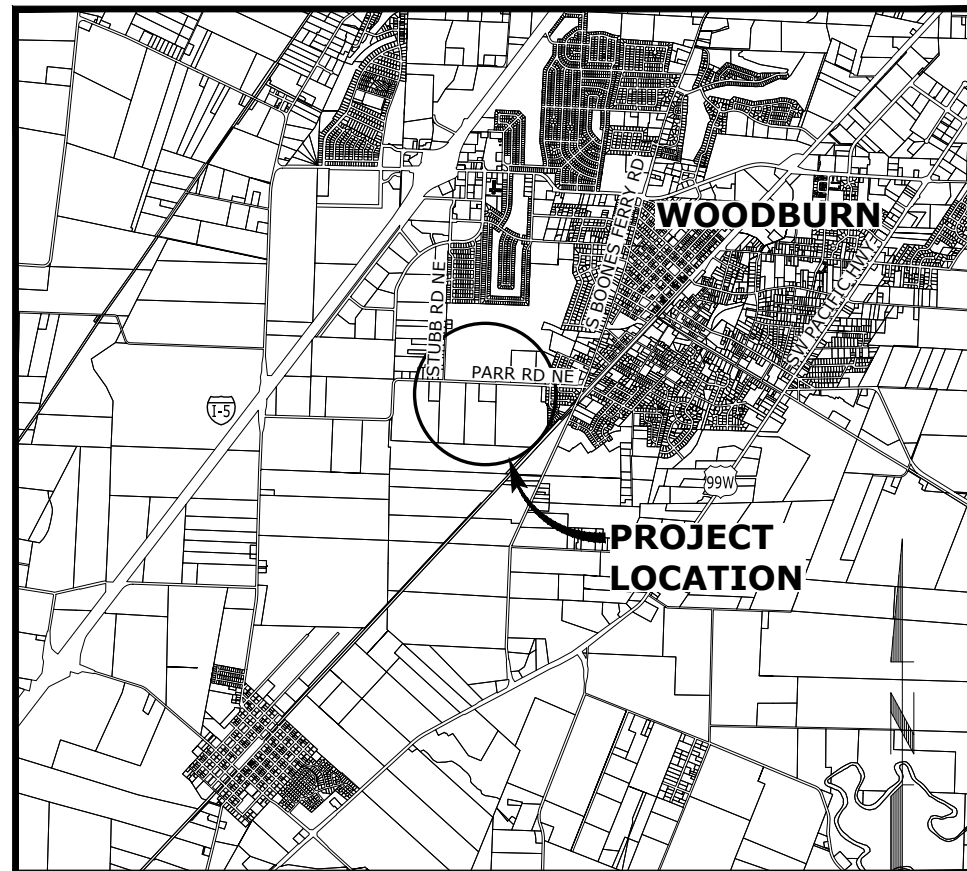
TOC	TITLE SHEET, VICINITY MAP & INDEX OF FIGURES
FIG 1	SITE PLAN
FIG 2	UTILITY PLAN - 1
FIG 3	UTILITY PLAN - 2
FIG 4	LANDSCAPE PLAN
FIG 5	LIGHTING PLAN
FIG 6	BUILDING PLAN
FIG 7	BUILDING ELEVATIONS

SITE INFORMATION

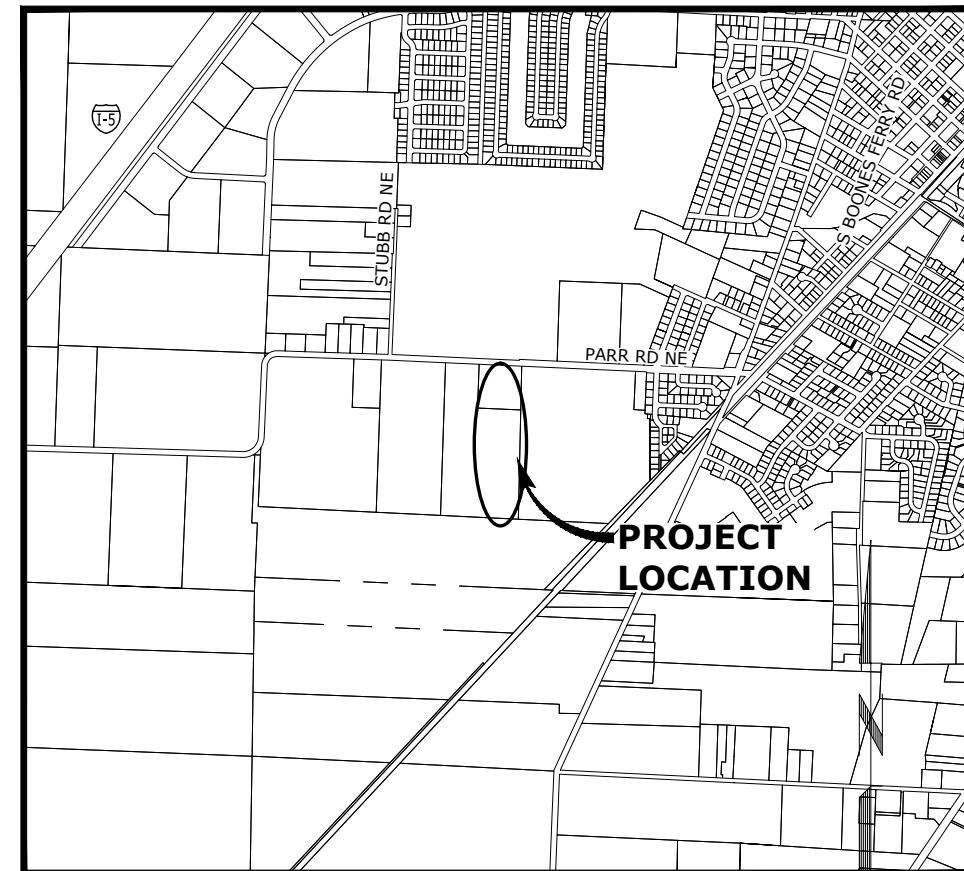
OWNER	CITY OF WOODBURN
TAXLOT NUMBER	052W130000700
SITE ADDRESS	900 PARR RD NE WOODBURN, OR 97071
ZONING CODE	P/SP
PROPERTY SIZE/SITE SIZE	24.79 ACRES/.046 ACRES

ABBREVIATIONS

CAL	CALIPER
CB	CATCH BASIN
CONC	CONCRETE
DI	DUCTILE IRON
EOP	EDGE OF PAVEMENT
FIG	FIGURE
GAL	GALLON
HMAC	HOT MIX ASPHALT CONCRETE
KW	KILOWATT
MH	MAINTENANCE HOLE
OC	ON CENTER
PERM	PERMANENT
PGE	PORTLAND GENERAL ELECTRIC
PU	PLANTING UNIT
RW	RAW WATER
SD	STORM DRAIN
UGP	UNDERGROUND POWER
W	WATER
WL	WATER LINE
WS	WATER SERVICE



VICINITY MAP
SCALE: 1"=2500'

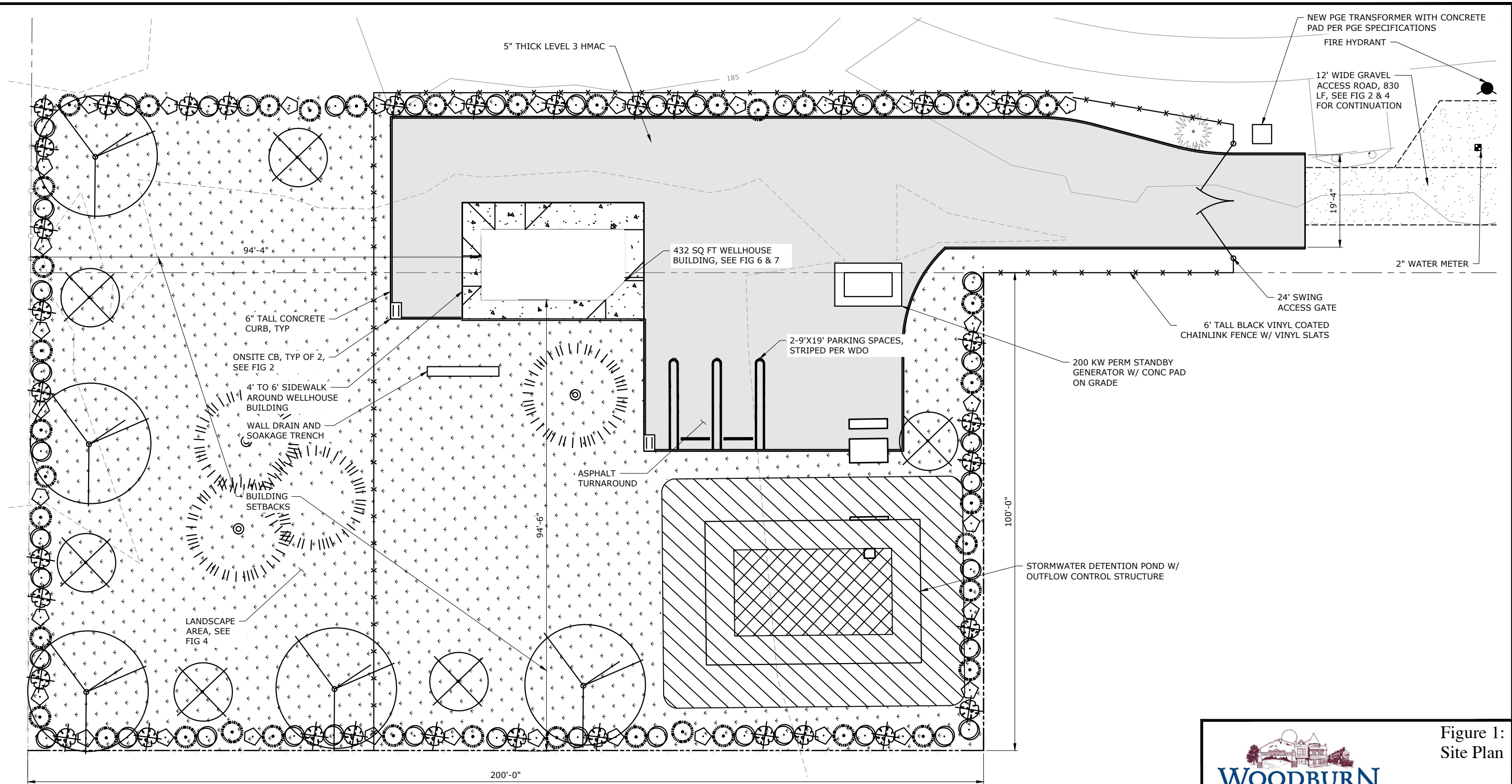


LOCATION MAP
SCALE: 1"=1000'

murraysmith

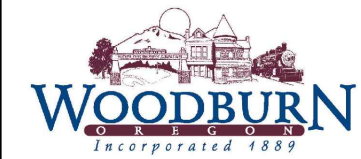
888 SW 5TH AVENUE, SUITE 1170
PORTLAND, OREGON 97204
P 503.225.9010

G:\PDX_Projects\19\2697 - Woodburn - Parr Road TP Eng. Design and CM Services\CAD\Figures\Land Use\19-2697-OR-LU-FIG-1-5.dwg FIG1 3/24/2021 11:33 AM CATHERINE.SOTO 23.0s (LMS Tech)



PLAN
SCALE: 1"=10'

Figure 1:
Site Plan



New Production Well for the
Parr Road Treatment Plant

Type I Design Review Application



March 2021
19-2697.400

G:\PDX_Projects\19\2697 - Woodburn - Parr Road TP Eng. Design and CM Services\CAD\Figures\Land Use\19-2697-OR-LU-FIG-1-5.dwg FIG2 3/24/2021 11:33 AM CATHERINE.SOTO 23.0s (LMS Tech)

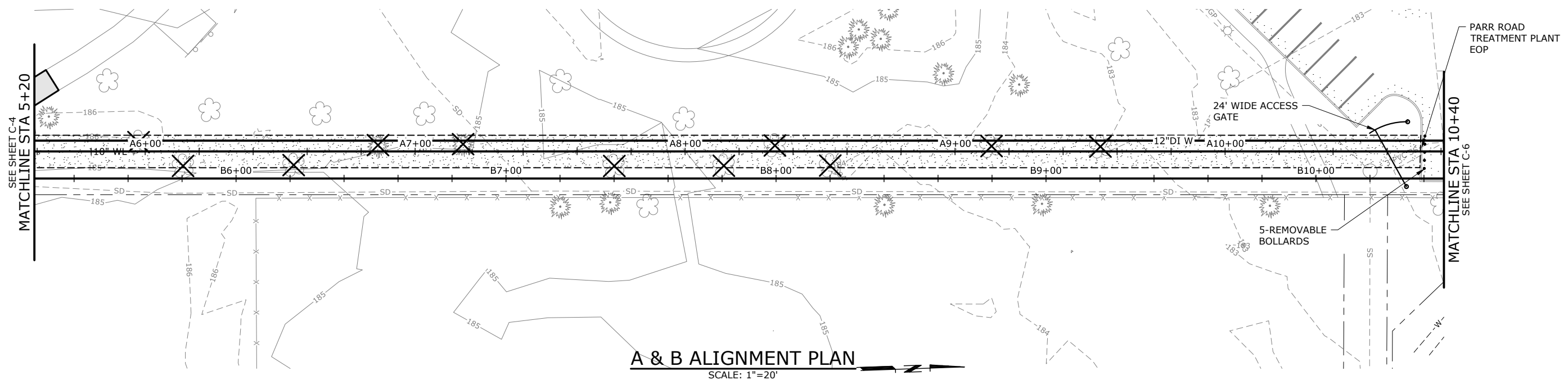
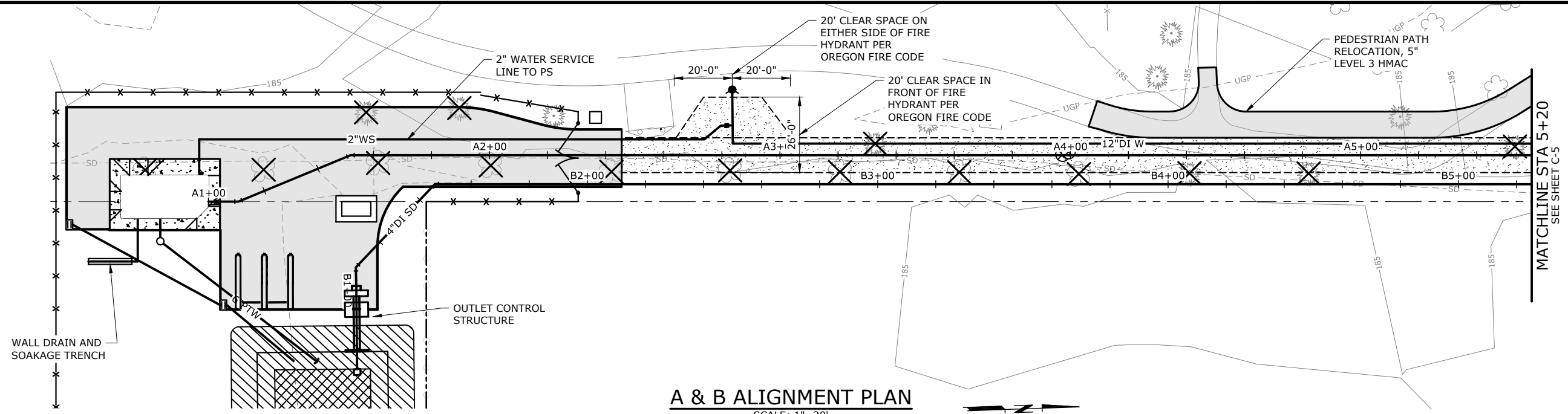
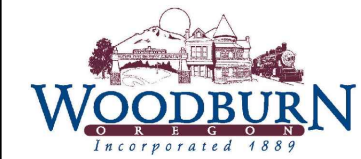


Figure 2:
Utility Plan - 1



New Production Well for the
Parr Road Treatment Plant

Type I Design Review Application



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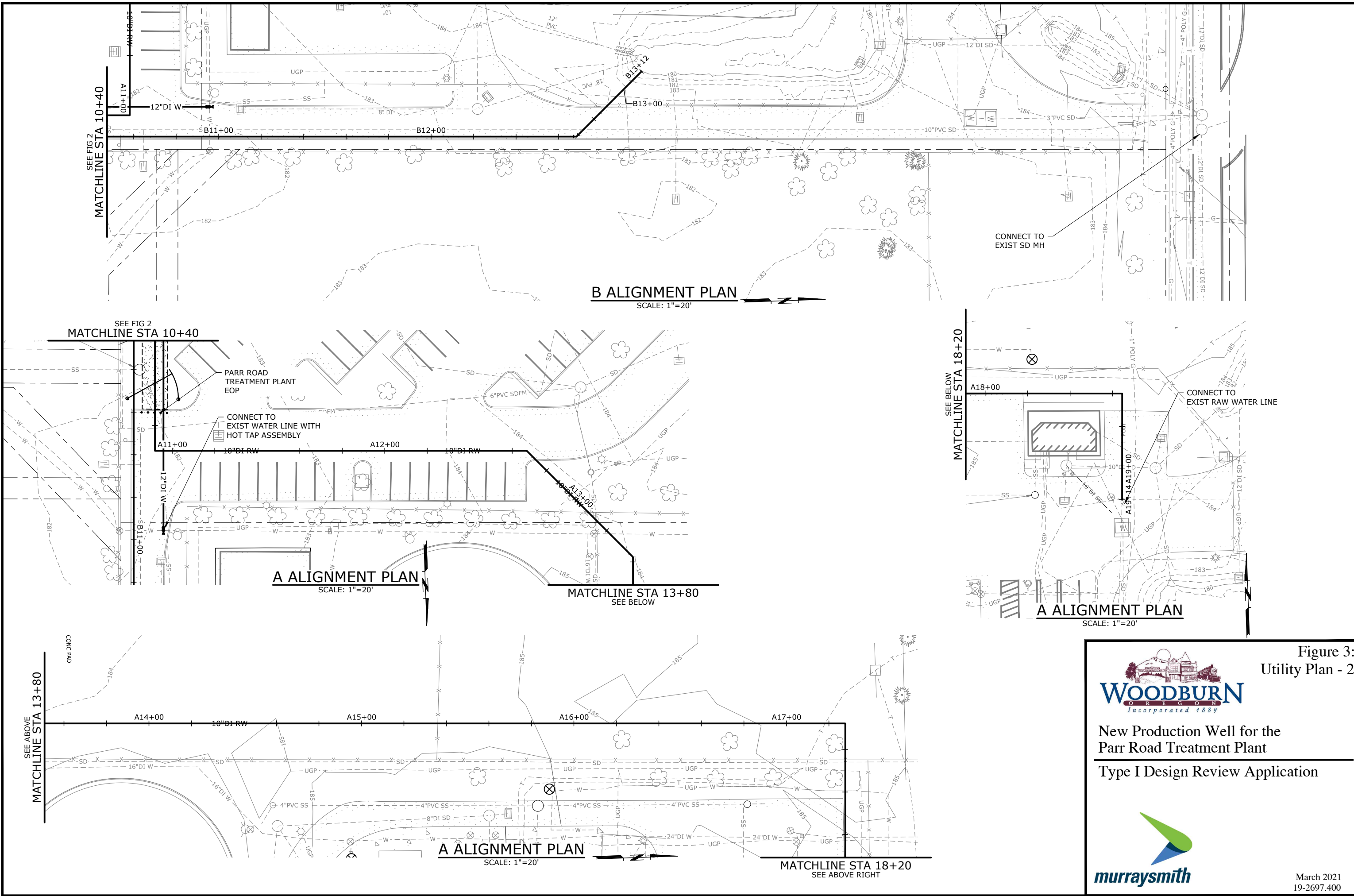
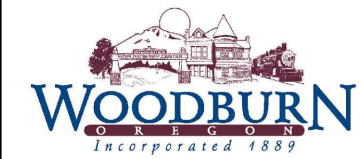


Figure 3:
Utility Plan - 2

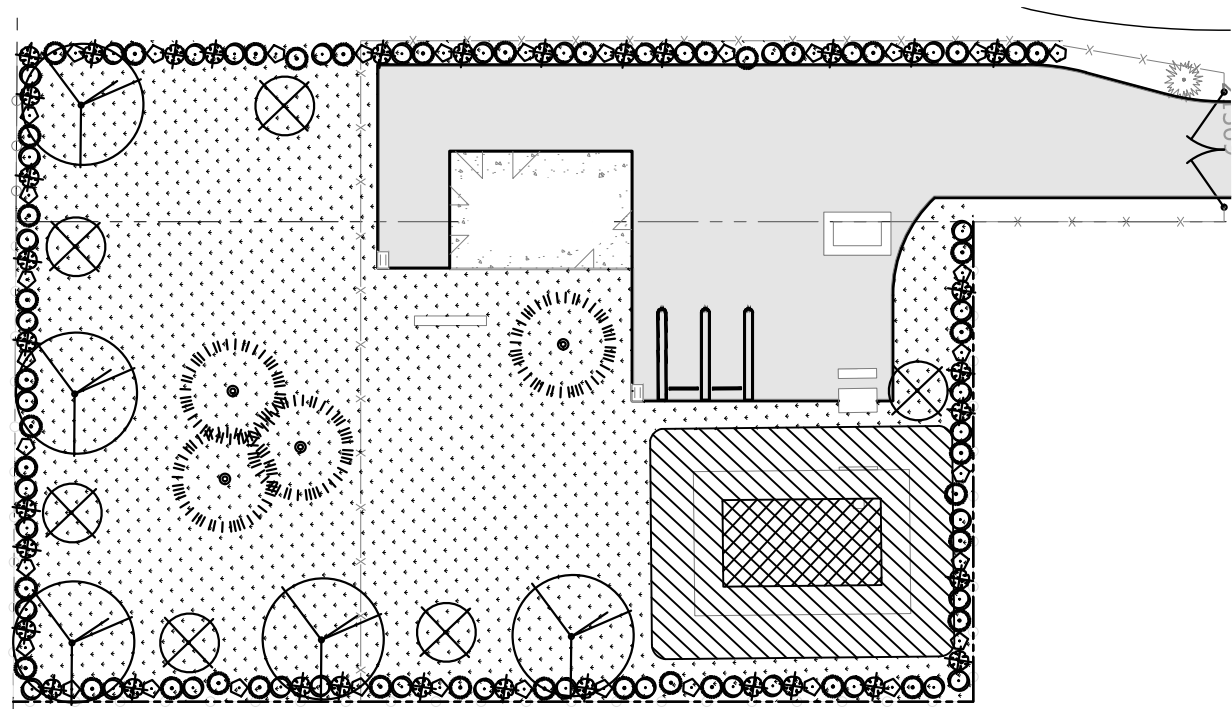


New Production Well for the
Parr Road Treatment Plant
Type I Design Review Application



March 2021
19-2697.400

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PLAN
SCALE: 1"=20'

PLANTING UNITS		
	CALC	REFERENCE
REQUIRED (1PU/50 SQUARE FEET)	(1PU/50 SQ. FT)(20000 SQ. FT) = 400 PU	WOODBURN DESIGN ORDINANCE TABLE 3.06B
PROPOSED PU	786.0 PU	

PLANTING SCHEDULE

SYMBOL	QUANTITY	COMMON NAME BOTANICAL NAME	TYPE	SIZE	LOCATION	CLASSIFICATION PER TABLE 3.06B PU VALUE PER TABLE 3.06B	TOTAL PU
	6	RED ALDER ALNUS RUBRA	TREE	2" CAL B&B	AS SHOWN	LARGE TREE 10 PU EACH	60.0 PU
	5	WESTERN HEMLOCK TSUGA HETEROPHYLLE	TREE	5 GAL	AS SHOWN	LARGE TREE 10 PU EACH	50.0 PU
	6	VINE MAPLE ACER CIRCINATUM	TREE	5 GAL	AS SHOWN	SMALL TREE 4 PU EACH	24.0 PU
	40	REDOSIER DOGWOOD CORNUS SERICEA	SHRUB	1 GAL	AS SHOWN	LARGE SHRUB 2 PU EACH	80.0 PU
	40	OCEANSPRAY HOLODISCUS DISCOLOR	SHRUB	1 GAL	AS SHOWN	LARGE SHRUB 2 PU EACH	80.0 PU
	40	INDIAN PLUM OEMLARIA CERASIFORMIS	SHRUB	1 GAL	AS SHOWN	LARGE SHRUB 2 PU EACH	80.0 PU
	40	SALMONBERRY RUBUS SPECTABILIS	SHRUB	1 GAL	AS SHOWN	LARGE SHRUB 2 PU EACH	80.0 PU
	2.5 LB	SEEDSMIX B - 2500 SF				LAWN OR OTHER LIVING GROUND COVER 1PU/50 SQUARE FEET	50.0 PU
	18.0 LB	SEEDSMIX A - 18100 SF				LAWN OR OTHER LIVING GROUND COVER 1PU/50 SQUARE FEET	362.0 PU

TOTAL PU = 786.0 PU

STORMWATER PLANTS MIX - LOWER AREA

	200	SLOUGH SEDGE CAREX OBNUPTA	HERBACEOUS	PLUG	12" OC
	200	BLUE WILD RYE ELMUS GLAUCUS	HERBACEOUS	PLUG	12" OC
	200	SMALL FRUITED BULRUSH SCIRPUS MKICROCARPUS	HERBACEOUS	PLUG	12" OC
	1.0 LB	SEEDSMIX B - 600 SF		(SEE SHEET L-2)	

STORMWATER PLANTS MIX - SLOPE AREA

	95	OREGON GRAPE MAHONIA AQUIFOLIUM	SHURB	1 GAL	3' OC
	95	PACIFIC NINEBARK PHYSOCARPUS CAPITATUS	SHURB	1 GAL	3' OC
	95	SNOWBERRY SYMPHORICARPUS ALBA	SHURB	1 GAL	3' OC

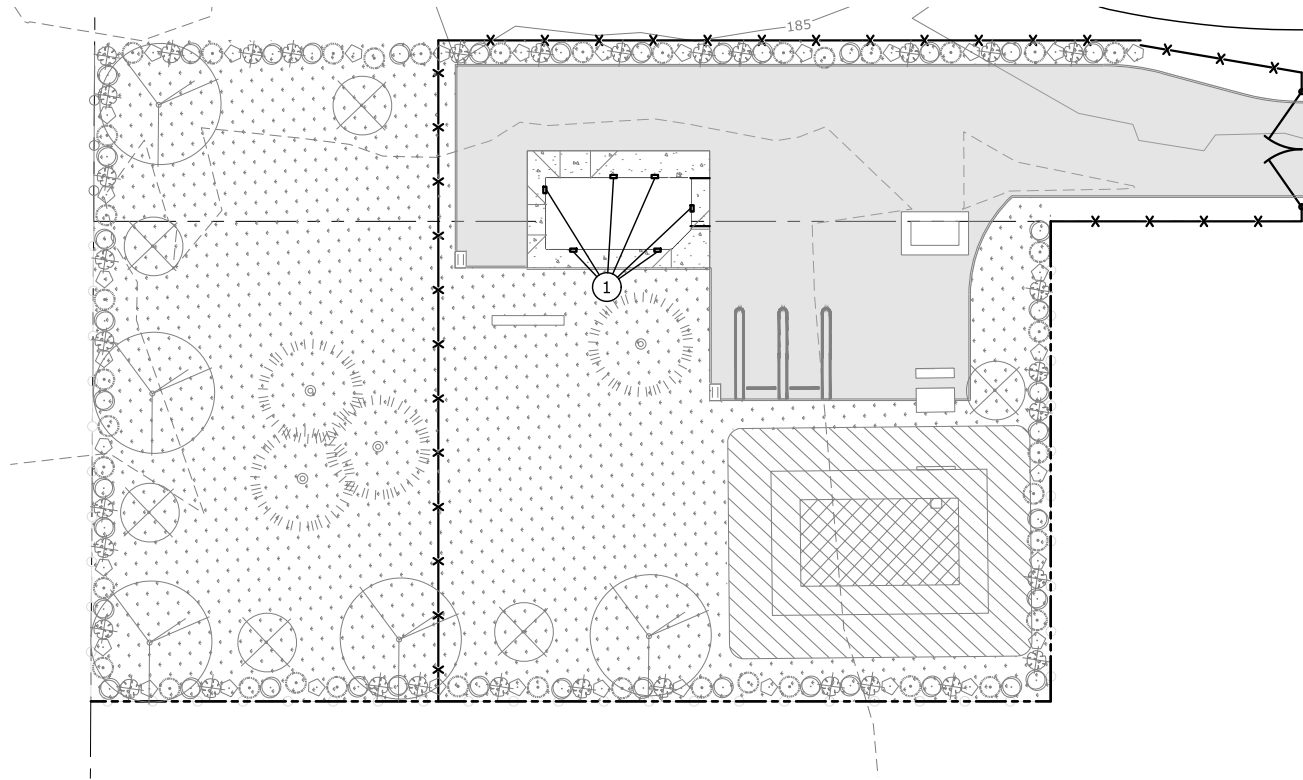
EXISTING TREES

Figure 4:
Landscape Plan

New Production Well for the
Parr Road Treatment Plant

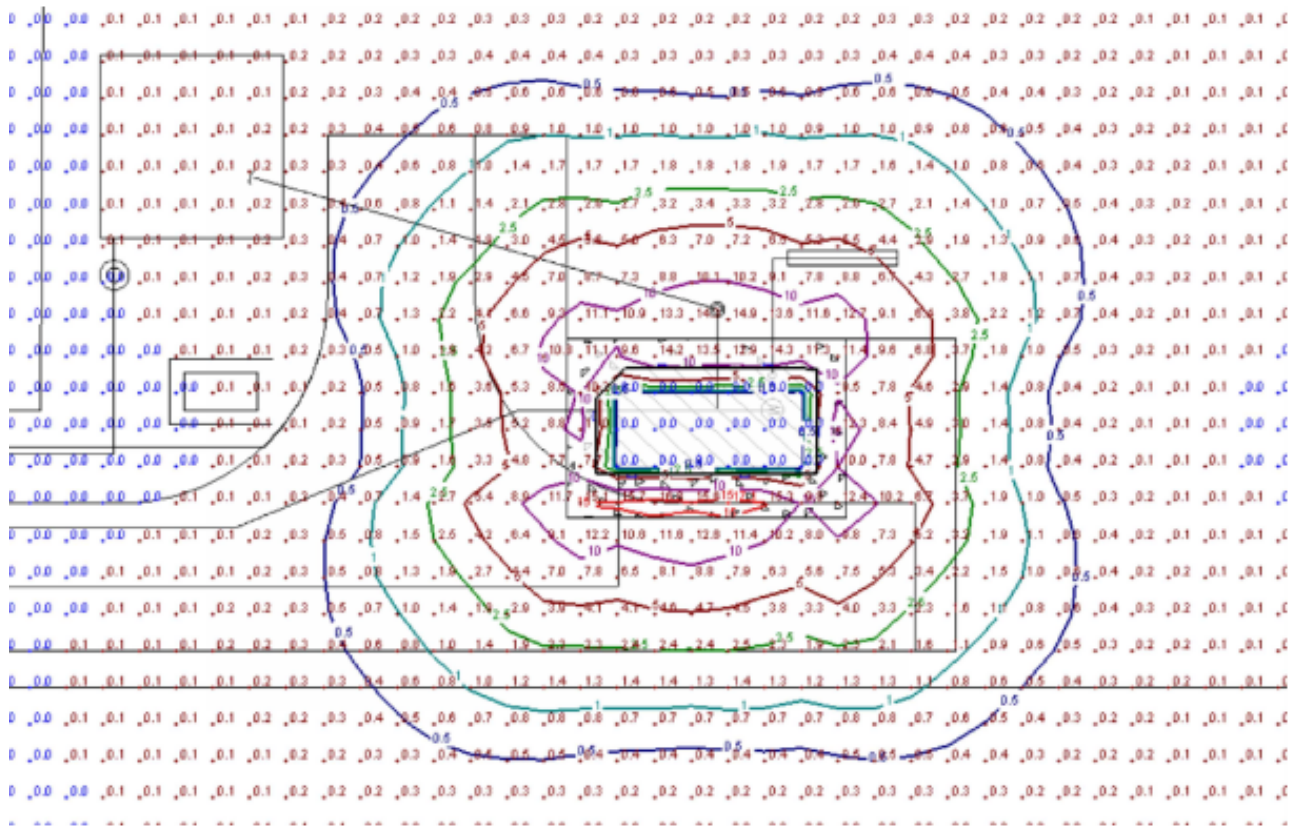
Type I Design Review Application

March 2021
19-2697.400



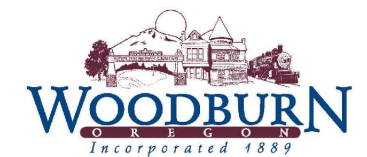
LIGHTING PLAN
SCALE: 1"=20'

KEY NOTES		
	TPE	DESCRIPTION
①	EXTERIOR BUILDING LIGHTS (TYP OF 6)	4000K COLOR TEMP, 8,477 LUMENS LED WALL LUMINAIRE, ALUMINUM HOUSING, 70CRI, MVOLT, TYPE 3 MEDIUM DISTRIBUTION ADJUSTABLE LIGHT OUTPUT AND DARK BRONZE FINISH. ADJUST OUTPUT TO HALF. LITHONIA LIGHTING: THW LED SERIES OR APPROVED EQUAL.



PHOTOMETRIC ANALYSIS
SCALE: NTS

PHOTOMETRIC STATISTICS			
DESCRIPTION	MAX	MIN	MAX/MIN
10' BUILDING ENTRANCES	16.8 FC	2.9 FC	5.8 MAX : 1 MIN
PARKING SPOTS	4.5 FC	0.3 FC	17.33 MAX : 1 MIN

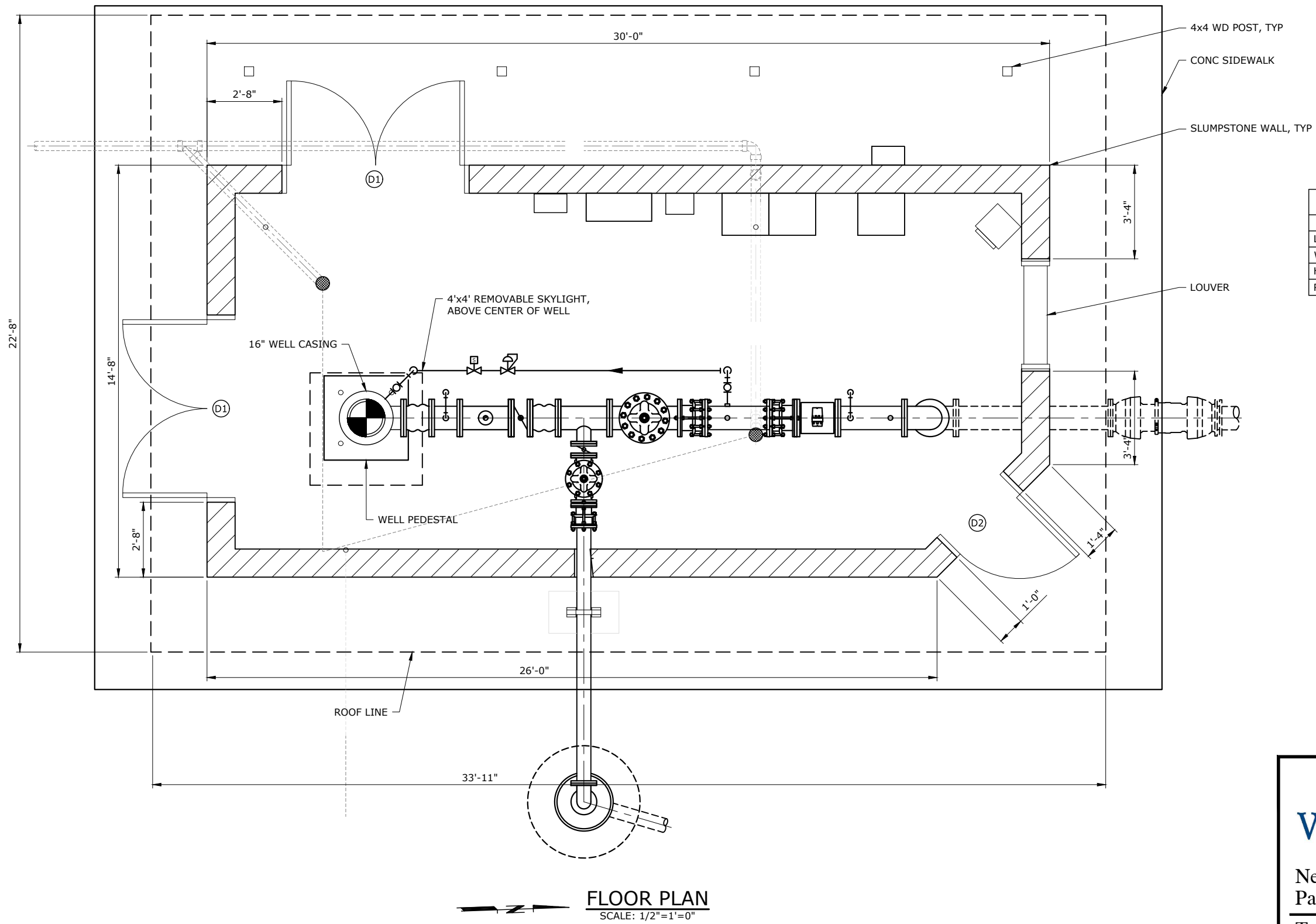


New Production Well for the Parr Road Treatment Plant

Type I Design Review Application



Figure 5:
Lighting Plan



DOOR SCHEDULE		
DOOR	D1	D2
LOCATION	EXTERIOR	EXTERIOR
WIDTH	DOUBLE, 3'-0"	SINGLE, 3'-0"
HEIGHT	6'-8"	6'-8"
ROUGH OPENING	6'-4" x 7'-0"	3'-4" x 7'-0"

FLOOR PLAN
SCALE: 1/2"=1'-0"



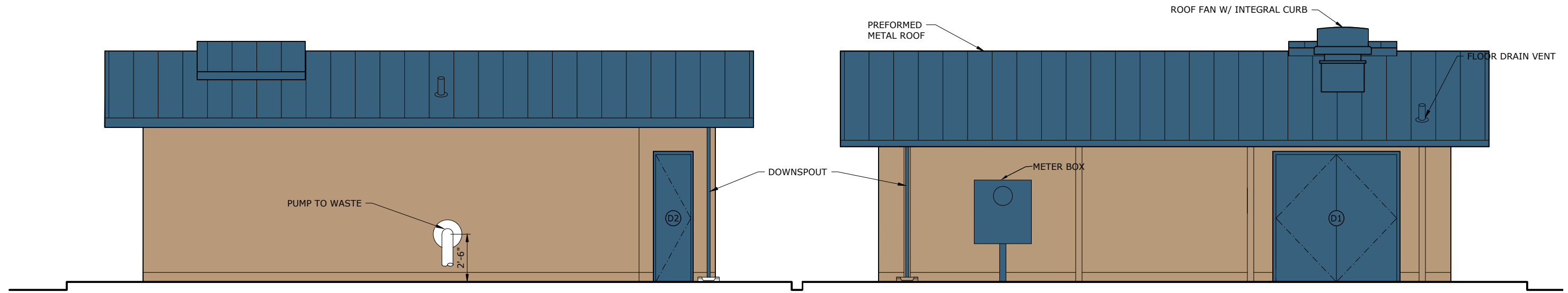
Figure 6:
Building
Plan

New Production Well for the
Parr Road Treatment Plant

Type I Design Review Application

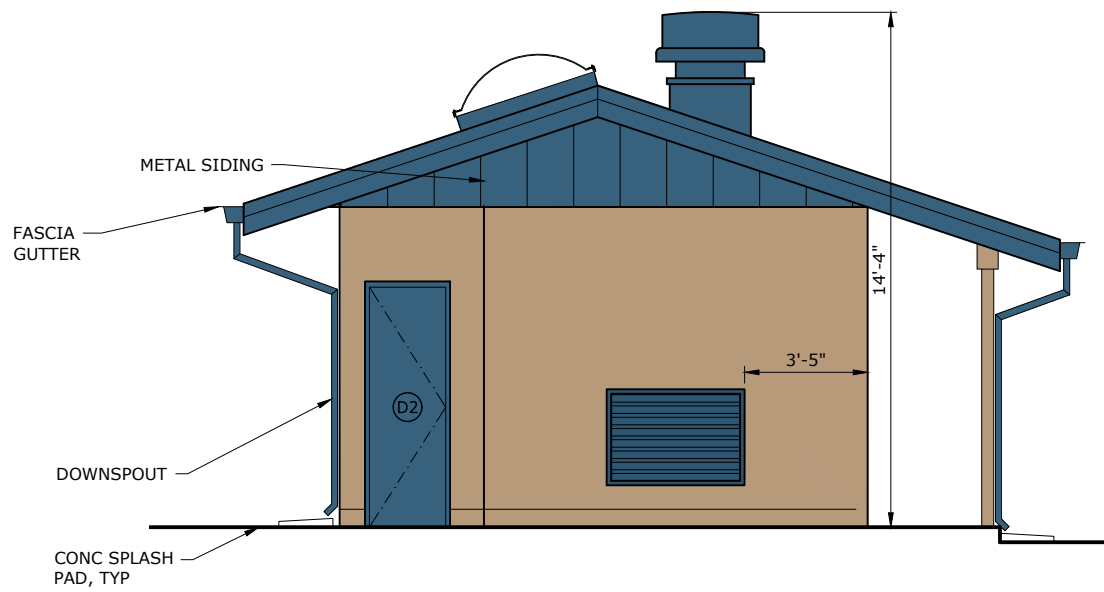


G:\PDX_Projects\19\2697 - Woodburn - Parr Road TP Eng. Design and CM Services\CAD\Figures\Land Use\19-2697-OR-LU-FIG-6-7.dwg FIG7 3/24/2021 10:14 AM CATHERINE.SOTO 23.0s (LMS Tech)

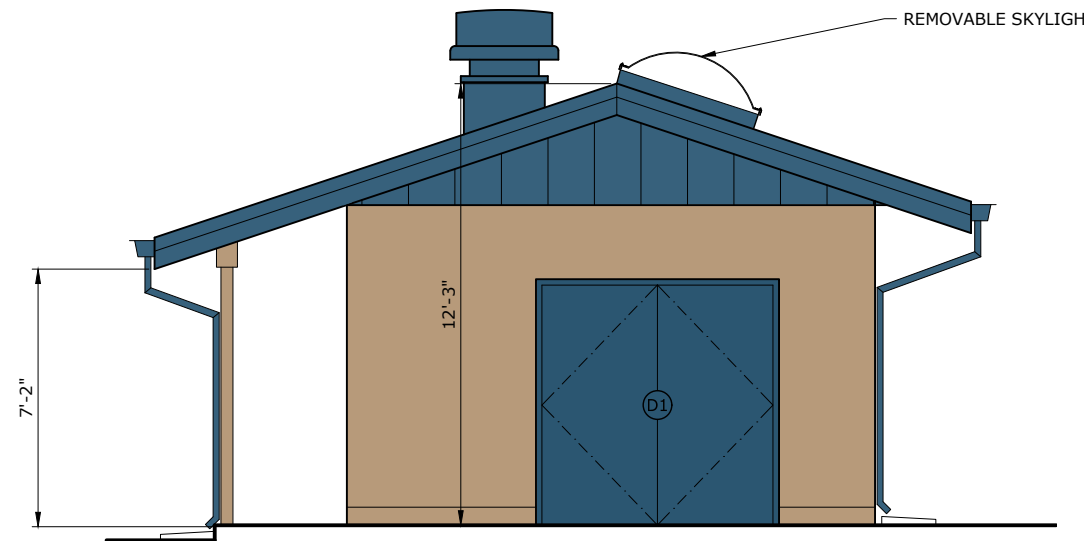


EAST ELEVATION
SCALE: 3/8"=1'=0"

WEST ELEVATION
SCALE: 3/8"=1'=0"



NORTH ELEVATION
SCALE: 3/8"=1'=0"



SOUTH ELEVATION
SCALE: 3/8"=1'=0"

MATERIAL FINISH SCHEDULE

ITEM	FINISH	COLOR	REMARKS
STANDING SEAM METAL ROOFING	FACTORY COATED PER MANUFACTURER	MEDIUM BLUE	
EXTERIOR CMU	COATING SYSTEM 305	BEIGE BROWN	
EXTERIOR EVES, TRIM & FASCIA	COATING SYSTEM 303	MEDIUM BLUE	COLOR TO MATCH ROOF
LOUVERS	FACTORY COATED PER MANUFACTURER	MEDIUM BLUE	COLOR TO MATCH ROOF
MISCELLANEOUS METALS, METAL TRIM	COATING SYSTEM 101	MEDIUM BLUE	COLOR TO MATCH ROOF
DOORS	COATING SYSTEM 101	MEDIUM BLUE	COLOR TO MATCH ROOF



Figure 7:
Building
Elevations

New Production Well for the
Parr Road Treatment Plant

Type I Design Review Application



March 2021
19-2697.400



MARION COUNTY, OREGON
SEC 13 T5S R2W W.M.
SCALE 1" = 400'

LEGEND

- LINE TYPES**
- Taxlot Boundary
 - Road Right-of-Way
 - Railroad Right-of-Way
 - Private Road ROW
 - Subdivision/Plat Bndry
 - Waterline - Taxlot Bndry
 - Historical Boundary
 - Easement
 - Railroad Centerline
 - Taxcode Line
 - Map Boundary
 - Waterline - Non Bndry

- CORNER TYPES**
- + 1/16TH Section Cor.
 - ⊙ DLC Corner
 - ⊕ 1/4 Section Cor.
 - ⊕ 16, 15 Section Corner
 - ⊕ 21, 22

NUMBERS

Tax Code Number
00 00 0

Acreege
0.25 AC

All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

NOTES

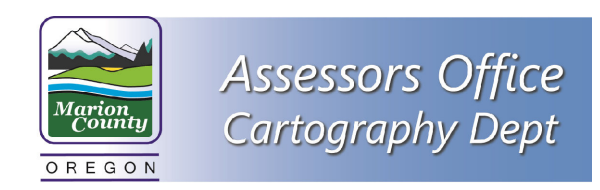
Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW

ATTACHMENT 102

CANCELLED NUMBERS

100	
101	
102A2	
104	
106	
107	
108	
200	
201	
1400	

DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT www.co.marion.or.us

PLOT DATE: 5/12/2021

