



Final Decision Type II Staff Report

File number(s): DR 21-09 & EXCP 21-06
Project name: Valley Pacific Floral
Date of decision: December 2, 2021
Date of mailing: December 3, 2021
Applicant: Cindy Kelly-Wurdinger, Owner, Valley Pacific Floral
Landowner: Brown, Timothy R.
Site location: 2515 Newberg Highway
Tax Lot(s): 052W12AD18600

Summary:

The applicant applied for Design Review (DR) 21-09 and Exception to Street Right of Way and Improvement Requirements ("Street Exception", EXCP) 21-06 to construct a flower shop at 2515 Newberg Hwy. The Street Exception application was included to request to maintain Newberg Hwy improvements as they exist today and not dedicate additional right-of-way along Country Club Rd.

The application submittal date is September 20, 2021, the completeness date is October 28, 2021, and the 120th day deadline for final action per Oregon Revised Statutes (ORS) 227.178 would have been February 25, 2022.

Section references throughout this staff report are to the [Woodburn Development Ordinance \(WDO\)](#). The subject property is approximately 0.27 acres and located within the Commercial General (CG) zoning district and the Interchange Management Area (IMA) overlay district.

Staff finds that the application meets WDO provisions or can meet them with conditions and approves it with conditions. Because it is a Type II administrative approval requiring no public hearing, this staff report serves as both a preliminary partition approval and public notice of final decision to owners of property within 250 feet of the subject property.

Conditions of Approval

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

General

G-1. The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

Design Review

DR-1. Parking:

- a. Pursuant to WDO 3.05.02B.2., record with Marion County a shared parking agreement between the subject property and 2288 Country Club Road (Tax Lot 052W12AC05800) to establish use of one parking stall for the proposed development. This is due prior to building permit final inspection.
- b. To meet WDO 3.05.02H., revise plans to illustrate or note the required bumper guards for parking stalls abutting the walkway. This is due prior to building permit issuance.
- c. To meet WDO Table 3.05B, revise plans to illustrate and note the on-site accessible stall as a "Van Accessible Stall" with the appropriate signage and striping. This is due prior to building permit issuance.

DR-2. Street trees: To meet WDO 3.06.03A., revise the landscaping plan to include at least two large trees along the frontage of Newberg Highway. This is due prior to building permit issuance.

DR-3. Trash enclosure: To meet WDO 3.06.06B., submit architectural wall design drawings for the trash enclosure. This is due prior to building permit issuance.

Street Exception

EXCP-1. Required half-street improvements along the subject property's Country Club Road frontage are illustrated on the approved plans and include curb, 6-foot wide landscape strip with street trees, 6-foot wide sidewalk, and 1-foot buffer. Because these improvements will not be entirely located within existing Country Club Road right-of-way, the applicant shall record with Marion County a public easement wide enough to encompass the portion of improvements that encroach within private property. Improvements and proof of recordation are due prior to building permit final inspection.

Notes to the Applicant

The following are not conditions of approval, but are important notes for the applicant to be aware of and follow:

1. Recordations: Dedications of public easements involve recordations with Marion County. The applicant (or applicant's surveyor) would need to:
 - a. Prior to recordation with the County, follow City Public Works Department review and dedication process as directed by the City Engineer or higher authority, including the use of Public Works document templates;
 - b. Submit a draft copy of the easements, including text and drawing(s), to the attention of both the Director and City Engineer for their reviews and directions. Easement text should contain references to the land use review file numbers, street address, and tax lot number; and
 - c. Record dedications and submit proof of recordation prior to building permit final inspection.
2. Building Permit: Building permits are applied for using the [Oregon ePermitting](#) online permit system. The City administers building and mechanical permits; [Marion County Public Works](#) administers plumbing and electrical permits.
3. Right-Of-Way (ROW) Permit: Prior to performing any work within City ROW or easements, apply for and obtain a ROW permit through the [Public Works Department](#).
4. Records: Staff recommends that the applicant retain a copy of the subject approval.
5. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
6. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
7. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.

8. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
9. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.
10. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
11. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
12. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.

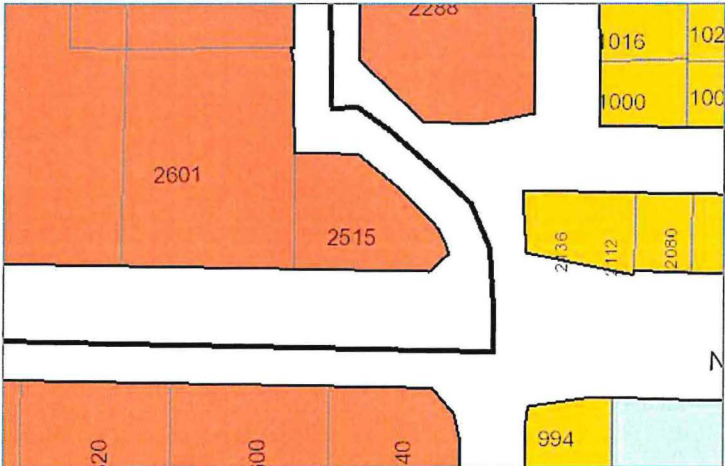
Analyses & Findings:

This final decision analyzes the application materials and finds through statements how the application materials relate to and meet applicable provisions such as criteria, requirements, and standards. They confirm that a given standard is met or if not met, they call attention to it, suggest a remedy, and have a corresponding recommended condition of approval. Symbols aid locating and understanding categories of findings:

<i>Symbol</i>	<i>Category</i>	<i>Indication</i>
✓	Requirement (or guideline) met	No action needed
✗	Requirement (or guideline) not met	Correction needed
⊖	Requirement (or guideline) not applicable	No action needed
▲	<ul style="list-style-type: none"> Requirement (or guideline) met with condition of approval Other special circumstance benefitting from attention 	Modification or Condition of approval required
■	Deviation from code: Street Exception	Request to modify, adjust, or vary from a requirement

Land Use & Zoning

<i>Comprehensive Plan Land Use Designation</i>	Commercial
<i>Zoning District</i>	Commercial General (CG)
<i>Overlay District(s)</i>	Interchange Management Area (IMA)
<i>Existing Use(s)</i>	None, undeveloped



An excerpt from the City zoning map.

Marion County Assessor Records provides a legal description for the subject property as “WOODBURN SENIOR ESTATES NO 6 IN WOODBURN BLOCK 55 LOT FR 1”; staff surmises it is a legal lot of record. The applicable provisions appear in bold below and on the following pages.

Design Review Provisions

2.03 Commercial Zones

- A. The City of Woodburn is divided into the following commercial zones:
 - 2. The Commercial General (CG) zone is the community’s primary commercial area, providing for businesses requiring extensive land intensive outdoor storage and display of merchandise, equipment, or inventory.

The subject property is zoned Commercial General (CG) therefore the allowed uses are per Table 2.03A and the applicable site development standards are per Table 2.03C.

Uses Allowed in Commercial Zones Table 2.03A							
Use			Zone				
Accessory Uses (A)	Conditional Uses (CU)	Permitted Uses (P)	DDC	CG	CO	MUV	NNC
Special Permitted Uses (S)	Specific Conditional Uses (SCU)						
B	Commercial Retail and Services						
22	Retail trade offering goods and services directly to customers		P ⁷	P		P	P
7. Drive-throughs are not allowed							

Commercial General (CG) - Site Development Standards Table 2.03C			
Lot Area, Minimum (square feet)		No minimum	
Lot Width, Minimum (feet)		No minimum	
Lot Depth, Minimum (feet)		No minimum	
Street Frontage, Minimum (feet)		No minimum	
Front Setback and Setback Abutting a Street, Minimum (feet)		5 ¹	
Side or Rear Setback, Minimum (feet)	Abutting RS, R1S, or RM zone	10 ⁴	
	Abutting CO, CG, DDC, NNC, P/SP, IP, SWIR, or IL zone	0 or 5 ^{4,5}	
Setback to a Private Access Easement, Minimum (feet)		5	
Lot Coverage, Maximum		Not specified ²	
Building Height, Maximum (feet)	Primary or accessory structure	Outside Gateway subarea	70
		Western Gateway subarea	50
		Eastern Gateway subarea	40

	Features not used for habitation	100
<p>1. Measured from the Special Setback (Section 3.03.02), if any</p> <p>2. Lot coverage is limited by setbacks, off-street parking, and landscaping requirements.</p> <p>3. Only allowed in the Gateway Overlay District</p> <p>4. A house of worship shall be set back at least 20 feet from a property line abutting a residential zone or use.</p> <p>5. A building may be constructed at the property line, or shall be set back at least five feet.</p>		

There are no minimum values for lot area, lot width, lot depth, street frontage, and no maximum lot coverage in the CG zone. As illustrated on the site plan, the proposed building will meet or exceed setbacks to property lines. There are no private access easements on the subject property. The building elevations sheet illustrates the building height will be 18' 11" feet to the midpoint of the tallest slanted roof. The proposal is not residential development therefore density standards do not apply.

✓ The provisions are met.

2.05 Overlay Districts

2.05.02 Interchange Management Area Overlay District

B. Applicability

The provisions of this Section apply to all Type II – V land use applications that propose to allow development that will generate more than 20 peak hour vehicle trips (based on the latest Institute of Transportation Engineers Trip Generation Manual) on parcels identified in Table 2.05A. The provisions of this Section apply to all properties within the boundary of the IMA.

The proposal is a Type II Design Review for development within the IMA boundary however the submitted trip generation memo notes an increase of 8 AM peak hour trips and 8.37 PM peak hour trips as a result of the development. This is below the 20 peak hour trip threshold therefore the provisions do not apply.

⊖ The provisions are not applicable.

3.01 Streets

3.01.01 Applicability

A. Right-of-way standards apply to all public streets.

B. Improvement standards apply to all public and private streets, sidewalks and bikeways.

C. Functional standards are identified in the Woodburn TSP.

D. This applies to all development, and is not limited to partitions, subdivisions, multi-family, commercial or industrial construction, or establishment of a manufactured dwelling or recreational vehicle park. Construction of a single-family dwelling or placement of a manufactured dwelling does not, for the purposes of this Section, constitute development, however, in no case can this type of development occur without minimal access as determined by the Director.

3.01.02 General Provisions

A. No development shall be approved, or access permit issued, unless the internal streets, boundary streets and connecting streets are constructed to at least the minimum standards set forth in this Section, or are required to be so constructed as a condition of approval.

D. The standards of this Section may be modified, subject to approval of an Exception to Street Right-of-Way and Improvement Requirements.

3.01.04 Street Cross-Sections

A. These standards are based on the functional classification of each street as shown in the Woodburn TSP. The street right-of-way and improvement standards minimize the amount of pavement and right-of-way required for each street classification, consistent with the operational needs of each facility, including requirements for pedestrians, bicycles, and public facilities.

B. All public streets under the jurisdiction of the City of Woodburn shall comply with the cross-sections depicted in this Section.

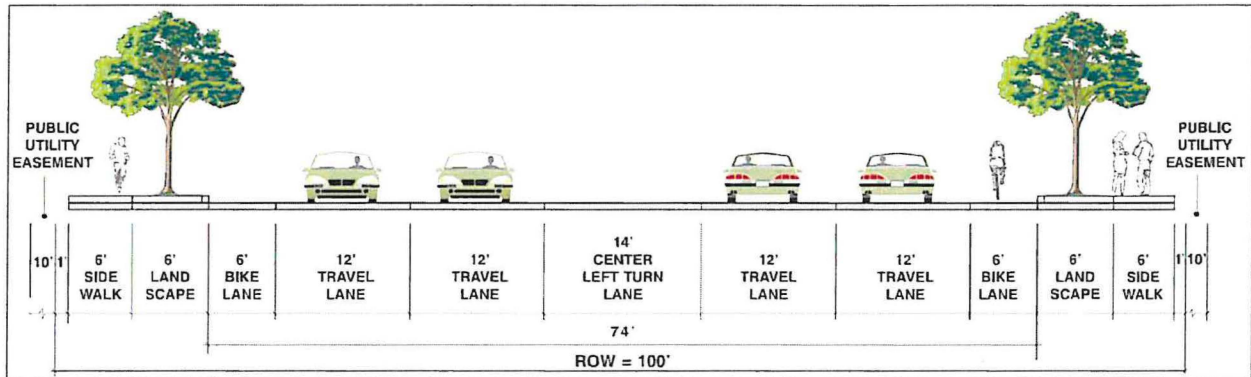


Figure 3.01B – Major Arterial

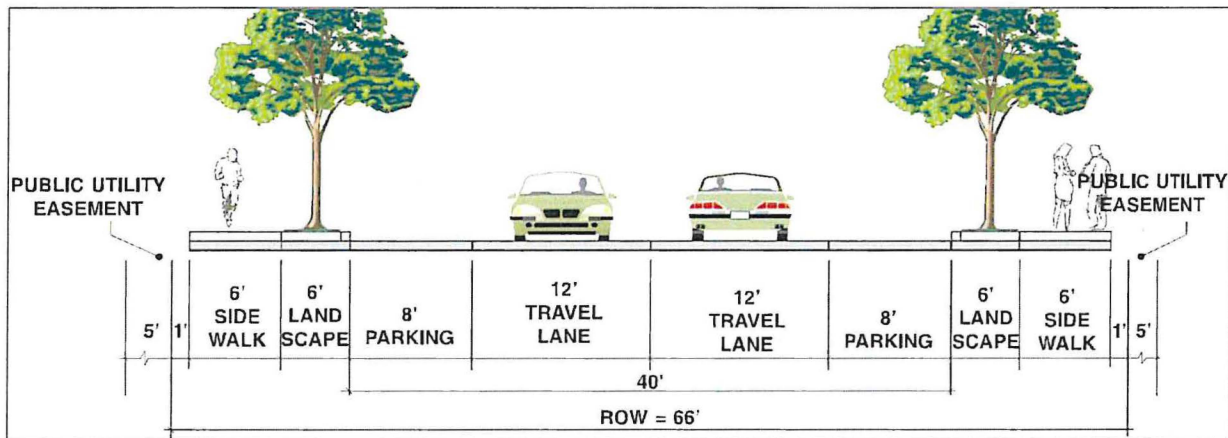


Figure 3.01E – Access Street / Commercial Street

The subject property has frontage along Newberg Highway and Country Club Road, both public streets. Figure 2 from the Woodburn Transportation System Plan (TSP) identifies Newberg Highway as a Major Arterial street and Country Club Road as an Access street. The applicable WDO cross-sections are Figure 3.01B and Figure 3.01E. The proposal includes development of a commercial building to be used as a flower shop therefore the provisions of 3.01 do apply. Pursuant to 3.01.02D., the applicant submitted a Street Exception request.

- Staff addresses the street improvements further under the Street Exception provisions.

3.01.03 Improvements Required for Development

A. With development, the Internal, Boundary, and Connecting streets shall be constructed to at least the minimum standards set forth below.

C. Boundary Streets

The minimum improvements for a Boundary Street shall be:

- 1. One paved 11-foot travel lane in each direction;
- 2. On-street parking on the side of the street abutting the development, if on-street parking is indicated in the TSP;
- 3. Curb on the side of the street abutting the development;
- 4. Drainage facilities on the side of the street abutting the development;
- 5. Street trees on the side of the street abutting the development; and
- 6. A sidewalk on the side of the street abutting the development.

Both boundary street frontages contain the minimum required improvements, except street trees which are reviewed for compliance in the landscaping provisions. It’s also important to note that while the Access Street cross-section calls for on-street parking, the subject property is too close to the intersection with Newberg Highway to allow for the on-street parking lane.

✓ The provisions are met.

3.02 Utilities and Easements

3.02.01 Public Utility Easements

- A. The Director shall require dedication of specific easements for the construction and maintenance of municipal water, sewerage and storm drainage facilities located on private property.**
- B. A five-foot wide public utility easement shall be dedicated along each lot line abutting a public street.**
- C. As a condition of approval for development, including property line adjustments, partitions, subdivisions, design reviews, or Planned Unit Developments (PUDs), the Director may require dedication of public utility easements.**

There are public water and sewer lines running through the subject property that area already covered by public easements to the satisfaction of the City Engineer.

Plans illustrate that public utility easements will be dedicated along both street frontages to satisfy subsection B.

✓ The provisions are met.

3.02.03 Street Lighting

A. Public Streets

Public streets abutting a development shall be illuminated with street lights installed to the standards of the City and the electric utility.

Public Works Department staff did not identify a need for additional street lighting at this location.

✓ The provision is met.

3.02.04 Underground Utilities

All permanent utility service to and within a development shall be underground, except where overhead high-voltage (35,000 volts or more) electric facilities exist.

All utility services for the subject property will be underground. There are no overhead electric facilities along the subject property's frontages.

✓ The provision is met.

3.03 Setbacks and Open Space

As analyzed for the site development standards in 2.02, setback requirements are met for the proposed development. There are no projections into setbacks. The subject property is a corner lot therefore vision clearance area provisions apply, and plans do not illustrate any prohibited obstructions within this area.

✓ The provisions are met.

3.04 Vehicular Access

3.04.01 Applicability and Permit

A. Street Access

Every lot shall have:

1. Direct access to an abutting public street, or
2. Access to a public street by means of an access easement and maintenance agreement to the satisfaction of the Director, and revocable only with the concurrence of the Director.

3.04.03 Driveway Guidelines and Standards

A. Number of Driveways

3. For nonresidential uses, the number of driveways should be minimized based on overall site design, including consideration of:

- a. The function classification of abutting streets;
- b. The on-site access pattern, including parking and circulation, joint access, turnarounds and building orientation;
- c. The access needs of the use in terms of volume, intensity and duration characteristics of trip generation.

B. Joint Access

1. Lots that access a Major Arterial, Minor Arterial, or Service Collector should be accessed via a shared driveway.

3. Every joint driveway or access between separate lots shall be established by an access easement and maintenance agreement to the satisfaction of the Director and revocable only with the concurrence of the Director.

C. Interconnected Parking Facilities

1. All uses on a lot shall have common or interconnected off-street parking and circulation facilities.

2. Similar or compatible uses on abutting lots shall have interconnected access and parking facilities.

Access Requirements Table 3.04A				
		1 to 4 Dwellings, Living Units or Individual Lots ⁶	5 or More Dwelling or Living Units, School, or House of Worship ⁶	Commercial or Industrial Use
Flag Lot Access Width (feet) (See Figure 3.04A)		20 minimum	24 minimum	30 minimum
Paved Width of Driveway (feet) ^{3,4}	1-way	n/a	12 minimum 20 maximum	12 minimum 20 maximum
	2-way	20 minimum 30 maximum	24 minimum 30 maximum (Add 8' if a turn lane is provided)	24 minimum 36 maximum (Add 8' if a turn lane is provided)
	Manufactured Dwelling Park	10 minimum	n/a	n/a
Curb Flare Radius (feet)		15 minimum	25 minimum	30 minimum
Throat Length (feet) ⁵	Major Arterial, Minor Arterial, Service Collector	n/a	50 minimum	50 minimum
	Access or Local Street	n/a	20 minimum	20 minimum
Corner Clearance (feet) ¹ Guidelines (See Figure 3.04B)	Access or Local Street	30 minimum	30 minimum	30 minimum
	Service Collector	50 minimum	50 minimum	50 minimum
	Minor Arterial	245 minimum	245 minimum	245 minimum
	Major Arterial	300 minimum	300 minimum	300 minimum
Driveway Separation Guidelines (feet) ^{1,2} (See Figure 3.04B)	Driveway on the same parcel	22 minimum	50 minimum	50 minimum
	Access or Local Street	none	none	none
	Service Collector	50 minimum	50 minimum	50 minimum
	Minor Arterial	245 minimum	245 minimum	245 minimum
	Major arterial	300 minimum	300 minimum	300 minimum

1. The separation should be maximized.
2. Driveways on abutting lots need not be separated from each other, and may be combined into a single shared driveway.
3. Driveways over 40 feet long and serving one dwelling unit may have a paved surface 12 feet wide.
4. Notwithstanding the widths listed in this table, the minimum clearance around a fire hydrant shall be provided (See Figure 3.04D).
5. Throat length is measured from the closest off-street parking or loading space to the right-of-way. A throat applies only at entrances (See Figure 3.05B).
6. Maximum of 4 individual lots can be served from single shared driveway (See Figure 3.01D).

The subject property does not have a driveway along either of its frontages, instead it utilizes a variable-width private access easement to access Country Club Road through the adjacent property to the west (recorded via Partition Plat 2013-035). Site plans illustrate a 24-foot wide ingress/egress access to the property using this private access easement. Parking facilities are interconnected.

✓ The provisions are met.

3.04.04 Improvement Standards

The portion of a driveway on private property shall be paved with:

- A. Portland cement concrete to a minimum depth of six inches, or
- B. Asphalt concrete to a minimum depth of two inches, or
- C. Brick or pavers with a minimum depth of two and one-fourth inches.

Site plans illustrate the portion of driveway on private property will be paved.

✓ The provision is met.

3.04.05 Traffic Impact Analysis

- A. A Traffic Impact Analysis (TIA) may be required by the Director prior to the approval of a City access permit when the Director estimates a development proposal may generate either 100 or more additional, peak hour trips, or 1,000 or more additional daily trips, within ten years of a development application.
- B. A TIA shall evaluate the traffic impacts projected of a development proposal and the estimated effectiveness of potential traffic impact mitigation measures.
- C. The methodology for a TIA shall be consistent with City standards.

The submitted trip generation memo notes an increase of 8 AM peak hour trips and 8.37 PM peak hour trips as a result of the development. This is below the 100 peak hour trip threshold therefore the provisions do not apply.

⊖ The provisions are not applicable.

3.05 Off-Street Parking and Loading

3.05.01 Applicability

The provisions of this Section shall apply to the following types of development:

A. All requirements and standards of Section 3.05 shall apply to any new building or structure constructed after the effective date of the Woodburn Development Ordinance (WDO).

3.05.02 General Provisions

A. All required parking and loading spaces shall be retained and maintained in accordance with the standards of the WDO.

B. The land for off-street parking and loading areas shall either be:

1. Owned in fee title by the owner of the structure or site being served by the parking area, or
2. Subject to legal documentation to the satisfaction of the Director, establishing permanent use of off-street parking that is under separate ownership. The parking, subject to such a parking agreement, shall be in compliance with all requirements and development standards of the WDO.

The agreement shall be recorded with the County Recorder and filed with the Director.

C. When calculations for determining the number of required off-street parking spaces results in a fractional space, any fraction of a space less than one-half shall be disregarded, and a fraction of one-half or greater shall be counted as one full space.

D. Location

1. Off-street parking and loading spaces shall be provided on the same lot as the primary building or use except that:
 - b. In any zone other than RS, R1S or RM, the parking spaces may be located on another site, if such site is within 500 feet of the site containing the primary building, structure or use.
2. Off-street parking shall be located either in the same zone, in a more intensive zone or in a zone where parking is allowed as a permitted use, or subject to approval as a conditional use.
4. In non-residential districts, off-street parking and storage shall be prohibited within a setback adjacent to a street, except behind a wall. Vehicle parking within the public right-of-way shall not be eligible for fulfilling any required off-street parking requirement.

E. Setback

1. In commercial and industrial zones, the parking, loading, and circulation areas shall be set back from a street a minimum of five feet.
2. Parking, loading, and circulation areas shall be set back from a property line a minimum of five feet, unless there is a shared use agreement to the satisfaction of the Director, verifying shared use between the separate properties.

F. All vehicle parking and loading areas shall be paved to the standards of this ordinance (Section 3.04.04), except that in the IP, IL, SWIR, and P/SP zones, storage areas used for equipment that may damage pavement may be stored on a gravel-surface storage area. A gravel storage area shall be constructed to a minimum of surfacing of: six inches of one inch minus to three inch minus gravel. If three inch minus is used, the top two inches shall be one inch minus. The property owner shall maintain a gravel storage area to ensure continued drainage and dust control. A paved access apron to any paved access road is required, regardless of the storage area surface.

G. All vehicle parking, loading, and storage areas shall be graded and provide storm drainage facilities approved by the Director.

H. All parking spaces, except those for single-family and duplex dwellings, shall be constructed with bumper guards or wheel barriers that prevent vehicles from damaging structures, projecting over walkways so as to leave less than four feet of unobstructed passage, or projecting over access ways, abutting properties or rights-of-way.

I. Maneuvering areas shall be designed in compliance with this Section (Table 3.05C). Off-street parking areas shall be designed so that no backing or maneuvering within a public right-of-way is required. These provisions do not apply to single-family dwellings or duplexes.

K. Except for single-family and duplex dwellings, off-street parking spaces shall be delineated by double parallel lines on each side of a space. The total width of the lines shall delineate a separation of two feet. The lines shall be four inches wide (See Figure 3.05C).

L. For nonresidential uses:

1. Parking and loading areas should be illuminated at an average of 0.2 horizontal foot-candle at ground level (or 0.5 horizontal foot-candle if the applicant states that personal security or vandalism is a likely or severe problem), with a maximum uniformity ratio of 20:1 (maximum to minimum)
2. Entrance areas to the building should be illuminated at an average of 0.5 horizontal foot-candle at ground level (or 1.0 horizontal foot-candle if the applicant states that personal security or vandalism is a likely or severe problem), with a maximum uniformity ratio of 15:1 (maximum to minimum).
3. Illumination shall not shine or reflect onto residentially zoned property or a public street.

M. Required parking spaces shall be available for parking of operable vehicles of residents, customers, patrons and employees and shall not be used for the storage of vehicles or materials or for the parking of fleet vehicles, except for those fleet vehicles:

1. Driven by an employee to the site each work day from home, or
2. Stored during periods other than normal business hours.

3.05.03 Off-Street Parking

A. Number of Required Off-Street Parking Spaces

1. Off-street vehicle parking spaces shall be provided in amounts not less than those set forth in this Section (Table 3.05A).
2. Off-street vehicle parking spaces shall not exceed two times the amount required in this Section (Table 3.05A).

B. Accessible parking shall be provided in amounts not less than those set forth in Table 3.05B. The number of accessible spaces shall be included as part of total required vehicle parking spaces.

D. Off-street vehicle parking spaces and drive aisles shall not be smaller than specified in this Section (Table 3.05C).

Off-Street Parking Ratio Standards Table 3.05A	
Use ^{1,2}	Parking Ratio - spaces per activity unit or square feet of gross floor area
7. General retail sales (such as food and beverages, clothing, sporting goods, health and personal care items, and motor vehicle parts)	1/ 250 square feet
1. The Director may authorize parking for any use not specifically listed in this table. The applicant shall submit an analysis that identifies the parking needs, and a description of how the proposed use is similar to other uses permitted in the zone. The Director may require additional information, as needed, to document the parking needs of the proposed use. 2. There is no required parking ratio for non-residential uses and residential units above first floor commercial uses in the DDC zone (See Section 3.07.07.C.12).	

Accessible Parking Ratio Standards Table 3.05B			
Total Spaces ^{2,3}	Minimum Total Accessible Spaces ¹	Minimum Van Accessible Spaces	Minimum "Wheelchair User Only" Spaces
1 to 25	1	1	
<ol style="list-style-type: none"> "Van Accessible Spaces" and "Wheelchair User Only" are included in "Total Accessible Spaces." Facilities providing outpatient services require ten percent of the total number of parking spaces to be accessible spaces. Facilities that specialize in treatment or services for persons with mobility impairments require 20 percent of the total number of parking spaces to be accessible spaces. 			

Parking Space and Drive Aisle Dimensions Table 3.05C							
Parking Angle	Type of Space	Stall Width (feet)	Curb Length (feet)	Stripe Length (feet)	Stall to Curb (feet)	Drive Aisle Width (feet)	
						1-way	2-way
A		B	C	D	E	F	G
90°	Standard or Accessible	9.0	9.0	19.0	19.0	24.0	24.0
	Compact	7.5	7.5	15.0	15.0	22.0	
	Car Accessible Aisle	6.0	6.0	19.0	19.0	24.0	
	Van Accessible Aisle	8.0	8.0	19.0	19.0		
<ol style="list-style-type: none"> A parking space may occupy up to two feet of a landscaped area or walkway. At least four feet clear width of a walkway must be maintained. Space width is measured from the midpoint of the double stripe. Curb or wheel stops shall be utilized to prevent vehicles from encroaching on abutting properties or rights-of-way. The access aisle must be located on the passenger side of the parking space, except that two adjacent parking spaces may share a common access aisle. Where the angle of parking stalls differ across a drive aisle, the greater drive aisle width shall be provided. 							

The application materials indicate the proposed flower shop building will be 1,986.75 square feet therefore the resulting minimum parking requirement is 8 parking stalls. Plans illustrate seven parking stalls provided on-site, one of which is designated as a van accessible stall. The narrative notes the eighth required parking stall will be provided off-site at 2288 Country Club Road (Tax Lot 052W12AC05800), which is also within the CG zone.

All parking stalls will be paved and meet the 90-degree design standards outlined in Table 3.05C. The submitted photometric plan illustrates compliance with the exterior lighting provisions of 3.05.02L.

Staff adds *Condition of Approval DR-1* to address the following items:

- DR-1a: Pursuant to 3.05.02B2, the applicant shall record a shared parking agreement to establish use of one parking stall on the neighboring property 2288 Country Club Rd.
- DR-1b: Revise plans to illustrate the required bumper guards for parking stalls abutting the walkway to comply with 3.05.02H.
- DR-1c: Revise plans to illustrate and note the on-site accessible stall as a “Van Accessible Stall” to comply with Table 3.05B.

△ The provisions are met with *Condition DR-1*.

3.05.04 Off-Street Loading

A. Off-street loading spaces shall comply with the dimensional standards and amounts not less than those set forth in this Section (Table 3.05D).

B. The off-street loading facilities shall be on the same lot, or site, as the use or structure they are intended to serve. Required loading spaces and required parking spaces shall be separate and distinct, except that if authorized through a land use decision, a parking area may be used for loading during those times when the vehicle parking area is not in use.

Loading Space Requirements Table 3.05D				
Use and Area (square feet)	Minimum Number of Spaces	Minimum Size of Space (feet)		
		Width	Length	Height
Nonresidential uses, except office, in the CO, CG, and NNC zones				
0 – 9,999	1	12	30	14
10,000 – 41,999	2			
42,000 – 81,999	3			
82,000 or more	4			

Regarding loading requirements, Table 3.05D indicates one loading space is required to serve the 1,986.75 square foot flower shop. Plans illustrate a loading area north of the building next to the trash enclosure.

✓ The provisions are met.

3.06 Landscaping

3.06.01 Applicability

A. To the site area for all new or expanded non-residential development, parking and storage areas for equipment, materials and vehicles.

3.06.02 General Requirements

3.06.03 Landscaping Standards

A. Street Trees

Within the public street right-of-way abutting a development, street trees shall be planted to City standards, prior to final occupancy.

1. One tree per every entire 50 feet of street frontage shall be planted within the right-of- way, subject to vision clearance area standards and placement of public utilities.
2. Street trees shall be planted according to the property's zoning, and the abutting street's classification in the Transportation System Plan:
 - a. Large trees shall be planted along Major and Minor Arterial streets. Large trees shall also be planted along all streets in the Neighborhood Conservation Overlay District (NCOD), regardless of street classification;
 - b. Medium trees shall be planted along Service Collector and Access/Commercial Streets;
3. The Director may modify this requirement, based on physical constraints and existing conditions, including the location of driveways and utilities. Such modification may include relocating the street trees to abutting private property.

B. Site landscaping shall comply with Table 3.06A.

Planting Requirements Table 3.06A		
Location	Planting Density, Minimum	Area to be Landscaped, Minimum
Setbacks abutting a street	1 PU/15 square feet	Entire setback excluding driveways
Buffer yards	1 PU/20 square feet	Entire yard excluding off-street parking and loading areas abutting a wall
Other yards	1 PU/50 square feet	Entire yard, excluding areas subject to more intensive landscaping requirements and off-street parking and loading areas
Off-street parking and loading areas	<ul style="list-style-type: none"> • 1 small tree per 10 parking spaces; or¹ • 1 medium tree per 15 parking spaces; or¹ • 1 large tree per 25 parking spaces¹ and <ul style="list-style-type: none"> • 1 PU/20 square feet excluding required trees² 	<ul style="list-style-type: none"> • RS, R1S, RSN, RM, RMN, P/SP, CO, CG and MUV zones: 20% of the paved surface area for off-street parking, loading and circulation • DDC, NNC, IP, IL, and SWIR zones: 10% of the paved surface area for off-street parking, loading and circulation • Landscaping shall be within or immediately adjacent to paved areas
Common areas, except those approved as natural common areas in a PUD	3 PU/50 square feet	Entire common area
<ol style="list-style-type: none"> 1. Trees shall be located within off-street parking facilities, in proportion to the distribution of the parking spaces. 2. Required landscaping within a setback abutting a street or an interior lot line that is within 20 feet of parking, loading and circulation facilities may also be counted in calculating landscaping for off-street parking, loading and circulation areas. 		

Plant Unit (PU) Value Table 3.06B		
Material	Plant Unit (PU) Value	Minimum Size
1. Significant tree ¹	15 PU each	24" Diameter
2. Large tree (60-120 feet high at maturity) ¹	10 PU each	10' Height or 2" Caliper
3. Medium tree (40-60 feet high at maturity) ¹	8 PU each	10' Height or 2" Caliper
4. Small tree (18-40 feet high at maturity) ¹	4 PU each	10' Height or 2" Caliper
5. Large shrub (at maturity over 4' wide x 4' high) ¹	2 PU each	3 gallon or balled
6. Small to medium shrub (at maturity maximum 4' wide x 4' high) ¹	1 PU each	1 gallon
7. Lawn or other living ground cover ¹	1 PU / 50 square feet	
8. Berm ²	1 PU / 20 lineal feet	Minimum 2 feet high
9. Ornamental fence ²	1 PU / 20 lineal feet	2½ - 4 feet high
10. Boulder ²	1 PU each	Minimum 2 feet high
11. Sundial, obelisk, gnomon, or gazing ball ²	2 PU each	Minimum 3 feet high
12. Fountain ²	3 PU each	Minimum 3 feet high
13. Bench or chair ²	0.5 PU / lineal foot	
14. Raised planting bed constructed of brick, stone or similar material except CMU ²	0.5 PU / lineal foot of greatest dimension	Minimum 1 foot high, minimum 1 foot wide in least interior dimension
15. Water feature incorporating stormwater detention ²	2 per 50 square feet	None
1. Existing vegetation that is retained has the same plant unit value as planted vegetation. 2. No more than twenty percent (20%) of the required plant units may be satisfied by items in lines 8 through 15.		

The proposal is for a new 1,986.75 square foot flower shop in the CG zone. The landscape plan illustrates the general requirements of 3.06.02 are met. The narrative notes the proposed landscaping improvements are comprised of plant materials that do not require irrigation.

Plans note the subject property has approximately 147.25 feet of frontage along Newberg Highway, a Major Arterial street, and approximately 183.63 feet of frontage along Country Club Road, an Access street. The associated street tree requirements are therefore two large street trees along Newberg Highway and three medium street trees along Country Club Road. The landscape plan illustrates one tree on private property along the Newberg Highway frontage

and four medium trees within the landscape strip along Country Club Road. The applicant included a Street Exception request to maintain the existing curbtight sidewalk along Newberg Highway, and 3.06.03A.3. allows street trees within private property, therefore the tree along Newberg Highway can count as a street tree. Staff adds *Condition of Approval DR-2* to update the landscape plan with a second street tree along the Newberg Highway frontage.

The landscape plan tabulates the Plant Unit (PU) requirement per Table 3.06B and provides a planting schedule for the proposed landscaping per Table 3.06C.

△ The provisions are met with *Condition DR-2*.

3.06.05 Screening

A. Screening between zones and uses shall comply with Table 3.06D.

Screening Requirements Table 3.06D	
N = No screening required F = Sight-obscuring fence required W = Architectural wall required D = Architectural wall, fence, or hedge may be required in the Design Review process	
Adjacent properties – zone or use that receives the benefit of screening Property being Developed – must provide screening if no comparable screening exists on abutting protected property	CG or MUV zone
CG or MUV zone	D
Refuse and recycling collection facilities except for single-family dwelling, duplex, child care facility, or group home	W ^{2,6,7}
2. Six to seven feet in height 6. In industrial zones, screening is required only where the refuse collection facility is in a yard abutting a public street, parking lot, or residentially zoned property. 7. Child care facility for 12 or fewer children, group home for five or fewer persons.	

General notes:

9. Screening is subject to height limitations for Vision Clearance Areas (Section 3.03.06) and adjacent to streets (Section 2.01.02).
10. No screening is required where a building wall abuts a property line.
11. Where a wall is required and is located more than two feet from the property line, the yard areas on the exterior of the wall shall be landscaped to a density of one plant unit per 20

B. All parking areas, except those for single-family and duplex dwellings, abutting a street shall provide a 42-inch vertical visual screen from the abutting street grade. Acceptable design techniques to provide the screening include plant materials, berms, architectural walls, and depressed grade for the parking area. All screening shall comply with the clear vision standards of this ordinance (Section 3.03.06).

The proposal is for a new 1,986.75 square foot flower shop in the CG zone. The property only abuts adjacent private property on its west side, which is also CG property. Table 3.06D does not require screening along this boundary.

Plans illustrate and note an exterior trash enclosure on the north side of the building. Table 3.06D requires screening for trash enclosures, elevation sheets illustrate the trash enclosure will be behind an architectural wall.

The landscape plan illustrates shrubbery forming a visual screen along the frontage where the parking area is located.

✓ The provisions are met.

3.06.06 Architectural Walls

A. Screening between zones and uses shall comply with Table 3.06D.

B. Design Standards and Guidelines

1. An architectural wall shall meet the texture, color, and articulation requirements on the face away from the proposed development.
2. An architectural wall should meet the texture, color, and articulation requirements on the face toward the proposed development.
3. An architectural wall shall have a minimum three inch horizontal articulation of at least one linear foot of the wall of intervals not more than 40 feet; and
4. An architectural wall shall have a minimum six inch vertical articulation of at least one linear foot of the wall of intervals not more than 40 feet.
5. An architectural wall shall incorporate at least two colors.
6. An architectural wall shall have an earth tone coloration other than grey on at least eighty percent (80%) of the surface.
7. An architectural wall shall be architecturally treated with scoring, texture, or pattern on at least eighty percent (80%) of the surface.

Plans illustrate and note a trash enclosure behind an architectural wall however they do not include design details illustrating conformance with the standards outlined in 3.06.06B. Staff

therefore adds *Condition of Approval DR-3* to include these details as part of the building permit application submittal.

△ The provisions are met with *Condition DR-3*.

3.07 Architectural Design

3.07.01 Applicability of Architectural Design Standards and Guidelines

A. For a Type I review, the criteria of this Section shall be read as “shall” and shall be applied as standards. For a Type II or III review, the criteria of this Section shall be read as “should” and shall be applied as guidelines.

3.07.06 Standards for Non-Residential Structures in Residential, Commercial and Public/Semi-Public Zones

A. The following design guidelines shall be applicable to all non-residential structures and buildings in the RS, RSN, R1S, RM, RMN, CO, CG, and P/SP zones.

B. Architectural Design Guidelines

1. Mass and Bulk Articulation Guidelines

a. Building facades visible from streets and public parking areas should be articulated, in order to avoid the appearance of box-like structures with unbroken wall surfaces.

b. The appearance of exterior walls should be enhanced by incorporating three-dimensional design features, including the following:

- (1) Public doorways or passage ways through the building
- (2) Wall offsets or projections
- (3) Variation in building materials or textures
- (4) Arcades, awnings, canopies or porches

2. Materials and Texture Guidelines

a. Building exteriors should exhibit finishes and textures that reduce the visual monotony of bulky structures and large structural spaces. Building exteriors should enhance visual interest of wall surfaces and harmonize with the structural design.

b. The appearance of exterior surfaces should be enhanced by incorporating the following:

- (1) At least 30% of the wall surface abutting a street should be glass.
- (2) All walls visible from a street or public parking area should be surfaced with wood, brick, stone, designer block, or stucco, or with siding that has the appearance of wood lap siding.
- (3) The use of plain concrete, plain concrete block, corrugated metal, plywood, T-111 and sheet composite siding as exterior finish materials for walls visible from a street or parking area should be avoided.
- (4) The color of at least 90 percent of the wall, roof and awning surface visible from a street or public parking area should be an “earth tone” color containing 10 parts, or more of brown or a “tinted” color, containing 10 parts or more white.
- (5) Fluorescent, “day-glo,” or any similar bright color shall not be used on the building exterior.

3. Multi-Planed Roof Guidelines

a. The roof line at the top of a structure should establish a distinctive top to the building.

b. The roof line should not be flat or hold the same roof line over extended distances. Rather, the roof line should incorporate variations, such as:

- (1) Offsets or jogs in the plane of the roof;
- (2) Changes in the height of the exterior wall for flat roof buildings, including parapet walls with variations in elevation or cornices

4. Roof-Mounted Equipment Guidelines

All roof-mounted equipment, except solar collectors, should be screened from view by:

- a. Locating roof-mounted equipment below the highest vertical element of the building, or
- b. Screening roof-mounted equipment using materials of the same character as the structure's basic materials

5. Weather Protection Guidelines

All building faces abutting a street or a public parking area should provide weather protection for pedestrians. Features to provide this protection should include:

- a. A continuous walkway at least eight feet wide along the face of the building utilizing a roof overhang, arcade, awnings or canopies
- b. Awnings and canopies that incorporate the following design features:
 - (1) Angled or curved surfaces facing a street or parking area
 - (2) A covering of fabric, or matte finish vinyl
 - (3) A constant color and pattern scheme for all buildings within the same development
 - (4) No internal back lighting

6. Solar Access Protection

Obstruction of existing solar collectors on abutting properties by site development should be minimized.

C. Building Location Guidelines

1. Within the prescribed setbacks, building location and orientation should compliment abutting uses and development patterns.
2. The maximum yard abutting a street should be 150 feet.

The proposal is a Type II review, meaning the provisions of 3.07.06 are guidelines. The elevations show largely what the provisions describe.

✓ The provisions are met.

3.08 Partitions and Subdivisions

⊖ The proposal does not include a partition or subdivision.

3.09 Planned Unit Developments

⊖ The proposal does not include a planned unit development.

3.10 Signs

⊖ Signage is reviewed separately through a Sign Permit application.

4.01 Decision-Making Procedures

4.01.07 Consolidated Applications

An applicant may request, in writing, to consolidate applications needed for a single development project. Under a consolidated review, all applications shall be processed following the procedures applicable for the highest type decision requested. It is the express policy of the City that development review not be segmented into discrete parts in a manner that precludes a comprehensive review of the entire development and its cumulative impacts.

The application package consists of a Type II Design Review and a Type II Street Exception. Per 4.01.07, the two are consolidated and reviewed at the Type II level.

5.02 Type II (Quasi-Administrative) Decisions

5.02.03 Design Review, Type II

A. Purpose: The purpose of Type II design review is to ensure that new buildings or additions to existing buildings comply with Land Use and Development Guidelines and Standards of this ordinance (Sections 2 and 3).

B. Applicability: Type II Design Review is required for the following:

- 2. Structures 2,000 square feet or less than in the CO, CG, DDC, and NNC zones.

The proposal is for a new 1,986.75 square foot flower shop in the CG zone therefore the Design Review is a Type II.

✓ The provisions are met.

Street Exception Provisions

5.02.04 Exception to Street Right of Way and Improvement Requirements

A. Purpose: The purpose of a Type II Street Exception is to allow deviation from the street standards required by this Ordinance (Section 3.01) for the functional classification of streets identified in the Woodburn Transportation System Plan. An exception for a development reviewed as a Type I or II application shall be considered as a Type II application, while development reviewed as a Type III application shall be considered a Type III application.

B. Criteria:

- 1. The estimated extent, on a quantitative basis, to which the rights-of-way and improvements will be used by persons served by the building or development, and whether the use is for safety or convenience;
- 2. The estimated level, on a quantitative basis, of rights-of-way and improvements needed to meet the estimated extent of use by persons served by the building or development;
- 3. The estimated impact, on a quantitative basis, of the building or development on the public infrastructure system of which the rights-of-way and improvements will be a part;
- 4. The estimated level, on a quantitative basis, of rights-of-way and improvements needed to mitigate the estimated impact on the public infrastructure system.

C. Proportionate Reduction in Standards: An exception to reduce a street right-of-way or cross-section requirement below the functional classification standard may be approved when a lesser standard is justified, based on the nature and extent of the impacts of the proposed development. No exception may be granted from applicable construction specifications.

D. Minimum Standards: To ensure a safe and functional street with capacity to meet current demands and to ensure safety for vehicles, bicyclists and pedestrians, as well as other forms of non-vehicular traffic, there are minimum standards for rights-of-way and improvements that must be provided to meet the standards of this Ordinance (Section 3.01).

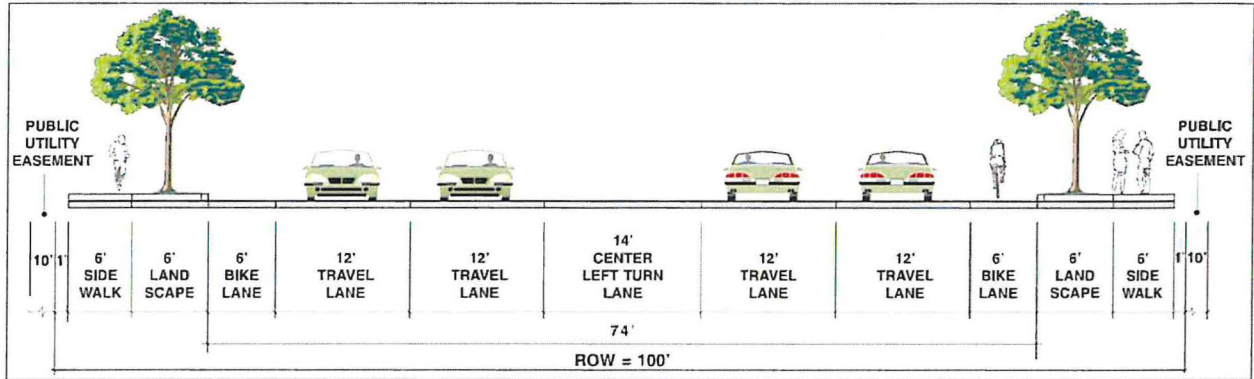


Figure 3.01B – Major Arterial

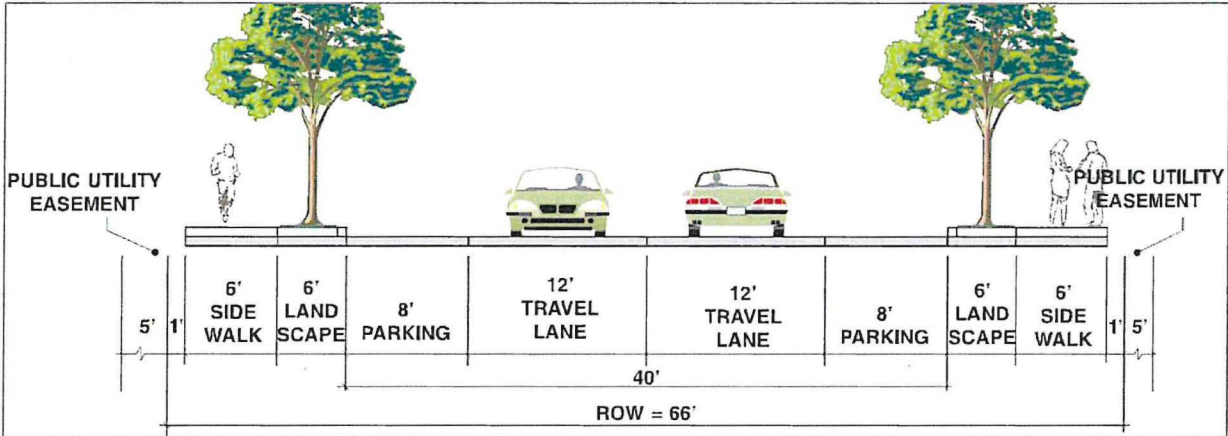


Figure 3.01E – Access Street / Commercial Street

As noted in the analysis for 3.01, the subject property has frontage along Newberg Highway and Country Club Road. Figure 2 from the Woodburn Transportation System Plan (TSP) identifies Newberg Highway as a Major Arterial street and Country Club Road as an Access street. The applicable WDO cross-sections are Figure 3.01B and Figure 3.01E.

The applicant included a Street Exception request to maintain existing Newberg Highway improvements and not dedicate additional ROW along Country Club Road. Comparing the existing conditions of Newberg Highway to Figure 3.01B, the only nonconforming element is the curbtight sidewalk, which does not match the 6-ft landscape strip and 6-ft buffered sidewalk design. ROW width along the Country Club Road frontage varies due to the intersection with Newberg Highway, however plans appear to show a 3-foot dedication would be required to meet the minimum half-street width of 33 feet from centerline for an Access Street.

In response to the street improvement requirements along Newberg Highway, the applicant’s narrative states:

The existing ODOT right of way has existed, as is, since the widening of Highway 214/Newberg Highway. Existing construction (all relatively new within the past five years) to the west of the subject property exists as was originally constructed. To

require the property Owner of the subject property to make right of way improvements different than that already in place seems punitive.

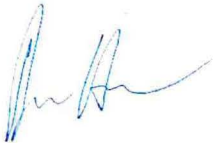
Staff generally concurs with the applicant and accepts the Street Exception request with *Condition of Approval EXCP-1* to ensure new improvements along Country Club Road (6-foot sidewalk and 6-foot landscape strip) are either within right-of-way or a streetside PUE.

▲ The provisions are met with *Condition EXCP-1*.

Conclusion

Staff finds that the application meets WDO provisions or can meet them with conditions and approves it with conditions.

Submitted by:



Dan Handel, AICP, Associate Planner

Affirmed,



Chris Kerr, Community Development Director

Attachments:

101. Approved site plans
102. Tax Map, marked
103. Partition Plat 2013-035
104. Trip generation memo

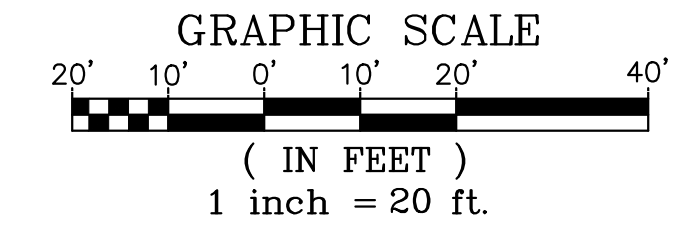
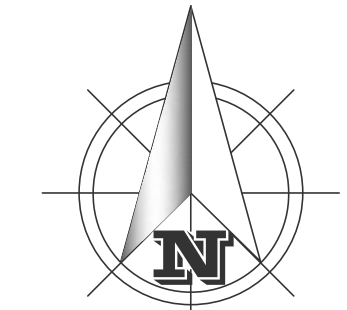
Expiration: Per WDO 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

Appeals: Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal due date is twelve (12) days from the mailing date of this notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

Any person who is adversely affected or aggrieved or who is entitled to written notice of the decision may appeal the decision. The decision will not become final until the period for filing an appeal to the City Council has expired, and it cannot be appealed directly to the Oregon Land Use Board of Appeals (LUBA). This document is a copy of the decision. A copy of the decision is also available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071 during normal business hours. For questions or additional information, contact the Community Development Department at (503) 982-5246 or planning@ci.woodburn.or.us.

TOPOGRAPHIC SURVEY



ABBREVIATIONS

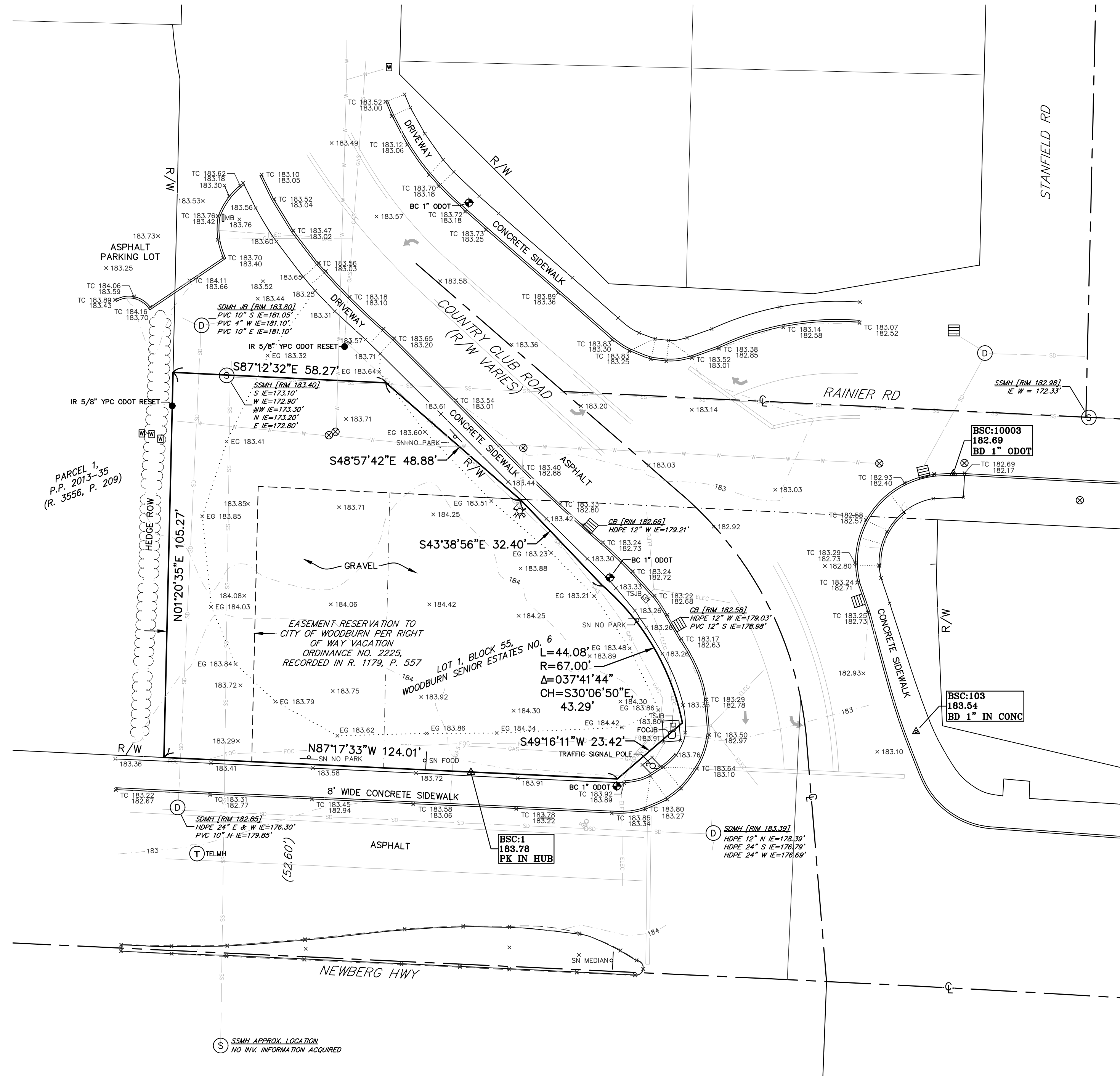
ASPH	ASPHALT	IRR	IRRIGATION
AD	AREA DRAIN	INV	INVERT
ASSY	ASSEMBLY	JB	JUNCTION BOX
BLDG, BLD	BUILDING	LP	LIGHT POLE
BW	BOTTOM OF WALL	M	METER, MAIN
CATV	CABLE TELEVISION	MB	MAILBOX
CB	CATCH BASIN	MH	MANHOLE
CO	CLEAN-OUT	OH	OVER-HEAD
CONC	CONCRETE	P/L, R	PROPERTY LINE
CL	CENTERLINE	PP	POWER POLE
DIP	DUCTILE IRON PIPE	PVC	POLYVINYL CHLORIDE
EG	EDGE OF GRAVEL	PWR	POWER
EOP, EP	EDGE OF PAVEMENT	R, RAD	RADIUS
ELEV	ELEVATION	R/W, R/W	RIGHT-OF-WAY
EX, EXIST	EXISTING	SS	SANITARY SEWER
FDC	FIRE DEPT. CONNECTOR	SD	STORM DRAIN
FT	FEET	SVC	SERVICE
FF	FINISH FLOOR	SWK, S/W	SIDEWALK
FG	FINISH GRADE	TC	TOP OF CURB
FH	FIRE HYDRANT	TEL	TELEPHONE
FI	FIELD INLET	TR	TRANSFORMER
FM	FORCE MAIN	TS	TRAFFIC SIGNAL
GRAV	GRAVEL	TW	TOP OF WALL
GM	GAS METER	UTL	UTILITY
GP	GATE POST	UG, U/G	UNDER GROUND
GS	GROUND SHOT	VALT	VAULT
GV	GAS VALVE	W	W/TH
HC	HANDICAP	WM	WATER METER
HYD	HYDRANT	WLM	WETLANDS MARKER
IR	IRON ROD	YPC	YELLOW PLASTIC CAP
IP	IRON PIPE		

SYMBOLS

AD	AREA DRAIN	⚡	SIGN POST
CB or	CATCH BASIN	PEPO	PEDESTAL
CO	CLEANOUT	MAIL BOX	MAIL BOX
FH	FIRE HYDRANT	⊙	IRRIGATION VALVE
ov	GAS VALVE	*	LIGHT POLE
wv	WATER VALVE	⊕	UTILITY/POWER POLES
⊕	GAS/POWER/WATER METER	⊕	TEST PIT
DSO	DOWN SPOUT	●	MONUMENT FOUND
⊕	MANHOLE TELEPHONE		
⊕	MANHOLE STORM DRAIN		
⊕	MANHOLE SANITARY SEWER		
⊙	TREES - *TREENAME* DIAMETER (INCHES)/DRIP RADIUS (FEET)		
	NOTE: DIAMETER MEASURED AT BREAST HEIGHT		

LINE TYPES

CATV LINE	CATV	CATV	CATV	CATV	CATV	CATV	CATV	CATV	CATV
COMMUNICATION LINE	COM	COM	COM	COM	COM	COM	COM	COM	COM
EASEMENT LINE									
FENCE LINE									
FIBER OPTIC LINE	FOC	FOC	FOC	FOC	FOC	FOC	FOC	FOC	FOC
GAS LINE	GAS	GAS	GAS	GAS	GAS	GAS	GAS	GAS	GAS
EDGE OF GRAVEL LINE	OH LINES	OH LINES	OH LINES	OH LINES	OH LINES	OH LINES	OH LINES	OH LINES	OH LINES
OVERHEAD LINE	PH	PH	PH	PH	PH	PH	PH	PH	PH
PHONE LINE	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC
POWER LINE	SS	SS	SS	SS	SS	SS	SS	SS	SS
SANITARY SEWER LINE	SD	SD	SD	SD	SD	SD	SD	SD	SD
STORM DRAIN LINE									
WATER LINE									



DISCLAIMER: UTILITIES DEPICTED ARE BASED ON EVIDENCE FOUND IN THE FIELD, MUNICIPALITY AND/OR OTHER GOVERNMENT ENTITY AS-BUILT PLANS, CONTRACTOR PLANS AND OTHER DOCUMENTS OF RECORD. BARKER SURVEYING ASSUMES NO RESPONSIBILITY FOR UTILITIES THAT ARE NO LONGER IN USE, INSTALLED AFTER THE DATE OF ACTUAL SURVEY, NOT IDENTIFIED OR NOT LOCATED. THIS INCLUDES UTILITIES UPON PUBLIC OR PRIVATE PROPERTY.

SPECIFIC UTILITY POSITIONS INDICATED ON THE GROUND SURFACE PROVIDED BY LOCATION SERVICES MAY VARY DUE TO UNDERGROUND DETECTION CAPABILITIES.

BENCHMARK UTILIZED: NGS PID - RD1528
ELEV: 184.38' NGVD 29

A verton adjustment of -3.36' was applied to the published NAVD 88 elevation to reach NGVD 29 datum.

LOCATED AT 1777 EAST LINCOLN ST., 94.8 FT SOUTHWEST OF THE SOUTHWEST CORNER OF WASHINGTON SCHOOL, AT 1777 EAST LINCOLN STREET, 71.2 FT NORTH OF THE CENTERLINE OF SAID STREET, 34.4 FT WEST OF THE CENTER OF AN EXIT DRIVEWAY, AND 3.6 FT SOUTH OF THE SOUTH EDGE OF A PARKING LOT.
 NOTE - ACCESS TO DATUM POINT IS HAD THROUGH A 5-INCH LOGO CAP.

ATTACHMENT 101

BARKER SURVEYING

REGISTERED PROFESSIONAL LAND SURVEYOR
 OREGON
 JULY 19, 1994
GREGORY L. WILSON
 2687

EXPIRATION DATE: 6/30/2020

REGISTERED PROFESSIONAL LAND SURVEYOR	PAMELA BAKER
LOCATION: 2515 NEWBERG HWY	
NE 1/4 & SE 1/4 SEC. 12, T5S, R2W, W.M.	
CITY OF WOODBURN, MARION COUNTY, OREGON	
SCALE: 1"=20'	DATE: 5/24/2019
DRAWN BY: R.J.C.	JOB NUMBER: 41296

BARKER SURVEYING
 3657 KASHMIR WAY SE
 SALEM, OREGON 97317
 PHONE (503) 588-8800
 FAX (503) 363-2469
 EMAIL: INFO@BARKERWILSON.COM

NEW FLORIST BUILDING
FOR
VALLEY PACIFIC FLORAL

2515 NEWBERG HIGHWAY

WOODBURN, OREGON 97071

ARCHITECT



Randal S. Saunders Architect/President

2225 COUNTRY CLUB RD. (503) 982-1211
WOODBURN, OREGON 97071 (503) 370-7929

DRAWN BY : CNP
CHECKED BY : R55
APPROVED BY : R55
Copyright 2021

NEW FLORIST BUILDING
FOR
VALLEY PACIFIC FLORAL

KEY NOTES:

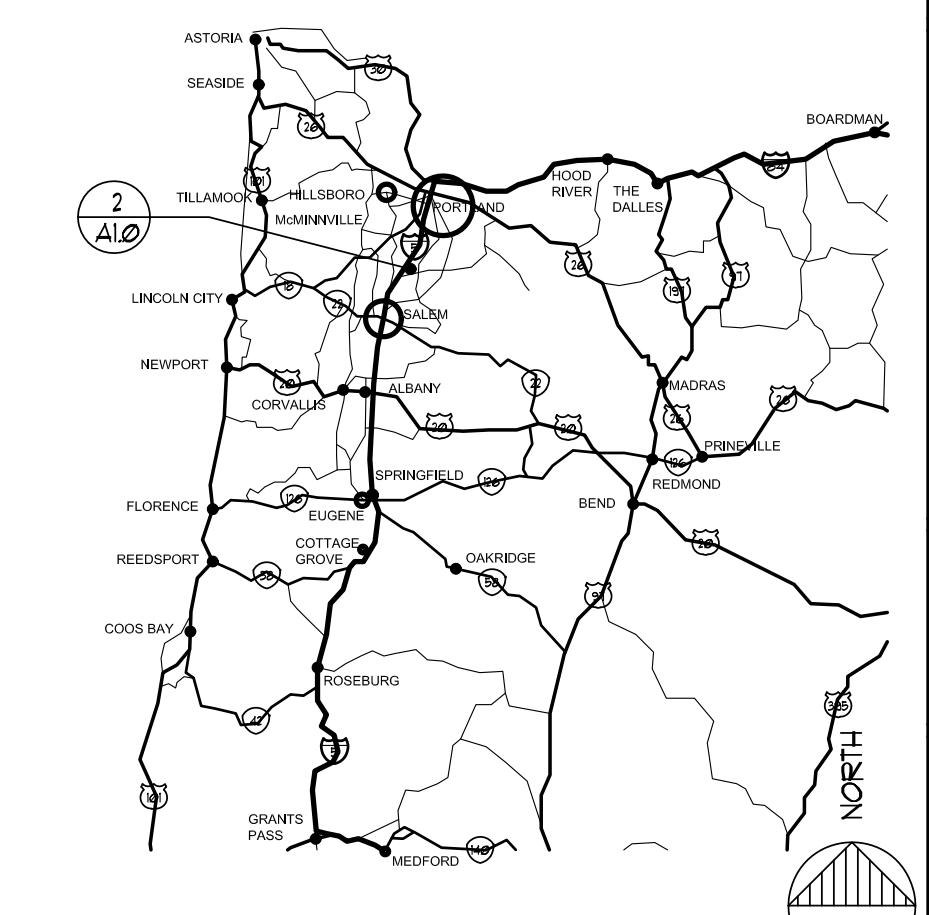
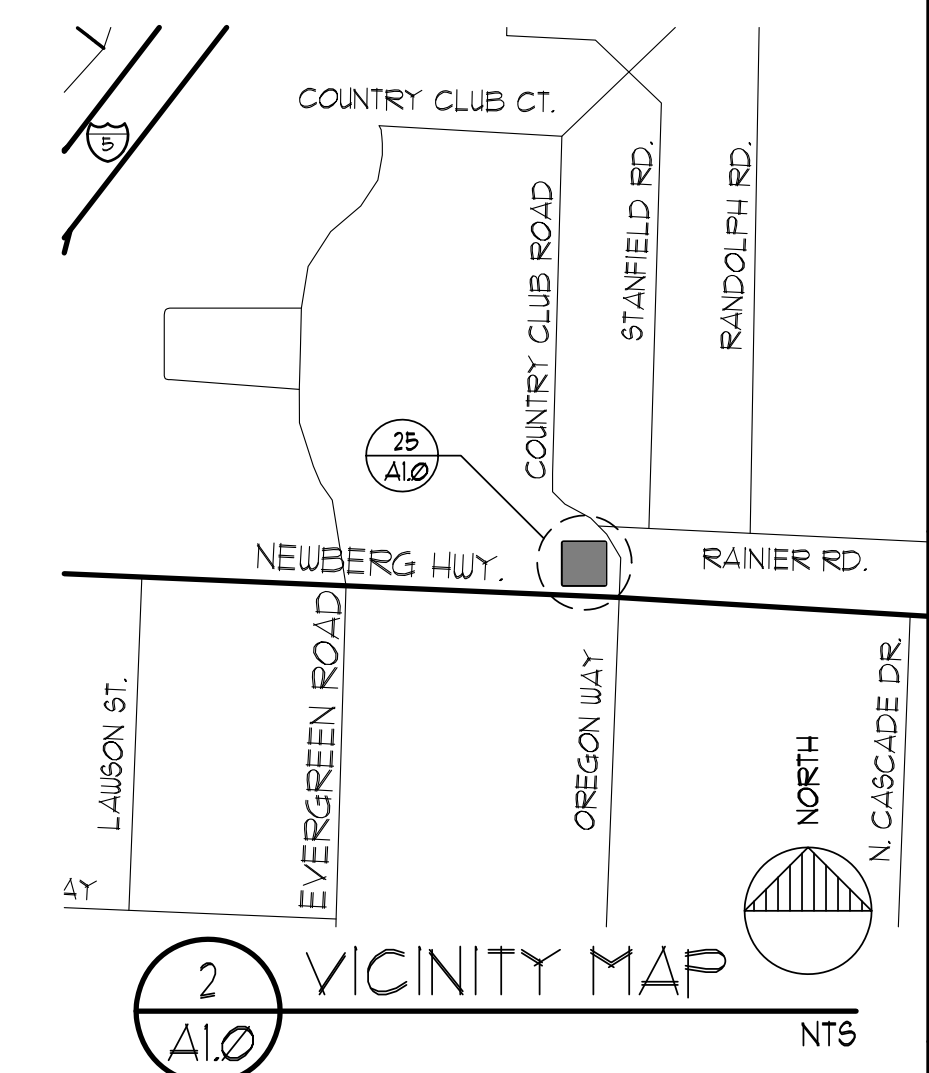
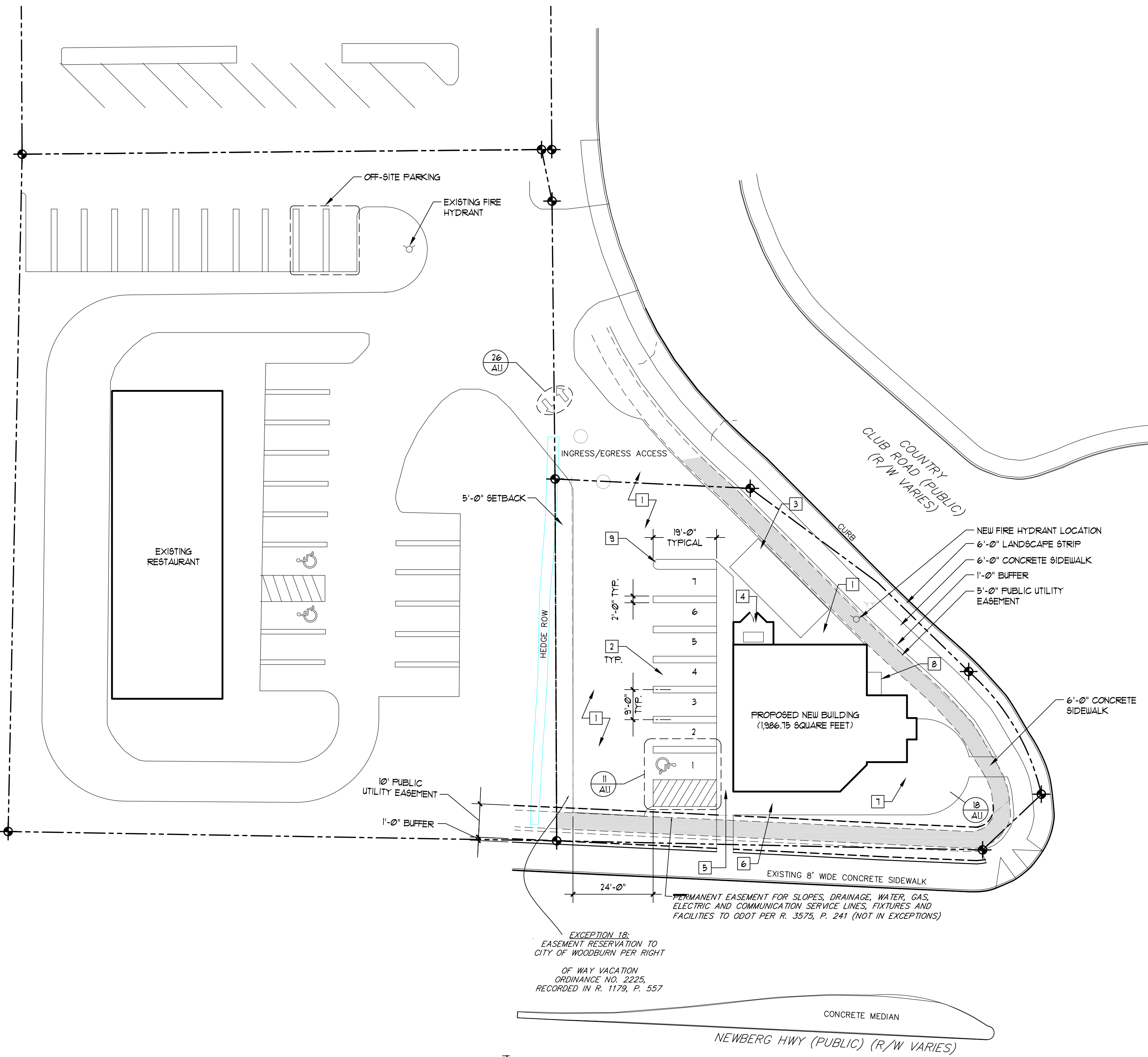
- 1 PAVED AREA SEE (14) ALL
- 2 9'-0" x 15'-0" PARKING SPACE SEE (3) ALL
- 3 12'-0" x 30'-0" LOADING AREA
- 4 GARBAGE DUMPSTER ENCLOSURE SEE (9) ALL
- 5 5'-0" WIDE SIDEWALK SEE (18) ALL
- 6 1'-0" WIDE SIDEWALK SEE (18) ALL
- 7 CONCRETE PATIO
- 8 CONCRETE EQUIPMENT PAD SEE (22) ALL
- 9 LANDSCAPE ISLAND

PROJECT DESCRIPTION

CONSTRUCTION OF A NEW 1986.75 SQUARE FEET SINGLE STORY FLORIST BUILDING ON A VACANT 21 ACRE LOT.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
2. ANY CHANGES OR DEVIATIONS FROM THESE PLANS NEED TO BE APPROVED BY THE ARCHITECT.
3. IF DIMENSIONS ARE MISSING OR IN QUESTION CALL THE ARCHITECT. DO NOT SCALE OFF OF PLANS.
4. GENERAL CONTRACTOR SHALL VISIT THE SITE TO CHECK EXISTING CONDITIONS. SHOULD CONTRACTOR FIND CONDITIONS WHICH THEY BELIEVE WOULD IMPED THE WORK OR FIND DISCREPANCIES BETWEEN THE PLANS AND EXISTING SITE CONDITIONS, SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT PRIOR TO START OF THE WORK ON SITE. FAILURE TO ADVISE WILL CONSTITUTE NOTICE THAT CONTRACTOR IS FULLY SATISFIED WITH THE EXISTING CONDITIONS AND THAT THEY INTEND TO PERFORM THEIR OBLIGATIONS WITH NO IMPEDIMENTS TO THEIR WORK.
5. ITEMS NOT INDICATED IN THESE DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK SHALL BE FURNISHED BY THE CONTRACTOR AS THOUGH IT WERE DETAILED HEREIN.
6. PORTABLE FIRE EXTINGUISHERS SHALL BE PER NFPA #10, 2-A, 10-BC RATED MINIMUM UNLESS NOTED OTHERWISE. KITCHEN EXTINGUISHERS SHALL BE TYPE K, IF ANY.
7. EXIT WAYS SHALL BE ILLUMINATED BY BACK-UP POWER. THE CONTRACTOR SHALL PROVIDE EMERGENCY LIGHTING TESTING PRIOR TO INSPECTION BY DISCONNECTING THE MAIN.
8. THE UNLATCHING OF ANY LEAF OF ANY EXIT DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION.
9. HANDLES, PULLS, LATCHES AND LOCKS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING, OR TWISTING OF THE WRIST TO OPERATE.
10. THE FORCE REQUIRED TO ACTIVATE DOOR HARDWARE NOTED ABOVE, OTHER THAN EXTERIOR DOORS, SHALL NOT BE GREATER THAN FIVE (5) POUNDS FORCE.
11. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
12. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURERS' WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.
13. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THEIR BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND/OR INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURE AND FOR COORDINATION ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
14. DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS.
15. ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER, ACCEPTABLE TO OWNER.
16. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
17. CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING).
18. UNLESS OTHERWISE SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
19. THE CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND ALL WORK WILL BE GOOD QUALITY, FREE FROM FAILTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD NO INTERIOR OR NON-CONFORMING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE ARCHITECT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT.
20. THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY OR GUARANTY OR REMEDY REQUIRED BY LAW OR BY THE CONSTRUCTION DOCUMENTS.



25 SITE PLAN
OPTION 2
1"=20'-0"

PLOT DATE/TIME: DATE: 10/22/2021 TIME: 09:01 FILE: COVER SHEET

REVISIONS

A PROFESSIONAL CORPORATION

2225 COUNTRY CLUB ROAD
WOODBURN, OREGON 97071
(503) 982-1211

PROJECT NO.: 2111
DATE: AUG. 2021
DRAWING NO.: A1.0

PROJECT BENCH MARK:

BENCHMARK UTILIZED: NGS PID- RD1528
ELEVATION: 184.38' NGVD 29

A VERTCON ADJUSTMENT OF -3.36' WAS APPLIED TO THE PUBLISHED NAVD 88 ELEVATION TO REACH NGVD 29 DATUM.

LOCATED AT 1777 EAST LINCOLN ST, 94.8 FT SOUTHWEST OF THE SOUTHWEST CORNER OF WASHINGTON SCHOOL AT 1777 EAST LINCOLN STREET, 71.2 FT NORTH OF THE CENTERLINE OF SAID STREET, 34.4 FT WEST OF THE CENTER OF AN EXIT DRIVEWAY, AND 3.6 FT SOUTH OF THE SOUTH EDGE OF A PARKING LOT.

NOTE- ACCESS OF DATUM POINT IS HAD THROUGH A 5-INCH LOGO CAP.

18543 YORBA LINDA BLVD
#235
YORBA LINDA, CA 92886
714.749.3077
WWW.BLUEPEAKENGINEERING.COM



DRAWING ISSUE RECORD

DATE	DESCRIPTION

REVISION RECORD

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

FLORIST SHOP
2515 NEWBERG HWY
WOODBURN, OREGON 97071

PROFESSIONAL SEAL



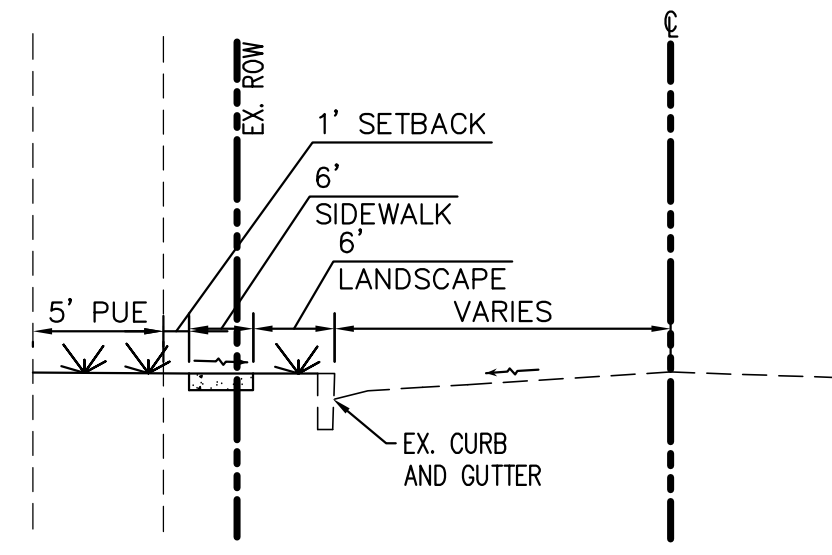
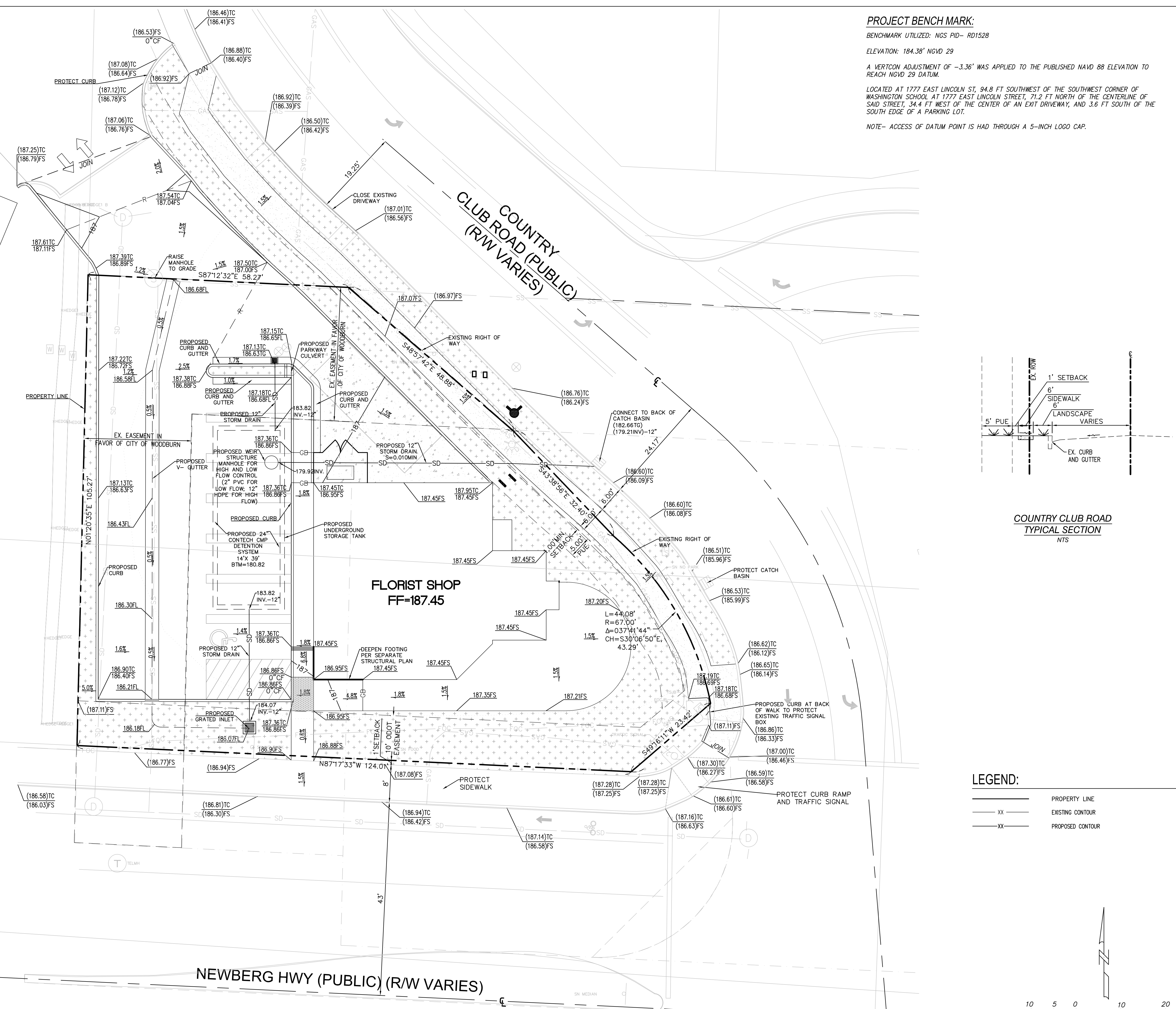
SHEET TITLE

PRELIMINARY GRADING PLAN

SHEET NUMBER

1 - of - 3

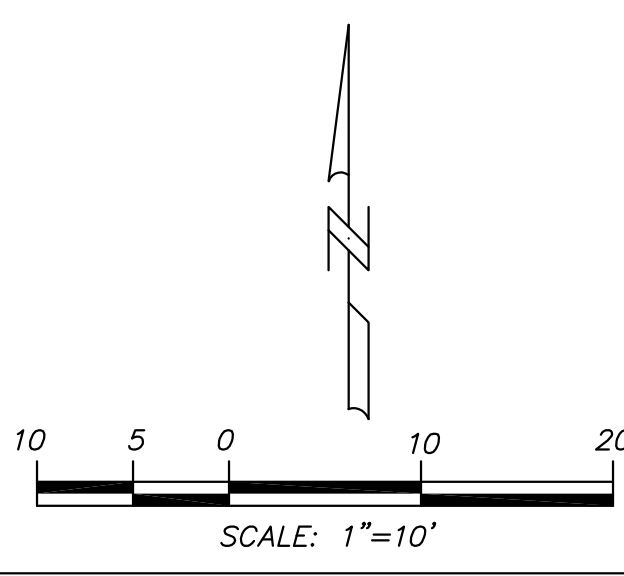
BLUE PEAK JOB #: 0912
DATE: 07/30/2021



COUNTRY CLUB ROAD TYPICAL SECTION
NTS

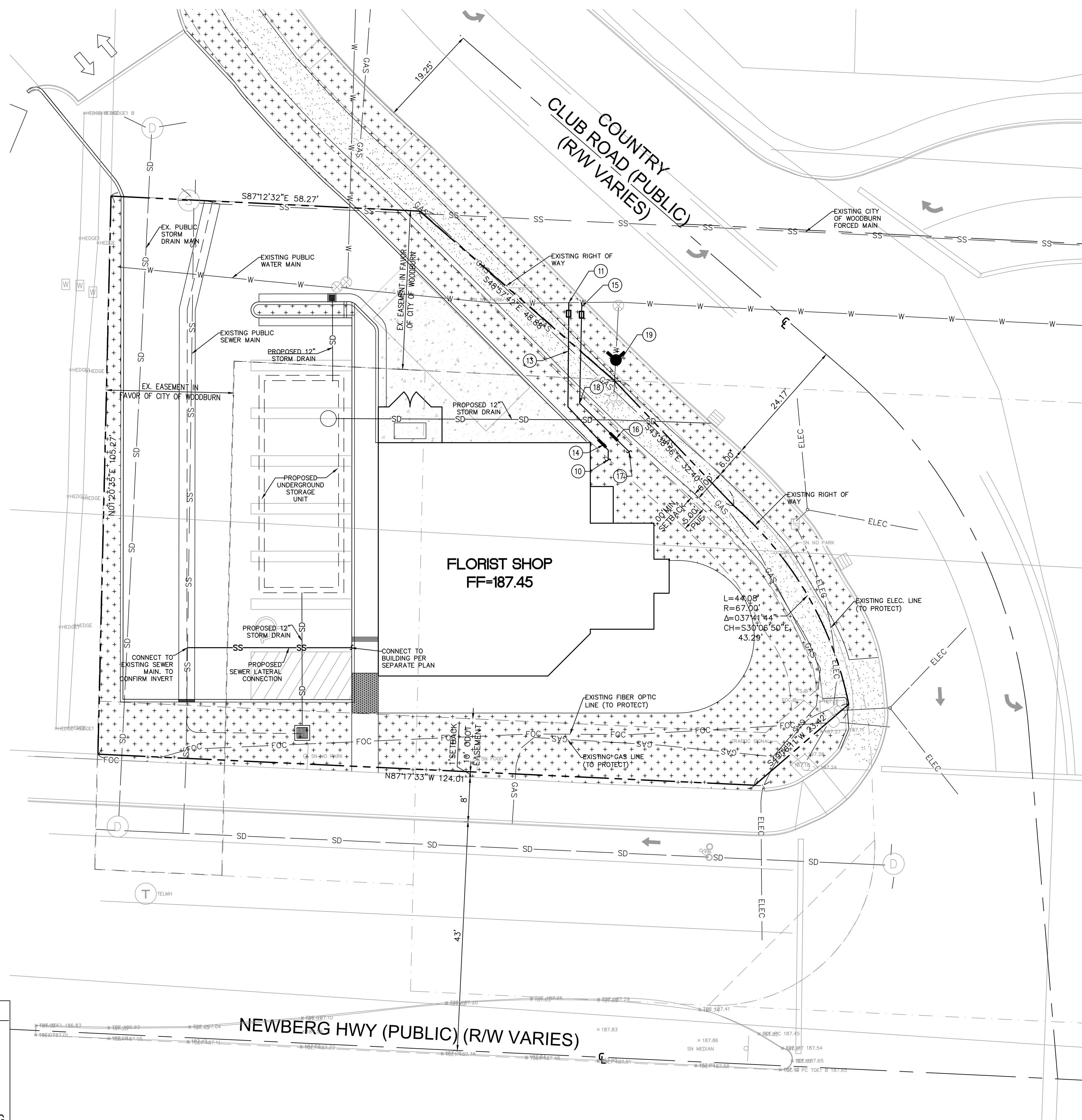
LEGEND:

- P — PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR



DIGALERT

CALL BEFORE YOU DIG
1-800-227-2600
AT LEAST
2 WORKING DAY
NOTICE REQUIRED



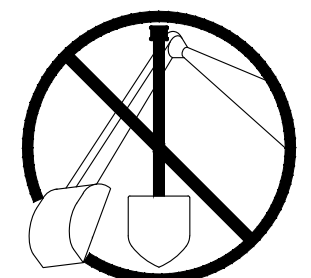
WATER CONSTRUCTION NOTES:

- 10 BUILDING POINT OF CONNECTION. SEE SEPARATE PLUMBING PLANS FOR CONTINUATION.
- 11 INSTALL 2" DOMESTIC WATER METER AND SERVICE PER CITY OF WOODBURN STD. PLAN 5000-4.
- 12 INSTALL WATER METER BOX PER CITY OF WOODBURN STD. PLAN 5050-1.
- 13 INSTALL 2" PVC SCHEDULE 80 WATER LINE PER CITY OF WOODBURN STD. PLAN 5000-6
- 14 INSTALL 2" DOMESTIC WATER BACKFLOW PREVENTER PER CITY OF WOODBURN STANDARD AND SPECIFICATIONS
- 15 INSTALL 1" IRRIGATION WATER METER AND SERVICE PER CITY OF WOODBURN STD PLAN 5000-4.
- 16 INSTALL 1" BACKFLOW PREVENTER PER CITY OF WOODBURN STANDARD AND SPECIFICATION
- 17 IRRIGATION POINT OF CONNECTION. SEE SEPARATE LANDSCAPE PLANS FOR CONTINUATION.
- 18 INSTALL 1" PVC SCHEDULE 80 WATER LINE PER CITY OF WOODBURN STD PLAN 5000-6
- 19 RELOCATE PUBLIC FIRE HYDRANT PER CITY OF WOODBURN STD. PLAN 5070-1

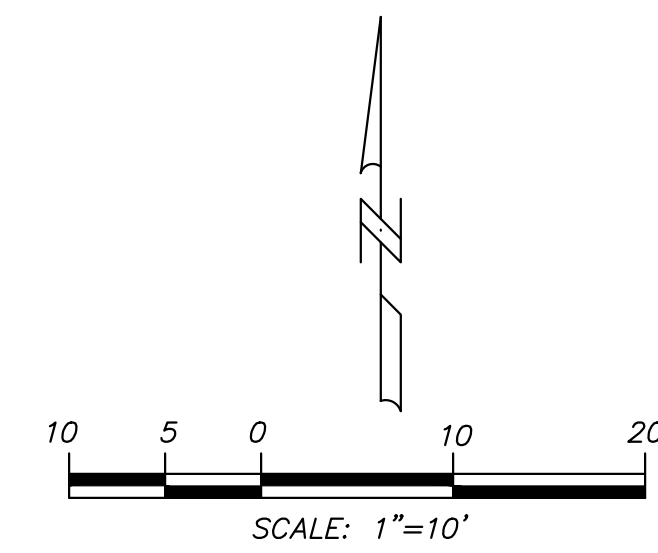


DRAWING ISSUE RECORD		
DATE	DESCRIPTION	
REVISION RECORD		
NO.	DATE	DESCRIPTION
PROJECT INFORMATION		

DIGALERT

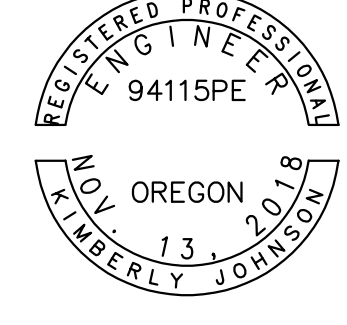


CALL BEFORE YOU DIG
1-800-227-2600
AT LEAST
2 WORKING DAY
NOTICE REQUIRED



FLORIST SHOP
2515 NEWBERG HWY
WOODBURN, OREGON 97071

PROFESSIONAL SEAL



SHEET TITLE

PRELIMINARY UTILITIES PLAN

SHEET NUMBER

2 - OF - 3

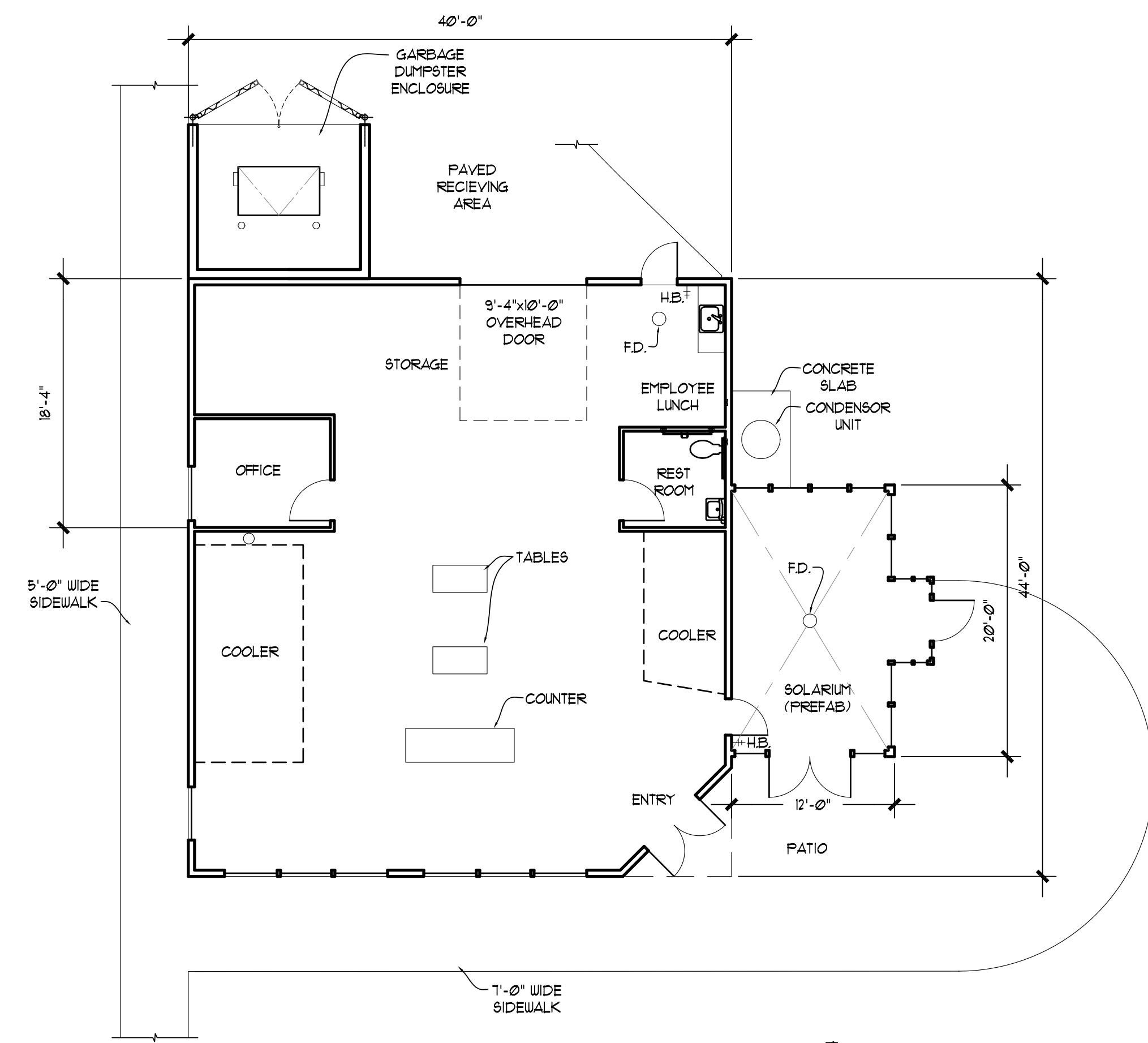
BLUE PEAK JOB #: 0912
DATE: 07/30/2021

DRAWN BY :
CNP
CHECKED :
RSS
APPROVED :
RSS

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NEW FLORIST BUILDING
FOR
VALLEY PACIFIC FLORAL

WOODBURN, OREGON 97071
2515 NEUBERG HIGHWAY



9 FLOOR PLAN
A3.1 OPTION 2 1/8"=1'-0"

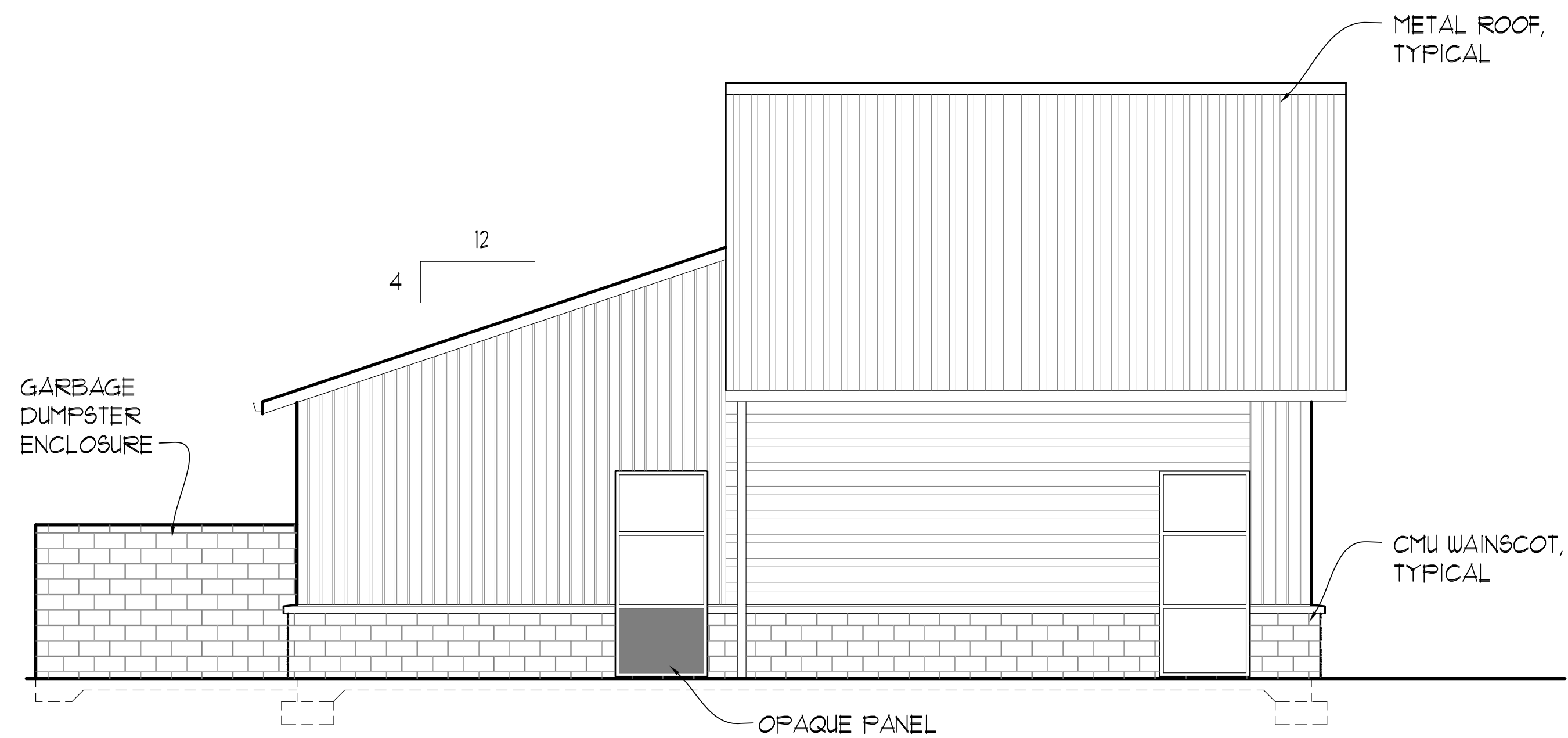
REVISIONS

A PROFESSIONAL CORPORATION

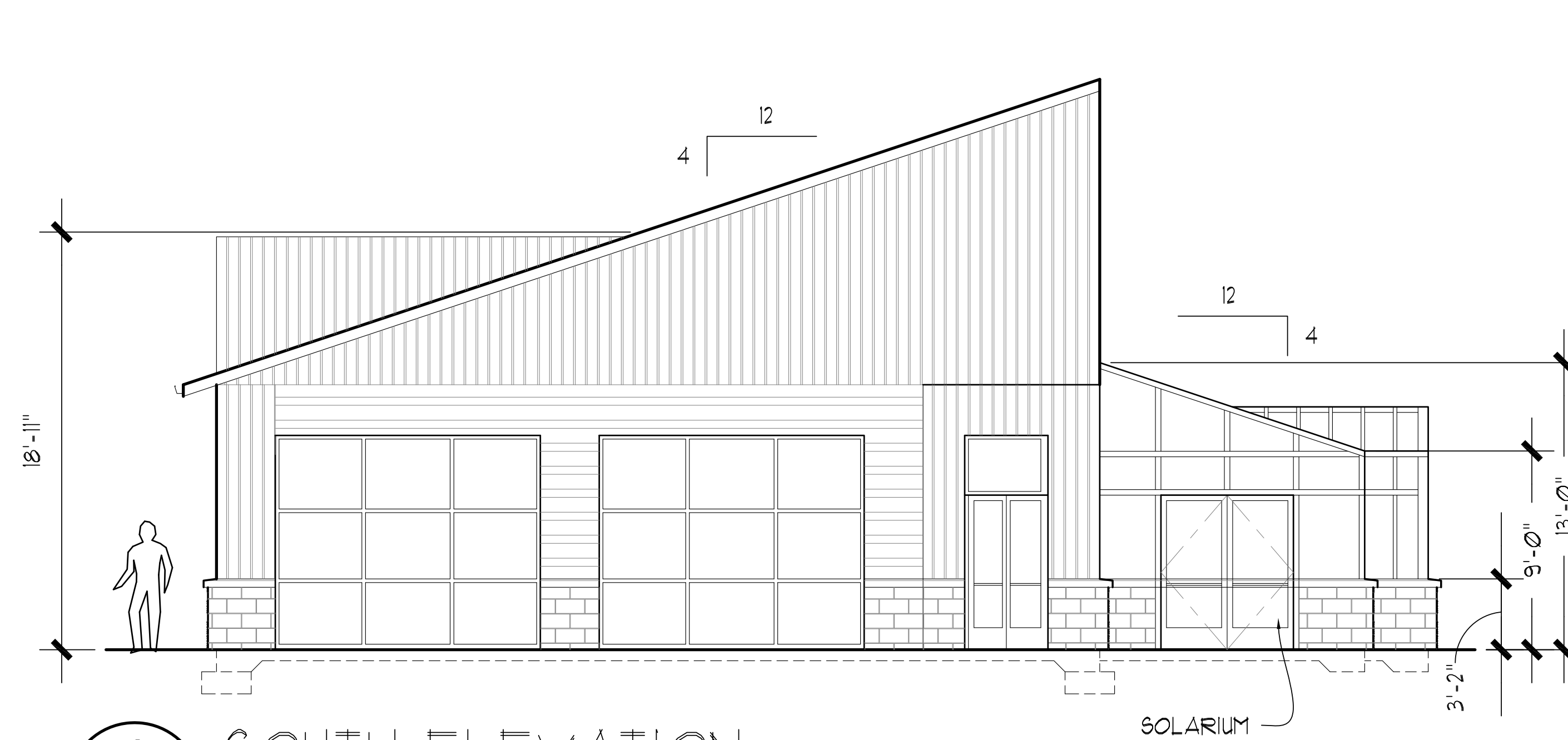
2225 COUNTRY CLUB ROAD
WOODBURN, OREGON 97071
(503) 982-1211

PROJECT NO.: 21.11
DATE: JULY 2021

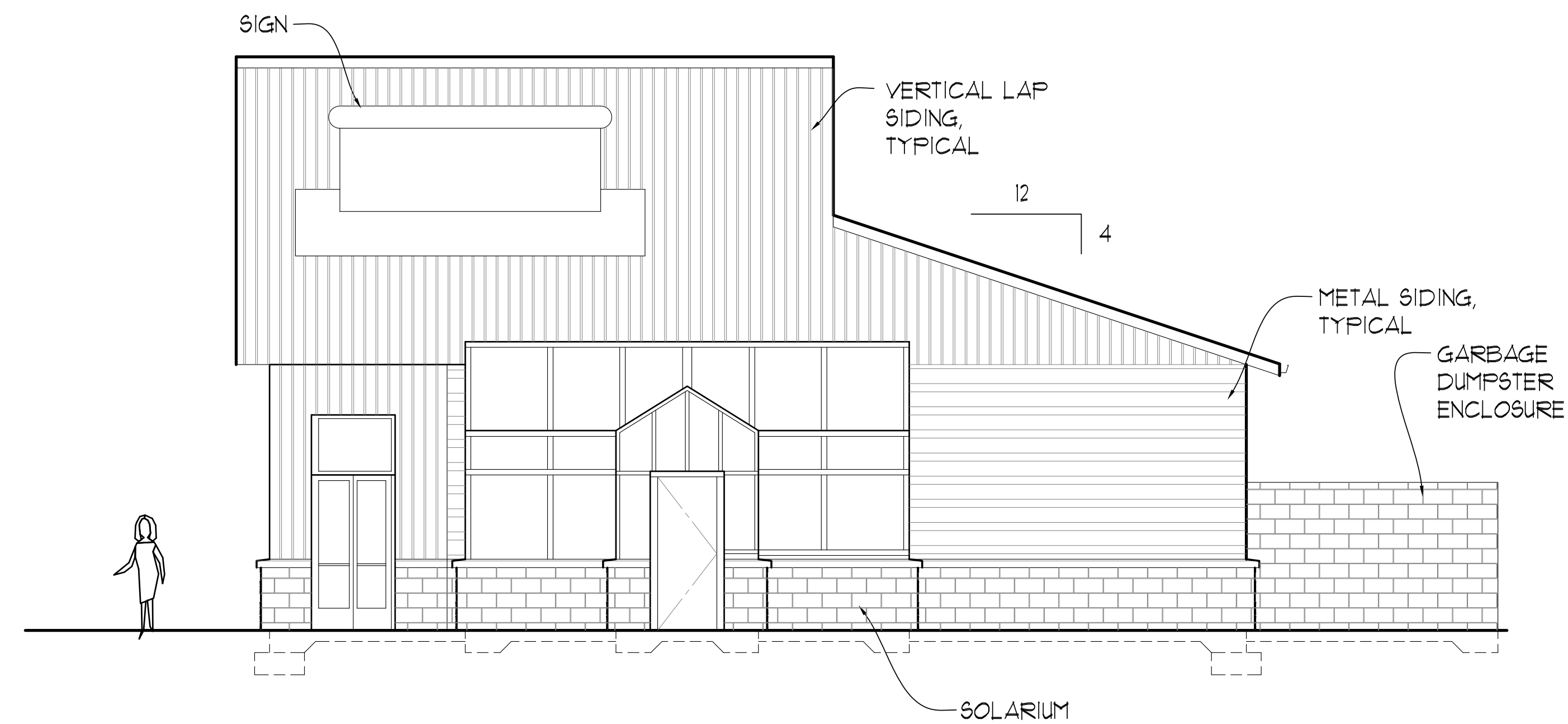
DRAWING NO.: A3.1



16 WEST ELEVATION
A6.1 OPTION 2 NTS



8 SOUTH ELEVATION
A6.1 OPTION 2 NTS



15 EAST ELEVATION
A6.1 OPTION 2 NTS



7 NORTH ELEVATION
A6.1 OPTION 2 NTS

NEW FLORIST BUILDING

FOR

VALLEY PACIFIC FLORAL

2515 NEUBERG HIGHWAY

WOODBURN, OREGON 97071

REVISIONS

A PROFESSIONAL CORPORATION

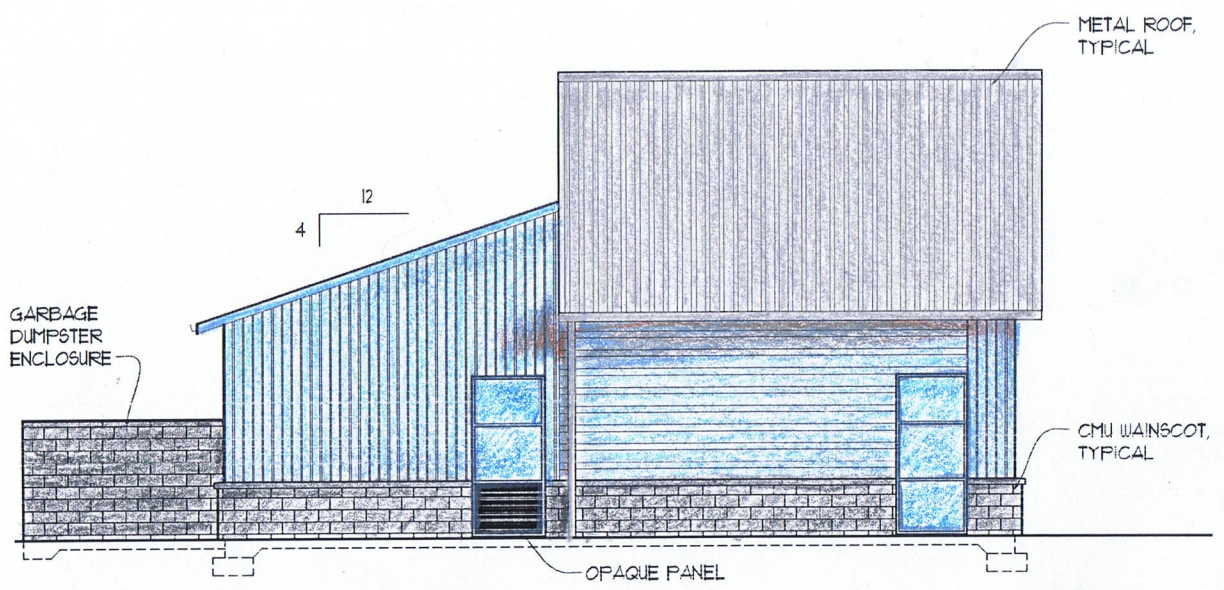
2225 COUNTRY CLUB ROAD
WOODBURN, OREGON 97071
(503) 982-1211

PROJECT NO.:
21.11
DATE:
JULY 2021

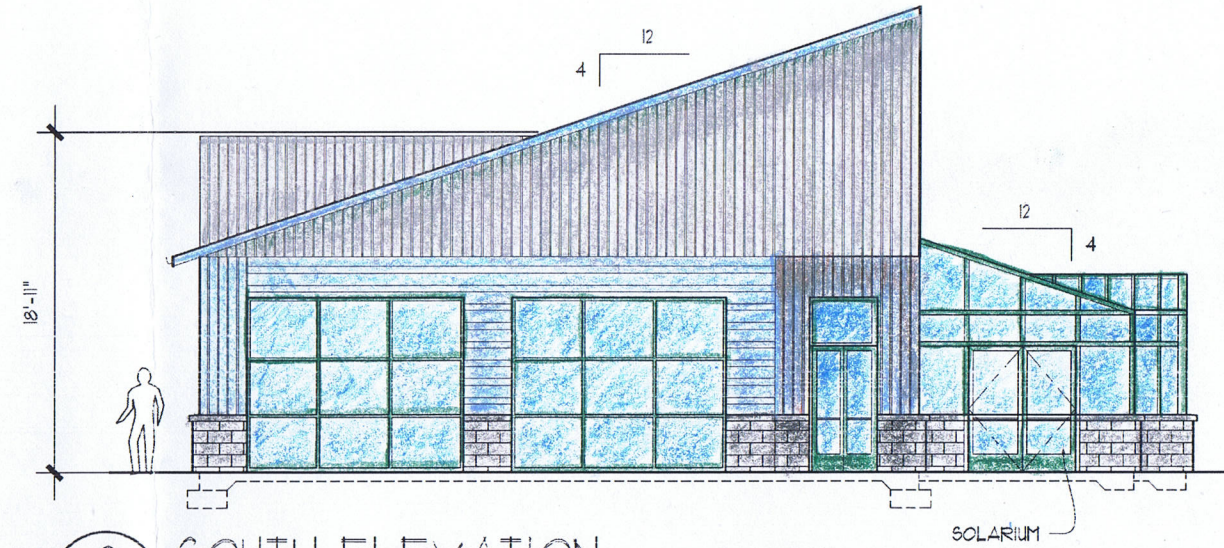
DRAWING NO.:
A6.1

ARCHITECT: CNP
 DRAWN BY: CNP
 CHECKED: R56
 APPROVED: R56
 R56

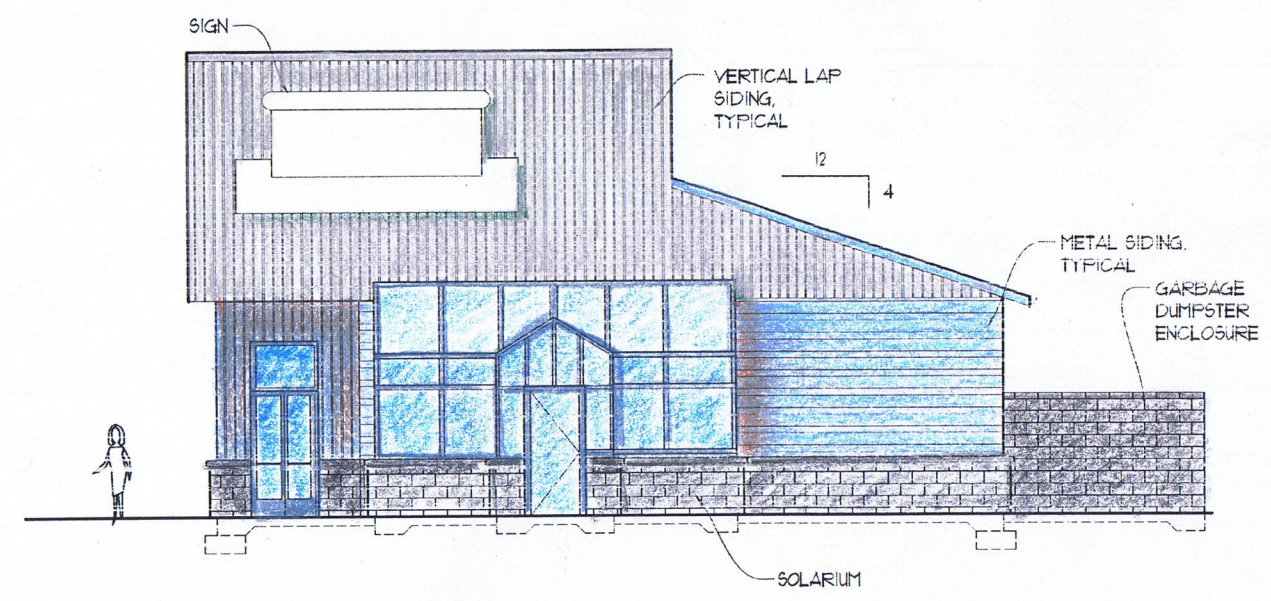
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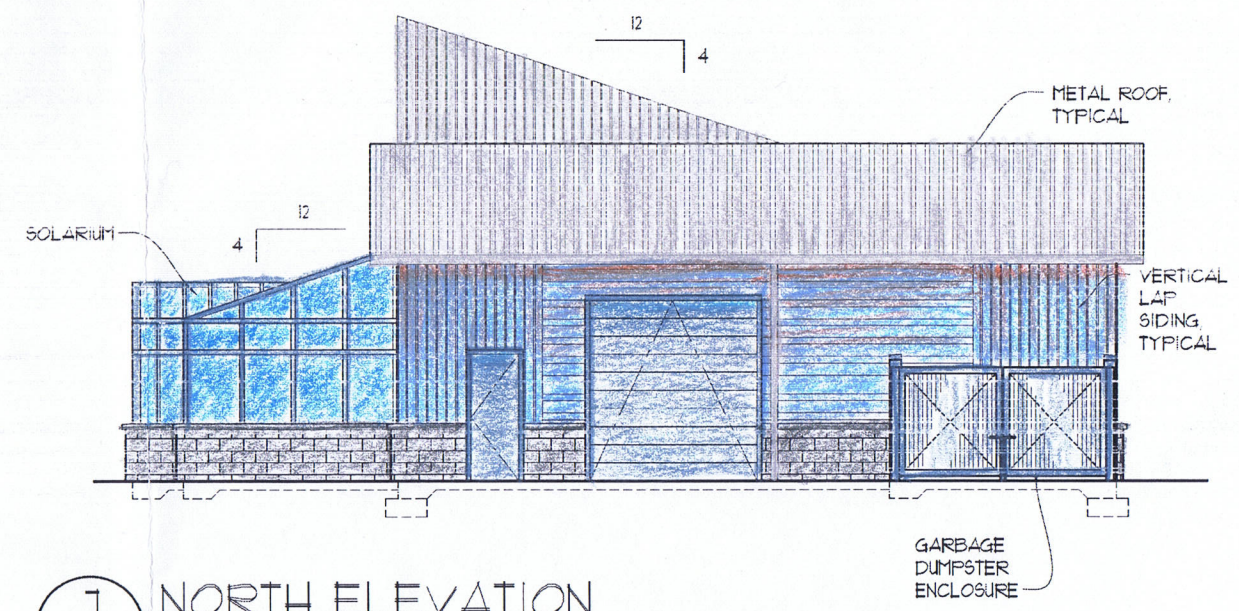
16 WEST ELEVATION
 A6.1 OPTION 2 NTS



8 SOUTH ELEVATION
 A6.1 OPTION 2 NTS



15 EAST ELEVATION
 A6.1 OPTION 2 NTS



7 NORTH ELEVATION
 A6.1 OPTION 2 NTS

NEW FLORIST BUILDING
 FOR
 VALLEY PACIFIC FLORAL
 2515 NEUBERG HIGHWAY
 WOODBURN, OREGON 97071

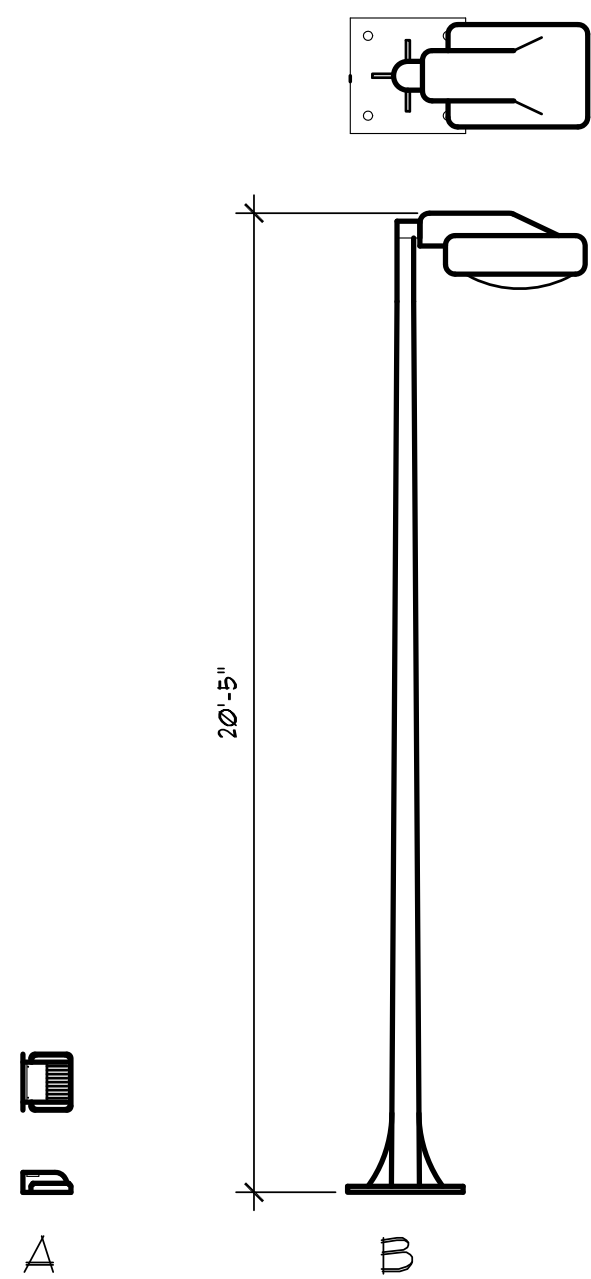
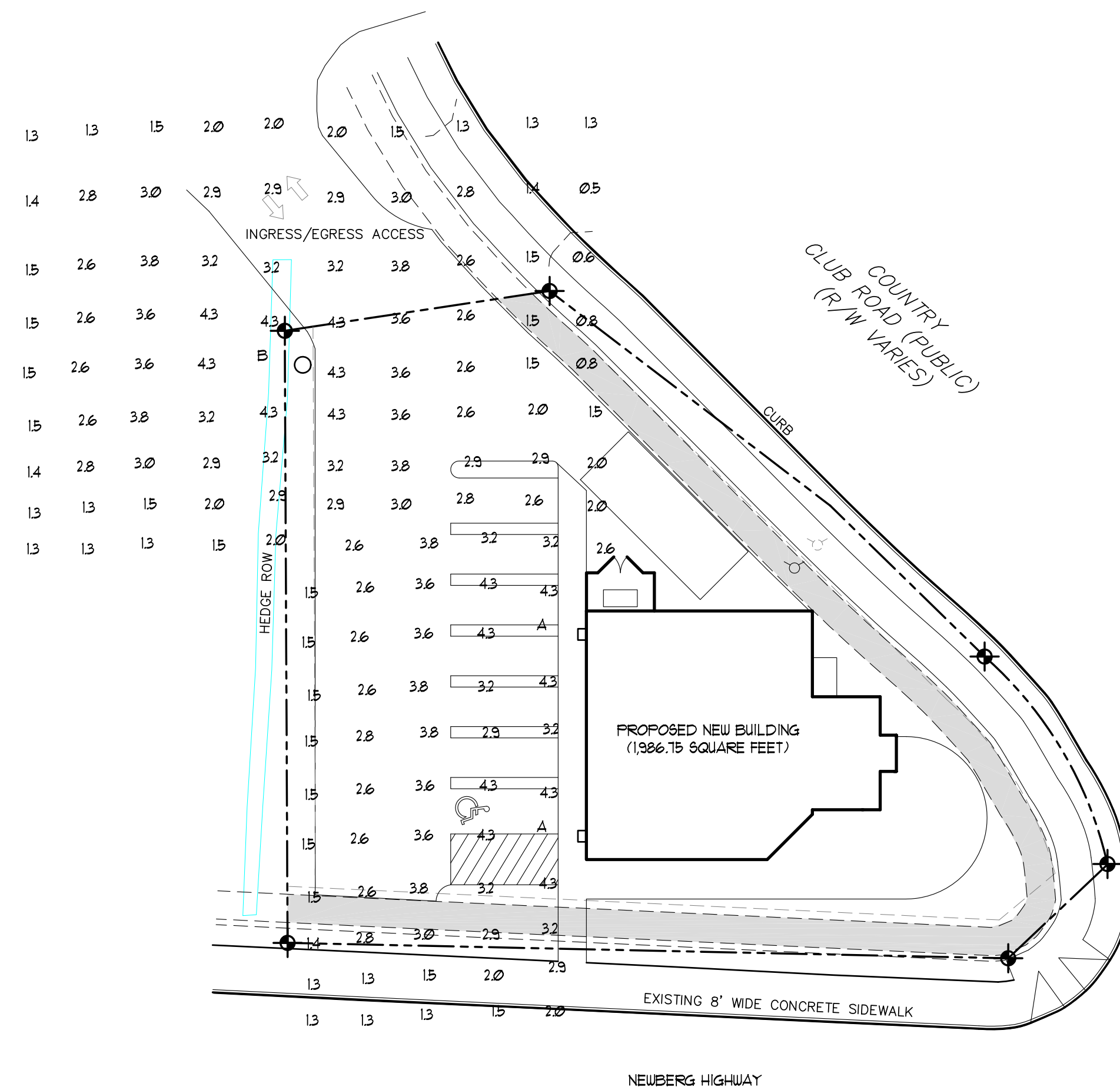
REVISIONS

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2225 COUNTRY CLUB ROAD
 WOODBURN, OREGON 97071
 (503) 982-1211

PROJECT NO.: 21.11
 DATE: JULY 2021
 DRAWING NO.: A6.1

PLOT DATE/TIME: DATE 07/20/2021 THE 0902 FILE ELEVATION



PHOTOMETRIC PLAN
1"=20'-0"

LIGHT FIXTURE SCHEDULE											
TYPE	QTY.	DESCRIPTION	R	RF	RP	TYPE	QTY.	REMARKS			
A	11	EXTERIOR WALL MOUNTED				LED	1 EA	LITHONIA LIGHTING KAXU WALLPACK			
B	16	PARKING LOT LAMP POLE				CF	1 EA	LITHONIA LIGHTING ASI CFL OUTDOOR			

REVISIONS

A PROFESSIONAL CORPORATION

2225 COUNTRY CLUB ROAD
WOODBURN, OREGON 97071
(503) 982-1211

PROJECT NO.: 21.11
DATE: JULY 2021
DRAWING NO.: P1.1

**Landscape Planting Requirements:
Other Yards**

REQUIRED PLANTS:	1 PLANT UNIT (PU) / 50 SF	
SIGNIFICANT TREE = 15 PU LARGE TREE = 10 PU MEDIUM TREE = 8 PU SMALL TREE = 4 PU LARGE SHRUB = 2 PU SMALL/MEDIUM SHRUB = 1 PU LAWN/GROUND COVER = 1 PU / 50 SF		
LANDSCAPE SQUARE FOOTAGE = 512 SF NUMBER OF PLANT UNITS = 10 PU		
Plants	# of Plants	Plant Units
Large Tree	0	0
Medium Tree	0	0
Small Tree	0	0
Large Shrub	0	0
Small / Medium Shrub	13	13
Lawn / Groundcover	0	0
Total Plant Units		13

**Landscape Planting Requirements:
Street Setback**

REQUIRED PLANTS:	1 PLANT UNIT (PU) / 15 SF	
SIGNIFICANT TREE = 15 PU LARGE TREE = 10 PU MEDIUM TREE = 8 PU SMALL TREE = 4 PU LARGE SHRUB = 2 PU SMALL/MEDIUM SHRUB = 1 PU LAWN/GROUND COVER = 1 PU / 50 SF		
LANDSCAPE SQUARE FOOTAGE = 1791 SF NUMBER OF PLANT UNITS = 119 PU		
Plants	# of Plants	Plant Units
Large Tree	1	10
Medium Tree	0	0
Small Tree	4	16
Large Shrub	24	48
Small / Medium Shrub	36	36
Lawn / Groundcover	455 sf	9
Total Plant Units		119

**Landscape Planting Requirements:
Off-Street Parking**

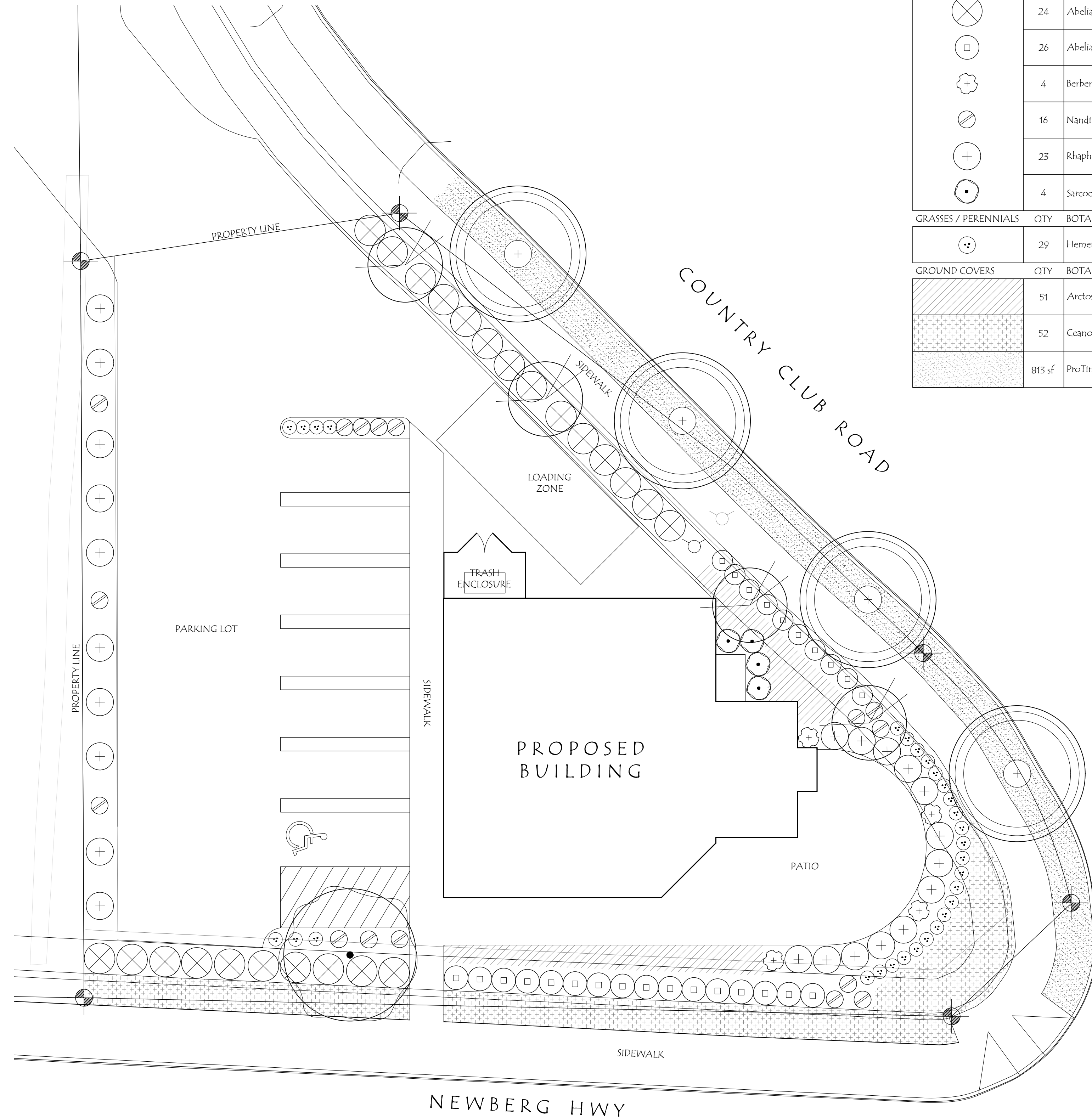
REQUIRED PLANTS:	1 PLANT UNIT (PU) / 20 SF AND REQUIRED TREE PER PARKING SPACES BELOW	
1 SMALL TREE PER 10 PARKING SPACES 1 MEDIUM TREE PER 15 PARKING SPACES 1 LARGE TREE PER 25 PARKING SPACES		
LANDSCAPE SQUARE FOOTAGE = 510 SF NUMBER OF PLANT UNITS = 26 PU NUMBER OF PARKING SPACES = 7 SPACES		
Plants	# of Plants	Plant Units
Large Tree	1	10
Medium Tree	0	0
Small Tree	0	0
Large Shrub	11	22
Small / Medium Shrub	3	3
Lawn / Groundcover	0	0
Total Plant Units		35

General Notes:

1. PRELIMINARY LANDSCAPE PLAN, NOT FOR CONSTRUCTION.
2. STREET TREES SELECTED FROM CITY OF WOODBURN APPROVED STREET TREE LIST.
3. PLANTING REQUIREMENT CALCULATIONS SEE THIS SHEET.
4. IRRIGATION TO BE AN AUTOMATIC UNDERGROUND SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

Plant Legend

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	TREE SIZE
	3	Acer platanoides 'Crimson King' / Crimson King Maple	2" Cal. B&B	Large
	4	Fraxinus oxycarpa 'Raywood' TM / Raywood Ash	2" Cal. B&B	Medium
	4	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	2" Cal. B&B	Small
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SHRUB SIZE
	24	Abelia x 'Edward Goucher' / Edward Goucher Abelia	5 Gal.	Large
	26	Abelia x grandiflora 'Sherwoodii' / Sherwood Glossy Abelia	2 Gal.	Medium
	4	Berberis thunbergii 'Orange Rocket' / Orange Rocket Japanese Barberry	3 Gal.	Medium
	16	Nandina domestica 'Gulf Stream' TM / Gulf Stream Heavenly Bamboo	2 Gal.	Small
	25	Raphiolepis indica 'Ballerina' / Ballerina Indian Hawthorn	3 Gal.	Medium
	4	Sarcococca confusa / Sweetbox	2 Gal.	Medium
GRASSES / PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	
	29	Hemerocallis x 'Ruby Stella' / Ruby Stella Daylily	1 Gal.	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	51	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	1 Gal.	30" o.c.
	52	Ceanothus gloriosus / Point Reyes Ceanothus	1 Gal.	48" o.c.
	813 sf	ProTime 769 R&R Eco Turf Mix or Equal	Seed or Sod	



Laurus Designs, LLC



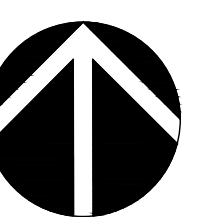
1012 Pine Street
Silverton, Oregon
503.784.6494

Valley Pacific
Floral Shop

2515 Newberg Hwy
Woodburn, Oregon



PRELIMINARY
PLANTING
PLAN



SCALE: 1"=10'-0"
0' 5' 10' 20'
SCALE

August, 2021

REVISIONS

#	DATE	NOTES	INITIALS

L1.1

SHEET 1 OF 1

PROJECT # 1564C

05 2W 12AD

05 2W 12AD
WOODBURN



MARION COUNTY, OREGON
SE1/4 NE1/4 SEC12 T5S R2W W.M.
SCALE 1" = 100'

LEGEND

- LINE TYPES**
- Taxlot Boundary
 - Road Right-of-Way
 - Railroad Right-of-Way
 - Private Road ROW
 - Subdivision/Plat Bndry
 - Waterline - Taxlot Bndry
 - Historical Boundary
 - Easement
 - Railroad Centerline
 - Taxcode Line
 - Map Boundary
 - Waterline - Non Bndry

- CORNER TYPES**
- + 1/16TH Section Cor.
 - ⊙ DLC Corner
 - ⊕ 1/4 Section Cor.
 - ⊕ Section Corner
 - 16 15
 - 21 22

NUMBERS

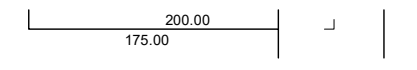
Tax Code Number
00 00 0

Acres
0.25 AC

All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

NOTES

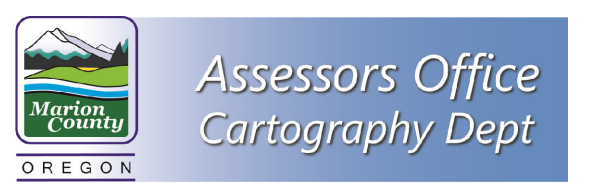
Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW



ATTACHMENT 102

CANCELLED NUMBERS	
18601	
18700	
19200	

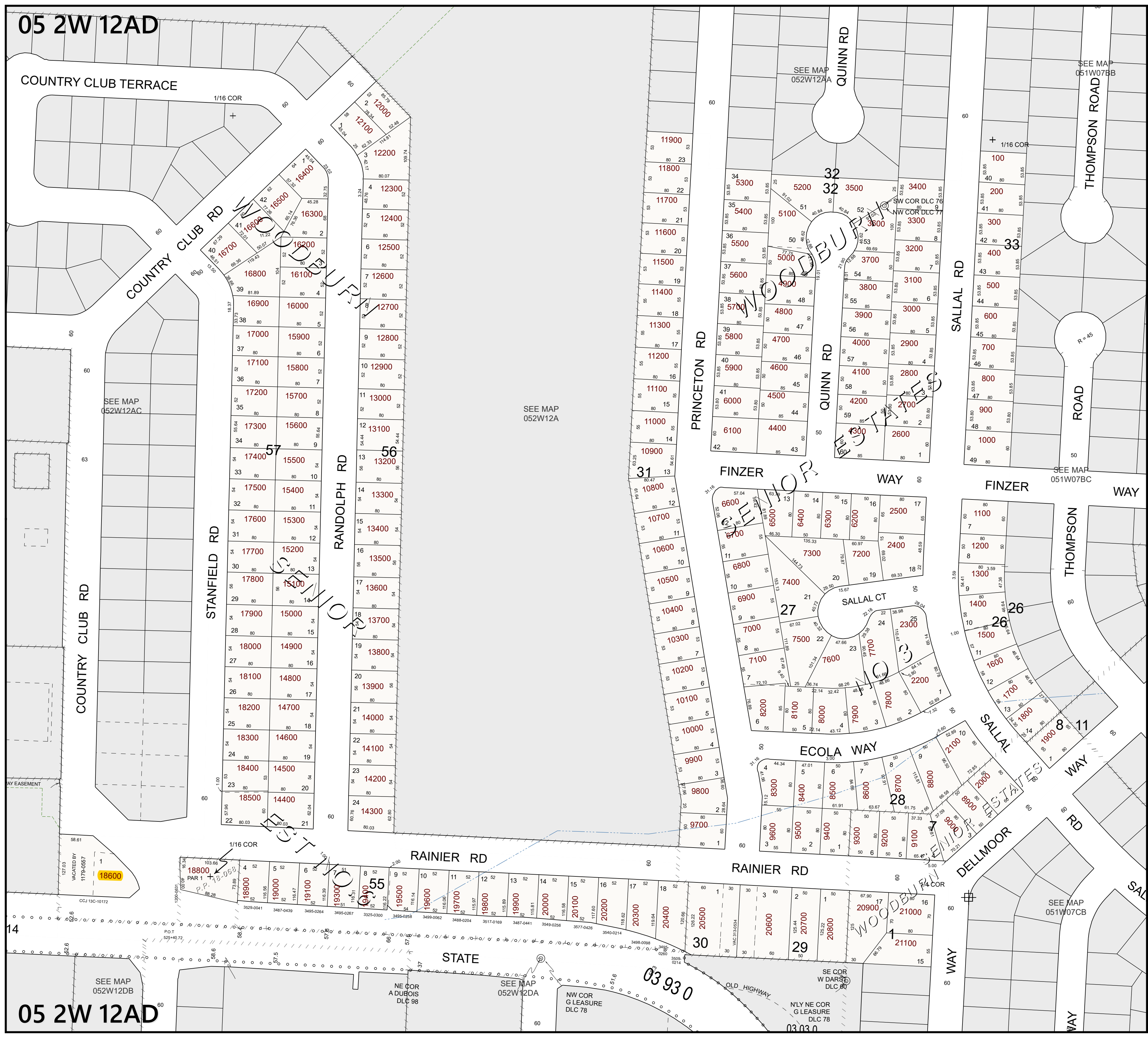
DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



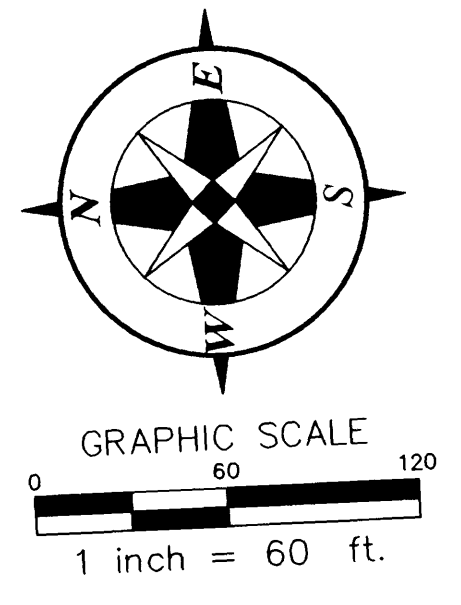
FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT www.co.marion.or.us

PLOT DATE: 10/16/2020

WOODBURN
05 2W 12AD



PARTITION PLAT
A REPLAT OF A PORTION OF PARCEL 2 OF PARTITION PLAT 2010-28 AND A PLAT OF A PORTION OF THAT PROPERTY DESCRIBED IN REEL 3289 PAGE 200 LOCATED IN NORTHEAST AND SOUTHEAST QUARTERS OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN, CITY OF WOODBURN, MARION COUNTY, OREGON
JUNE 19, 2013



WOODBURN SENIOR ESTATES No. 6 BLOCK 59

WOODBURN SENIOR ESTATES No. 6 BLOCK 58

COUNTRY CLUB ROAD

COUNTRY CLUB COURT

NEWBERG HIGHWAY (STATE ROUTE 214)

REFERENCE SURVEYS

1. MCSR 17,559 (MARCH 28, 1963)
2. PLAT OF WOODBURN SENIOR ESTATES No. 6 VOLUME. 22 PAGE 18 BOTP (OCTOBER 29, 1964)
3. MCSR 23,753 (JULY 27, 1973)
4. MCSR 24,732 (APRIL 8, 1975)
5. MCSR 26,132 (APRIL 6, 1977)
6. MCSR 28,543 (AUGUST 6, 1980)
7. MCSR 31,981 (DECEMBER 13, 1989)
8. MCSR 32,932 (JANUARY 22, 1993)
9. PARTITION PLAT 2010-28 (JUNE 30, 2010)
10. MCSR 37,951 (APRIL 25, 2011)
11. ODOT ROLL MAP 11B-6-3
12. ODOT ROLL MAP 11B-4-30

LEGEND

- SET 5/8"x30" IRON ROAD WITH YELLOW PLASTIC CAP MARKED "MCKAY PLS 59859"
- ⊙ SET 1-1/8" COPPER DISK MARKED "MCKAY PLS 59859" IN CURB
- ✱ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "KURAHASHI & ASSOC. INC." SET IN PARTITION PLAT 2010-028
- FOUND MONUMENT AS NOTED
- B.G. BELOW GRADE
- BOTP BOOK OF TOWN PLATS
- MCSR MARION COUNTY SURVEY RECORD
- IP IRON PIPE
- IR IRON ROD
- (R) RADIAL
- ROW RIGHT-OF-WAY
- (#####) RECORD BEARING OR DISTANCE PER REFERENCE SURVEY "1"
- ODOT OREGON DEPARTMENT OF TRANSPORTATION
- PUE PUBLIC UTILITY EASEMENT
- NAP NOT-A-PART

REEL 2552 PAGE 145 (FAIRWAY DEVELOPMENT, INC)

REEL 3193 PAGE 133 (WOODBURN COUNTRY CLUB LLC)

REEL 633 PAGE 280 (P.L. PETERSON)

REEL 775 PAGE 66 (UNITED STATES NATIONAL BANK OF OREGON)

REEL 3276 PAGE 372 (WOODBURN VENTURES, LLC)

24' CROSS ACCESS DRIVEWAY SHOWN ON EXHIBIT "C" OF REEL 3551 PAGE 190
PORTION OF PARCEL 3 PARTITION PLAT 2010-28

INITIAL POINT
5/8" IR WITH YPC UN-READABLE PER MCSR 31,981, HELD FOR SOUTHWEST CORNER OF REEL 775 PAGE 66 AND THE MOST NORTHERLY NORTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT 2010-28

PORTION OF PARCEL 1 PARTITION PLAT 2010-28

PORTION PARCEL 1 PARTITION PLAT 2010-28

CURVE TABLE PER ODOT ROLL MAP 11B-6-3

NO.	RADIUS(ft)	DELTA	LENGTH(ft)	CHORD(ft)	CHORD BEARING
C1	300.00	28°45'21"	150.57	148.99	N15°54'10"E
C2	400.00	27°48'36"	194.15	192.25	N16°22'32"E
C3	650.00	10°55'45"	123.99	123.8	N02°59'38"W
C4	500.00	11°05'50"	96.84	96.69	N14°00'26"W
C5	400.00	11°21'00"	79.24	79.11	N13°52'52"W

SHEET INDEX
SHEET 1 - PROCEDURE OF SURVEY
SHEET 2 - LOT AND EASEMENTS DIMENSIONS
SHEET 3 - NARRATIVE, SURVEYORS CERTIFICATE, PLAT NOTES, SIGNATURES

HELD FOR SOUTHWEST CORNER OF PARCEL 3 PARTITION PLAT 2010-028
ODOT POINT 1085
ODOT COORDINATE
N 550,482.40
E 7,590,113.80

REGISTERED PROFESSIONAL LAND SURVEYOR
Kaid E. McKay
OREGON
NOVEMBER 10, 2009
KAID EDWARD MCKAY
59859
EXPIRES: 12-31-2014

McKay Consulting, LLC
Planning - Engineering - Surveying
17836 NW Deerfield Drive (503) 828-8831
Portland Oregon 97229 kaid01.km@gmail.com
J.N. 12003

PARTITION PLAT

A REPLAT OF A PORTION OF PARCEL 2 OF PARTITION PLAT 2010-28 AND A PLAT OF A PORTION OF THAT PROPERTY DESCRIBED IN REEL 3289 PAGE 200 LOCATED IN NORTHEAST AND SOUTHEAST QUARTERS OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN, CITY OF WOODBURN, MARION COUNTY, OREGON
JUNE 19, 2013

EASEMENT NOTES

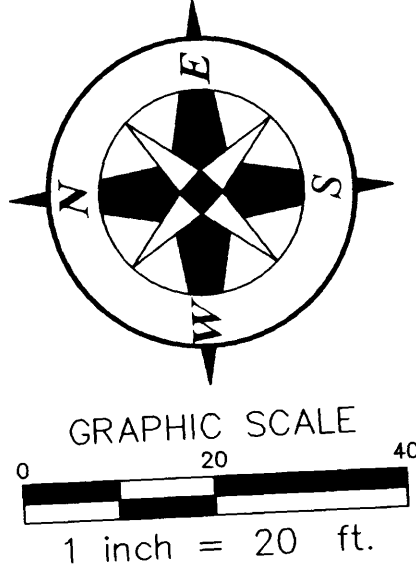
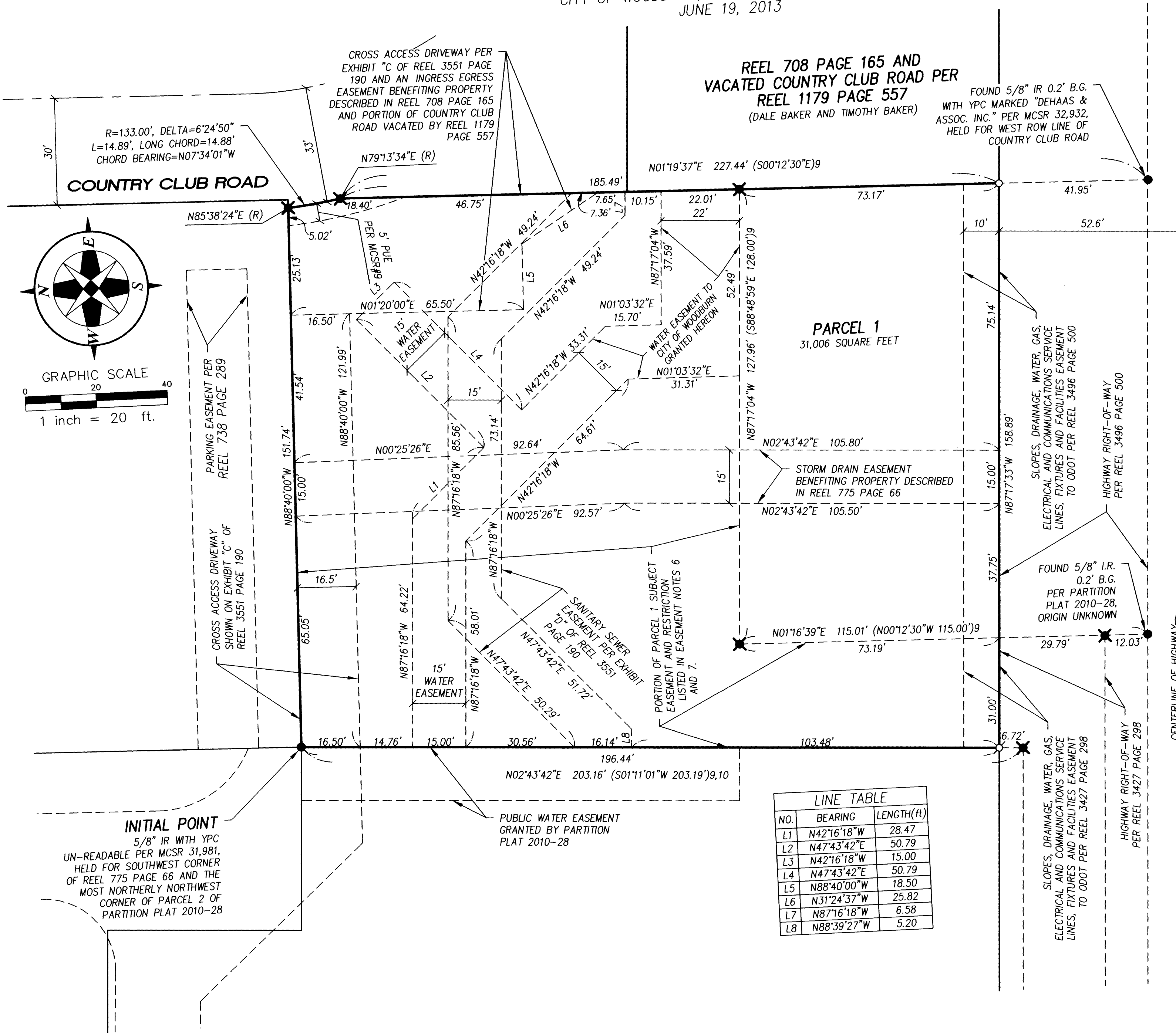
- EASEMENTS CREATED BY THE RECORDING OF PARTITION PLAT 2010-028 NOT SHOWN ON THIS PLAT ARE VACATED BY RE-PLATTING PER OREGON REVISED STATUTES SECTION 92.185.
- THE DOCUMENT RECORDED IN REEL 3496 PAGE 500 GRANTED A TEMPORARY EASEMENT OVER PORTIONS OF PARCEL 1 TO THE STATE OF OREGON, FOR BUILDING DEMOLITION. BECAUSE THE EASEMENT IS TEMPORARY THEY ARE NOT SHOWN ON THIS PLAT.
- THIS PARTITION PLAT BENEFITS FROM AND IS SUBJECT TO A BLANKET INGRESS EGRESS EASEMENT PER REEL 738 PAGE 289.
- THIS PARTITION PLAT BENEFITS FROM EASEMENTS FOR PARKING RECORDED IN REEL 738 PAGE 289. THE DOCUMENT DESCRIBES THE EASEMENT LOCATION STARTING "APPROXIMATELY" A DISTANCE FROM A POINT ON THE NORTHERLY RIGHT-OF-WAY OF STATE HIGHWAY 214. IF THE EASEMENTS ARE LOCATED USING THE EXACT DISTANCES GIVEN, THE DESCRIBED EASEMENT AREAS DO NOT MATCH EXISTING PARKING SPACES. THE EASEMENT LOCATIONS SHOWN ON THIS PLAT WERE DETERMINED BASED ON PARKING SPACES AS THEY EXIST TODAY, ON HISTORICAL AERIAL PHOTOS AND THE TESTIMONY OF GEORGE BRICE, A PERSON WITH HISTORICAL KNOWLEDGE OF THE PROPERTY.
- THIS PLAT IS SUBJECT TO PORTLAND GENERAL ELECTRIC SERVICE AGREEMENT, RECORDED IN REEL 3030 PAGE 474, THAT GRANTS A 10-FOOT WIDE EASEMENT BEING 5-FEET ON BOTH SIDES OF THE CENTERLINE OF THE GRANTEE'S SYSTEM, LOCATED AS CONSTRUCTED AND/OR TO BE CONSTRUCTED, EXTENDED OR RELOCATED. A BLANKET INGRESS AND EGRESS EASEMENT IS ALSO GRANTED.
- PORTIONS OF PARCEL 1 ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT WITH COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN REEL 3192 PAGE 53 AND AMENDED PER DOCUMENTS RECORDED IN REEL 3272 PAGE 344 AND REEL 3551 PAGE 190 WHICH INCLUDES BLANKET EASEMENTS FOR ACCESS, INGRESS, EGRESS, PARKING, AND UTILITIES.
- THIS PLAT IS SUBJECT TO A MEMORANDUM OF LEASE RECORDED IN REEL 3192 PAGE 56.
- THE CROSS ACCESS DRIVEWAY GRANTED PER SAID PLAT HAS BEEN RELINQUISHED PER THAT DOCUMENT RECORDED IN REEL 3551 PAGE 190.

LEGEND

- SET 5/8"x30" IRON ROAD WITH YELLOW PLASTIC CAP MARKED "MCKAY PLS 59859"
- ⊙ SET 1-1/8" COPPER DISK MARKED "MCKAY PLS 59859" IN CURB
- ✱ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "KURAHASHI & ASSOC. INC." SET IN PARTITION PLAT 2010-028
- FOUND MONUMENT AS NOTED
- B.G. BELOW GRADE
- BOTP BOOK OF TOWN PLATS
- MCSR MARION COUNTY SURVEY RECORD
- IP IRON PIPE
- IR IRON ROD
- (R) RADIAL
- ROW RIGHT-OF-WAY
- (#####)1 RECORD BEARING OR DISTANCE PER REFERENCE SURVEY "1"
- ODOT OREGON DEPARTMENT OF TRANSPORTATION
- MCSR# MARION COUNTY SURVEY RECORD NUMBER
- PUE PUBLIC UTILITY EASEMENT
- NAP NOT-A-PART

LINE TABLE

NO.	BEARING	LENGTH(ft)
L1	N42°16'18"W	28.47
L2	N47°43'42"E	50.79
L3	N42°16'18"W	15.00
L4	N47°43'42"E	50.79
L5	N88°40'00"W	18.50
L6	N31°24'37"W	25.82
L7	N87°16'18"W	6.58
L8	N88°39'27"W	5.20



REGISTERED PROFESSIONAL LAND SURVEYOR
Kaid E. McKay
OREGON
NOVEMBER 10, 2009
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PARTITION PLAT

A REPLAT OF A PORTION OF PARCEL 2 OF PARTITION PLAT 2010-28 AND A PLAT OF A PORTION OF THAT PROPERTY

DESCRIBED IN REEL 3289 PAGE 200

LOCATED IN NORTHEAST AND SOUTHEAST QUARTERS OF SECTION 12,

TOWNSHIP 5 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN,

CITY OF WOODBURN, MARION COUNTY, OREGON

JUNE 19, 2013

DECLARATION

KNOWN ALL BY THESE PRESENTS, THAT FLJ PROPERTIES, LLC, IS THE OWNER OF THE LAND DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND AS SHOWN ON THE ANNEXED MAP, HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED INTO ONE PARCEL AND DOES HEREBY GRANT ALL EASEMENTS AS SHOWN OR NOTED ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 92, OREGON REVISED STATUTES.

BY: Fred Jackson MEMBER BY: Lisa Jackson MEMBER

ACKNOWLEDGEMENT

STATE OF Oregon)
COUNTY OF Clackamas) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 23rd DAY OF October, 2013 BY FRED JACKSON AND LISA JACKSON AS MEMBERS OF FLJ PROPERTIES, LLC.

Angela M. Hartmann
NOTARY SIGNATURE

Angela M. Hartmann
NOTARY PUBLIC-OREGON (PRINT NAME)

COMMISSION NO. 450391

MY COMMISSION EXPIRES June 28 2014

CITY OF WOODBURN APPROVALS

[Signature] 10/23/2013
CITY OF WOODBURN DATE
DIRECTOR OF ECONOMIC AND DEVELOPMENT SERVICES
PARTITIONING CASE NUMBERS DR 2013-02 AND PLA 2013-01.

[Signature] 10-23-13
CITY OF WOODBURN, ENGINEER DATE

MARION COUNTY APPROVALS

Mark Riggani 10/24/2013
MARION COUNTY SURVEYOR DATE

Thomas D. Rohlfing
by: Rose Brodnick 10-29-13
MARION COUNTY ASSESSOR DATE

I DO HEREBY CERTIFY THAT THE ATTACHED PARTITION PLAT No. 2013-35 WAS RECEIVED FOR RECORD ON THIS 29th DAY OF October, 2013, AT 4:32 O'CLOCK P. M. AND RECORDED IN THE RECORD OF PARTITION PLATS, ALSO REFERENCED IN THE MARION COUNTY DEED RECORDS IN REEL 3556 PAGE 209.

BILL BURGESS, MARION COUNTY CLERK

Cherie Wolf
BY: DEPUTY COUNTY CLERK

TAXES AND ASSESSMENTS ON THE ABOVE DESCRIBED PROPERTY AS PROVIDED BY O.R.S. 92.095 HAVE BEEN PAID THROUGH June 30, 2013.

~~W. A. SHAWN BEATON~~ MARION COUNTY TAX COLLECTOR
Rex Weisner
[Signature]
BY: DEPUTY

PLAT NOTES

- 1. THIS PARTITION PLAT IS SUBJECT TO THE CONDITIONS OF APPROVAL FOR CITY WOODBURN CASES DR 2013-02 AND PLA 2013-01.
- 2. ABUTTERS RIGHTS FROM THIS PARTITION PLAT TO STATE HIGHWAY 214 WERE RELINQUISHED BY DOCUMENTS RECORDED IN REEL 3427 PAGE 298 AND REEL 3496 PAGE 500.

BASIS OF BEARING

THE BASIS OF BEARINGS OF THIS PLAT IS THE OREGON COORDINATE SYSTEM OF 1983(CORS96), NORTH ZONE AS DETERMINED BY LOCATING MONUMENTS SHOWN ON OREGON DEPARTMENT OF TRANSPORTATION ROLL MAP DRAWING 11B-6-3 FOR PROJECT No. 7557 (OR214 @ EVERGREEN RD. - TRANSIT FACILITY (WOODBURN) SECTION). MONUMENTS LOCATED BY ODOT AND NUMBERED 1085 AND 3028 WERE TIED. PUBLISHED COORDINATES WERE USED TO CALCULATE A BEARING BETWEEN THESE POINTS.

NARRATIVE

- THE PURPOSE OF THIS PLAT IS TO:
- 1. CONSOLIDATE INTO ONE PARCEL THOSE PROPERTIES CONVEYED TO FLJ PROPERTIES, LLC BY DEEDS RECORDED AS REEL 3551 PAGE 191(A PORTION OF PARCEL 2 OF PARTITION PLAT 2010-28) AND REEL 3551 PAGE 192.
- 2. VACATED A WATER EASEMENT GRANTED ON PARTITION PLAT 2010-28.
- 3. GRANT SANITARY SEWER, STORM DRAINAGE, ACCESS AND WATER EASEMENTS SHOWN HEREON.

THE LOCATIONS OF PARCEL 2 OF PARTITION PLAT 2010-28 AND THAT PROPERTY CONVEYED IN THE DEED RECORDED IN REEL 3289 PAGE 200 WERE DETERMINED BY LOCATING MONUMENTS SET AND FOUND IN THE SURVEY OF PARTITION PLAT 2010-28.

THE LOCATION OF THE NORTHERLY LINE OF NEWBERG HIGHWAY (STATE HIGHWAY 214) RIGHT-OF-WAY WAS DETERMINED BY LOCATING MONUMENTS SHOWN ON OREGON DEPARTMENT OF TRANSPORTATION ROLL MAP DRAWINGS 11B-4-30 AND 11B-6-3. MONUMENT NUMBERS 1053, 1085, 1086, 1087, 1095, 3022 AND 3028 OF ROLL MAP 11B-6-3 AND MONUMENT NUMBERS 3305, 3304, 1813, AND 3011 OF ROLL MAP 11B-4-30 WERE LOCATED TO DETERMINE THE RIGHT-OF-WAY LOCATION AND PUT THIS PARTITION ON THE SAME BASIS OF BEARING.

SURVEYOR'S CERTIFICATE

I, KAID EDWARD MCKAY, HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS THE LANDS REPRESENTED ON THIS ANNEXED PARTITION PLAT, BEING A PORTION OF PARCEL 2 OF PARTITION PLAT 2010-28 PER THE PLAT RECORDED JUNE 30, 2010 AND REFERENCED IN REEL 3191 PAGE 248 AND A PORTION OF THAT PROPERTY CONVEYED BY REEL 3289 PAGE 200, ALL OF MARION COUNTY DEED RECORDS, LOCATED IN THE NORTHEAST AND SOUTHEAST QUARTERS OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN IN THE CITY OF WOODBURN, MARION COUNTY, OREGON MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8 INCH IRON ROAD AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID PARCEL 2; THENCE SOUTH 88°40'00" EAST 151.74 FEET ALONG THE NORTH LINE OF SAID PARCEL 2 TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF COUNTRY CLUB ROAD AS DEDICATED BY PARTITION PLAT 2010-28 MARKED BY A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "KURAHASHI & ASSOC. INC.", AND THE BEGINNING OF A NON-TANGENT 133.00 FOOT RADIUS CURVE TO THE LEFT, WITH A LONG CHORD OF 14.88 FEET WHICH BEARS SOUTH 07°34'01" EAST; THENCE ALONG THE ARC OF SAID CURVE SOUTHERLY 14.89 FEET, ALONG SAID RIGHT-OF-WAY LINE, THROUGH A CENTRAL ANGLE OF 6°24'50" TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF COUNTRY CLUB ROAD AS DEDICATED ON WOODBURN SENIOR ESTATES No. 6; THENCE SOUTH 01°19'37" WEST 185.49 FEET ALONG SAID WEST RIGHT-OF-WAY LINE TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF NEWBERG HIGHWAY (STATE HIGHWAY 214) AS CONVEYED TO THE STATE OF OY AND THROUGH ITS DEPARTMENT OF TRANSPORTATION BY THAT DEED RECORDED IN REEL 3496 PAGE 500 OF MARION COUNTY RECORDS AND A 5/8" IRON ROAD MARKED "MCKAY PLS 59859"; THENCE NORTH 87°17'33" WEST 158.89 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE AND THEN ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID HIGHWAY PER DEED RECORDED IN REEL 3427 REEL 298 TO A POINT ON THE EASTERLY WEST LINE OF SAID PARCEL 2 AND A 1-1/8 INCH COPPER DISK MARKED "MCKAY PLS 59859"; THENCE NORTH 02°43'42" EAST 196.44 FEET ALONG SAID EASTERLY WEST LINE TO THE POINT OF BEGINNING.

CONTAINS 31,006 SF MORE OR LESS

Kaid E. McKay
KAID EDWARD MCKAY
PROFESSIONAL LAND SURVEYOR NO. 59859
LICENSE EXPIRES DECEMBER 31, 2014

REGISTERED PROFESSIONAL LAND SURVEYOR

Kaid E. McKay
OREGON
NOVEMBER 10, 2009
KAID EDWARD MCKAY
59859
EXPIRES: 12-31-2014



Planning - Engineering - Surveying
17836 NW Deerfield Drive (503) 828-8831
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J.N. 12003

July 20, 2021

Randy Saunders
RSS Architecture, PC
2225 Country Club Rd
Woodburn, OR 97071



Re: Valley Pacific Floral Traffic Letter

Mr Saunders,

At the April 2, 2021 Pre-application meeting with City of Woodburn staff, the applicant was directed to submit a traffic memo to demonstrate whether or not a traffic impact analysis (TIA) will be required. The specific comment is as follows:

C. Because the site is within the Interchange Management Area (IMA) overlay district (2.05.02), a traffic impact analysis (TIA) is required if the proposal generates more than 20 peak hour trips. Applicant must either submit a traffic memo calculating and describing what a TIA is not requires for this project, or if one is, submit a TIA. Consult with the City Engineer and Oregon Department of Transportation (ODOT) regarding TIA standards and requirements.

The proposed project is to build a 1,987 SF single-story flower shop at 2515 Newberg HWY. In the 10th Edition of the ITE Trip Generation Manual, there is not a category specifically for flower shops. A similar use could be Nursery (Garden Center) - ITE 217. This would be conservative as a nursery is a more intensive traffic generator since floral shops are a mix of walk in and on-line services while nurseries necessitate drive in customers.

Using ITE 217 the following table summarizes the estimated site developed trips during the peak hours:

Period	ITE Category 817 Rate per 1000 SF	Site Generation Factor 1.987
AM Peak	8	15.90
PM Peak	8.37	16.63

ATTACHMENT 104

The PM peak does not exceed the 20 trip threshold triggering a full TIA. Since this analysis is based on a conservative estimate of traffic generation during the peak hour, it is my opinion the proposed flower shop project in Woodburn does not trigger the requirement for a traffic impact analysis.

Sincerely,



Daniel Danicic, P.E.
ddanicic@atepinc.com
Cell 503-476-7702



EXPIRES 12/31/21