



## Final Decision

### Planning Commission

**File number(s):** DR 22-03, EXCP 22-02, & VAR 22-04

**Project name:** Woodburn II Assisted Living Facility

**Date of decision:** December 8, 2022

**Date of mailing:** December 13, 2022

**Applicant:** Terri Waldroff, WMC Holding Company, LLC

**Landowner:** WMC Holding Company II LLC

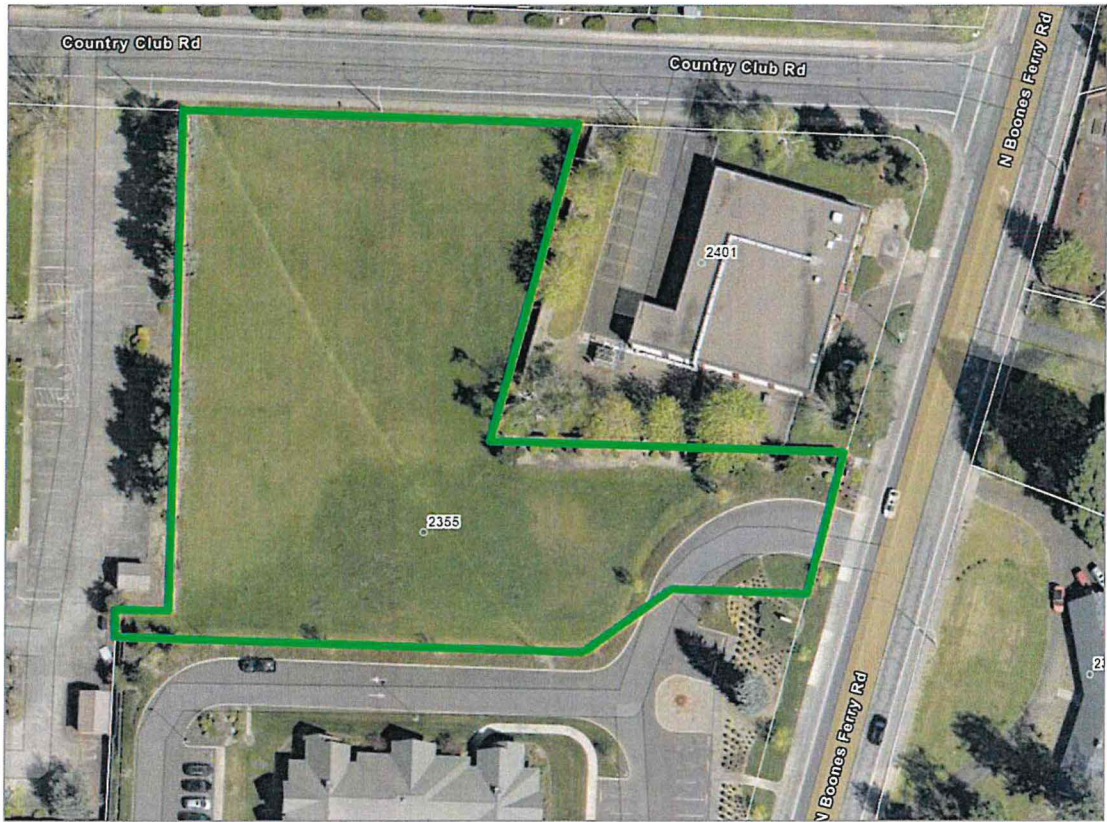
**Site location:** 2355 N. Boones Ferry Rd (Tax Lot 051W07BA00900)

#### Summary:

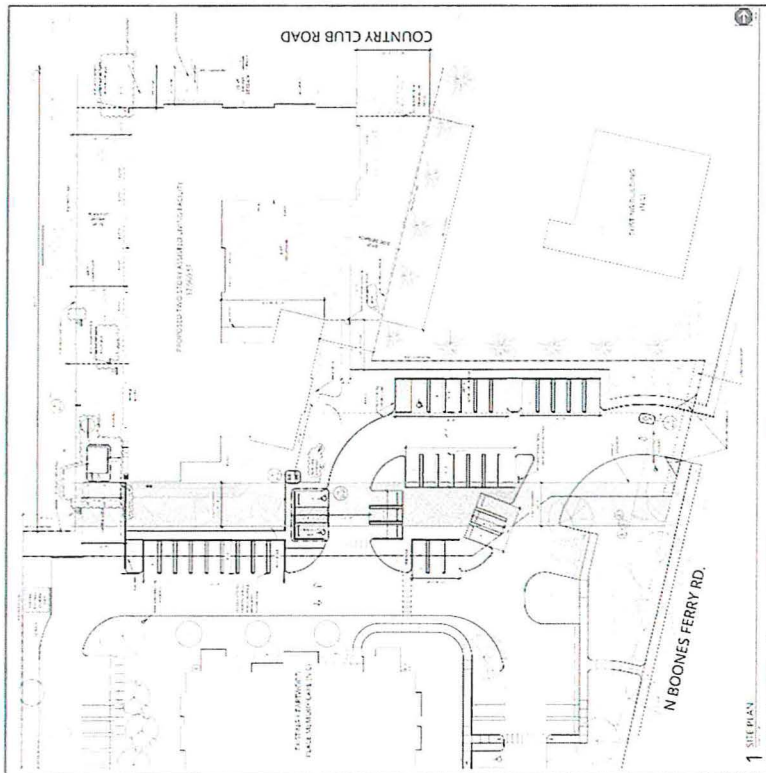
The Planning Commission held a public hearing on December 8, 2022 and unanimously approved the Design Review (DR), Exception to Street Right of Way and Improvement Requirements ("Street Exception", EXCP), and Variance (VAR) application package with the conditions recommended by staff through the staff report published December 1. No testimony was received by proponents or opponents.

The subject property, 2355 N. Boones Ferry Rd, is an undeveloped 1.59-acre property in the Medium Density Residential (RM) zoning district.

The Planning Commission approved a two-story, 46-unit assisted living facility with site landscaping and parking improvements. Access is shared with the adjacent property to the south. The Commission approved the applicant's Street Exception requests to maintain the existing sidewalk configuration for N. Boones Ferry Road and Country Club Road, as well as the applicant's Variance request to maintain the existing bike lane along Country Club Road in lieu of an on-street parking lane.



Aerial view of the subject property.



Site plan.

## Conditions of Approval

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

1. Substantial Conformance: The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. Fence Permit: To demonstrate conformance with WDO 2.06.02 and 5.01.03, the applicant shall submit application for and obtain approval of a [Fence Permit](#) prior to building permit issuance.
3. Grading Permit: Prior to beginning any grading work on-site, the applicant shall apply for and obtain a [Grading Permit](#) per WDO 5.01.04.
4. Sign Permit: To demonstrate conformance with WDO 3.10 and 5.01.10, submit application for and obtain approval of a [Sign Permit](#) for each new sign prior to building permit issuance.
5. Addressing: Prior to building permit issuance, the applicant shall submit an [Address Assignment Request Form](#), with accompanying fee payment and materials, to the Community Development Department to begin the process of getting addresses assigned for the units.
6. Country Club Road improvements: To meet WDO 3.01.01A and Figure 3.01E, dedicate right-of-way along the property frontage to achieve 33 feet of width from centerline and plant six street trees. Street trees shall be medium size per Table 3.06B and not a species listed in Table 3.06C. The dedication is due prior to building permit issuance, the street trees are due prior to building permit final inspection.
7. Public utility easement: To meet WDO 3.02.01B, grant a 5-foot wide public utility easement along the widened Country Club Road frontage. This can be accomplished by revising the existing public utility easement to account for the right-of-way dedication or by granting a new public utility easement. This is due prior to building permit issuance.
8. Street lighting: Pursuant to WDO 3.02.03A, adjacent street lighting shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works

Department indicating that existing illumination complies with the standards or install new lighting to conform.

9. Underground utilities: Pursuant to WDO 3.02.04, all utility services to and within the development shall be underground.
10. Shared parking agreement: Pursuant to WDO 3.05.02B2 & E2, submit to the City for review a shared parking agreement between the subject property and the adjacent property to the south (2325 N. Boones Ferry Road, Tax Lot 051W07BD08300). After obtaining approval, record the agreement with Marion County.
11. Exterior lighting: Pursuant to WDO 3.05.02L3, all exterior lighting fixtures shall be full cut off or fully shielded.
12. Tree replacement: If the street tree north of the driveway along N. Boones Ferry Road is removed, plant a replacement tree in the same general area prior to building permit final inspection. The replacement tree shall be large size per Table 3.06B and not a species listed in Table 3.06C.
13. Architectural walls: To meet WDO Table 3.06D, revise design drawings for the generator enclosure and perimeter screening wall to demonstrate conformance with the color and articulation standards in 3.06.06B. This is due prior to building permit issuance.

## Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Demolition Permits: Demolition of any existing structures may require [Demolition Permit](#) approval through the Building Division.
3. Records: Staff recommends that the applicant retain a copy of the subject approval.
4. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.

5. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
6. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
7. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
8. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.
9. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.
10. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
11. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and

by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.

12. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
13. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
14. SDCs: The developer pays System Development Charges prior to building permit issuance.

**Expiration**

Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:


1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, pursuant to Section 4.02.05, has been approved.

**Appeals**

Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or [planning@ci.woodburn.or.us](mailto:planning@ci.woodburn.or.us).

Sincerely,

  
\_\_\_\_\_  
Dan Handel, AICP, Planner

12/12/2022  
Date

Affirmed,

  
\_\_\_\_\_

Lisa Ellsworth, Vice-Chair, Planning Commission

12/19/2022  
Date

attachments:

1. Site Plans (Planning Commission Staff Report Attachment 105)



# WOODBURN ASSISTED LIVING

## PROJECT DESCRIPTION:

THIS PROJECT IS A TWO STORY SENIOR ASSISTED LIVING FACILITY BEING CONSTRUCTED NEXT DOOR TO AN EXISTING ASSOCIATE MEMORY CARE FACILITY ON THE SAME CAMPUS. THE BUILDING CONSISTS OF 46 UNITS (51 BEDS) AND INCLUDES A COMMERCIAL KITCHEN, DINING AREA, RESIDENTIAL LAUNDRY FACILITIES. THE PROGRAM ALSO INCLUDES COMMON AREAS, INCLUDING MAIL, BISTRO/LIVING ROOM, LOUNGE/THEATER, FITNESS, HAIR/NAIL SERVICES AND ACTIVITY ROOMS.

## ZONING INFORMATION:

TAX LOT ID NUMBER: 051W07BA00900  
RM - MEDIUM DENSITY RESIDENTIAL

## CODES:

2019 OREGON STRUCTURAL SPECIALTY CODE  
2019 OREGON MECHANICAL SPECIALTY CODE  
2021 OREGON PLUMBING SPECIALTY CODE  
2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE  
2017 NATIONAL ELECTRICAL CODE  
2019 OREGON FIRE CODE  
2010 AMERICANS WITH DISABILITIES ACT  
2019 OREGON STRUCTURAL SPECIALTY CODE CH. 11 & ICC A117.1  
1998 FAIR HOUSING ACT  
2011 OREGON ELEVATOR SPECIALTY CODE

## DEFERRED SUBMITTALS:

SHOP FABRICATED WOOD TRUSSES  
FIRESTOPPING  
WOOD JOIST  
GLUED LAMINATED CONSTRUCTION  
ACOUSTICAL CEILINGS: CEILING SUSPENSION SYSTEM  
WOOD TIE-DOWN SYSTEM

## SEPARATE PERMITS:

FIRE SUPPRESSION FOR TYPE 1 HOOD  
FIRELINE UNDERGROUND  
DIRECTIONAL SIGN  
FIRE SUPPRESSION SPRINKLER SYSTEM  
FIRE DETECTION AND ALARM

## PERMITS:

FACILITIES PLANNING & SAFETY: PR# 22-016  
CITY OF WOODBURN:  
PLANNING DIVISION  
DESIGN REVIEW: DR 22-03  
STREET EXCEPTION: EXCP 22-02  
PROPERTY LINE ADJUSTMENT: PLA 22-03  
VARIANCE: VAR 22-04  
BUILDING DIVISION: TBD

## AMA TEAM

**ARCHITECTURAL**  
**ANKROM MOISAN ARCHITECTS**  
38 NORTHWEST DAVIS  
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**PROJECT MANAGER**  
SARAH STEVENS  
**PROJECT ARCHITECT**  
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DEBORAH BANNISTER

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## OWNER TEAM

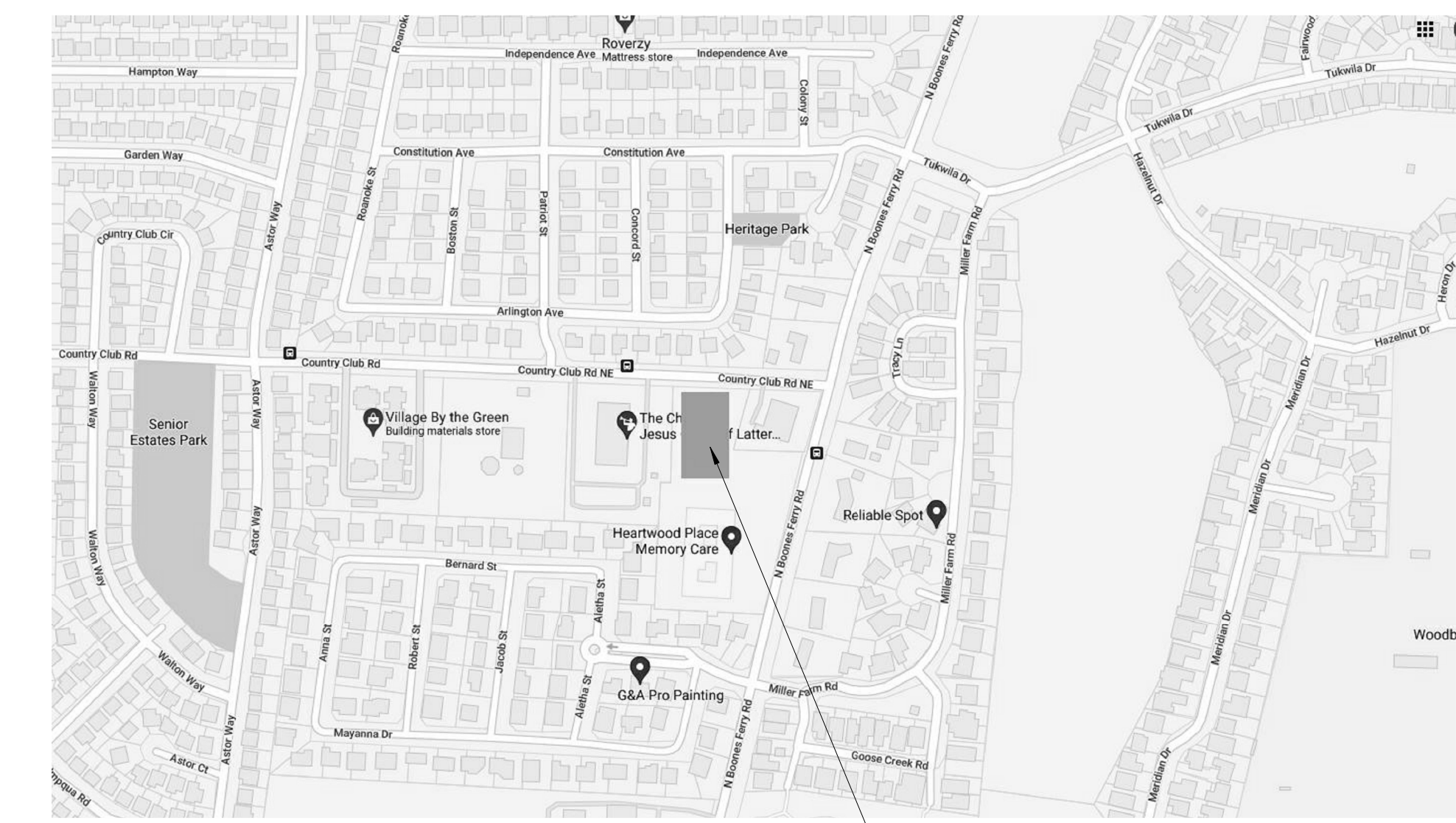
**OWNERS**  
**WMC HOLDING CO, LLC**  
1800 BLANKENSHIP RD., #475  
WEST LINN, OR 97068

503.706.0878

**TERRI WALDROFF** terriw@benicalc.com  
**RON ZIEBART** ziebart@linkseniordevelopment.com

**CONTRACTOR**

## VICINITY MAP



SITE LOCATION

NOT FOR CONSTRUCTION

WOODBURN II ASSISTED LIVING FACILITY  
2355 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE
1	6/3/22	Addendum 01

COVER SHEET

DESIGN REVIEW SET

DATE 9/2/2022	PROJECT NUMBER 203170
SHEET NUMBER	

CS



### UNIT TYPE COUNT

UNIT TYPE COUNT				
NAME	Number	LEVEL	AREA	
AL-A1				
AL-A1	100	LEVEL 1	386 SF	
AL-A1	106	LEVEL 1	394 SF	
AL-A1	113	LEVEL 1	386 SF	
AL-A1	111	LEVEL 1	384 SF	
AL-A1	107	LEVEL 1	386 SF	
AL-A1	101	LEVEL 1	386 SF	
AL-A1	207	LEVEL 2	412 SF	
AL-A1	208	LEVEL 2	410 SF	
AL-A1	214	LEVEL 2	391 SF	
AL-A1	221	LEVEL 2	386 SF	
AL-A1	219	LEVEL 2	384 SF	
AL-A1	217	LEVEL 2	386 SF	
AL-A1	211	LEVEL 2	386 SF	
AL-A1	202	LEVEL 2	383 SF	
AL-A1	204	LEVEL 2	383 SF	
15				
AL-A2				
AL-A2	201	LEVEL 2	568 SF	
1				
AL-B1				
AL-B1	116	LEVEL 1	561 SF	
AL-B1	105	LEVEL 1	561 SF	
AL-B1	103	LEVEL 1	561 SF	
AL-B1	226	LEVEL 2	561 SF	
AL-B1	215	LEVEL 2	561 SF	
AL-B1	213	LEVEL 2	561 SF	
6				
AL-B2				
AL-B2	102	LEVEL 1	524 SF	
AL-B2	108	LEVEL 1	524 SF	
AL-B2	109	LEVEL 1	524 SF	
AL-B2	114	LEVEL 1	532 SF	
AL-B2	209	LEVEL 2	524 SF	
AL-B2	210	LEVEL 2	524 SF	
AL-B2	216	LEVEL 2	526 SF	
AL-B2	218	LEVEL 2	524 SF	
AL-B2	224	LEVEL 2	524 SF	
AL-B2	206	LEVEL 2	522 SF	
10				
AL-B3				
AL-B3	115	LEVEL 1	571 SF	
AL-B3	223	LEVEL 2	571 SF	
2				
AL-B4				
AL-B4	110	LEVEL 1	579 SF	
AL-B4	220	LEVEL 2	579 SF	
2				
AL-B5				
AL-B5	112	LEVEL 1	573 SF	
AL-B5	222	LEVEL 2	573 SF	
2				
AL-B6				
AL-B6	118	LEVEL 1	620 SF	
AL-B6	228	LEVEL 2	619 SF	
2				
AL-B7				
AL-B7	117	LEVEL 1	549 SF	
AL-B7	225	LEVEL 2	549 SF	
2				
AL-B8				
AL-B8	104	LEVEL 1	567 SF	
AL-B8	212	LEVEL 2	567 SF	
2				
AL-B9				
AL-B9	203	LEVEL 2	543 SF	
1				
AL-B10				
AL-B10	205	LEVEL 2	546 SF	
1				
46				

### UNIT PROGRAM COUNT

PROGRAM	TOTAL UNIT #
ALF	46*

\*5 UNITS CONSIDERED DOUBLE OCCUPANCY FOR A TOTAL OF 51 RESIDENTS

### BUILDING AREA

AREA GROSS		
LEVEL	AREA	
LEVEL 1	18,937 SF	
LEVEL 2	19,029 SF	
37,966 SF		

### SHEET INDEX

NUMBER	SHEET NAME	1/2/30/21 PRICING SET	2/15/22 DR SET	6/9/22-ADDENDUM 01
<b>00 GENERAL</b>				
CS	COVER SHEET	■	■	■
G0.01	SHEET INDEX & UNIT MATRIX	■	■	■
<b>G2.01 FLS NARRATIVES</b>				
G2.01	FLS NARRATIVES	■	■	■
G2.20	FLS SITE PLAN	■	■	■
G2.21	LEVEL 1 - FLS PLAN	■	■	■
G2.22	LEVEL 2 - FLS PLAN	■	■	■
G2.23	SMOKE COMPARTMENT PLAN	■	■	■
<b>01 CIVIL</b>				
C0.1	GENERAL NOTES	■	■	■
C0.2	EXISTING CONDITIONS	■	■	■
C0.3	DEMO PLAN	■	■	■
C1.0	HARDSCAPE PLAN	■	■	■
C2.0	GRADING PLAN	■	■	■
C3.0	UTILITY PLAN	■	■	■
C4.0	DETAILS	■	■	■
C4.1	DETAILS	■	■	■
<b>02 LANDSCAPE</b>				
L1.00	LANDSCAPE PLAN	■	■	■
L2.00	LANDSCAPE SPEC & DETAILS	■	■	■
<b>04 ARCHITECTURAL</b>				
A0.01	DATA SHEET	■	■	■
A0.11	EXTERIOR ASSEMBLIES	■	■	■
A0.21	INTERIOR ASSEMBLIES	■	■	■
A0.31	HORIZONTAL ASSEMBLIES	■	■	■
A0.41	TYPICAL ASSEMBLY DETAILS	■	■	■
<b>A1.01 SITE PLAN</b>				
A1.11	GENERATOR ENCLOSURE	■	■	■
A1.12	FENCE DETAILS	■	■	■
A1.21	SITE DETAILS	■	■	■
<b>A2.00 LEVEL 1 SLAB PLAN</b>				
A2.11	LEVEL 1 FLOOR PLAN	■	■	■
A2.12	LEVEL 2 FLOOR PLAN	■	■	■
A2.20	ROOF PLAN	■	■	■
<b>A3.11 BUILDING ELEVATIONS</b>				
A3.12	BUILDING ELEVATIONS	■	■	■
<b>A4.01 BUILDING SECTIONS</b>				
A4.51	WALL SECTIONS	■	■	■
A4.52	WALL SECTIONS	■	■	■
<b>A5.01 ICC</b>				
A5.02 ICC	ICC BUILDING CLEARANCE REQUIREMENTS	■	■	■
A5.02 ICC	ICC PUBLIC & COMMON REQUIREMENTS	■	■	■
A5.03 ICC	ICC ACCESSIBLE UNIT REQUIREMENTS	■	■	■
A5.04 ICC	ICC KITCHEN CLEARANCES & OUTLETS	■	■	■
<b>A5.11 ENLARGED AREA PLANS</b>				
A5.12	ENLARGED AREA PLANS	■	■	■
A5.21	UNIT PLANS, RCPS & ELEVATIONS	■	■	■
A5.22	UNIT PLANS, RCPS & ELEVATIONS	■	■	■
A5.23	UNIT PLANS, RCPS & ELEVATIONS	■	■	■
<b>A6.01 STAIR - PLANS AND SECTIONS</b>				
A6.21	ELEVATOR PLANS AND SECTIONS	■	■	■
A6.41	STAIR DETAILS	■	■	■
A6.43	ELEVATOR DETAILS	■	■	■
<b>A7.01 WINDOW WRAP SEQUENCE</b>				
A7.21	WINDOW AND DOOR DETAILS	■	■	■
A7.31	EXTERIOR DETAILS	■	■	■
A7.51	FIREPLACE DETAILS	■	■	■
A7.79	PTHP DETAILS	■	■	■
A7.91	ROOF DETAILS	■	■	■
A7.92	ROOF DETAILS	■	■	■
<b>A8.01 LEVEL 1 REFLECTED CEILING PLAN</b>				
A8.01A	LEVEL 1 RCP SECTOR A	■	■	■
A8.01B	LEVEL 1 RCP SECTOR B	■	■	■
A8.02	LEVEL 2 REFLECTED CEILING PLAN	■	■	■
A8.02A	LEVEL 2 RCP SECTOR A	■	■	■
A8.02B	LEVEL 2 RCP SECTOR B	■	■	■
<b>A9.01 LEVEL 1 FINISH PLANS SECTOR A</b>				
A9.02	LEVEL 1 FINISH PLANS SECTOR B	■	■	■
A9.03	LEVEL 2 FINISH PLAN SECTOR A	■	■	■
A9.04	LEVEL 2 FINISH PLAN SECTOR B	■	■	■
<b>A10.01 INTERIOR ELEVATIONS</b>				
A10.02	INTERIOR ELEVATIONS	■	■	■
A10.03	INTERIOR ELEVATIONS	■	■	■
A10.04	INTERIOR ELEVATIONS	■	■	■
A10.05	INTERIOR ELEVATIONS	■	■	■
A10.06	INTERIOR ELEVATIONS	■	■	■
A10.11	UNIT KITCHEN ELEVATIONS	■	■	■
A10.22	UNIT BATH ELEVATIONS	■	■	■
<b>A11.01 INTERIOR DETAILS</b>				
A11.02	INTERIOR DETAILS	■	■	■
A11.03	INTERIOR DETAILS	■	■	■
<b>A12.01 DOOR TYPES AND SCHEDULE</b>				
A12.03	DOOR DETAILS	■	■	■
A12.21	WINDOW TYPES AND SCHEDULE	■	■	■
A12.23	WINDOW DETAILS	■	■	■
A12.31	FINISH SCHEDULE	■	■	■
<b>05 STRUCTURAL</b>				

NUMBER	SHEET NAME	1/2/30/21 PRICING SET	2/15/22 DR SET	6/9/22-ADDENDUM 01
S1.00	GENERAL NOTES AND SHEET INDEX	■	■	■
S1.01	SYMBOLS AND ABBREVIATIONS	■	■	■
S2.00	OVERALL FOUNDATION PLAN	■	■	■
S2.00A	FOUNDATION PLAN - SECTOR A	■	■	■
S2.00B	FOUNDATION PLAN - SECTOR B	■	■	■
S2.12	SECOND FLOOR FRAMING PLAN	■	■	■
S2.12A	SECOND FLOOR FRAMING PLAN - SECTOR A	■	■	■
S2.12B	SECOND FLOOR FRAMING PLAN - SECTOR B	■	■	■
S2.20	ROOF FRAMING PLAN	■	■	■
S2.20A	ROOF FRAMING PLAN - SECTOR A	■	■	■
S2.20B	ROOF FRAMING PLAN - SECTOR B	■	■	■
S3.00	STAIR FRAMING PLANS	■	■	■
S4.00	TYPICAL CONCRETE DETAILS	■	■	■
S5.00	TYPICAL WOOD DETAILS	■	■	■
S5.01	TYPICAL CFS DETAILS	■	■	■
S5.02	TYPICAL FLOOR FRAMING DETAILS	■	■	■
S5.03	FLOOR AND LOWER ROOF FRAMING DETAILS	■	■	■
S5.10	TYPICAL ROOF FRAMING DETAILS	■	■	■
<b>06 MECHANICAL</b>				
M0.00	GENERAL NOTES, ABBREVIATIONS AND SHEET INDEX	■	■	■
M0.01	MECHANICAL LEGEND	■	■	■
M0.02	MECHANICAL SCHEDULES	■	■	■
M0.03	MECHANICAL SCHEDULES	■	■	■
M2.11	MECHANICAL - FIRST FLOOR PLAN	■	■	■
M2.12	MECHANICAL - SECOND FLOOR PLAN	■	■	■
M2.13	MECHANICAL - ROOF PLAN	■	■	■
M3.11A	MECHANICAL HVAC - FIRST FLOOR PLAN - AREA A	■	■	■
M3.11B	MECHANICAL HVAC - FIRST FLOOR PLAN - AREA B	■	■	■
M3.12A	MECHANICAL HVAC - SECOND FLOOR PLAN - AREA A	■	■	■
M3.12B	MECHANICAL HVAC - SECOND FLOOR PLAN - AREA B	■	■	■
M3.13A	MECHANICAL - ROOF PLAN - AREA A	■	■	■
M3.13B	MECHANICAL - ROOF PLAN - AREA B	■	■	■
<b>07 ELECTRICAL</b>				
E0.00	GENERAL NOTES, ABBREVIATIONS AND SHEET INDEX	■	■	■
E0.01	LEGENDS	■	■	■
E0.02	CODE/PERMIT	■	■	■
E0.03	ELECTRICAL LIGHTING SCHEDULE	■	■	■
E0.04	MECHANICAL EQUIPMENT CONNECTION SCHEDULE	■	■	■
E1.00	ELECTRICAL SITE PLAN	■	■	■
E1.01	ELECTRICAL LIGHTING SITE PLAN	■	■	■
E2.11	ELECTRICAL - FIRST FLOOR PLAN	■	■	■
E2.12	ELECTRICAL - SECOND FLOOR PLAN	■	■	■
E2.13	ELECTRICAL - ROOF PLAN	■	■	■
E3.11A	ELECTRICAL LIGHTING - FIRST FLOOR PLAN - AREA A	■	■	■
E3.11B	ELECTRICAL LIGHTING - FIRST FLOOR PLAN - AREA B	■	■	■
E3.12A	ELECTRICAL LIGHTING - SECOND FLOOR PLAN - AREA A	■	■	■
E3.12B	ELECTRICAL LIGHTING - SECOND FLOOR PLAN - AREA B	■	■	■
E4.11A	ELECTRICAL POWER - FIRST FLOOR PLAN - AREA A	■	■	■
E4.11B	ELECTRICAL POWER - FIRST FLOOR PLAN - AREA B	■	■	■
E4.12A	ELECTRICAL POWER - SECOND FLOOR PLAN - AREA A	■	■	■
E4.12B	ELECTRICAL POWER - SECOND FLOOR PLAN - AREA B	■	■	■
E4.13A	ELECTRICAL POWER - ROOF PLAN - AREA A	■	■	■
E4.13B	ELECTRICAL POWER - ROOF PLAN - AREA B	■	■	■
E5.11A	SYSTEM COMMUNICATION - FIRST FLOOR PLAN - AREA A	■	■	■
E5.11B	SYSTEM COMMUNICATION - FIRST FLOOR PLAN - AREA B	■	■	■
E5.12A	SYSTEM COMMUNICATION - SECOND FLOOR PLAN - AREA A	■	■	■
E5.12B	SYSTEM COMMUNICATION - SECOND FLOOR PLAN - AREA B	■	■	■
E5.21	ELECTRICAL UNIT PLANS	■	■	■
E5.22	ELECTRICAL UNIT PLANS	■	■	■
E5.23	ELECTRICAL UNIT PLANS	■	■	■
E5.24	ELECTRICAL UNIT PLANS	■	■	■
E6.00	ELECTRICAL ONE-LINE DIAGRAMS	■	■	■
E7.00	ELECTRICAL DETAILS	■	■	■
E8.00	ELECTRICAL PANEL SCHEDULES	■	■	■
E8.01	ELECTRICAL PANEL SCHEDULES	■	■	■
E8.02	ELECTRICAL PANEL SCHEDULES	■	■	■
E8.03	ELECTRICAL PANEL SCHEDULES	■	■	■
<b>08 PLUMBING</b>				
P0.00	GENERAL NOTES, ABBREVIATIONS AND SHEET INDEX	■	■	■
P0.02	PLUMBING SCHEDULES	■	■	■
P2.11	PLUMBING FIRST FLOOR PLAN	■	■	■
P2.12	PLUMBING SECOND FLOOR PLAN	■	■	■
P2.13	PLUMBING ROOF PLAN OVERALL	■	■	■
P3.00A	PLUMBING WASTE & VENT - UNDERGROUND PLAN - AREA A	■	■	■
P3.00B	PLUMBING WASTE & VENT - UNDERGROUND PLAN - AREA B	■	■	■
P3.11A	PLUMBING WASTE & VENT - FIRST FLOOR PLAN - AREA A	■	■	■
P3.11B	PLUMBING WASTE & VENT - FIRST FLOOR PLAN - AREA B	■	■	■
P3.12A	PLUMBING WASTE & VENT - SECOND FLOOR PLAN - AREA A	■	■	■
P3.12B	PLUMBING WASTE & VENT - SECOND FLOOR PLAN - AREA B	■	■	■
P3.13A	PLUMBING WASTE & VENT - ROOF PLAN - AREA A	■	■	■
P3.13B	PLUMBING WASTE & VENT - ROOF PLAN - AREA B	■	■	■
P4.01A	PLUMBING DOMESTIC WATER & GAS - FIRST FLOOR PLAN - AREA A	■	■	■
P4.01B	PLUMBING DOMESTIC WATER & GAS - FIRST FLOOR PLAN - AREA B	■	■	■
P4.02A	PLUMBING DOMESTIC WATER & GAS - SECOND FLOOR PLAN - AREA A	■	■	■
P4.02B	PLUMBING DOMESTIC WATER & GAS - SECOND FLOOR PLAN - AREA B	■	■	■
P4.11A	PLUMBING DOMESTIC WATER & GAS - ROOF PLAN - AREA A	■	■	■
P4.11B	PLUMBING DOMESTIC WATER & GAS - ROOF PLAN - AREA B	■	■	■
P5.00	PLUMBING SECTIONS, ELEVATIONS, & ENLARGED PLANS	■	■	■
P6.00	PLUMBING DIAGRAMS	■	■	■
P7.00	PLUMBING DETAILS	■	■	■
<b>09 KITCHEN</b>				
FS.01	EQUIPMENT FLOOR PLAN & SCHEDULE	■	■	■
FS.02	EQUIPMENT SCHEDULE AND NOTES	■	■	■
FS.03	PLUMBING REQUIREMENTS	■	■	■
FS.04	PLUMBING SCHEDULE, SYMBOLS & NOTES	■	■	■
FS.05	ELECTRICAL REQUIREMENTS	■	■	■
FS.06	ELECTRICAL SCHEDULE, SYMBOLS & NOTES	■	■	■
FS.07	SPECIAL BUILDING CONDITIONS	■	■	■
FS.08	SPECIAL BUILDING SYMBOLS & NOTES	■	■	■
FS.09	EXHAUST HOOD DETAILS	■	■	■
FS.10	FIRE SUPPRESSION REMOTE ACTIVATOR	■	■	■
FS.11	EXHAUST HOOD EXHAUST FAN DETAILS	■	■	■
FS.12	MAKE UP AIR UNIT DETAILS	■	■	■
FS.13	MAKE UP AIR UNIT WIRING DIAGRAM	■	■	■
FS.14	HOOD FIRE SUPPRESSION DETAILS	■	■	■
FS.15	HOOD CONTROL & FIRE SUPPRESSION WIRING DIAGRAMS	■	■	■
FS.16	HOOD DVC DETAILS	■	■	■
FS.17	HOOD DVC DETAILS	■	■	■
FS.18	HOOD DVC DETAILS	■	■	■
FS.19	HOOD DVC DETAILS	■	■	■

## NOT FOR CONSTRUCTION



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### WOODBURN II ASSISTED LIVING FACILITY

2355 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE

### SHEET INDEX & UNIT MATRIX

### DESIGN REVIEW SET

**GENERAL NOTES**

- CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED - DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2017 OREGON PLUMBING SPECIALTY CODE AND LOCAL JURISDICTION REQUIREMENTS.
- THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THESE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.
- EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 - 209.155.

**CONSTRUCTION NOTES**

- DEMOLITION**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
  - EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
  - ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
  - ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
  - CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
  - SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

**UTILITIES**

- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

**STORM AND SANITARY**

- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2021 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 00490, "WORK ON EXISTING SEWERS AND STRUCTURES".
- BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
- ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 1 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.
- ALL STORM AND SANITARY FITTINGS TO BE ECCENTRIC FITTINGS UNLESS OTHERWISE NOTED.

**WATER**

- ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
- ALL WATER AND FIRE PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKS PER DETAIL.
- ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.

**EARTHWORKS**

- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

**PAVING**

- SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

**MATERIAL NOTES**

- GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ENGINEER PRIOR TO INSTALLATION.
- STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2' OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- PRIVATE WATER MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE SCH 52 OR C900; AS INDICATED IN THE PLANS.
- PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER OR PVC; AS INDICATED IN THE PLANS.
- CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.

**SEPARATION STATEMENT**

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE, IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.

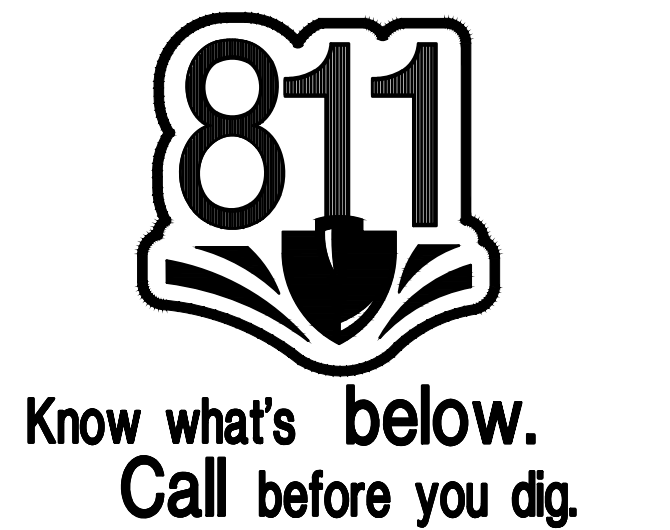
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**POTENTIAL UNDERGROUND FACILITY OWNERS**

**DIG SAFELY**  
CALL THE OREGON ONE-CALL CENTER  
1-800-332-2344

**EMERGENCY TELEPHONE NUMBERS**

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AFTER HOURS 503-226-4211  
503-464-7777  
1-800-573-1311  
PGE  
QWEST 1-800-483-1000  
VERIZON



REGISTERED PROFESSIONAL ENGINEER  
58412PE  
OREGON  
CRAIG N. HARRIS  
EXPIRES: 6/30/2023

**Ankrom Moisan**

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**WOODBURN II ASSISTED LIVING FACILITY**  
2325 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE

**AAI** aaihan associates, inc.  
**ENGINEERING**

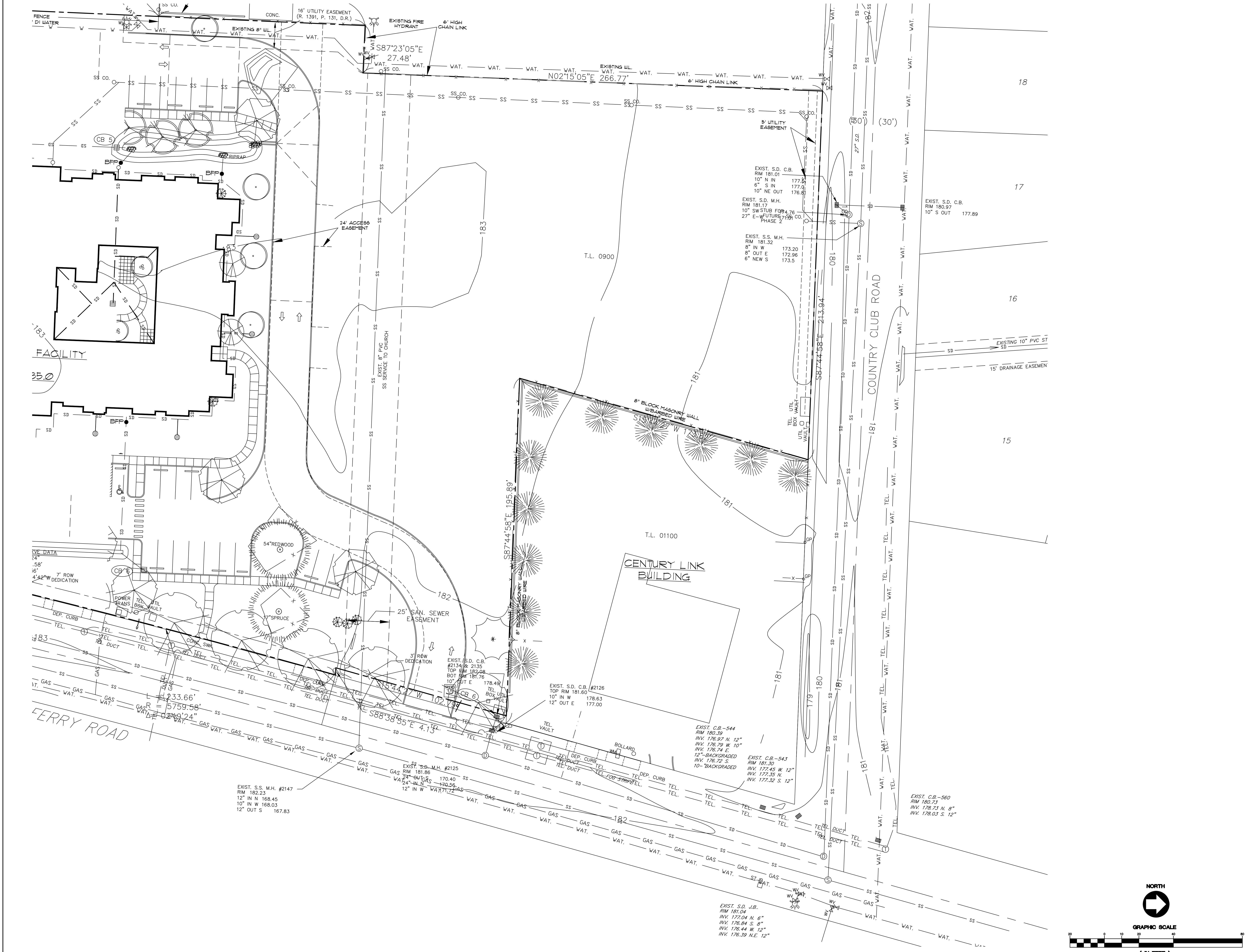
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GENERAL NOTES

PERMIT SET

DATE 02/08/2022	PROJECT NUMBER 203170
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SHEET NUMBER  
**C0.1**



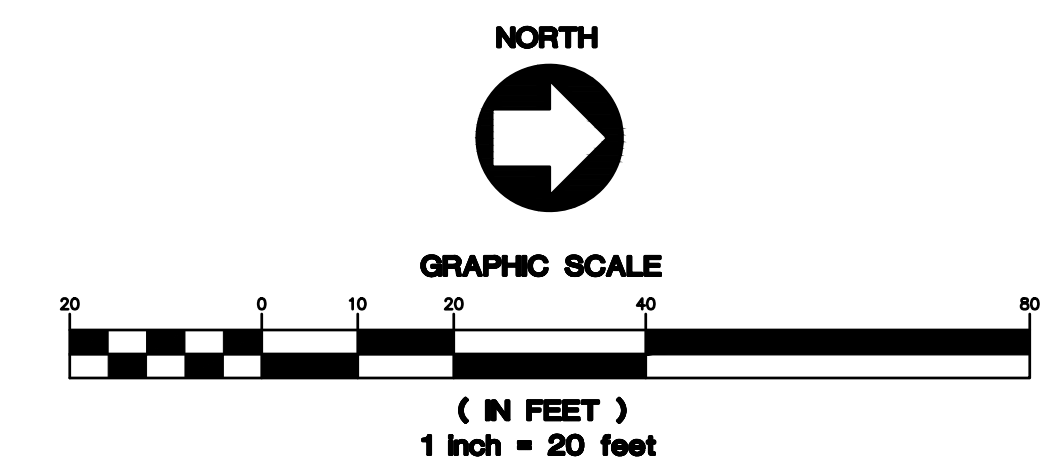
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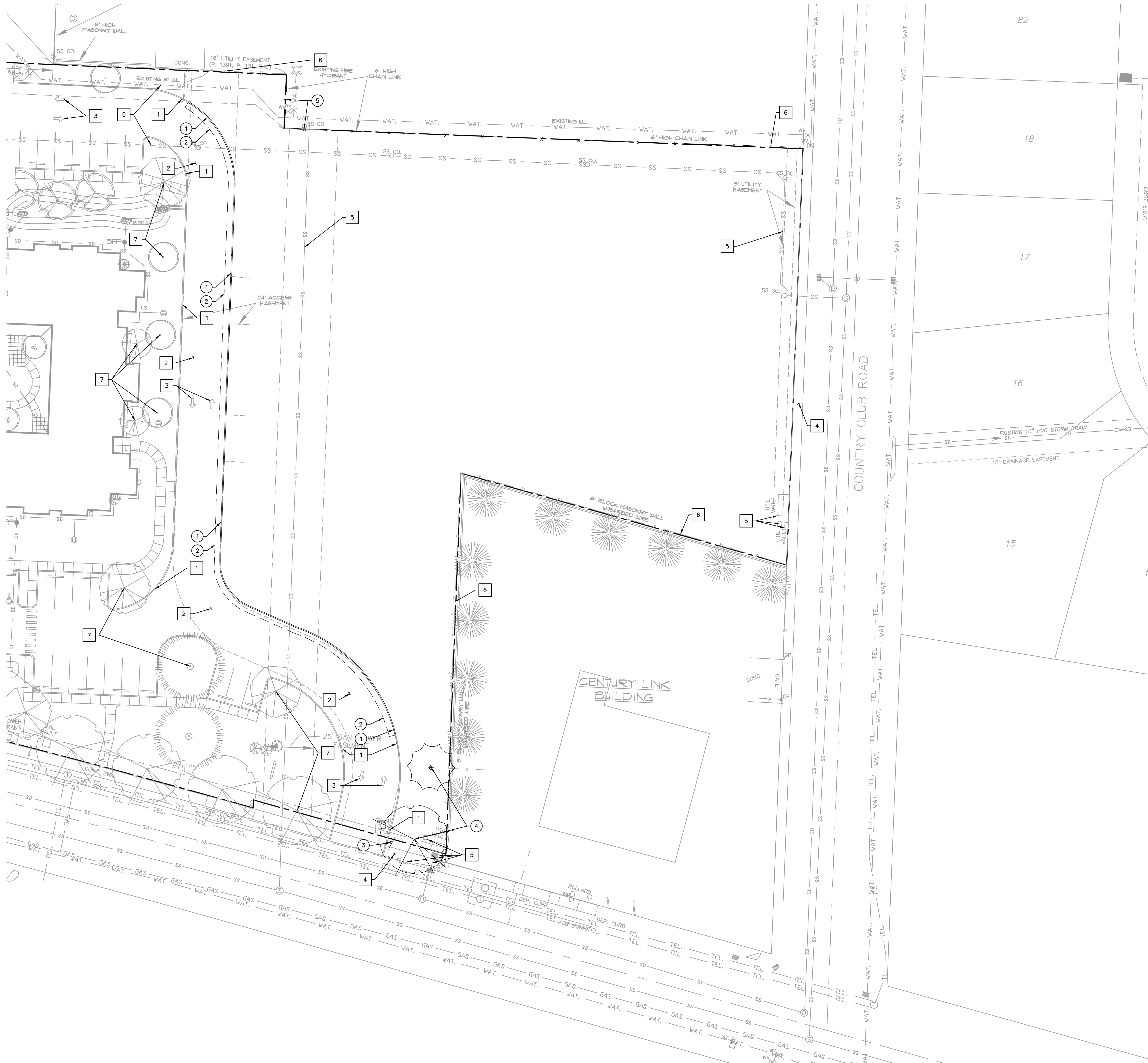
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REVISION	DATE	REASON FOR ISSUE

**AAI** *aligan associates, inc.*  
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 Project No. A21152.10

EXISTING CONDITIONS  
 PERMIT SET  
 DATE: 02/08/2022 PROJECT NUMBER: 203170  
 SHEET NUMBER: **C0.2**





**SHEET NOTES**

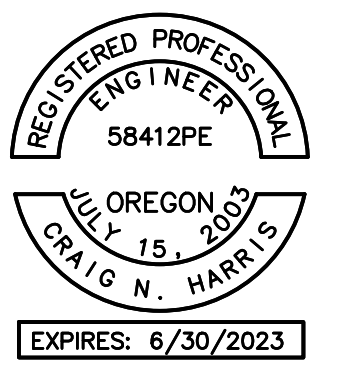
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
11. PROTECT ALL EXISTING VEGETATION TO REMAIN.

**X PROTECTION NOTES**

- 1 PROTECT EXISTING CURB
- 2 PROTECT EXISTING ASPHALT
- 3 PROTECT EXISTING STRIPING
- 4 PROTECT EXISTING SIDEWALK
- 5 PROTECT EXISTING UTILITY
- 6 PROTECT EXISTING FENCE
- 7 PROTECT EXISTING TREE

**X DEMOLITION NOTES**

- 1 REMOVE EXISTING CURB
- 2 SAWCUT AND REMOVE EXISTING ASPHALT
- 3 REMOVE AND REPLACE EXISTING SPEED LIMIT SIGN
- 4 REMOVE EXISTING TREE
- 5 REMOVE EXISTING FENCE



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REVISION	DATE	REASON FOR ISSUE

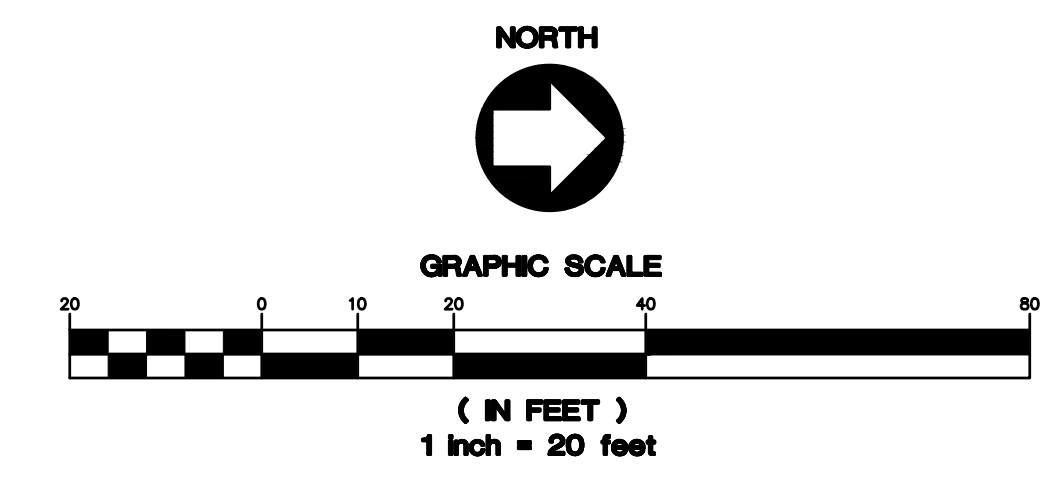
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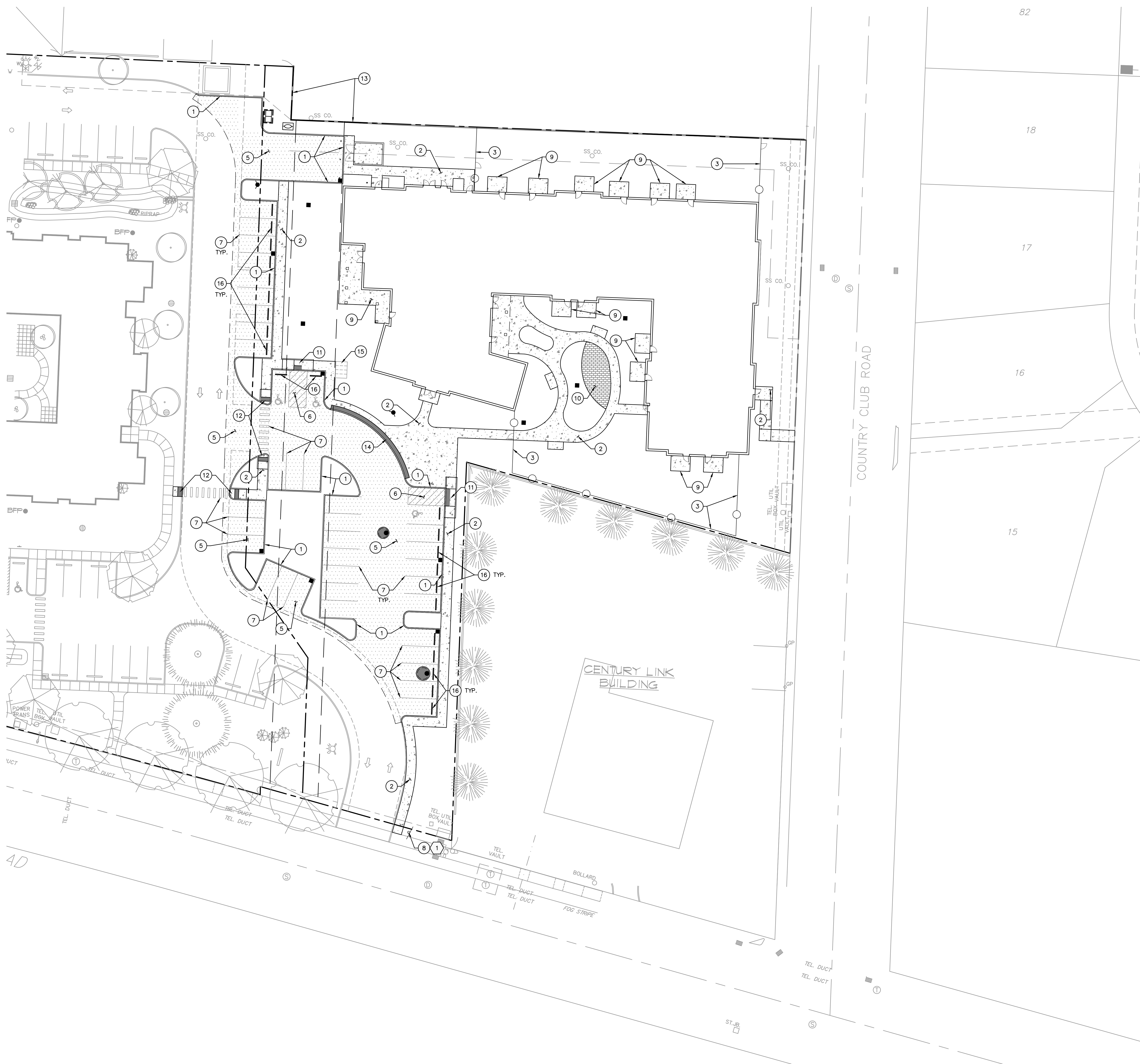
DEMO PLAN

PERMIT SET

DATE 02/08/2022	PROJECT NUMBER 203170
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SHEET NUMBER  
**C0.3**





**SHEET NOTES**

1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

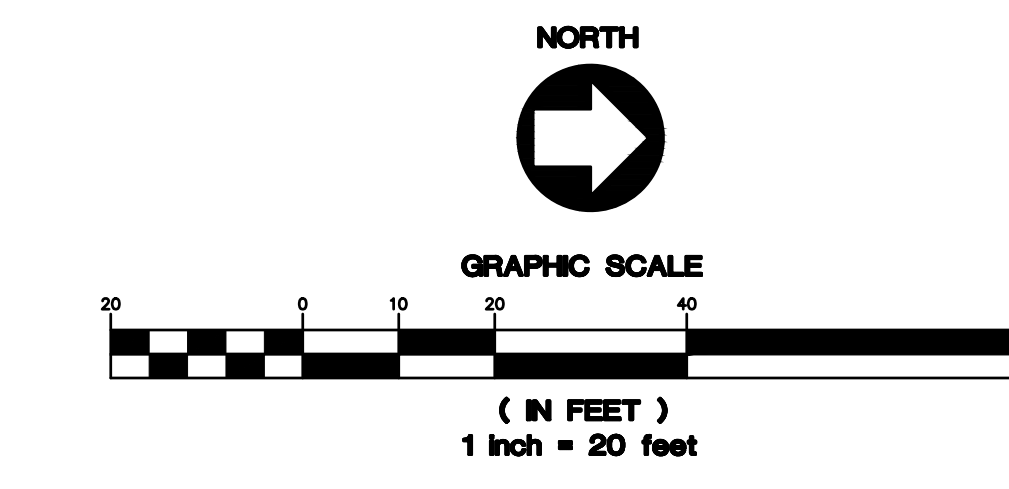
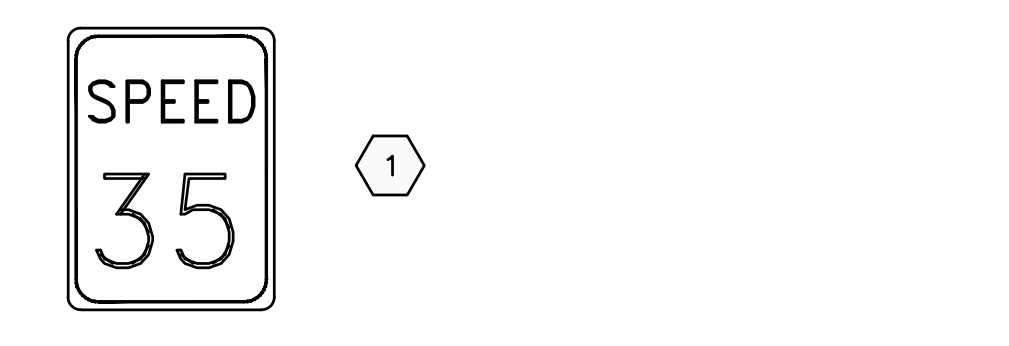
**(X) CONSTRUCTION NOTES**

1. INSTALL CURB PER DETAIL 1/C4.0
2. INSTALL SIDEWALK PER DETAIL 4/C4.0
3. INSTALL FENCE WITH GATE, TO BE DESIGNED BY OTHERS
4. NOT USED
5. INSTALL ASPHALT SURFACE PER DETAIL 2/C4.0
6. INSTALL ADA PARKING PER DETAIL 6/C4.0
7. INSTALL STRIPING, SEE ARCHITECTURAL PLANS
8. REPLACE EXISTING SPEED LIMIT SIGN, SEE SIGN LEGEND - SAME SHEET
9. INSTALL CONCRETE SURFACE PER DETAIL 4/C4.0
10. INSTALL COURTYARD AREA, SEE LANDSCAPING PLANS
11. INSTALL CURB RAMP PER DETAIL 5/C4.0
12. INSTALL CURB RAMP PER DETAIL 8/C4.0
13. INSTALL CMU WALL
14. NOT USED
15. INSTALL BIKE RACK, TO BE DESIGNED BY OTHERS
16. INSTALL WHEEL STOP PER DETAIL 10/C4.0

**LEGEND**

- PROPERTY LINE
- CONCRETE SIDEWALK SURFACING
- ASPHALT SURFACING

**SIGN LEGEND**



REGISTERED PROFESSIONAL ENGINEER  
CRAIG N. HARRIS  
EXPIRES: 6/30/2023

**AM**  
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Project No. A21162.10

**WOODBURN II ASSISTED LIVING FACILITY**  
2325 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

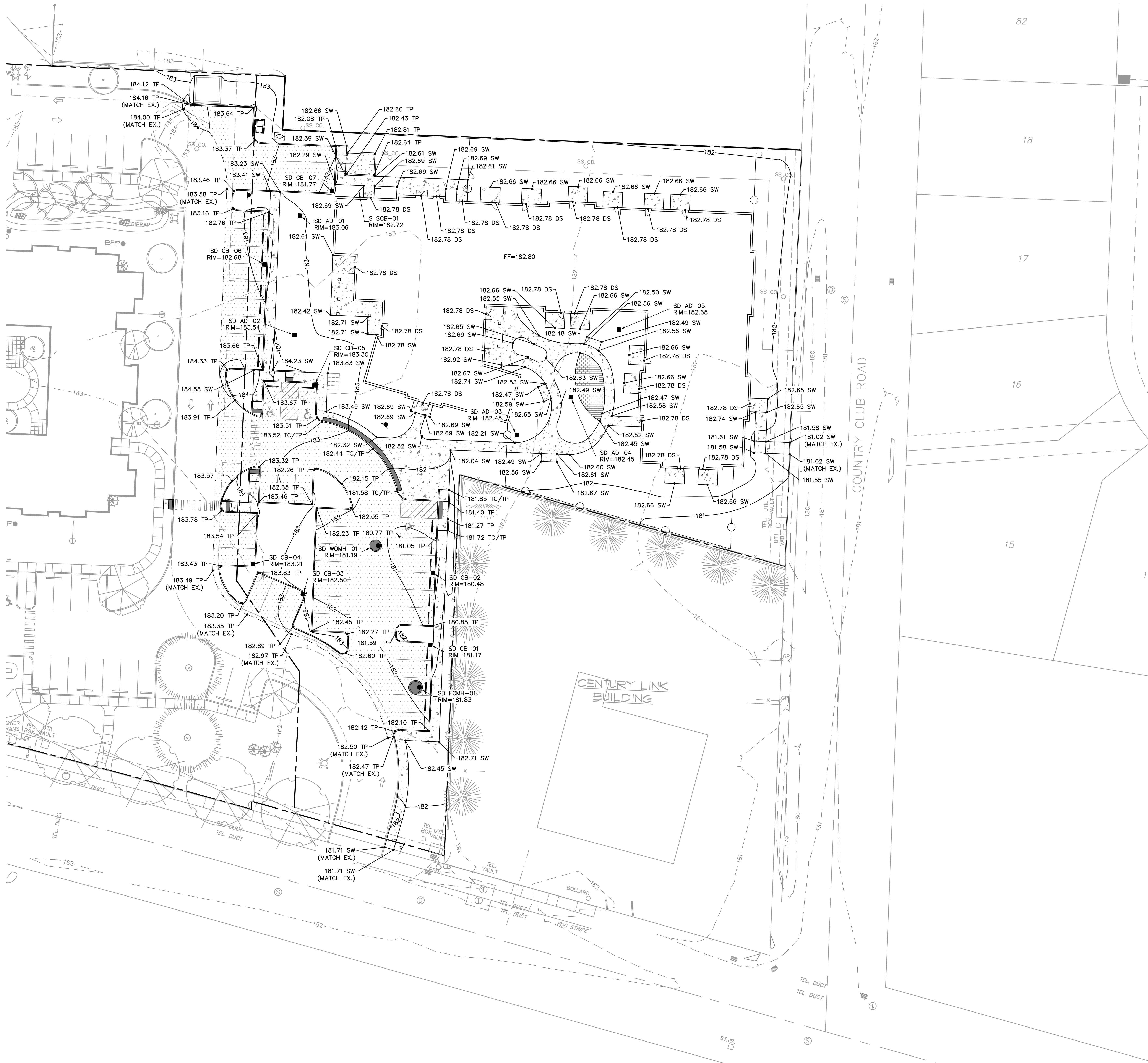
REVISION	DATE	REASON FOR ISSUE
A	9/2/22	DR Completeness

HARDSCAPE PLAN

DR COMPLETENESS SET

DATE	PROJECT NUMBER
09/02/2022	203170

SHEET NUMBER  
**C1.0**



**SHEET NOTES**

- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
- LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMP WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
- GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

**GRADING LABEL LEGEND**

- SPOT ELEVATION  
 XXX XX DESCRIPTION LISTED BELOW.
- DS DOOR SILL
  - EX EXISTING GRADE
  - FF FINISHED FLOOR ELEVATION
  - FG FINISH GRADE
  - G GROUND
  - SW SIDEWALK
  - TC TOP OF CURB
  - TP TOP OF PAVEMENT

**LEGEND**

- EXISTING CONTOUR MINOR  102
- EXISTING CONTOUR MAJOR  100
- PROPOSED CONTOUR MINOR  102
- PROPOSED CONTOUR MAJOR  100
- GRADE BREAK  GB GB

REGISTERED PROFESSIONAL ARCHITECT  
 CRAIG N. HARRIS  
 EXPIRES: 6/30/2023

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**WOODBURN II ASSISTED LIVING FACILITY**  
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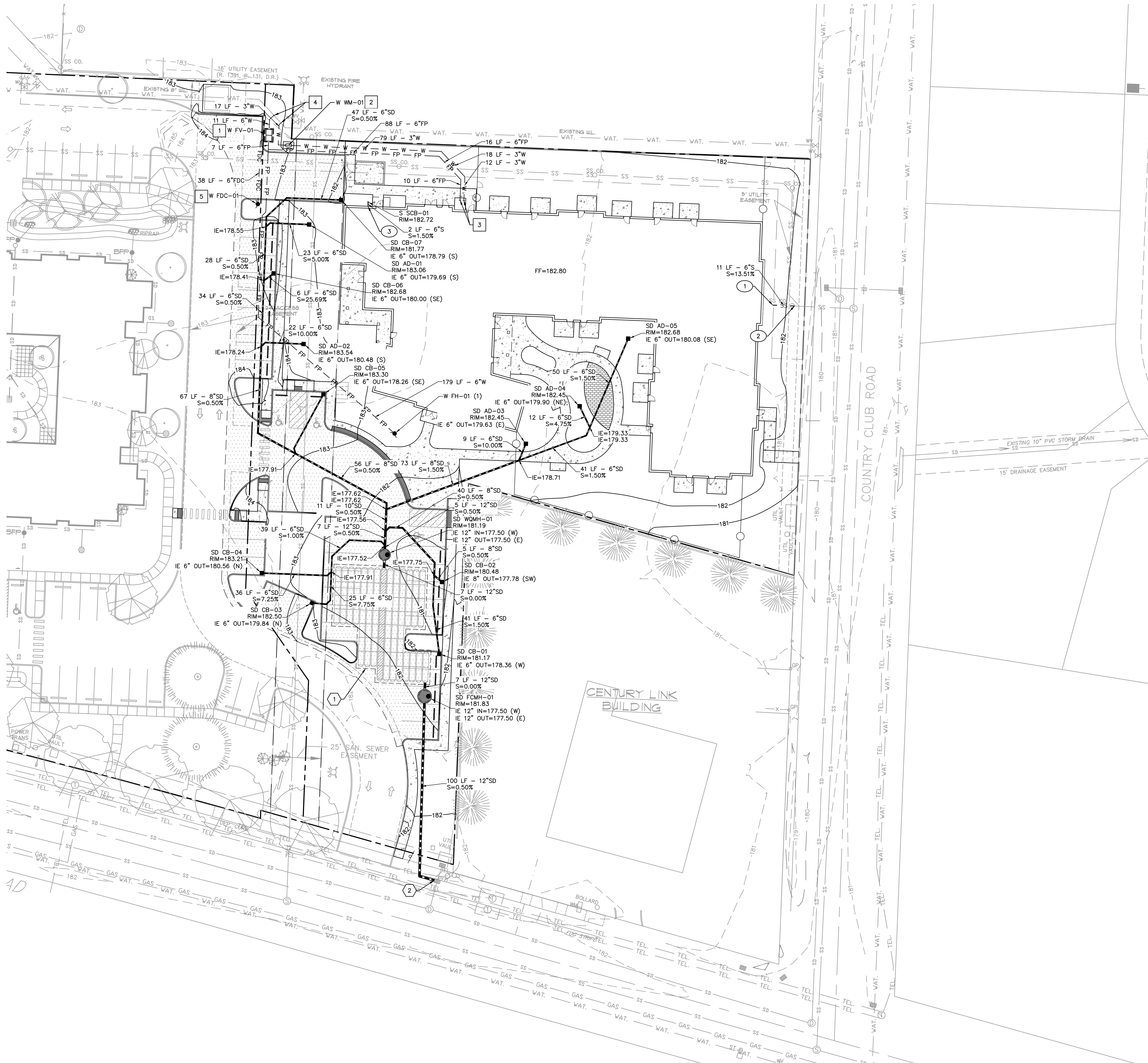
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A	9/2/22	DR Completeness

GRADING PLAN

DR COMPLETENESS SET

DATE	PROJECT NUMBER
09/02/2022	203170

SHEET NUMBER  
**C2.0**



**SHEET NOTES**

- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL 2/C4.1.
- INSTALL THRU BLOCKS ON FIRE AND WATER LINES PER DETAIL 1/C4.1.
- ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
- DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
- UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FURTHER THAN 36" FROM THE MANHOLE.
- CONTRACTOR TO VERIFY SANITARY AND WATER SIZING AND INVERTS WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.
- ALL STORM AND SANITARY FITTINGS TO BE ECCENTRIC FITTINGS UNLESS OTHERWISE NOTED.

**LABEL LEGEND**

- PIPE LABELS**
- UTILITY LENGTH
  - UTILITY SIZE
  - XXLF - XX" XX - UTILITY TYPE
  - S=X.XXX - SLOPE (WHERE APPLICABLE)
- STRUCTURE LABELS**
- UTILITY TYPE (FP= FIRE PROTECTION, S=SANITARY, SD=STORM DRAINAGE, W=WATER)
  - STRUCTURE TYPE (SEE BELOW)
  - XX XX-XX - ID NUMBER (WHERE APPLICABLE)
  - RIM=XX.XX - RIM ELEVATION (WHERE APPLICABLE)
  - IE IN=XX.XX - INVERT ELEVATION (WHERE APPLICABLE)
  - IE OUT=XX.XX - OUTLET ELEVATION (WHERE APPLICABLE)
- STRUCTURE TYPES**
- | TYPE | DESCRIPTION                                   |
|------|---|
| AD   | AREA DRAIN, PER DETAIL 9/C4.1                 |
| CB   | CATCH BASIN, PER DETAIL 4/C4.1                |
| CO   | CLEANOUT, PER DETAIL 5/C4.1                   |
| DCBA | REDUCED PRESSURE BACKFLOW, PER DETAIL 6/C4.1  |
| FCMH | FLOW CONTROL MANHOLE, PER DETAIL 10/C4.1      |
| FDC  | FIRE DEPARTMENT CONNECTION, PER DETAIL 3/C4.1 |
| FH   | FIRE HYDRANT (PRIVATE) PER DETAIL 11/C4.0     |
| FV   | FIRE VAULT, PER DETAIL 7/C4.1                 |
| MMH  | MAINTENANCE MANHOLE, PER DETAIL 8/C4.1        |
| RD   | ROOF DRAIN CONNECTION                         |
| SCB  | SANITARY CATCHBASIN, PER DETAIL 11/C4.1       |
| WM   | WATER METER                                   |

**LEGEND**

- |                     |     |             |
|---------------------|-----|-------------|
| SANITARY SEWER LINE | SS  | SS          |
| WATER LINE          | W   | W W W       |
| FIRE LINE           | FP  | FP FP FP FP |
| FDC LINE            | FDC | FDC FDC FDC |
| STORM LINE          | SD  | SD SD SD SD |

**STORM NOTES**

- INSTALL UNDERGROUND STORM WATER DETENTION FACILITY (80" SC-310 STORMTECH CHAMBERS WITHIN A ROCK SECTION THAT HAS A FOOTPRINT OF 2,400SF AND 2.3' DEEP. WRAP ENTIRE ROCK SECTION IN GEOSYNTHETIC FABRIC. SEE SHEET C4.2 FOR DETAILS
- CONNECT TO EXISTING CATCH BASIN. IE=177.00

**SANITARY NOTES**

- CONNECT TO BUILDING. IE=175.00
- CONNECT TO EXISTING STUB AT CLEANOUT. CONTRACTOR TO VERIFY INVERT ELEVATION.
- CONNECT SANITARY CATCHBASIN TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION

**WATER NOTES**

- INSTALL 6" FIRE VAULT
- INSTALL 3" WATER METER
- CONNECT TO BUILDING
- CONNECT TO EXISTING 8" WATER MAIN
- 4" FDC

REGISTERED PROFESSIONAL ENGINEER  
CRAIG N. HARRIS  
EXPIRES: 6/30/2023

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2325 N BOONES FERRY RD, WOODBURN, OR 97071

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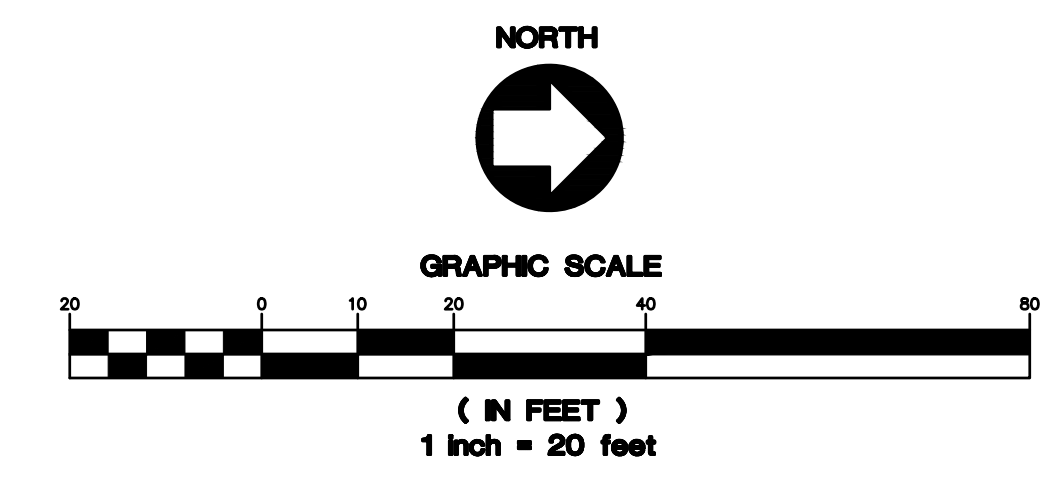
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A	9/2/22	DR Completeness

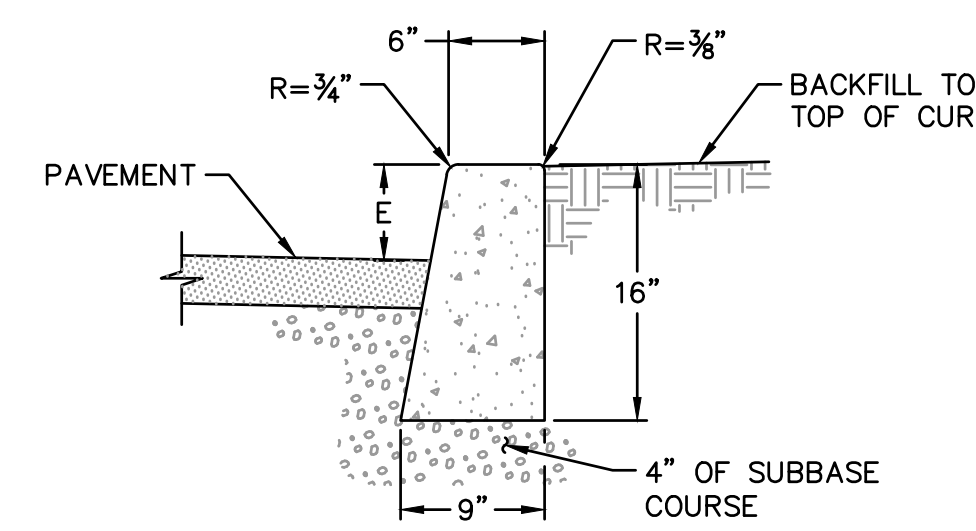
UTILITY PLAN

DR COMPLETENESS SET

DATE	PROJECT NUMBER
09/02/2022	203170

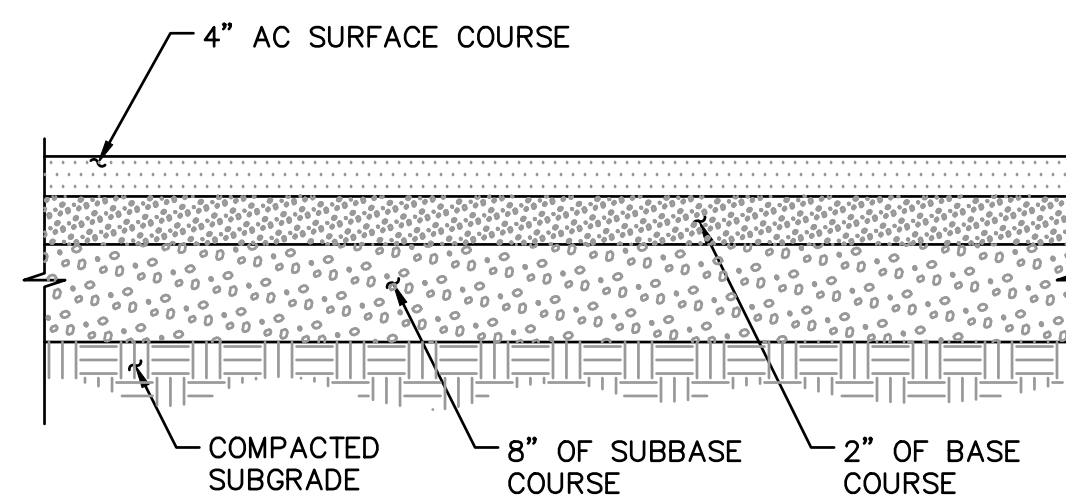
SHEET NUMBER  
**C3.0**



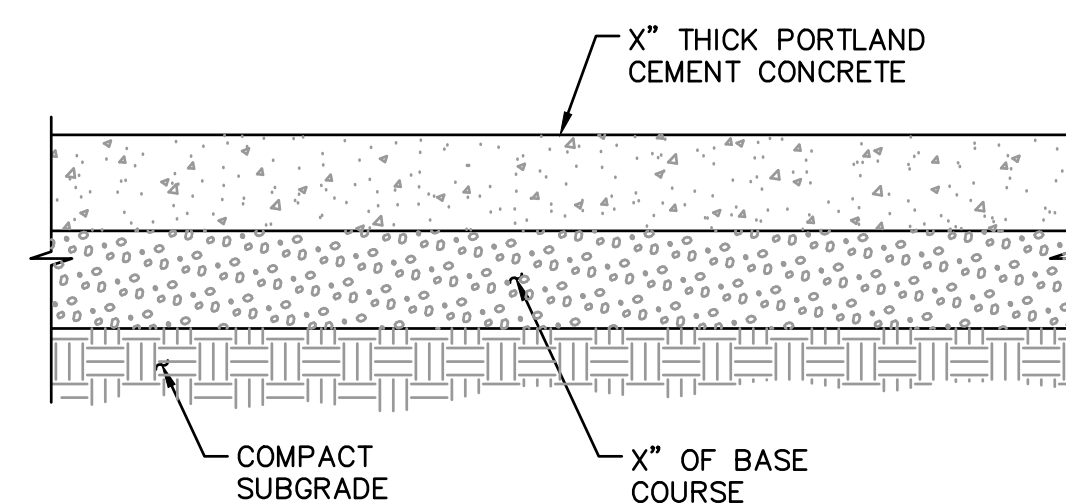


- NOTES:**
- CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
  - CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
  - DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

**1 CONCRETE CURB - STANDARD**  
SCALE: NTS

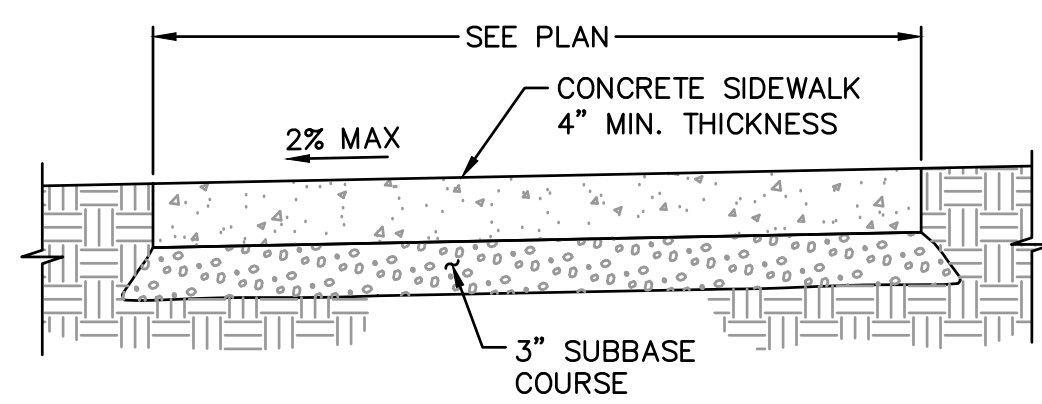


**2 STANDARD ASPHALT PAVEMENT SECTION**  
SCALE: NTS



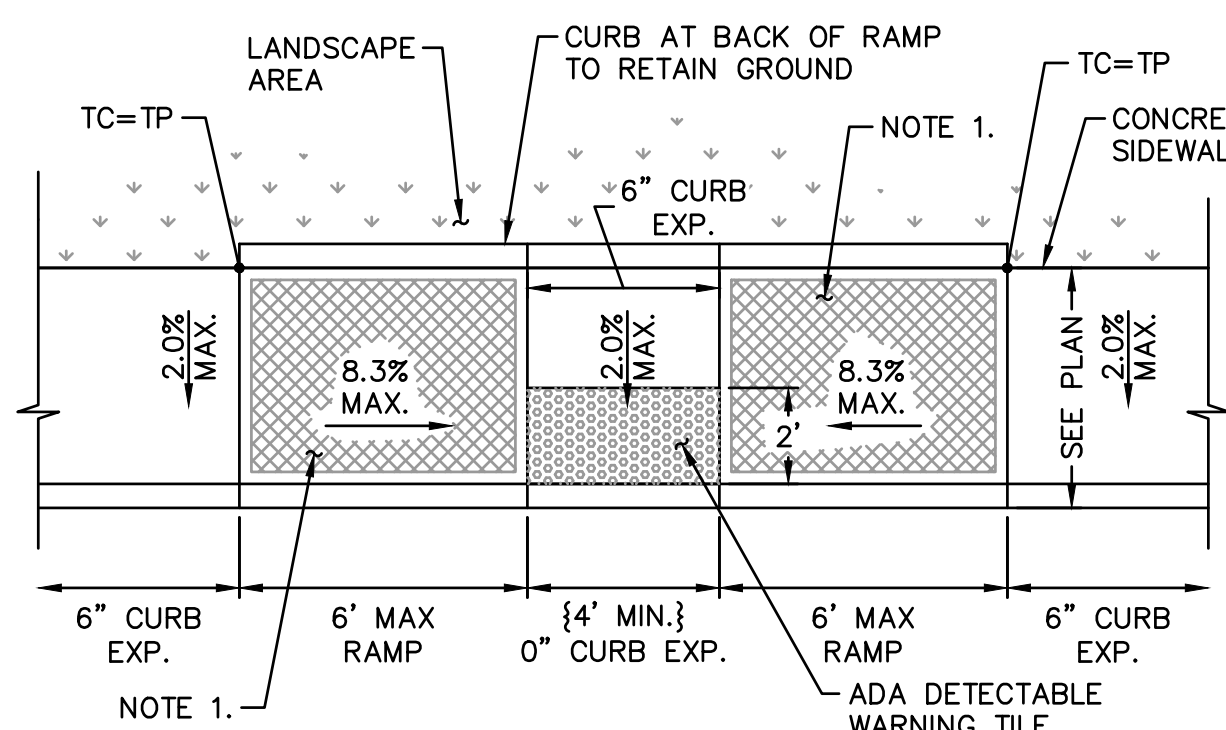
- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - PROVIDE MEDIUM TO COARSE BROOM FINISH.

**3 CONCRETE PAVEMENT SECTION**  
SCALE: NTS



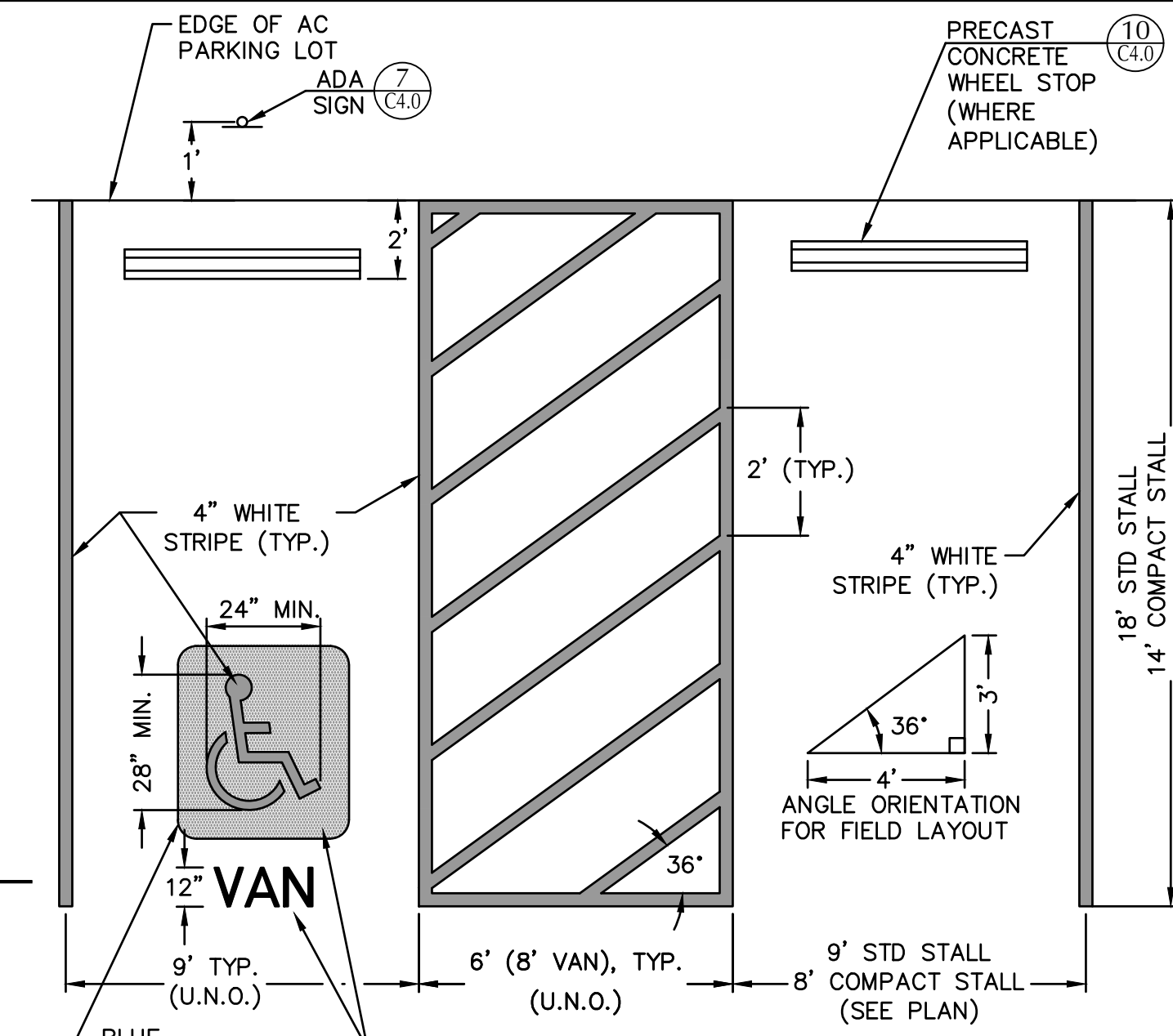
- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.
  - CONCRETE SHALL BE 3000 P.S.I AT 28 DAYS, 6 SACK MIX, SLUMP RANGE OF 1-1/2" TO 3".
  - PANELS SHALL BE 5 FEET LONG.
  - EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45 FEET.
  - FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MINIMUM 1/2" RADIUS.
  - SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES IF MOUNTABLE CURB IS USED OR IF SIDEWALK IS INTENDED AS PORTION OF DRIVEWAY. OTHERWISE SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 4 INCHES.
  - DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PVC PIPE AT 2% SLOPE. CONTRACTION JOINT TO BE PLACED OVER PIPE.

**4 CONCRETE SIDEWALK**  
SCALE: NTS

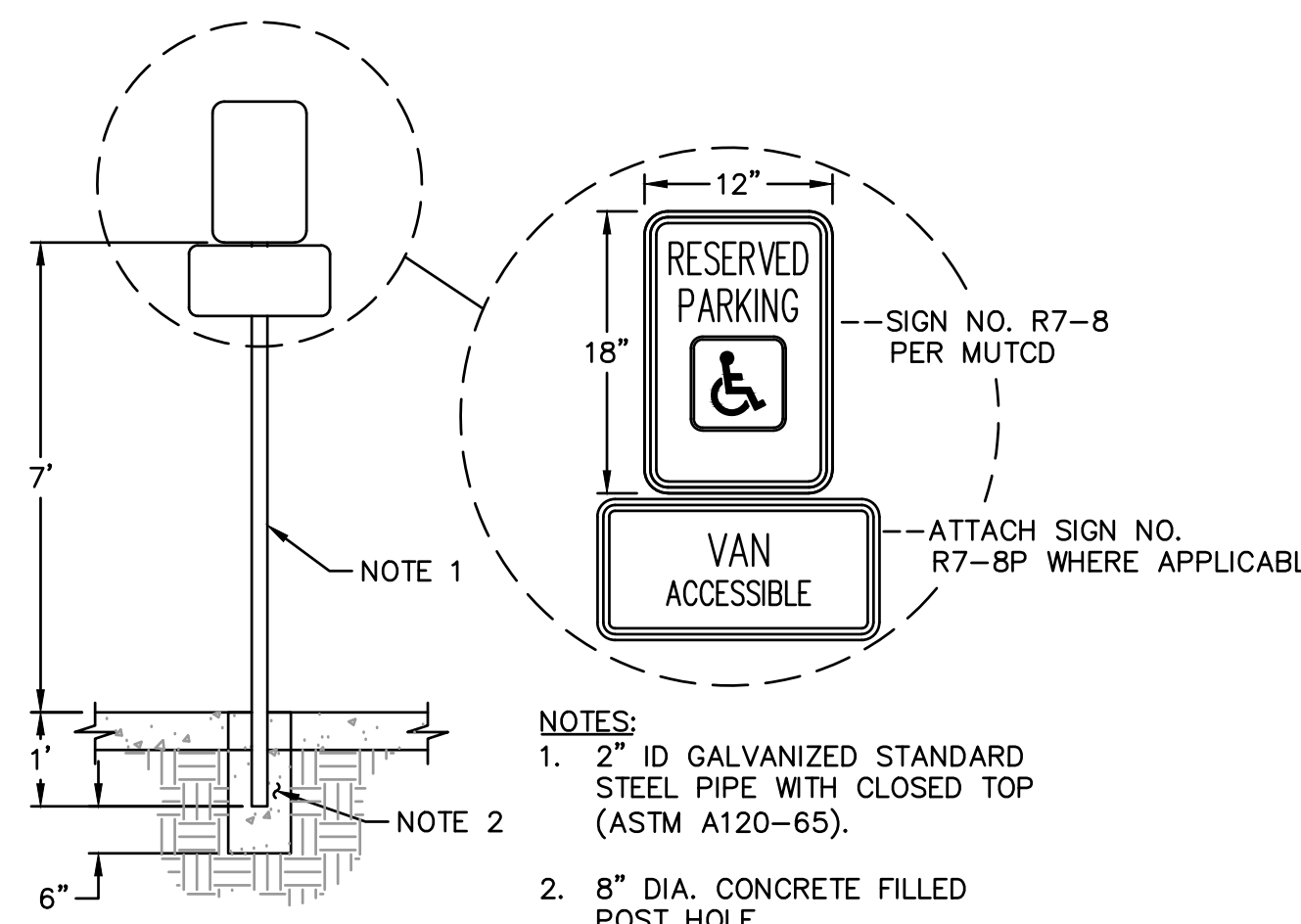


- NOTES:**
- PROVIDE RAMP TEXTURING WITH AN EXPANDED METAL GRATE PLACED ON AND REMOVED FROM WET CONCRETE TO LEAVE A DIAMOND PATTERN. EACH DIAMOND SHALL BE 1 1/4" LONG BY 1/2" WIDE WITH THE LONG SECTION AXIS ORIENTED PERPENDICULAR TO THE CURB. THE GROOVES SHALL BE 1/8" DEEP BY 1/4" WIDE.

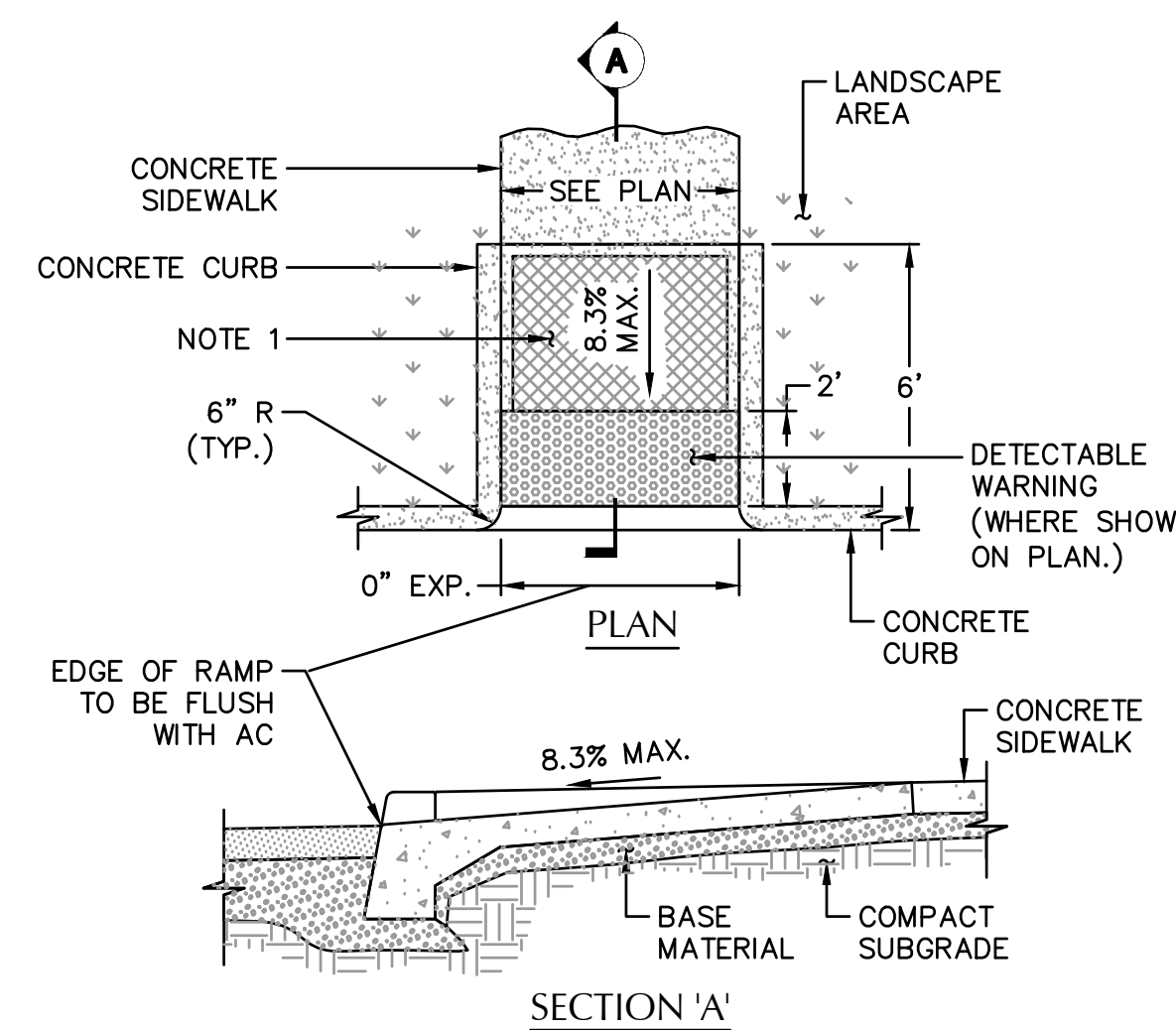
**5 CURB RAMP - TYPE 5**  
SCALE: NTS



**6 TYPICAL PARKING LAYOUT**  
SCALE: NTS

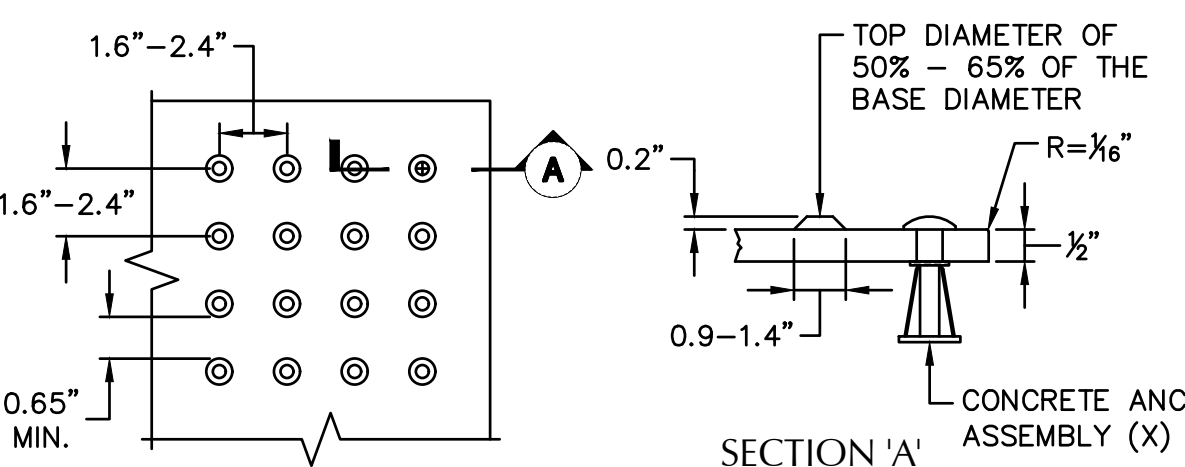


**7 ADA PARKING SIGN - TYPE 1**  
SCALE: NTS



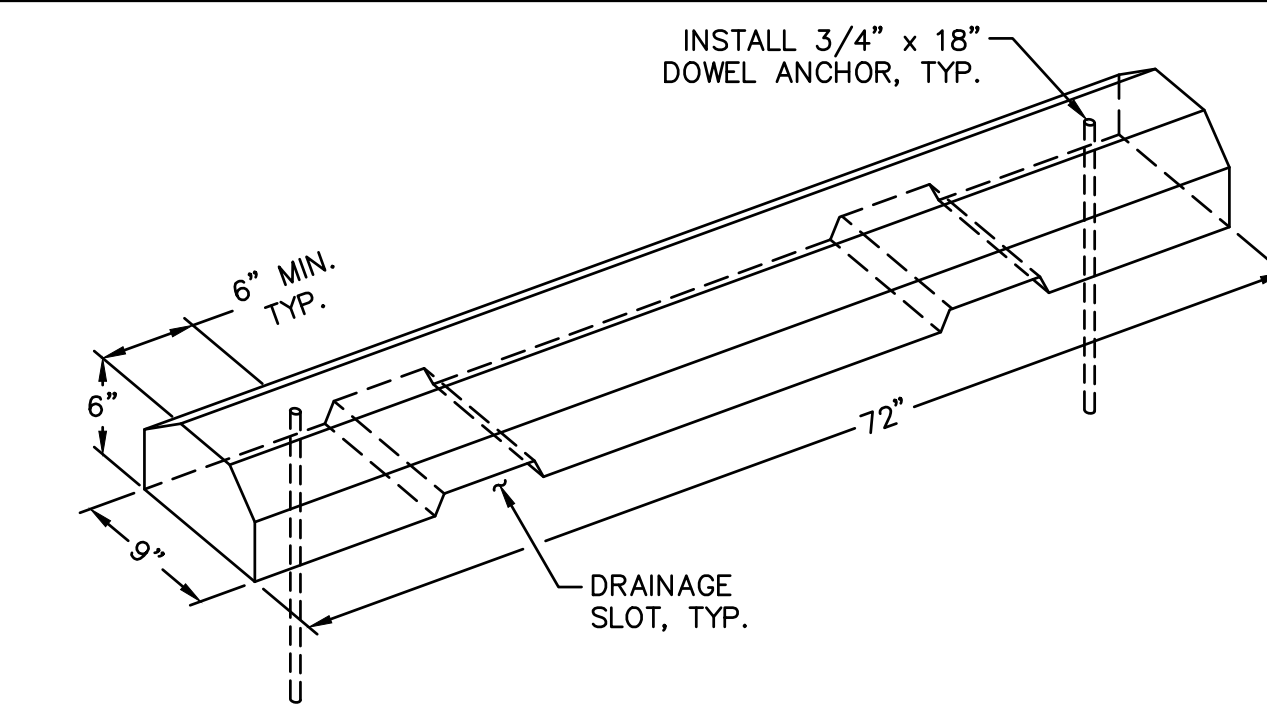
- NOTES:**
- PROVIDE RAMP TEXTURING WITH AN EXPANDED METAL GRATE PLACED ON AND REMOVED FROM WET CONCRETE TO LEAVE A DIAMOND PATTERN. EACH DIAMOND SHALL BE 1 1/4" LONG BY 1/2" WIDE WITH THE LONG SECTION AXIS ORIENTED PERPENDICULAR TO THE CURB. THE GROOVES SHALL BE 1/8" DEEP BY 1/4" WIDE.

**8 CURB RAMP - TYPE 2**  
SCALE: NTS



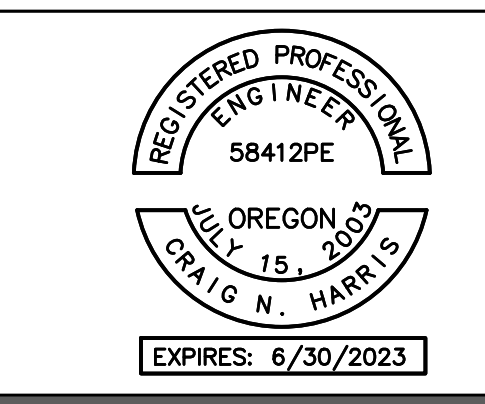
- NOTES:**
- DETECTABLE WARNINGS SHALL BE INSTALLED AS SHOWN IN PLANS AND DETAILS AND TO THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE OR OTHER POTENTIAL HAZARD IS 6 TO 8 INCHES FROM THE CURB LINE OR OTHER POTENTIAL HAZARD.
  - DETECTABLE WARNING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  - MANUFACTURER OF DETECTABLE WARNING: ARMORCAST CAST IN PLACE DETECTABLE WARNING PANELS PH: (818) 982-3600 - ARMORCASTPROD.COM COLOR: SAFETY YELLOW OR APPROVED EQUAL

**9 DETECTABLE WARNING - TYPE 2**  
SCALE: NTS



- NOTES:**
- DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

**10 PRECAST CONCRETE WHEEL STOP**  
SCALE: NTS



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WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE



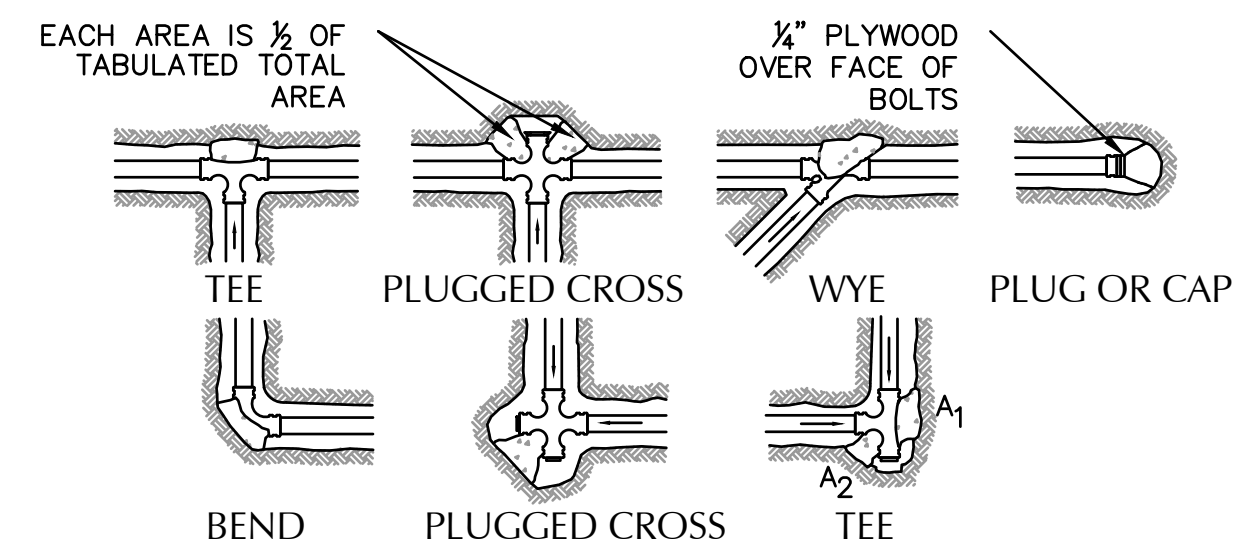
DETAILS

PERMIT SET

DATE: 02/08/2022 PROJECT NUMBER: 203170

SHEET NUMBER: C4.0





- CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
- KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
- THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENVICRLED ON THE PLAN; e.g. ③ INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
- IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW, ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
- BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

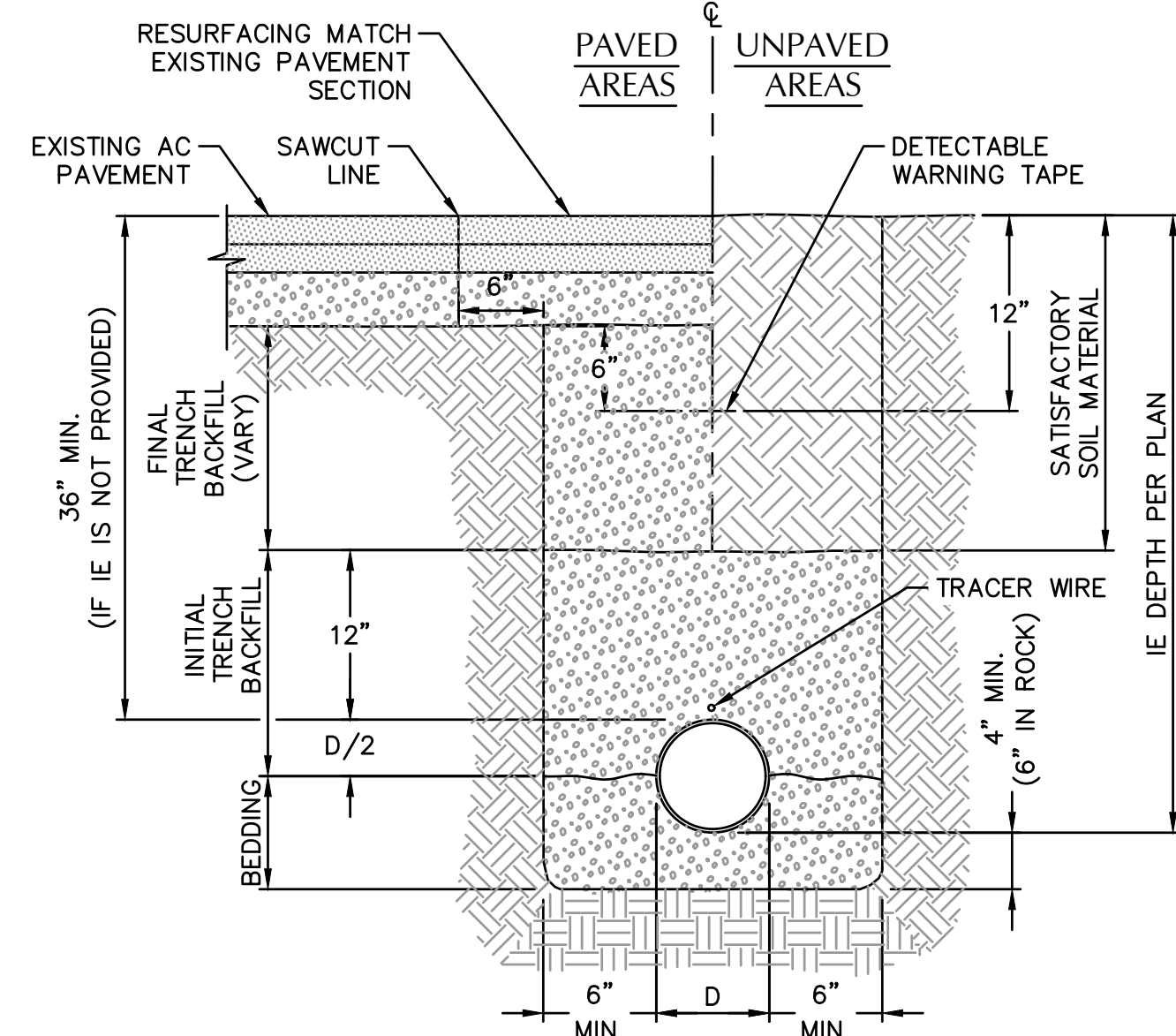
BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

FITTING SIZE	TEE		90° BEND		45° BEND		22 1/2° BEND		11 1/2° BEND	
	PLUG OR CAP	PLUGGED CROSS	A1	A2	A1	A2	A1	A2	A1	A2
4	1.0	1.4	1.9	1.4	1.0	1.0				
6	2.1	3.0	4.3	3.0	1.6	1.0				
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0			
10	5.9	8.4	11.8	8.4	4.6	2.4	1.2			

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.f. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)X(2000/ SOIL BEARING STRESS)X(TABLE VALUE).

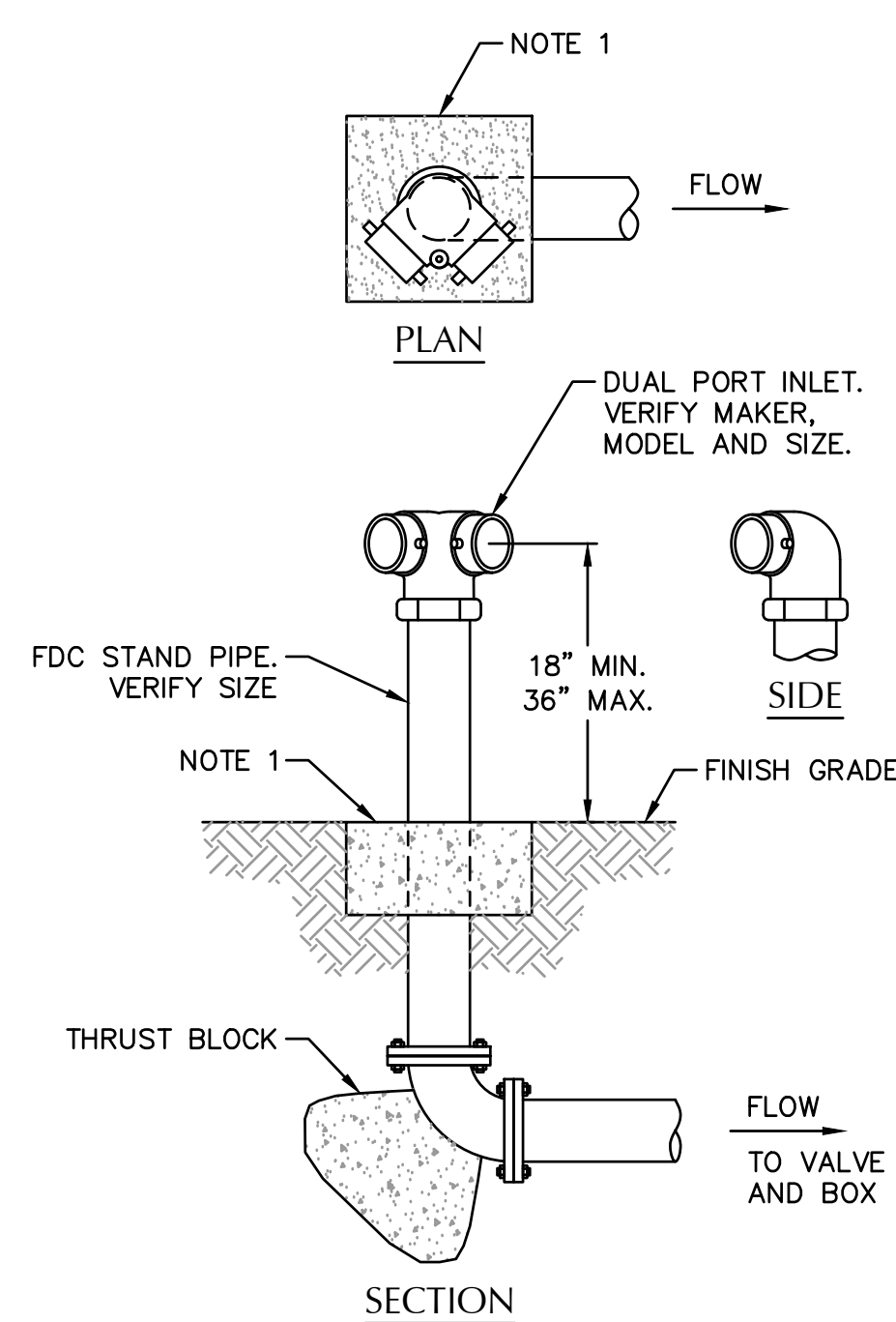
### 1 THRUST BLOCK

SCALE: NTS



### 2 TYPICAL PIPE BEDDING AND BACKFILL

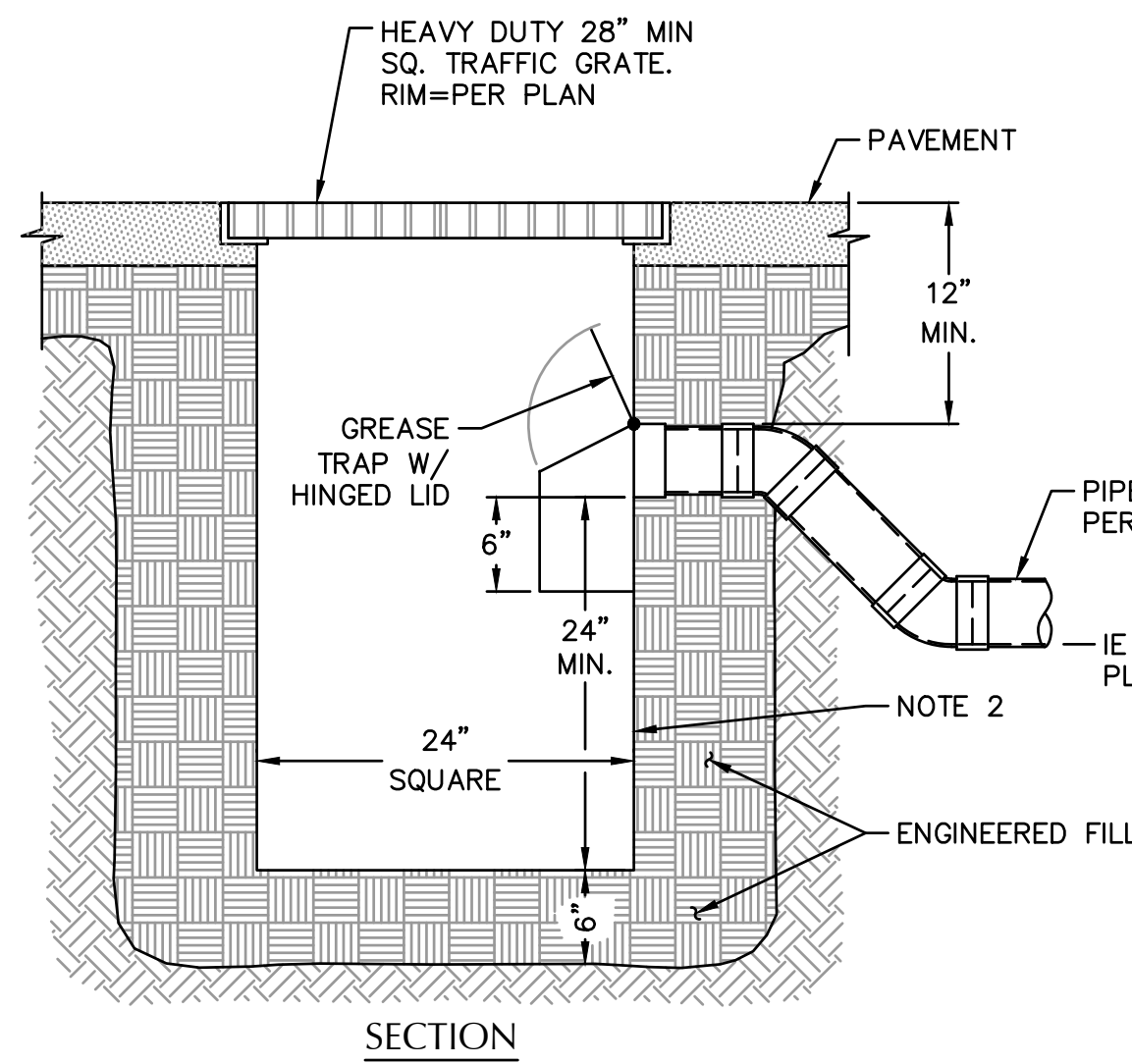
SCALE: NTS



- NOTES:
- CONCRETE ANCHOR PAD TO BE 12"x12"x6" THICK, UNLESS NOTED OTHERWISE. ELIMINATE IF INSTALLED IN CONCRETE PAVED AREA.
  - USE FLANGE OR THREADED FITTINGS.
  - CONTRACTOR SHALL PROVIDE SINGLE CHECK VALVE AND BALL DRIP VALVE IN ACCESSIBLE LOCATION INSIDE DDCV VAULT. COORDINATE WITH PLUMBING.

### 3 FIRE DEPARTMENT CONNECTION (FDC) DUAL PORT

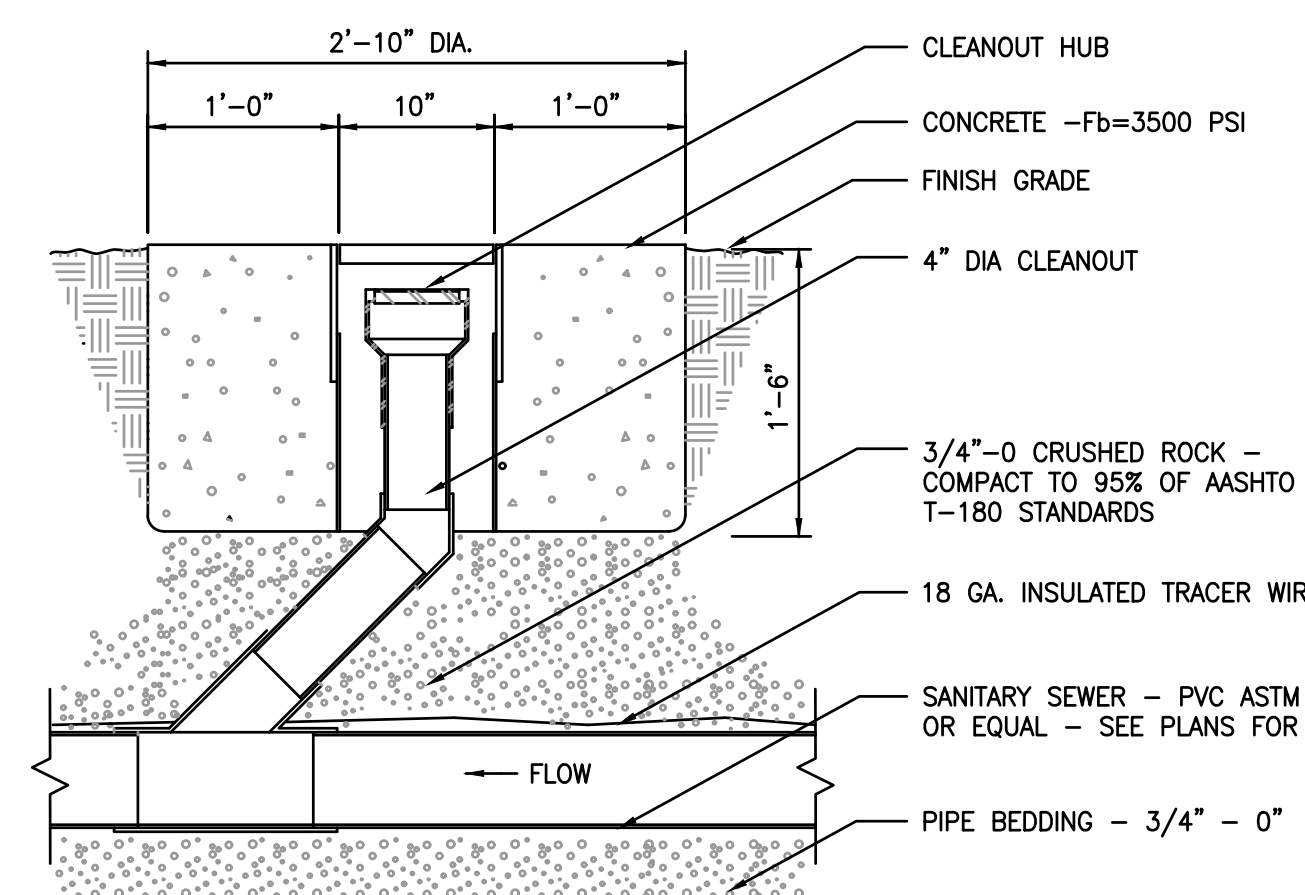
SCALE: NTS



- NOTES:
- CONTRACTOR TO WIDEN EXCAVATION AS REQUIRED TO OBTAIN COMPACTION WITH CONTRACTORS COMPACTION EQUIPMENT.
  - 1/4" STEEL PLATE, BITUMINOUS COATED, AS MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.

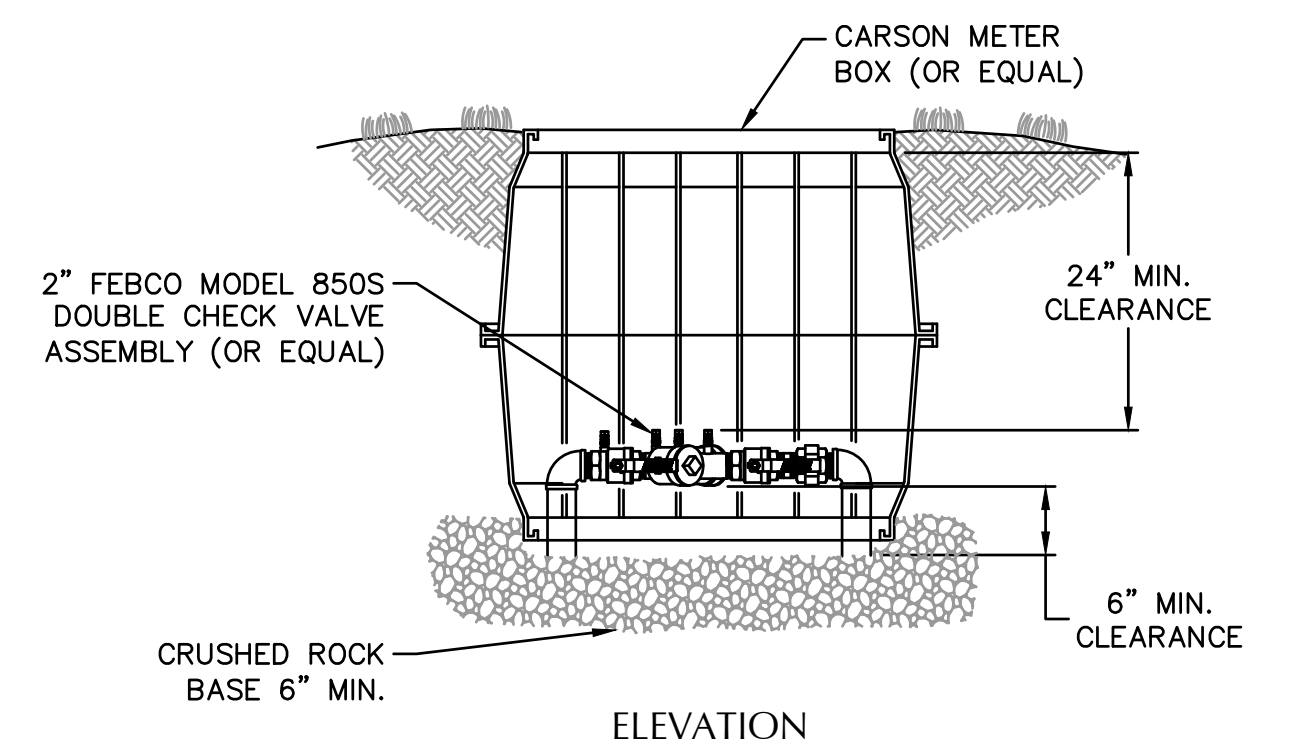
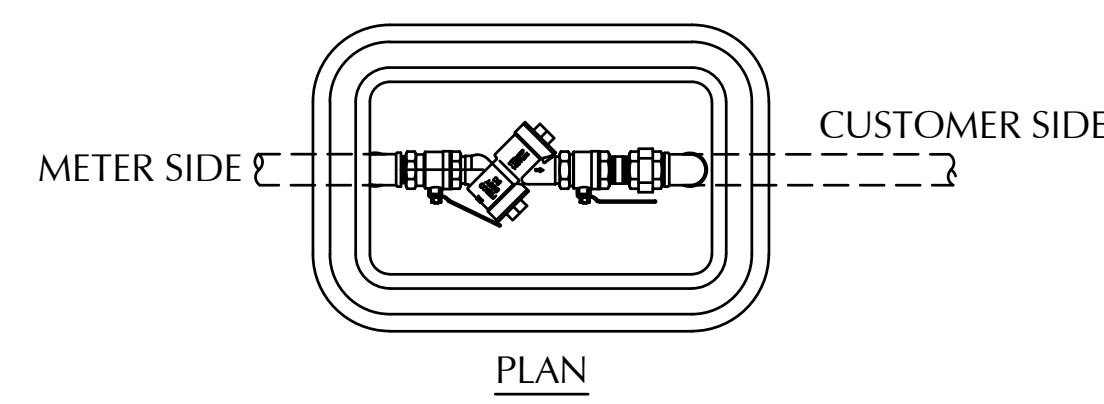
### 4 TRAPPED CATCH BASIN

SCALE: NTS



### 5 TYPICAL CLEANOUT SECTION

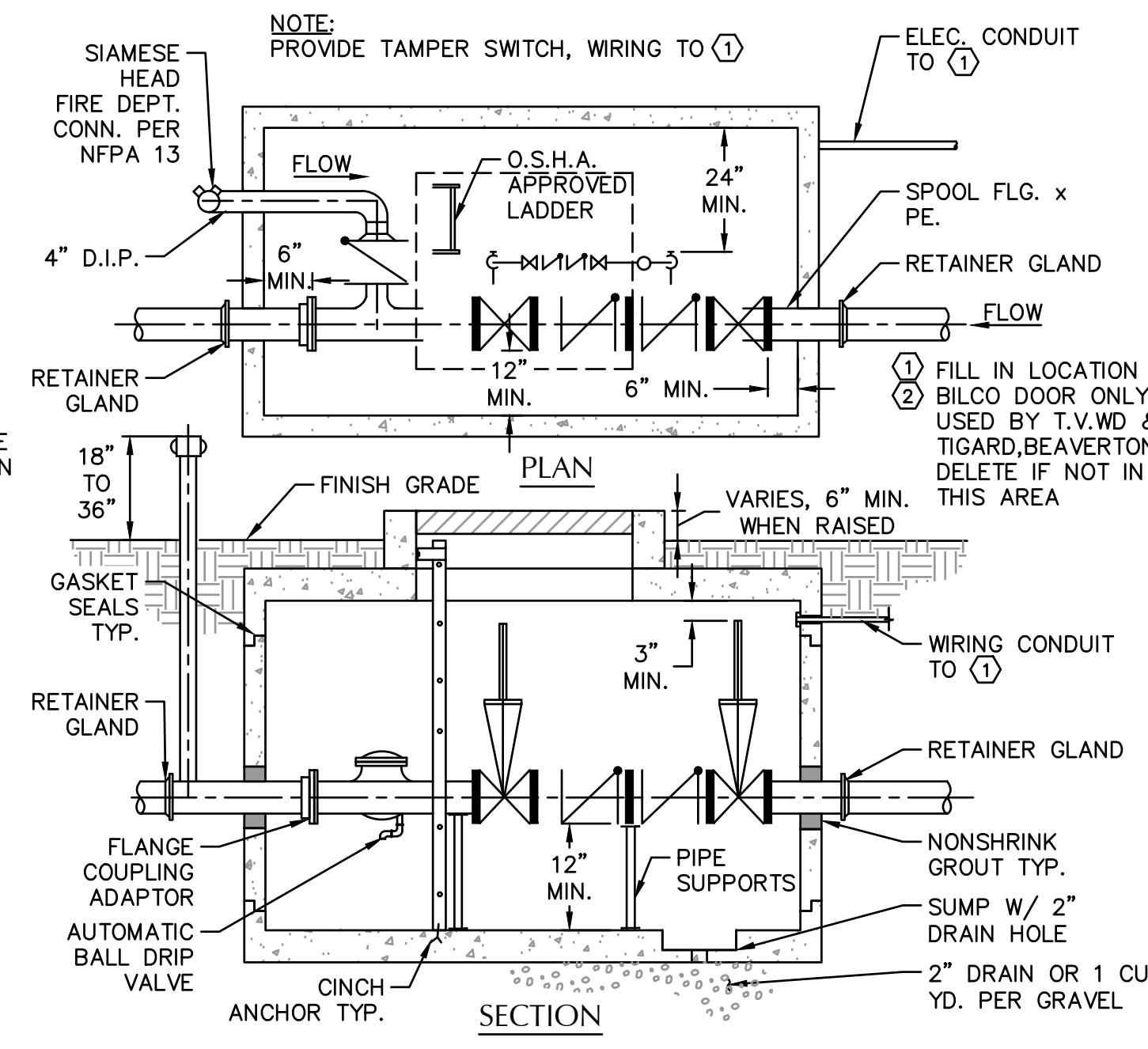
SCALE: NTS



NOTE: INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24\"/>

### 6 DOUBLE CHECK BACKFLOW ASSEMBLY

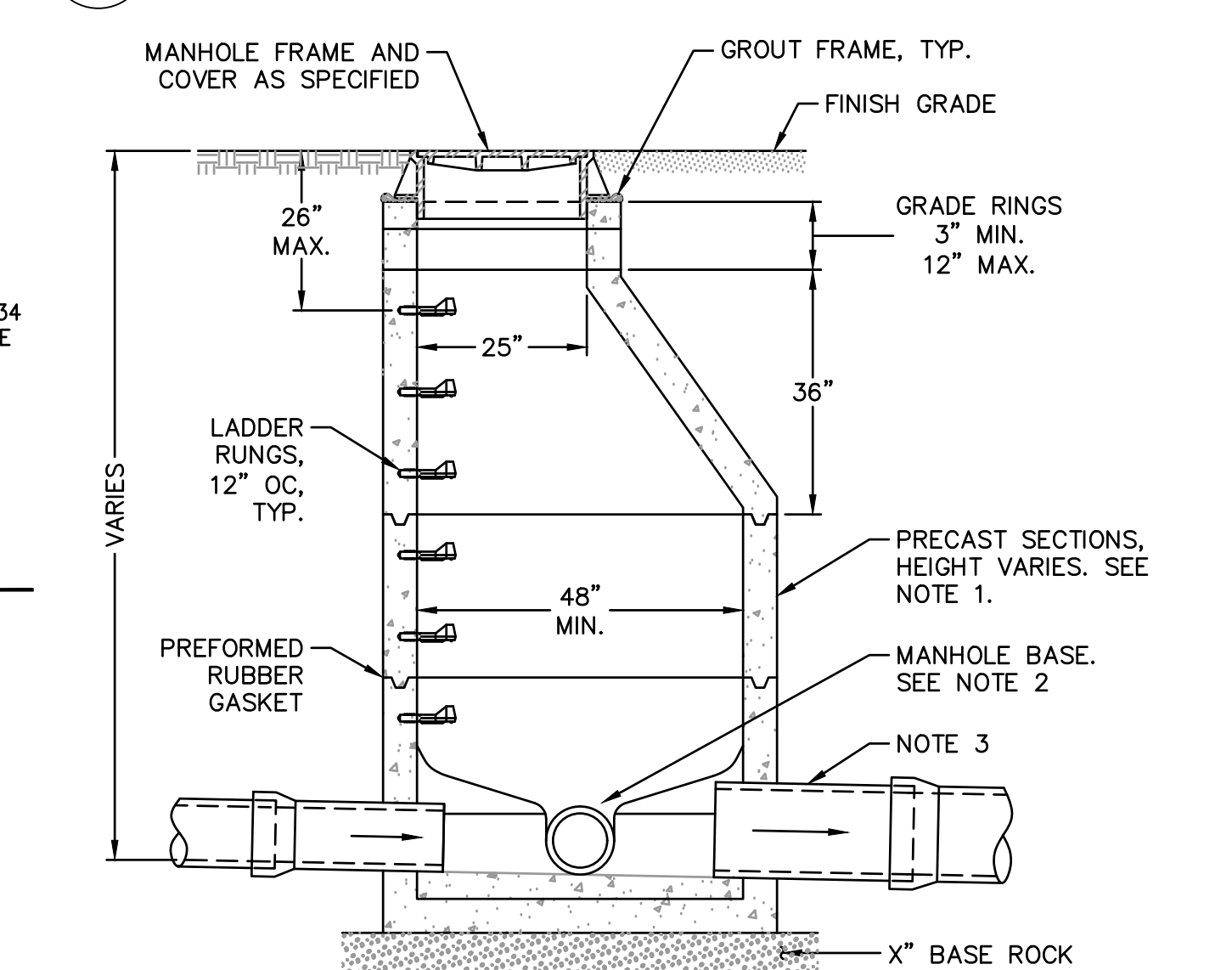
SCALE: NTS



D.D.C. SIZE	UTILITY VAULT OR EQUAL		② BILCO DOOR OR EQUAL
	WITH F.D.C.	WITHOUT F.D.C.	
4"	676 - WA	577 - WA	J - 5AL
6"	687 - WA	676 - WA	J - 5AL
8"	5106 - LA	687 - WA	JD - 3AL
10"	5106 - LA	5106 - LA	JD - 3AL

### 7 DOUBLE CHECK DETECTOR ASSEMBLY FIRE SERVICE VAULT W/ DRAIN TO GROUND

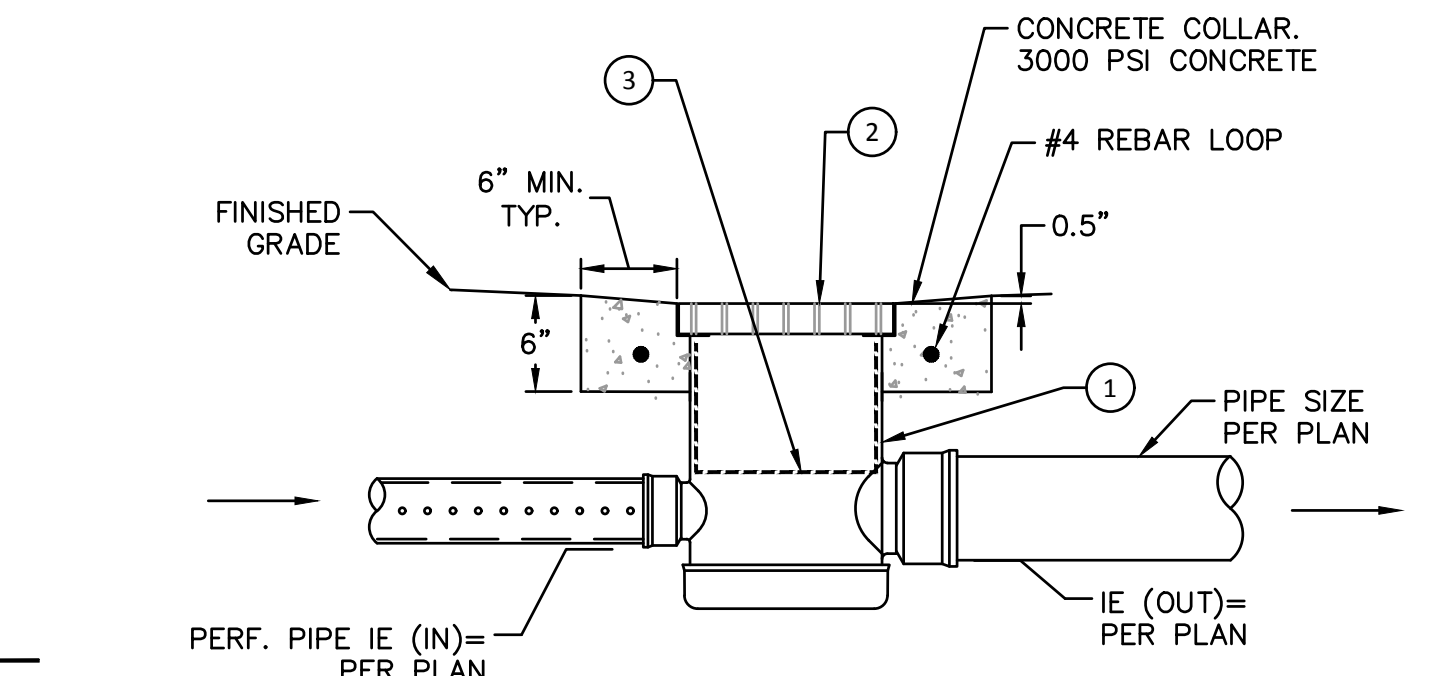
SCALE: NTS



- NOTES:
- ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C-478.
  - MANHOLE BASE MAY BE PRECAST OR CAST IN PLACE. SEE STANDARD MANHOLE BASE DETAILS.
  - ALL CONNECTING PIPES SHALL HAVE FLEXIBLE, GASKETED AND UNRESTRAINED JOINT WITHIN 18\"/>

### 8 STANDARD MANHOLE

SCALE: NTS

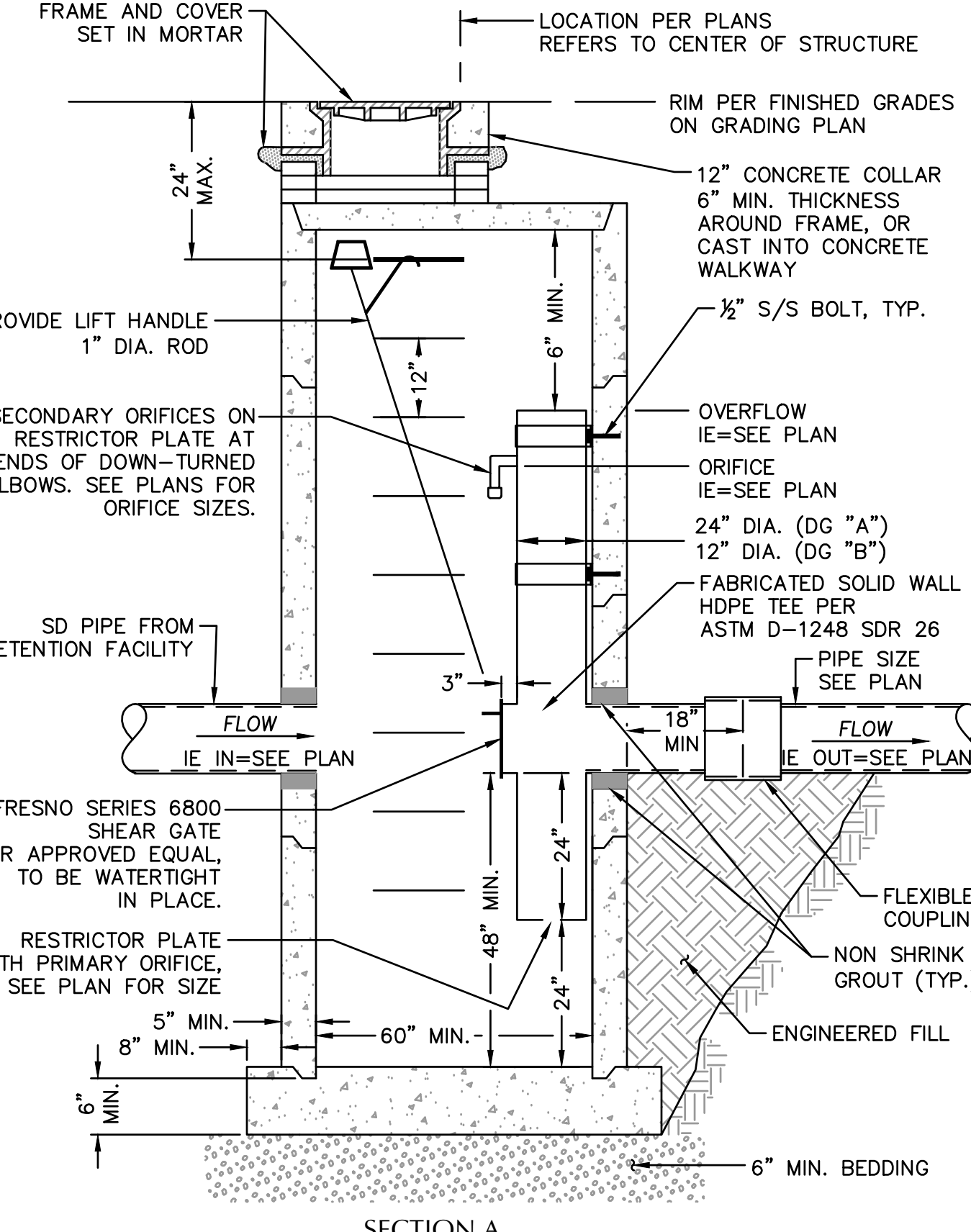
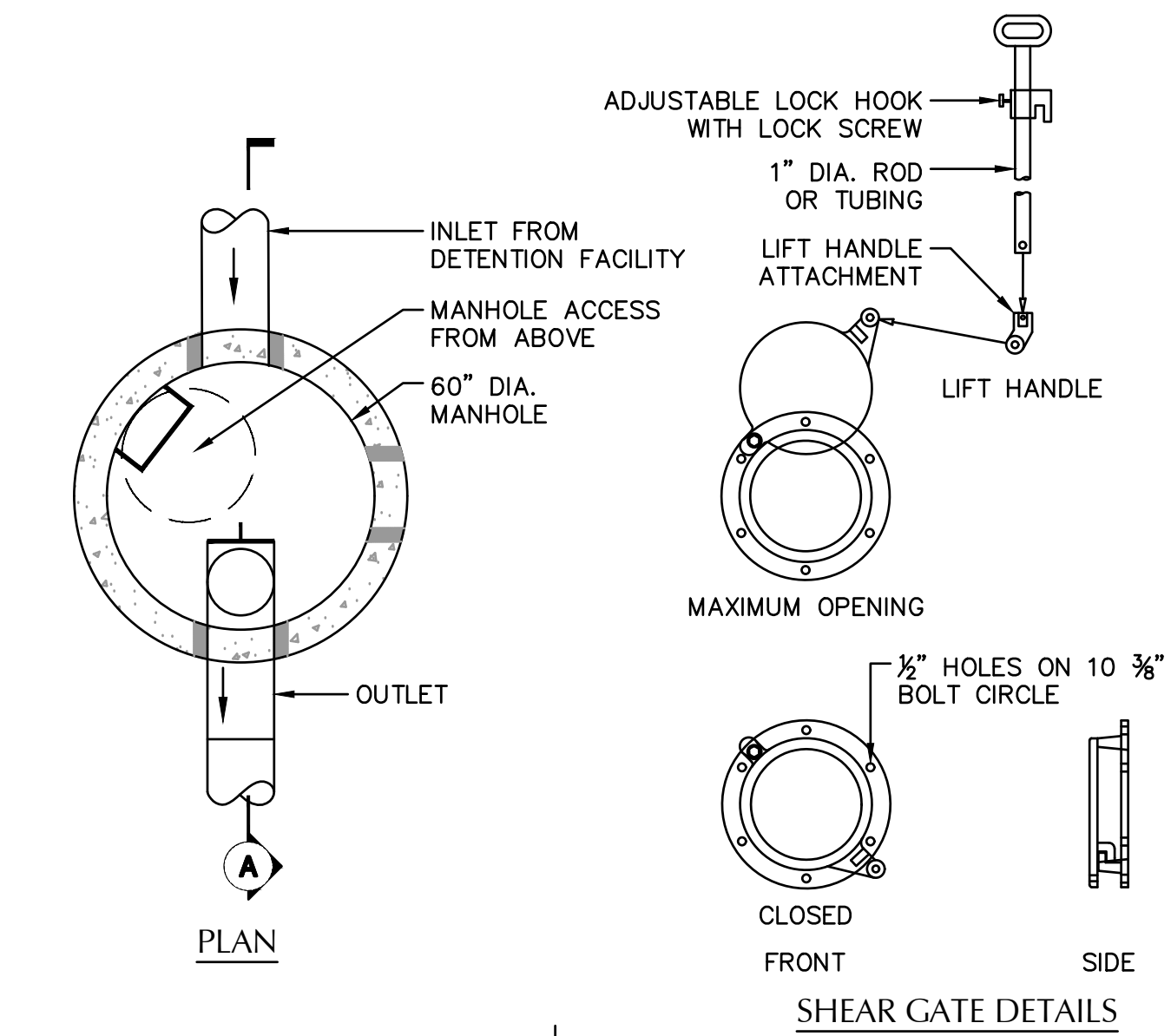


### KEY NOTES

- 12" NYLOPLAST DRAIN BASIN, OR APPROVED EQUAL
- 12" PEDESTRIAN HINGED GRATE, H-10 RATED BY ADS, OR APPROVED EQUAL
- FLEXSTORM SHORT CATCH-IT INLET SEDIMENT BAG, OR APPROVED EQUAL

### 9 AREA DRAIN - TYPE X

SCALE: NTS



### 10 FLOW CONTROL MANHOLE

SCALE: NTS

REGISTERED PROFESSIONAL ENGINEER  
58412PE  
STATE OF OREGON  
CRAIG N. HARRIS  
EXPIRES: 6/30/2023

**Ankrom Moisan**

38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

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206.576.1600

1014 HOWARD STREET  
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**WOODBURN II ASSISTED LIVING FACILITY**  
2325 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

AAI alghan associates, inc.  
**ENGINEERING**

4875 SW Griffith Drive | Suite 100 | Beaverton, OR | 97005  
503.620.3030 tel | 503.620.9539 fax | www.aaieng.com  
Project No. A21152.10

DETAILS

PERMIT SET

DATE: 02/08/2022 PROJECT NUMBER: 203170  
SHEET NUMBER: C4.1

NOT FOR CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

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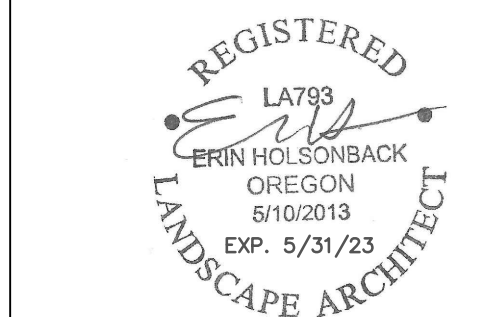
OTTEN + ASSOCIATES  
LANDSCAPE ARCHITECTURE

3933 South Kelly Avenue, Suite B  
Portland, OR, 97239  
(503) 972-0311  
www.ottenla.com

WOODBURN II ASSISTED LIVING FACILITY  
2325 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE



LANDSCAPE PLAN

CONSTRUCTION DOCUMENTS

DATE: 09/02/2022 PROJECT NUMBER: 203170

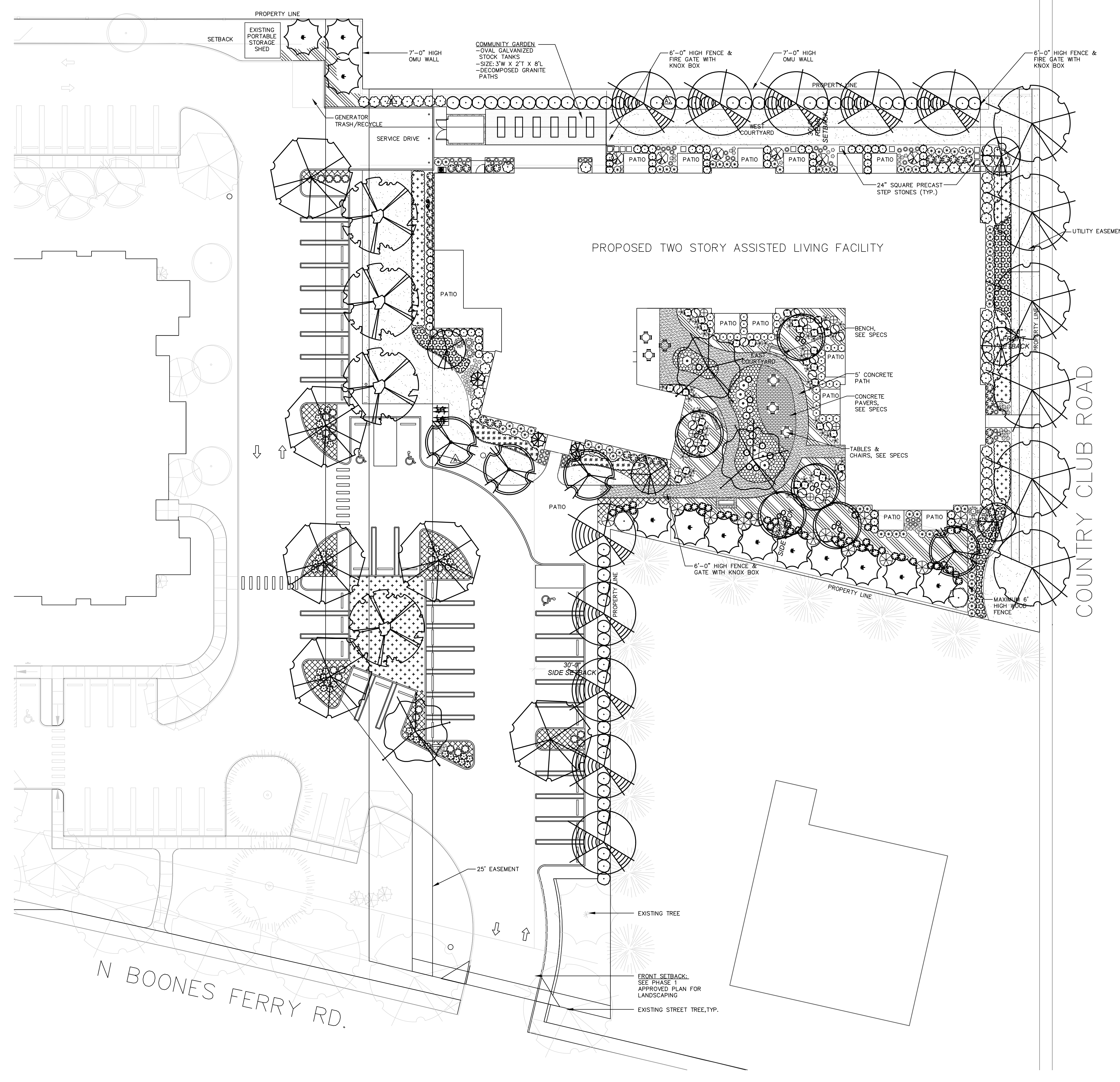
SHEET NUMBER: L1.00

**PLANT LIST:**

SYM.	QTY.	LATIN NAME / Common Name	SIZE	SPACING
<b>TREES</b>				
5	ACER PALMATUM "BLOODGOOD"	Bloodgood Japanese Maple	2" cal.	As shown
6	ACER PLATANOIDES "EMERALD QUEEN"	Emerald Queen Norway Maple	2" cal.	As shown
5	BETULA UTILIS VAR. JACQUEMONTII	Whitebarked Himalayan Birch	6"-7" ht./2" cal. multi-stem	As shown
12	CUPRESSUS LEYLANDII	Leyland Cypress	6"-10" ht.	As shown
10	CERCIDIPHYLLUM JAPONICUM	Katsura Tree	2" cal.	As shown
3	CHAMAECYPARIS OBTUSA "GRACILIS"	Hinoki Falsecypress	5"-6" ht.	As shown
4	CORNUS KOUSA	Kousa Dogwood	2" cal.	As shown
4	ACER RUBRUM "SHADE KING"	Shade King Red Maple	2" cal.	As shown
3	PRUNUS YEDOENSIS "AKEBONO"	Akebono Flowering Cherry	2" cal.	As shown
6	TILIA X EUCHLORA	Crimean Linden	2" cal.	As shown
<b>SHRUBS</b>				
7	ABELIA X GRANDIFLORA "FRANCIS MASON"	Francis Mason Abelia	2 gal.	4' o.c.
5	CISTUS X CORBARIENSIS	White Rock Rose	1 gal.	3' o.c.
13	CORNUS ALBA "ELEGANTISSIMA"	Variegated Redtwig Dogwood	2 gal.	5' o.c.
44	ESCALLONIA "NEWPORT DWARF"	Dwarf Escallonia	1 gal.	30" o.c.
28	EUONYMUS JAPONICA "SILVER QUEEN"	Silver Queen Japanese Euonymus	5 gal.	3' o.c.
8	HEBE "AMY"	Amy Hebe	1 gal.	30" o.c.
6	HIBISCUS SYRIACUS "WOODBRIDGE"	Woodbridge Rose of Sharon	5 gal.	5' o.c.
34	ILEX GLABRA "SHAMROCK"	Shamrock Holly	2 gal.	3' o.c.
62	ILEX CRENATA "GREEN ISLAND"	Green Island Japanese Holly	2 gal.	3' o.c.
13	ITEA VIRGINICA "SPRICH"	Little Henry's Sweetgum	2 gal.	3' o.c.
19	LONICERA NITIDA "LEMON BEAUTY"	Lemon Beauty Box Honeysuckle	1 gal.	3' o.c.
147	LONICERA PILEATA	Privet Honeysuckle	1 gal.	4' o.c.
45	MAHONIA AQUIFOLIUM "COMPACTA"	Compact Oregon Grape	2 gal.	3' o.c.
60	MYRICA CALIFORNICA	Pacific Wax Myrtle	5 gal.	5' o.c.
40	NANDINA DOMESTICA "GULF STREAM"	Gulf Stream Heavenly Bamboo	2 gal.	3' o.c.
39	PIERS JAPONICA "MOUNTAIN FIRE"	Mountain Fire Japanese Pieris	3 gal.	4' o.c.
30	ROSA "FLOWER CARPET AMBER"	Amber Flower Carpet Rose	2 gal.	3' o.c.
5	ROSMARINUS OFFICINALIS "BLUE SPIRE"	Blue Spire Rosemary	1 gal.	24" o.c.
32	SARCOCOCCA HOOKERIANA HUMILIS	Himalayan Sweet Box	2 gal.	3' o.c.
80	SPIRAEA "DOUBLE PLAY DOOZIE"	Double Play Doozie Spirea	2 gal.	3' o.c.
75	VBURNUM DAMIUM	David Viburnum	2 gal.	3' o.c.
2	VBURNUM PU. TOMENTOSUM "MARISSII"	Marissii Doublefile Viburnum	5 gal.	8' o.c.
<b>GROUNDCOVER/ORNAMENTAL GRASSES/PERENNIALS</b>				
8775 SF	FINE LAWN	See Specifications		
1227 SF	GRASSCRETE	See Specifications		
131	ARCTOSTAPHYLOS LIVA--URSI "MASS."	Massachusetts Kinnikinnick	1 gal.	3' o.c.
57	CAREX OCHROMIENSIS "EVERGOLD"	Evergold Sedge	1 gal.	18" o.c.
16	OMIDIFUGA "CHOCOHOLIC"	Chocolatic Bugbane	1 gal.	18" o.c.
13	HEUCHERA "OBSIDIAN"	Obsidian Coral Bells	1 gal.	18" o.c.
63	HEMERODALLIS "STELLA D'ORO"	Stella D'Oro Daylily	1 gal.	18" o.c.
12	HOSTA "FRAGRANT BOUQUET"	Fragrant Bouquet Hosta	1 gal.	18" o.c.
263	MAHONIA REPENS	Creeping Oregon Grape	1 gal.	3' o.c.
6	MISCANTHUS SINENSIS "GRACILLIMUS"	Maiden Grass	1 gal.	4' o.c.
52	POLYSTICHUM SETIFERUM	Soft Shield Fern	1 gal.	30" o.c.
111	THYMUS CITRIODORUS "PINCUSHION"	Pincushion Thyme	4" cont.	12" o.c.
111	ORIGANUM VULGARE "NANA"	Dwarf Marjoram	4" cont.	12" o.c.

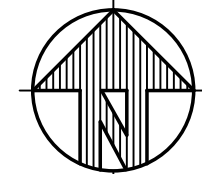
**GENERAL NOTES:**

- Contractor is to verify all plant quantities.
- Adjust plantings in the field as necessary.
- Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System is to be design/ build by Landscape Contractor. Guarantee system for a minimum one year. Show drip systems as alternate bid only.
- All plants are to be fully foliated, well branched and true to form.
- Contractor is to notify Landscape Architect or Owner's Representative of any site changes or unforeseen conditions that may be detrimental to plant health, or cause future problems to any structural elements of the project.



**LANDSCAPE PLAN**

SCALE 1"=20'-0"



PLANT UNIT VALUE CALCULATIONS:	2. BUFFER YARDS	3. COMMON AREAS	4. OFF STREET PARKING AND LOADING	5. OTHER YARDS																																																																																							
<p>1. SETBACK ABUTTING A STREET</p> <p>Total Square Footage = 4,136 SF</p> <p>Planting Density, Minimum = 1 PU/15 SF</p> <p>Required Plant Units = 277</p> <p>Plant Units Provided = 277</p> <p>BREAKDOWN OF PLANT UNIT VALUES</p> <table border="1"> <thead> <tr> <th>MATERIAL</th> <th>PLANT UNIT VALUE</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>a. 6-Medium Tree</td> <td>8 PU each</td> <td>48</td> </tr> <tr> <td>c. 3-Small Tree</td> <td>4 PU each</td> <td>12</td> </tr> <tr> <td>d. 20-Large Shrub</td> <td>2 PU each</td> <td>40</td> </tr> <tr> <td>e. 118-Small to Medium Shrub</td> <td>1 PU each</td> <td>119</td> </tr> <tr> <td>f. 2,882 SF-Lawn and Groundcover</td> <td>1 PU / 50 SF</td> <td>58</td> </tr> </tbody> </table>	MATERIAL	PLANT UNIT VALUE	TOTAL	a. 6-Medium Tree	8 PU each	48	c. 3-Small Tree	4 PU each	12	d. 20-Large Shrub	2 PU each	40	e. 118-Small to Medium Shrub	1 PU each	119	f. 2,882 SF-Lawn and Groundcover	1 PU / 50 SF	58	<p>Total Square Footage = 10,933</p> <p>Planting Density, Minimum = 1 PU/20 SF</p> <p>Required Plant Units = 546</p> <p>Plant Units Provided = 575</p> <p>BREAKDOWN OF PLANT UNIT VALUES</p> <table border="1"> <thead> <tr> <th>MATERIAL</th> <th>PLANT UNIT VALUE</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>a. 22-Medium Tree</td> <td>8 PU each</td> <td>176</td> </tr> <tr> <td>b. 3-Small Tree</td> <td>4 PU each</td> <td>12</td> </tr> <tr> <td>c. 88-Large Shrub</td> <td>2 PU each</td> <td>176</td> </tr> <tr> <td>d. 141-Small Shrub</td> <td>1 PU each</td> <td>141</td> </tr> <tr> <td>e. 3,356 SF-LAWN AND GROUNDCOVER</td> <td>1 PU / 50 SF</td> <td>67</td> </tr> <tr> <td>f. 1-6' Bench</td> <td>3 PU Each</td> <td>3</td> </tr> </tbody> </table>	MATERIAL	PLANT UNIT VALUE	TOTAL	a. 22-Medium Tree	8 PU each	176	b. 3-Small Tree	4 PU each	12	c. 88-Large Shrub	2 PU each	176	d. 141-Small Shrub	1 PU each	141	e. 3,356 SF-LAWN AND GROUNDCOVER	1 PU / 50 SF	67	f. 1-6' Bench	3 PU Each	3	<p>Total Square Footage = 2,989</p> <p>Planting Density, Minimum = 3 PU/50 SF</p> <p>Required Plant Units = 180</p> <p>Plant Units Provided = 265</p> <p>BREAKDOWN OF PLANT UNIT VALUES</p> <table border="1"> <thead> <tr> <th>MATERIAL</th> <th>PLANT UNIT VALUE</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>a. 5-Small Tree</td> <td>4 PU each</td> <td>20</td> </tr> <tr> <td>b. 216-Small to Medium Shrub</td> <td>1 PU each</td> <td>216</td> </tr> <tr> <td>c. 1,126 SF-Lawn and Groundcover</td> <td>1 PU / 50 SF</td> <td>23</td> </tr> <tr> <td>d. 2-6' Bench</td> <td>3 PU each</td> <td>6</td> </tr> </tbody> </table>	MATERIAL	PLANT UNIT VALUE	TOTAL	a. 5-Small Tree	4 PU each	20	b. 216-Small to Medium Shrub	1 PU each	216	c. 1,126 SF-Lawn and Groundcover	1 PU / 50 SF	23	d. 2-6' Bench	3 PU each	6	<p>Total Square Footage = 2,606</p> <p>Planting Density, Minimum = 1 PU/20 SF</p> <p>Required Plant Units = 130</p> <p>Plant Units Provided = 242</p> <p>Trees required for 38 Parking Spaces = 3 medium</p> <p>Trees provided = 7 medium</p> <p>BREAKDOWN OF PLANT UNIT VALUES</p> <table border="1"> <thead> <tr> <th>MATERIAL</th> <th>PLANT UNIT VALUE</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>a. 7-Medium Tree</td> <td>8 PU each</td> <td>56</td> </tr> <tr> <td>b. 1-Small Tree</td> <td>4 PU each</td> <td>4</td> </tr> <tr> <td>c. 166-Small to Medium Shrub</td> <td>1 PU each</td> <td>166</td> </tr> <tr> <td>d. 806 SF-Lawn and Groundcover</td> <td>1 PU / 50 SF</td> <td>16</td> </tr> </tbody> </table>	MATERIAL	PLANT UNIT VALUE	TOTAL	a. 7-Medium Tree	8 PU each	56	b. 1-Small Tree	4 PU each	4	c. 166-Small to Medium Shrub	1 PU each	166	d. 806 SF-Lawn and Groundcover	1 PU / 50 SF	16	<p>Total Square Footage = 5,717</p> <p>Planting Density, Minimum = 1 PU/50 SF</p> <p>Required Plant Units = 114</p> <p>Plant Units Provided = 334</p> <p>BREAKDOWN OF PLANT UNIT VALUES</p> <table border="1"> <thead> <tr> <th>MATERIAL</th> <th>PLANT UNIT VALUE</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>a. 3-Medium Tree</td> <td>8 PU each</td> <td>24</td> </tr> <tr> <td>b. 8-Small Tree</td> <td>4 PU each</td> <td>32</td> </tr> <tr> <td>c. 11-Large Shrub</td> <td>2 PU each</td> <td>22</td> </tr> <tr> <td>d. 196-Small to Medium Shrub</td> <td>1 PU each</td> <td>196</td> </tr> <tr> <td>e. 3,068 SF-Lawn and Groundcover</td> <td>1 PU / 50 SF</td> <td>61</td> </tr> </tbody> </table>	MATERIAL	PLANT UNIT VALUE	TOTAL	a. 3-Medium Tree	8 PU each	24	b. 8-Small Tree	4 PU each	32	c. 11-Large Shrub	2 PU each	22	d. 196-Small to Medium Shrub	1 PU each	196	e. 3,068 SF-Lawn and Groundcover	1 PU / 50 SF	61
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OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 - 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliated, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container-grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. Grow container plants in containers a minimum of one year prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well-branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12" of topsoil in planting beds and 6" in lawn areas. Landscape Contractor is to verify with the General Contractor if the on-site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitability of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscape shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer's instructions.

SOIL PREPARATION: Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

SOIL MIX: Prepare soil mix in each planting hole by mixing: 2 part native topsoil (no subsoil) 1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates: Small shrubs - 1/8 lb./ plant Shrubs - 1/3 to 1/2 lb./ plant Trees - 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen. DO NOT apply fertilizer to Water Quality Swale.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1"-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright. Tree stakes shall be removed after one year.

MULCHING OF PLANTINGS: Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

FINE LAWN AREAS: In fine lawn area apply Commercial Fertilizer Mix "B" at 4.5 lbs. Per 1,000 sq.ft. and rake into soil surface. Establish an even, fine textured seedbed meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

GRASSCRETE SEED AREA: In Grasscrete area, install topsoil per Grasscrete installation spec. Sow seed with a mechanical spreader at the uniform rates as noted below.

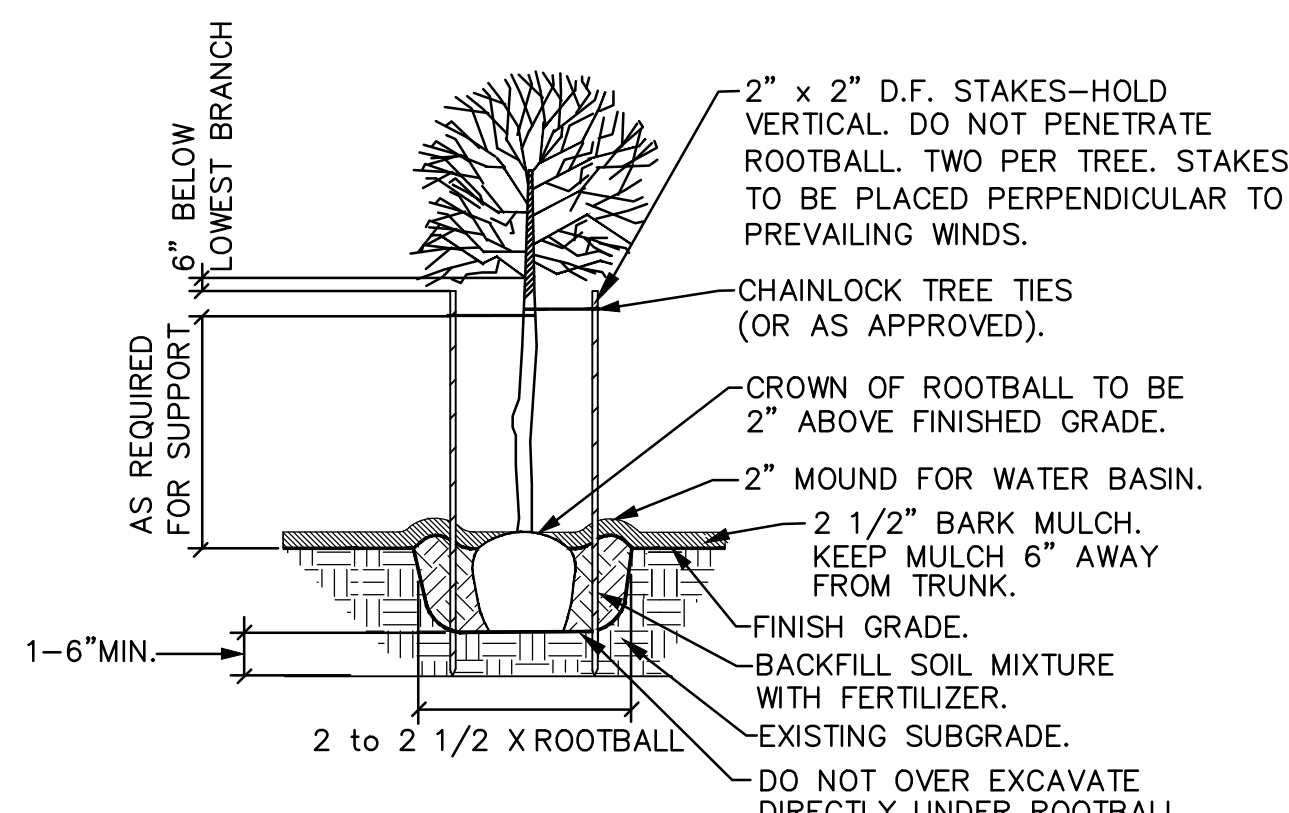
SEED: Blue oat grass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis. Fine Lawn Seed Mix: To contain 50% Top Hat Perennial Ryegrass, 30% Derby Supreme Ryegrass, 20% Longfellow Chewings Fescue (Hobbs and Hopkins Pro-Time 303 Lawn Mix or as approved). Sow Seed at 5 lbs. / 1000 sq. ft. Grasscrete Seed Mix: To contain 20% Chewings Fescue, 20% Slender Creeping Red Fescue, 30% Strong Creeping Red Fescue, 25% Hard Fescue, 5% Browntop Bent. Sow seed at 5 lbs. / 1000 sq. ft.

MAINTENANCE OF SEEDED AREAS: Fine Lawn Areas: The lawn areas shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix "C" at 5 lbs. per 1,000 sq. ft. Mow and keep at 1 1/2" to 2" in height. Remove clippings and dispose of off site.

GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

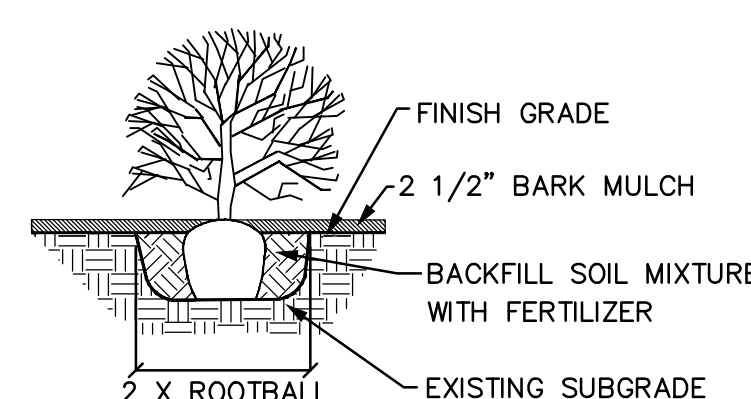
CLEAN-UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.

- NOTES: 1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED. 2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, OR PER ARBORIST DIRECTION IN THE FIELD PRIOR TO CONSTRUCTION. 3. AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS. 4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. 5. ANY WORK UNDER EXISTING TREES THAT REVEALS SIGNIFICANT ROOTS SHALL WARRANT CONSULTATION WITH CERTIFIED ARBORIST. 6. PROTECTION FENCING SHALL EXTEND IN A RADIUS AT THE RATE OF 1 FOOT FOR EACH INCH OF TREE DIAMETER. 7. COORDINATE INSTALLATION WITH ARBORIST'S REQUIREMENT FOR CONSTRUCTION ACTIVITIES ADJACENT TO TREES TO REMAIN.

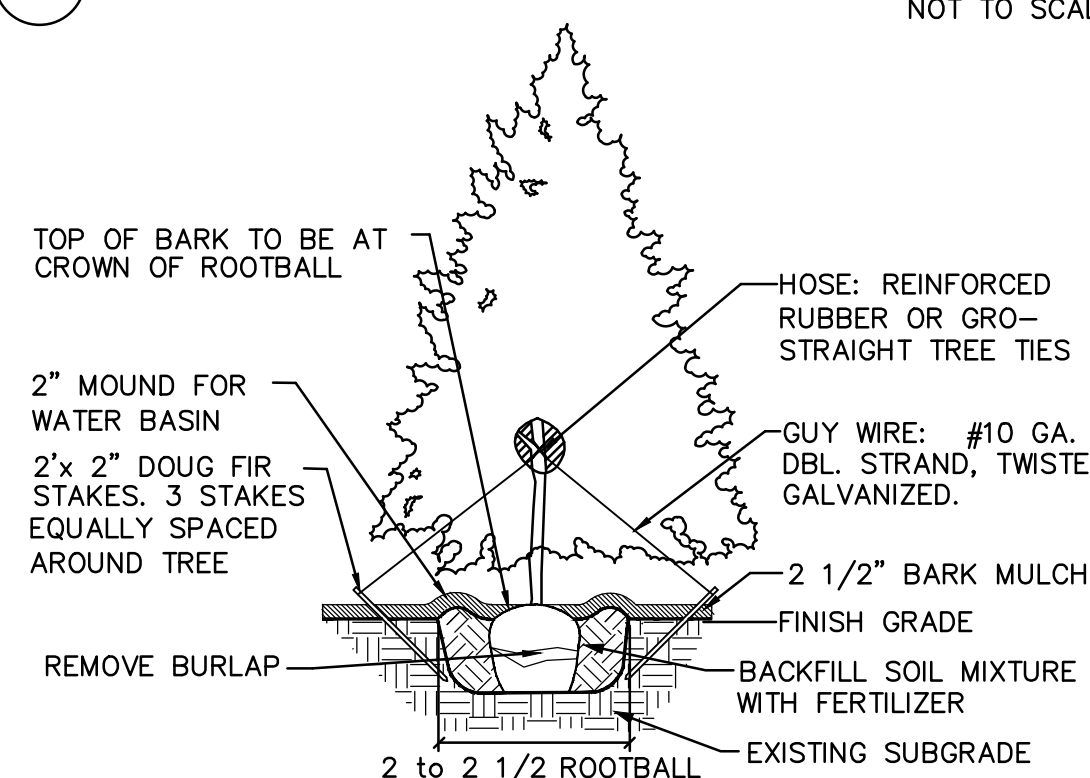


NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

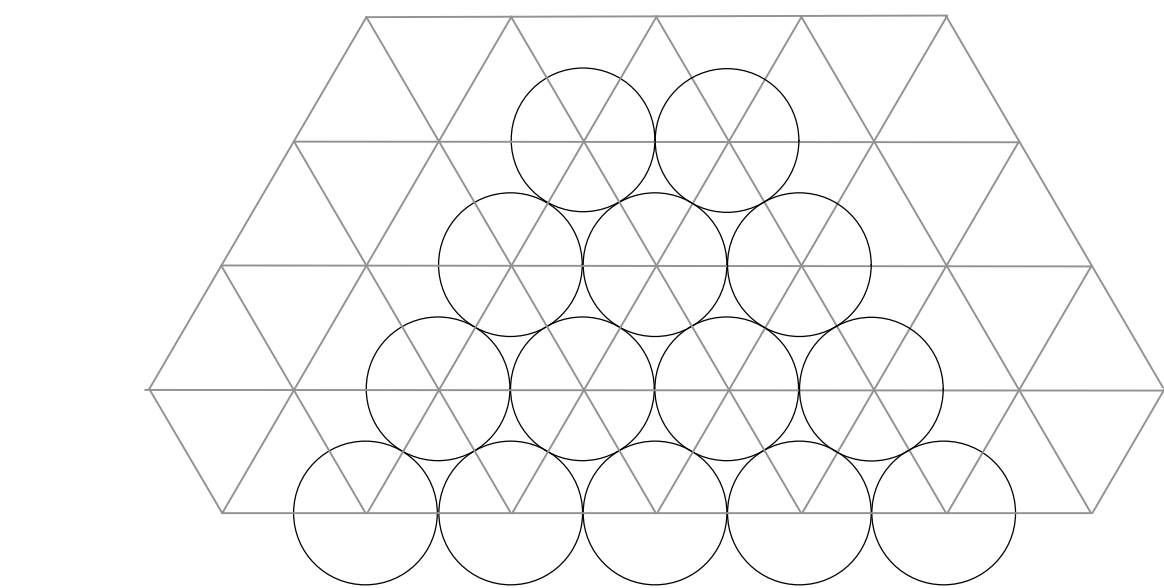
GENERAL DECIDUOUS TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



EVERGREEN TREE STAKING DETAIL



GROUNDCOVER PLANTING DETAIL

MUTUAL MATERIALS HARDSCAPE PRODUCT DATA SHEET HOLLAND SERIES



STANDARD SPECIFICATION Holland Series pavers are manufactured to industry standard specifications ASTM: C 936, and CSA: A 231.2.

AVAILABLE COLORS For more information regarding custom colors, please contact a Mutual Materials sales representative. Custom colors may be restricted by the size of the order or project.

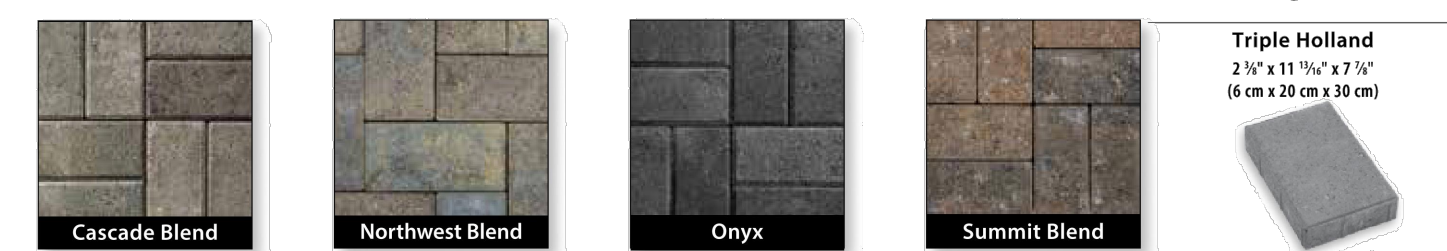
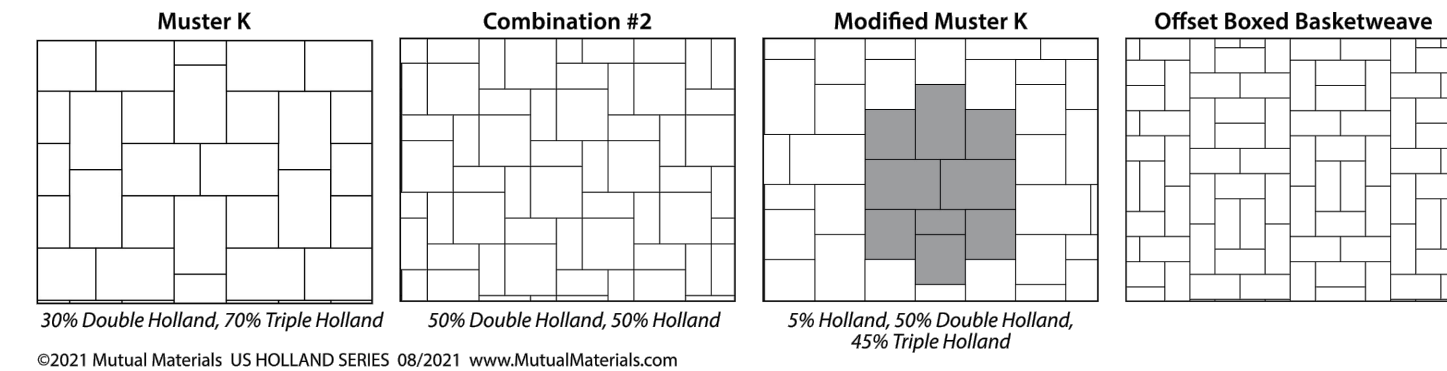


Table with 6 columns: Product Name, Pieces / Sq Ft, Pieces / Pallet, Coverage / Pallet, Weight / Piece, Weight / Pallet. Rows include Holland, Double Holland, and Triple Holland.

\*All Weight per Pallet noted above includes a 50 lb pallet weight. \*All metric dimensions are soft converted to imperial. Dimensions and coverage include 1.5 mm (1/16") joint.

INSTALLATION PATTERNS



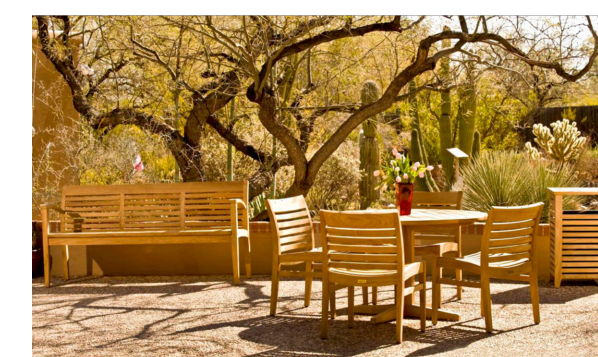
PAVERS BY MUTUAL MATERIALS

COLOR: TBD PATTERN: TBD N.T.S.



WELLSPRING

Product Data Sheet



WellSpring is handcraft teak furniture with subtle design features that make it easy to sit, settle, reach and rise. This collection is one of a kind, created with retirement and health-care settings in mind. Curved seats, curved backs and extra seats provide added comfort and support. Higher arms with extended ends for gripping assist others as they rise from the seat.

Table with 6 columns: Style, Depth, Length, Height, Product Weight. Rows include 24, 48, 60, and 72 inch benches.

Dining Table

Table with 4 columns: Style, Diameter, Height, Product Weight. Rows include surface mount and barnacle mount tables.

page 1 of 2

BENCH BY LANDSCAPE FORMS - SURFACE MOUNT QUANTITY PROPOSED : 3

WELLSPRING

Product Data Sheet



WellSpring is handcraft teak furniture with subtle design features that make it easy to sit, settle, reach and rise. This collection is one of a kind, created with retirement and health-care settings in mind. Curved seats, curved backs and extra seats provide added comfort and support. Higher arms with extended ends for gripping assist others as they rise from the seat.

Table with 6 columns: Style, Depth, Length, Height, Product Weight. Rows include 24, 48, 60, and 72 inch benches.

Dining Table

Table with 4 columns: Style, Diameter, Height, Product Weight. Rows include surface mount and barnacle mount tables.

page 1 of 2

TABLE & CHAIRS BY LANDSCAPE FORMS QUANTITY PROPOSED : 3 SETS

TREE PROTECTION FENCING

N.T.S

REVISION DATE REASON FOR ISSUE

Table with 3 columns: Revision, Date, Reason for Issue. Multiple empty rows for revisions.

LANDSCAPE SPECS & DETAILS

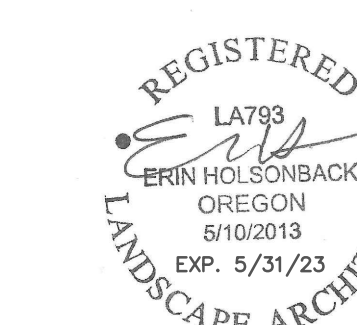
CONSTRUCTION DOCUMENTS

DATE 09/02/2022 PROJECT NUMBER 203170

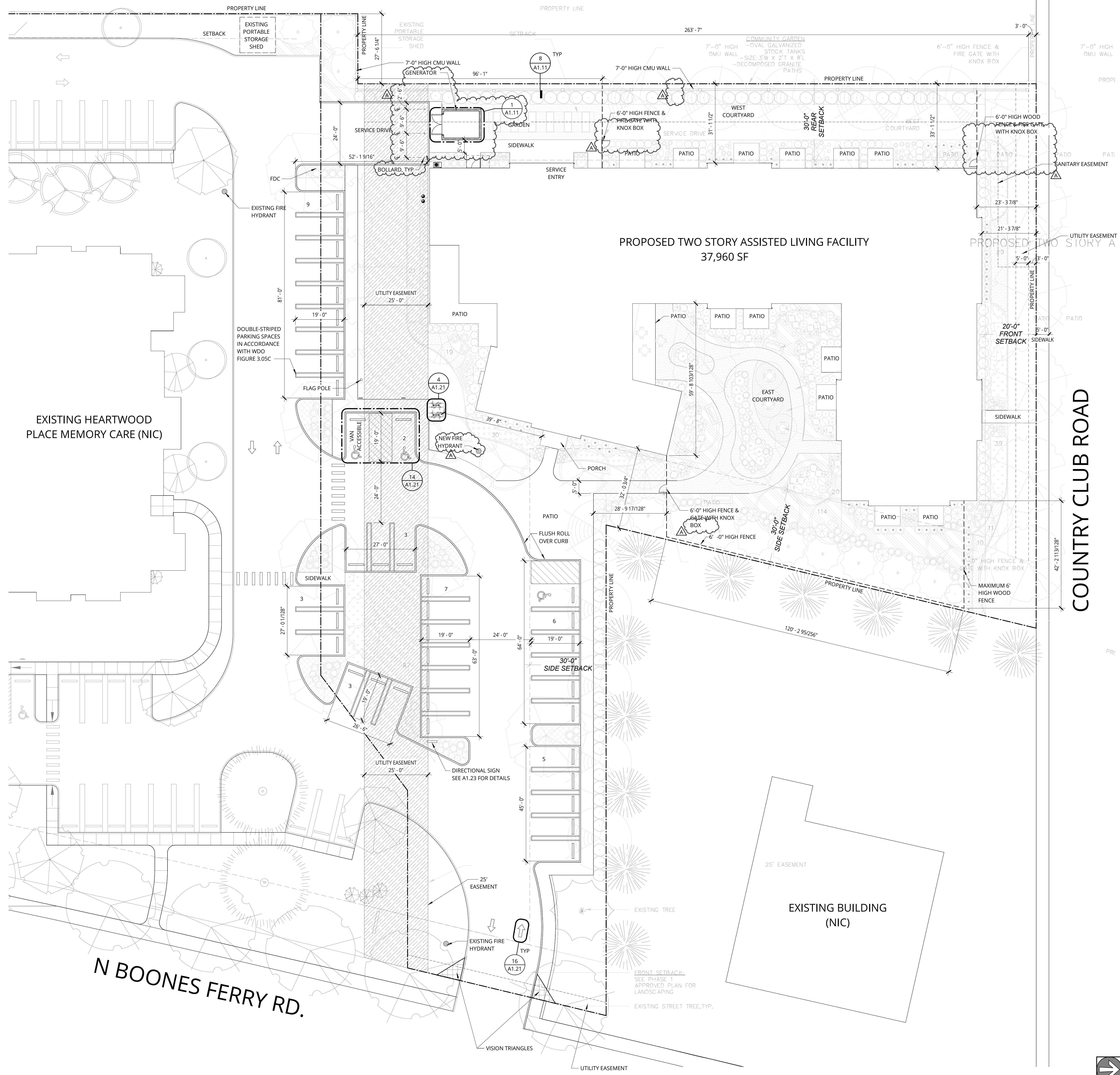
SHEET NUMBER

L2.00

WOODBURN II ASSISTED LIVING FACILITY 2325 N BOONES FERRY RD, WOODBURN, OR 97071 WMC HOLDING COMPANY, LLC



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**GENERAL NOTES - SITE PLAN**

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION RELATED TO SUCH.
- REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- CONTRACTORS SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES, CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK-UP.
- THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE POWER LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS OR ADDITIONAL EXPENSES.
- SEE CIVIL PACKAGE FOR EXISTING TREE PROTECTION
- SEE CIVIL PACKAGE FOR SITE DEMO WORK

SITE PLAN DATA	
SITE AREA	1.59 ACRES
BUILDING FOOTPRINT	19,754 SF
GENERATOR AND TRASH ENCLOSURE FOOTPRINT	213 SF
FRONT SETBACK	20' MIN
SIDE SETBACKS	5' MIN
REAR SETBACK	30' MIN (FOR BUILDING HEIGHT 28' OR MORE)

PARKING DATA		
USE TYPE	# OF SPACES REQUIRED	PARKING PROVIDED
ASSISTED LIVING	GROUP CARE FACILITY: 0.75 SPACES X 46 UNITS = 34.05	35 SPACES
ACCESSIBLE SPACES	TWO SPACES	2 SPACES
VAN ACCESSIBLE SPACES	ONE SPACE	1 SPACES
<b>TOTAL PARKING SPACES</b>	<b>37.05</b>	<b>38 SPACES</b>

COMMON OPEN SPACE	
1.59 ACRES	33,122 SF OF OPEN SPACE; OR 47%
BUILDING FOOTPRINT 19,930 SF	
DRIVEWAYS AND PARKING LOTS 16,644 SF	

ZONING INFORMATION	
ZONE: RM - MEDIUM DENSITY RESIDENTIAL	
TAX LOT ID NUMBER: 051W078A0090	
PARCEL: 1	

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206.576.1600

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**WOODBURN II ASSISTED LIVING FACILITY**  
2355 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE
1	6/3/22	Addendum 01
A	9/2/22	DR Completeness

SITE PLAN

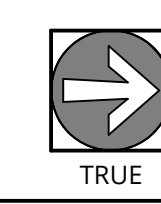
DESIGN REVIEW SET

DATE	PROJECT NUMBER
9/2/2022	203170

SHEET NUMBER

**A1.01**

**1 SITE PLAN**  
1/16" = 1'-0"



9/7/2022 11:19:19 AM

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REVISION	DATE	REASON FOR ISSUE
1	6/3/22	Addendum 01
A	9/2/22	DR Completeness

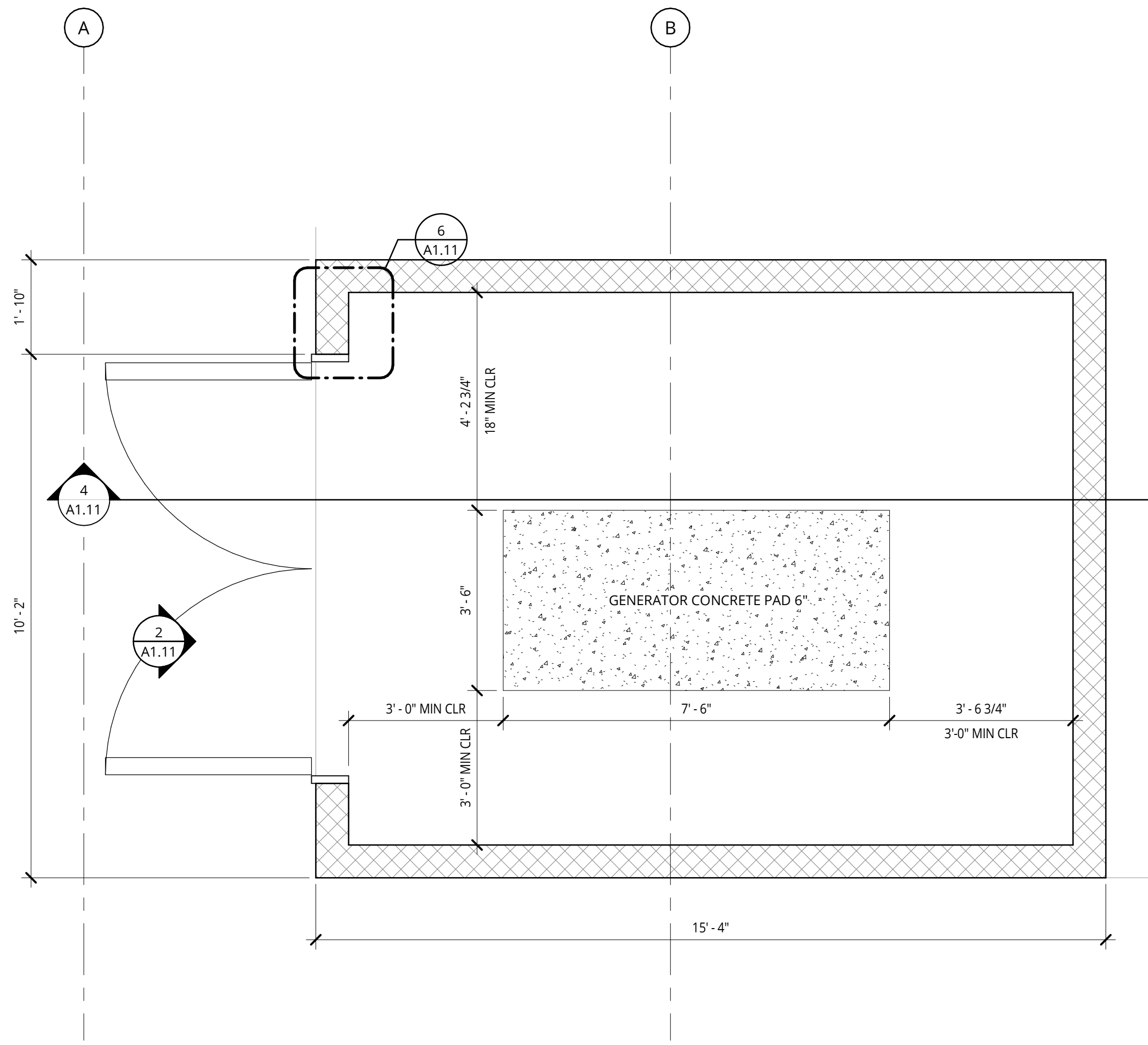
GENERATOR ENCLOSURE

DESIGN REVIEW SET

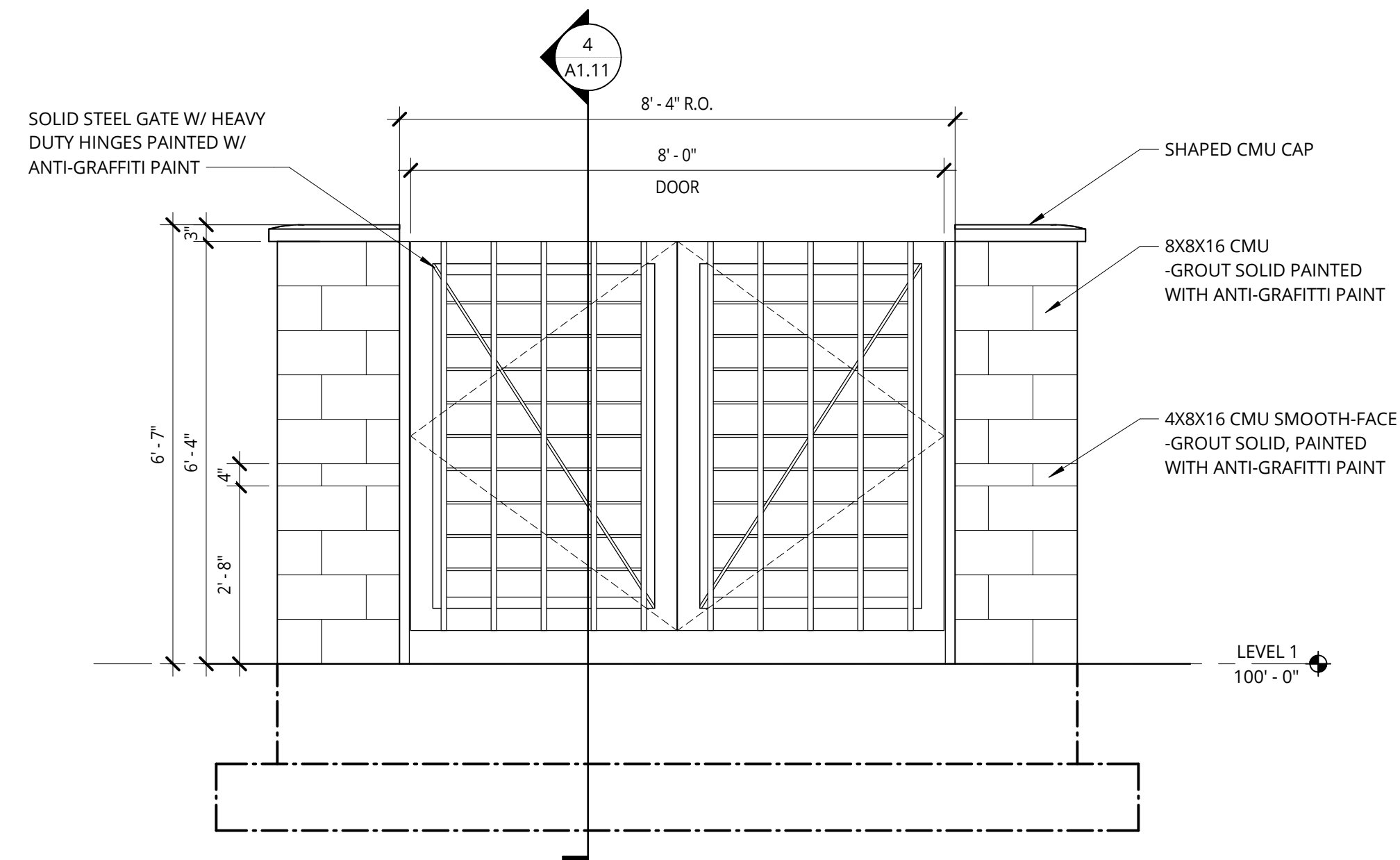
DATE	PROJECT NUMBER
9/2/2022	203170

SHEET NUMBER

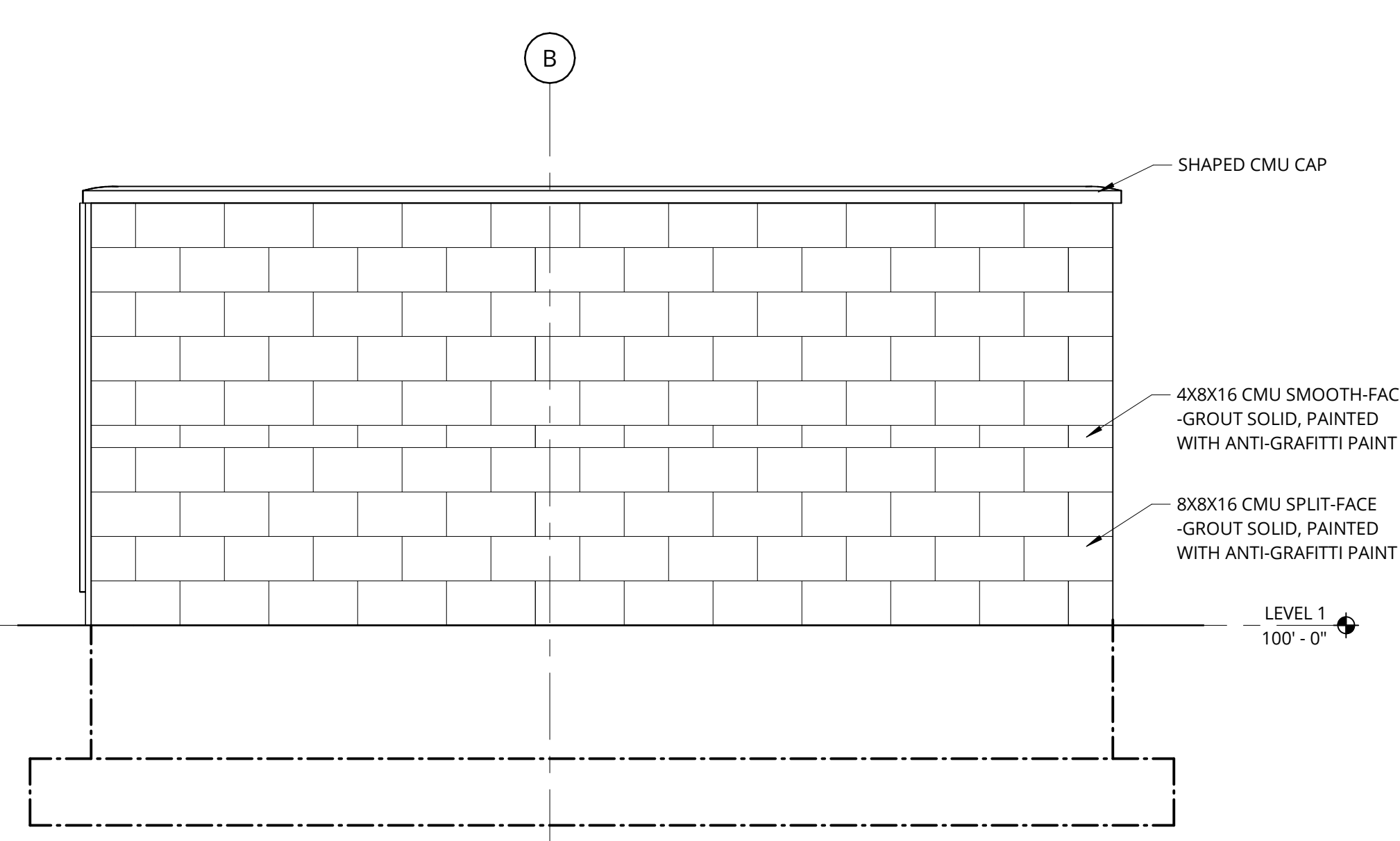
A1.11



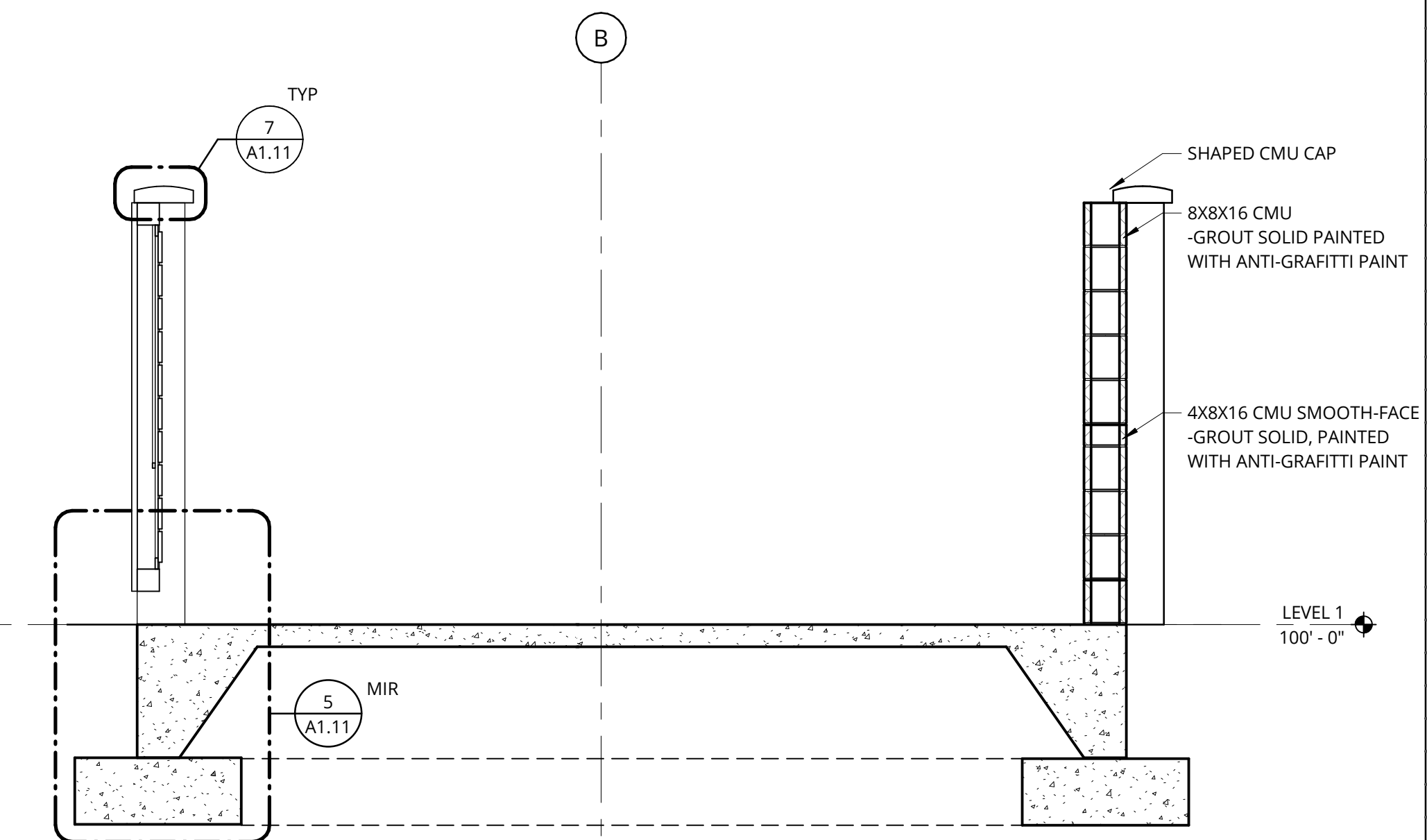
1 GENERATOR ENCLOSURE PLAN  
1/2" = 1'-0"



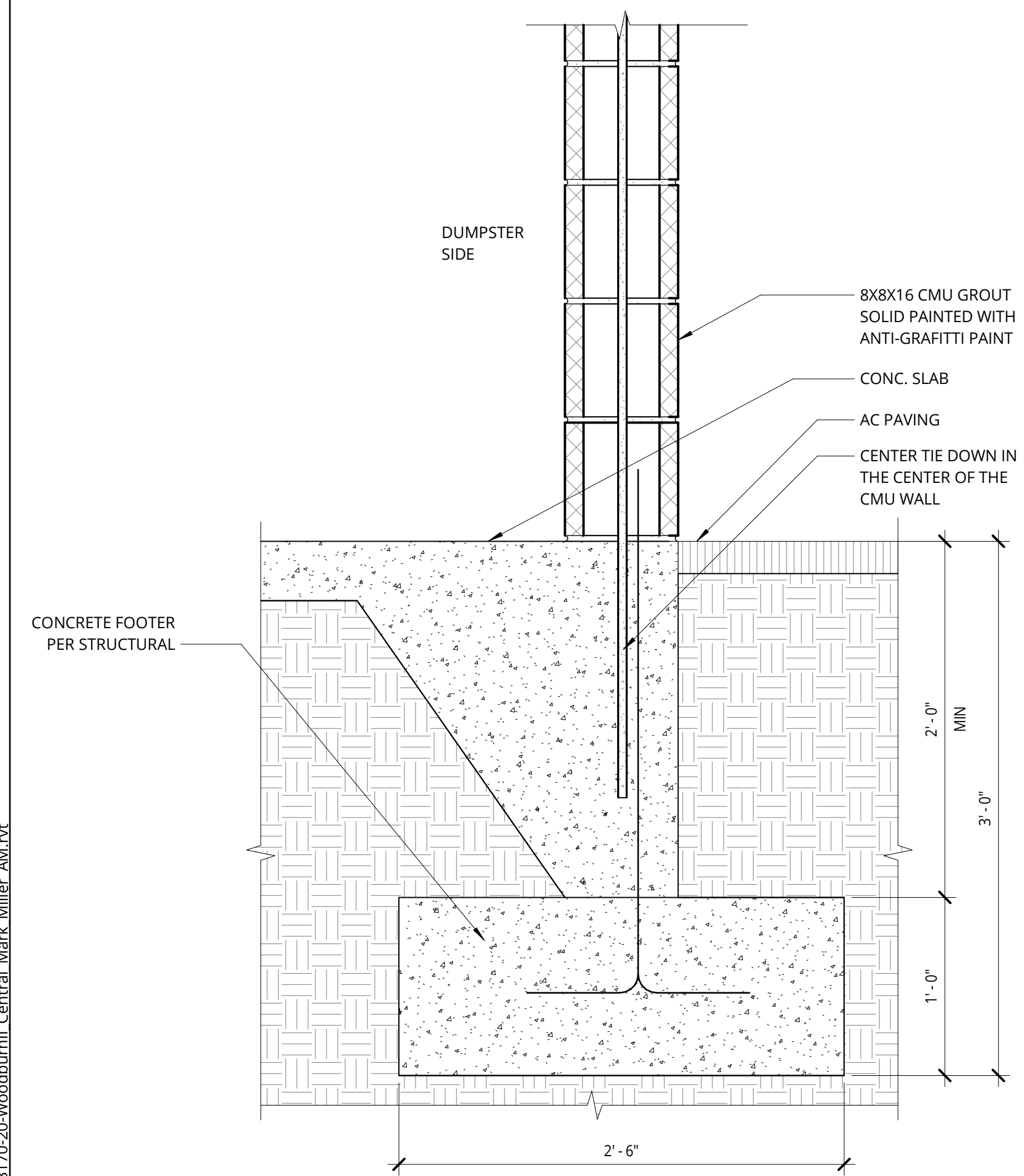
2 GENERATOR ENCLOSURE SOUTH ELEVATION  
1/2" = 1'-0"



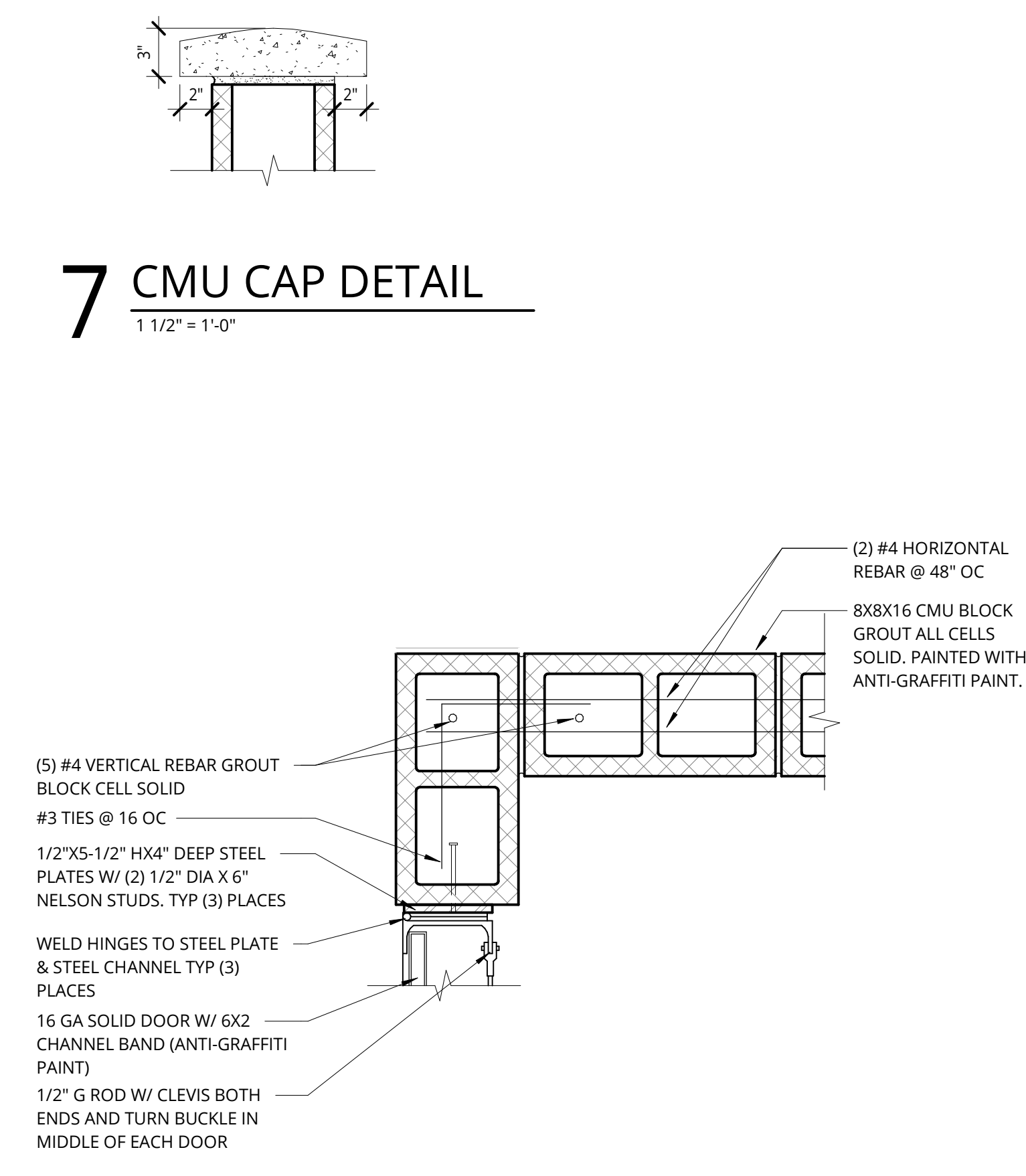
3 GENERATOR ENCLOSURE EAST ELEVATION  
1/2" = 1'-0"



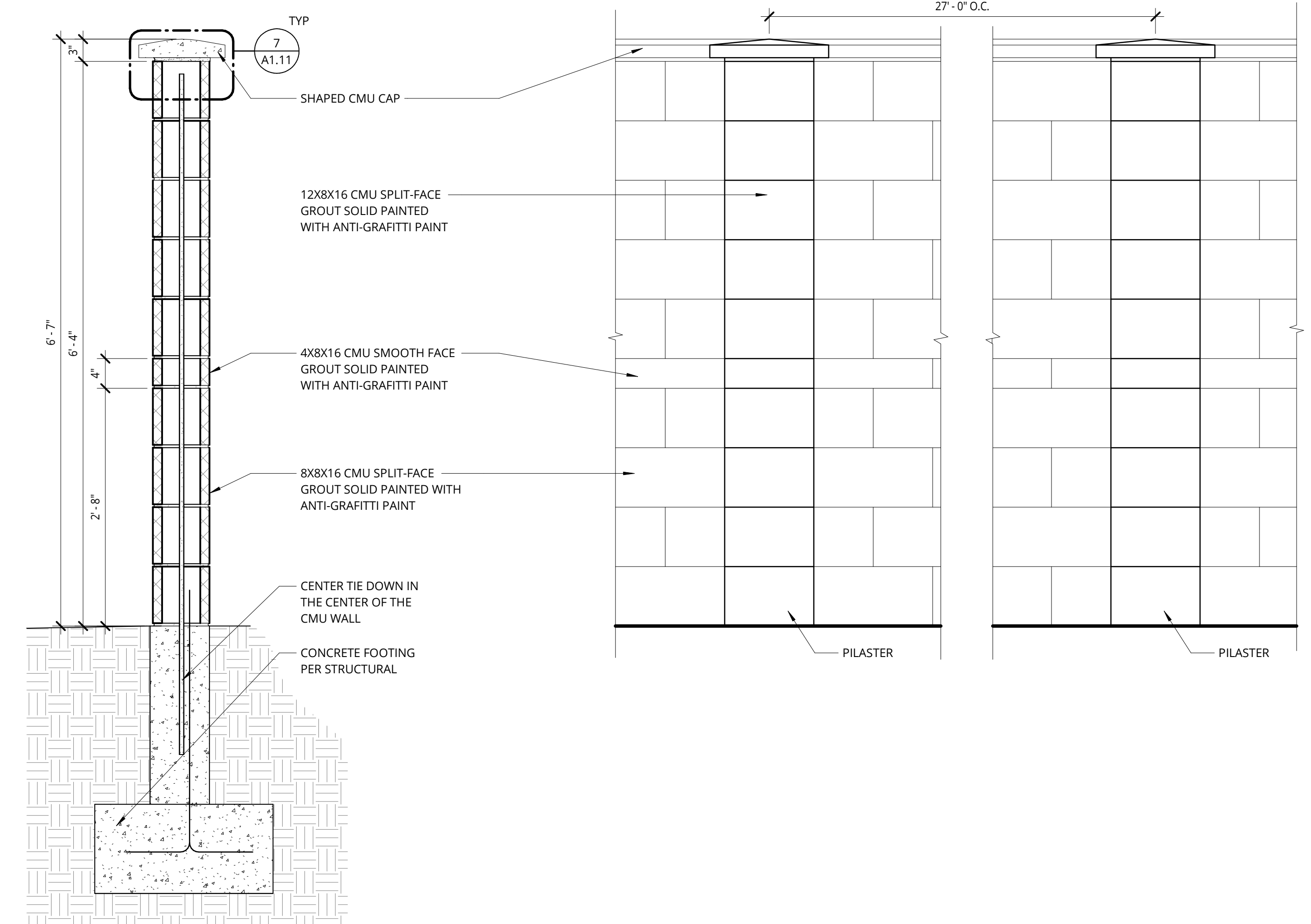
4 GENERATOR ENCLOSURE EAST SECTION  
1/2" = 1'-0"



5 CMU WALL @ FOOTING  
1 1/2" = 1'-0"

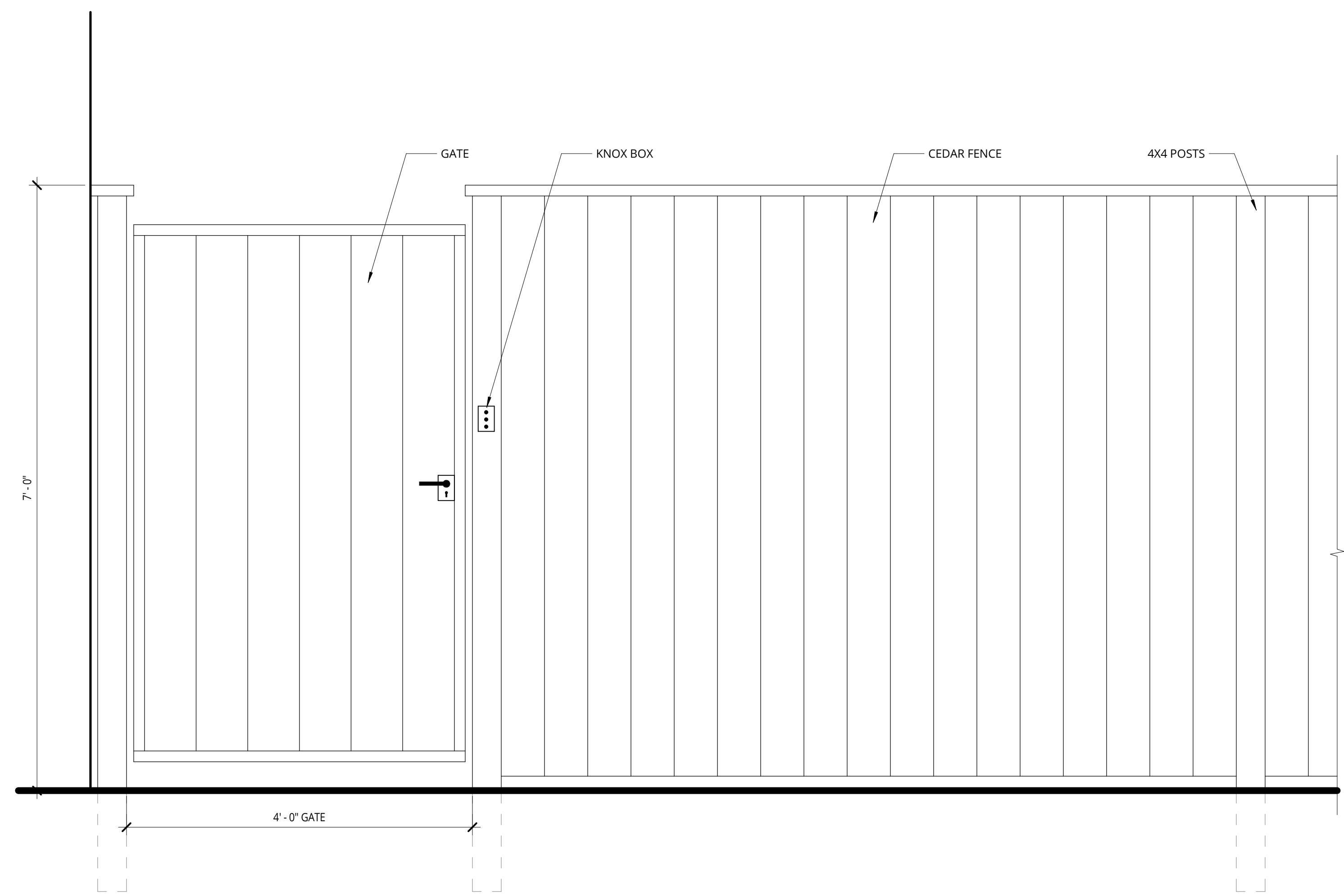


6 GENERATOR @ GATE HINGE  
1 1/2" = 1'-0"



8 PERIMETER CMU WALL - SECTION & ELEVATION  
1" = 1'-0"

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**1 FENCE W/ GATE**

1" = 1'-0"

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REVISION	DATE	REASON FOR ISSUE
1	6/3/22	Addendum 01

FENCE DETAILS

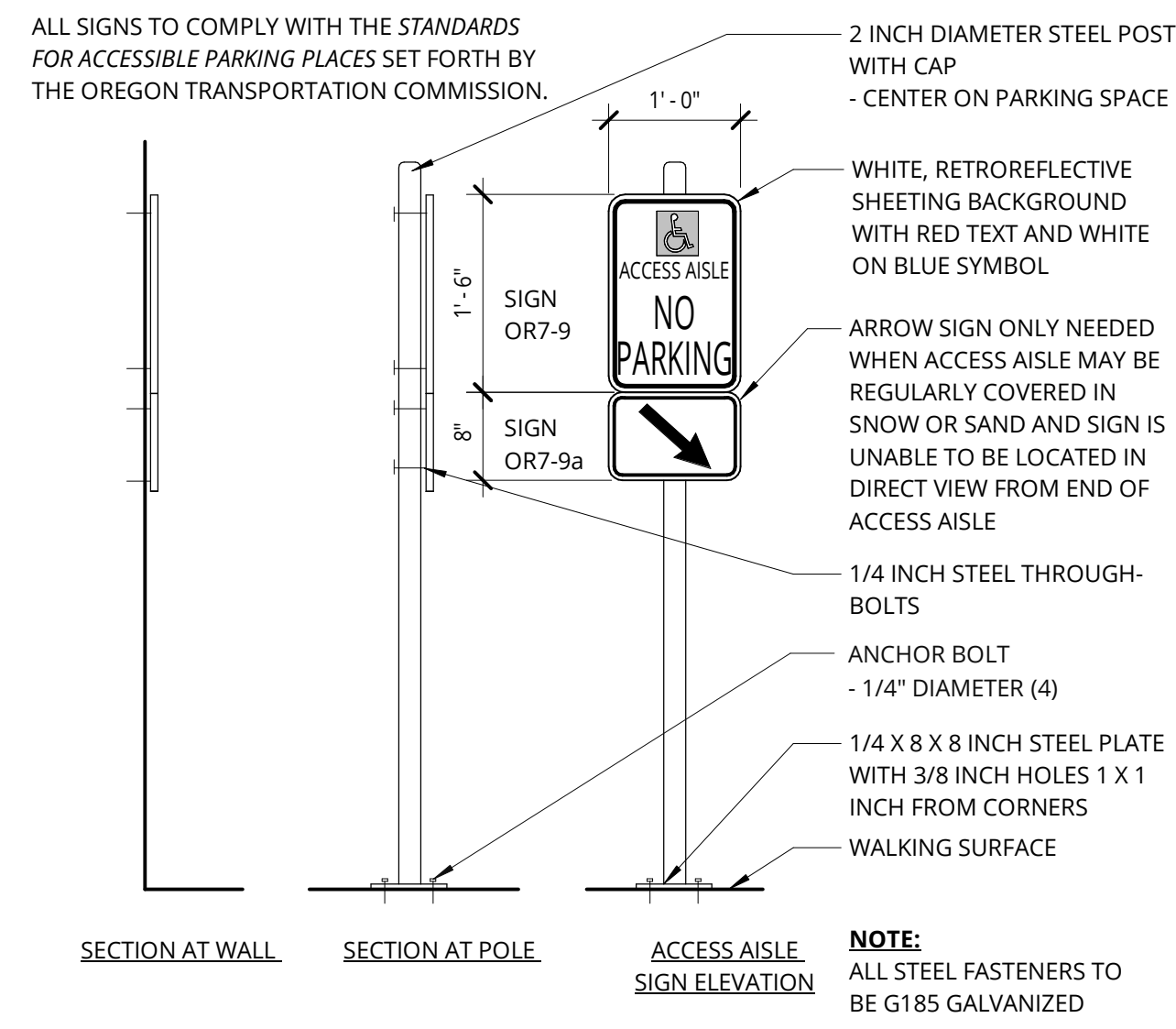
DESIGN REVIEW SET

DATE: 9/2/2022 PROJECT NUMBER: 203170

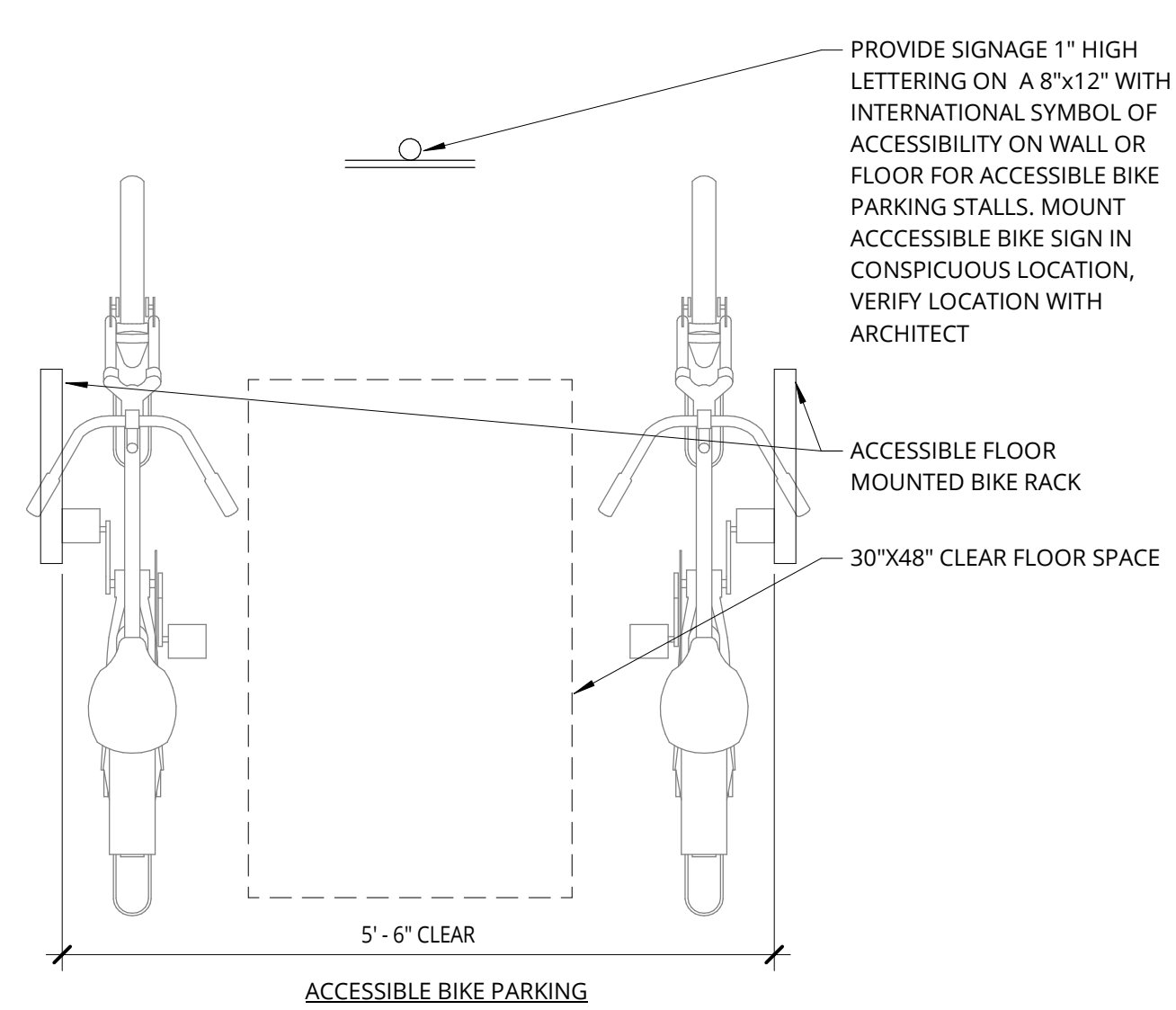
SHEET NUMBER

**A1.12**

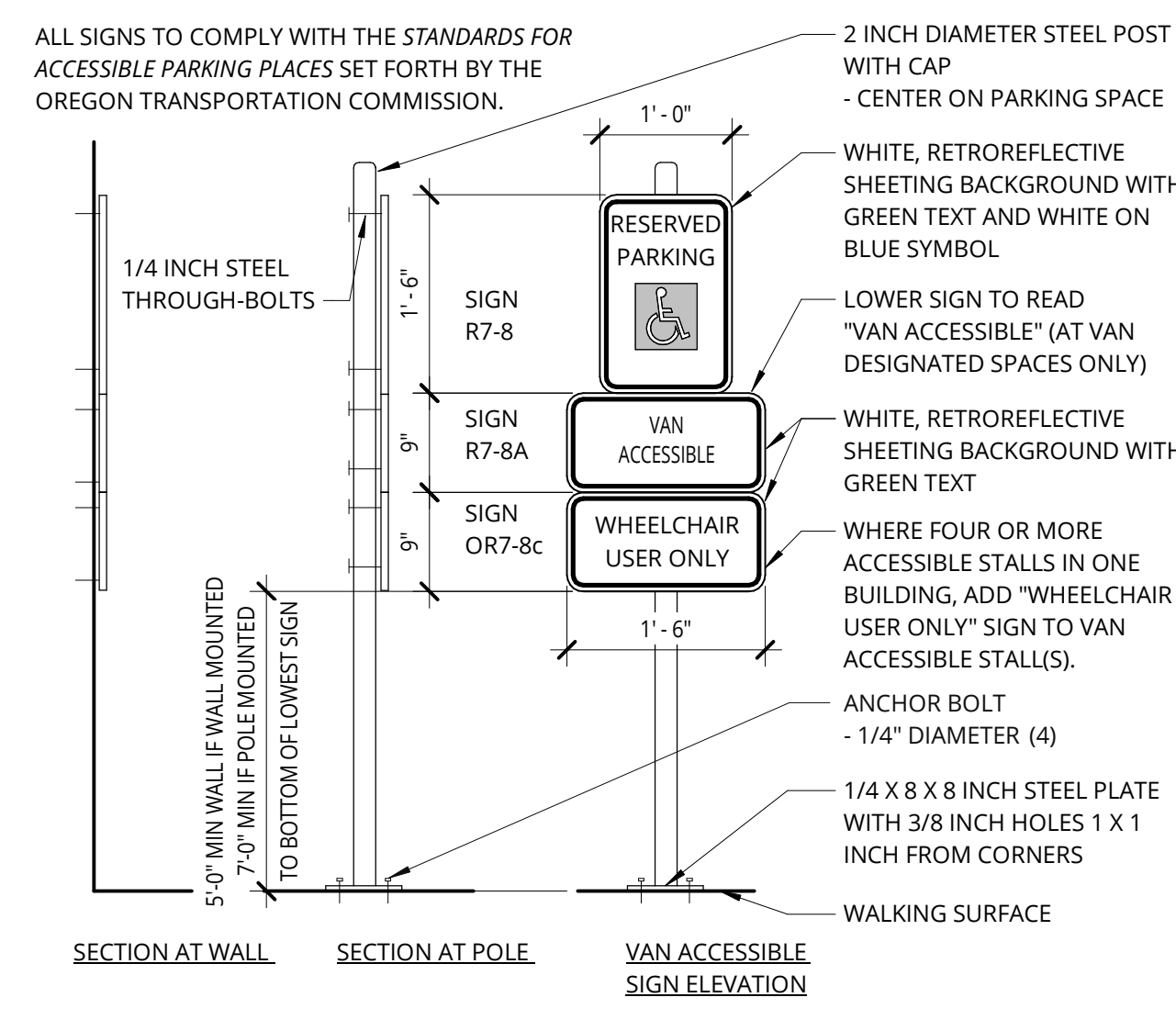
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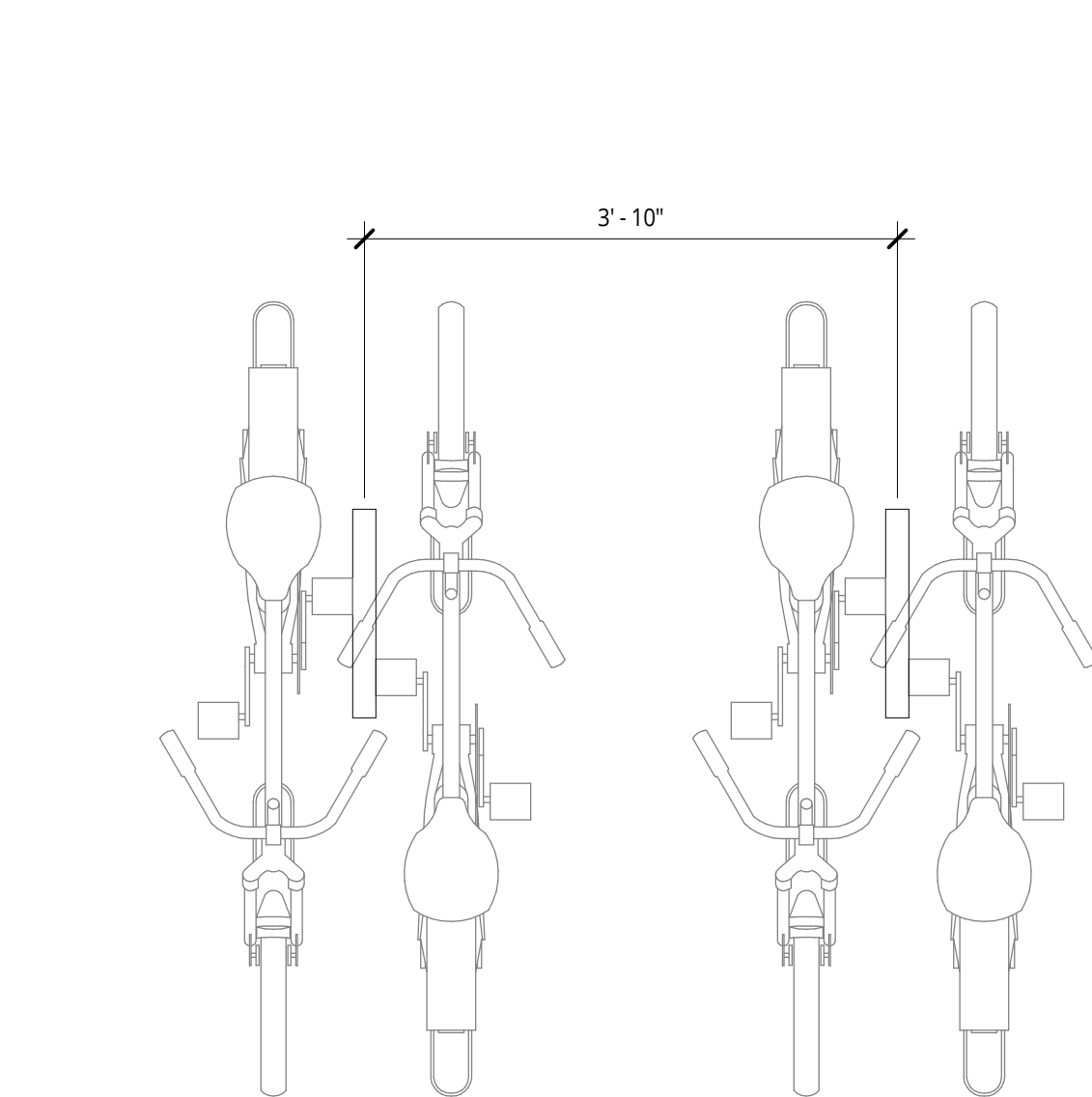
**1 ACCESSIBLE ACCESS AISLE SIGNAGE**  
3/4" = 1'-0"



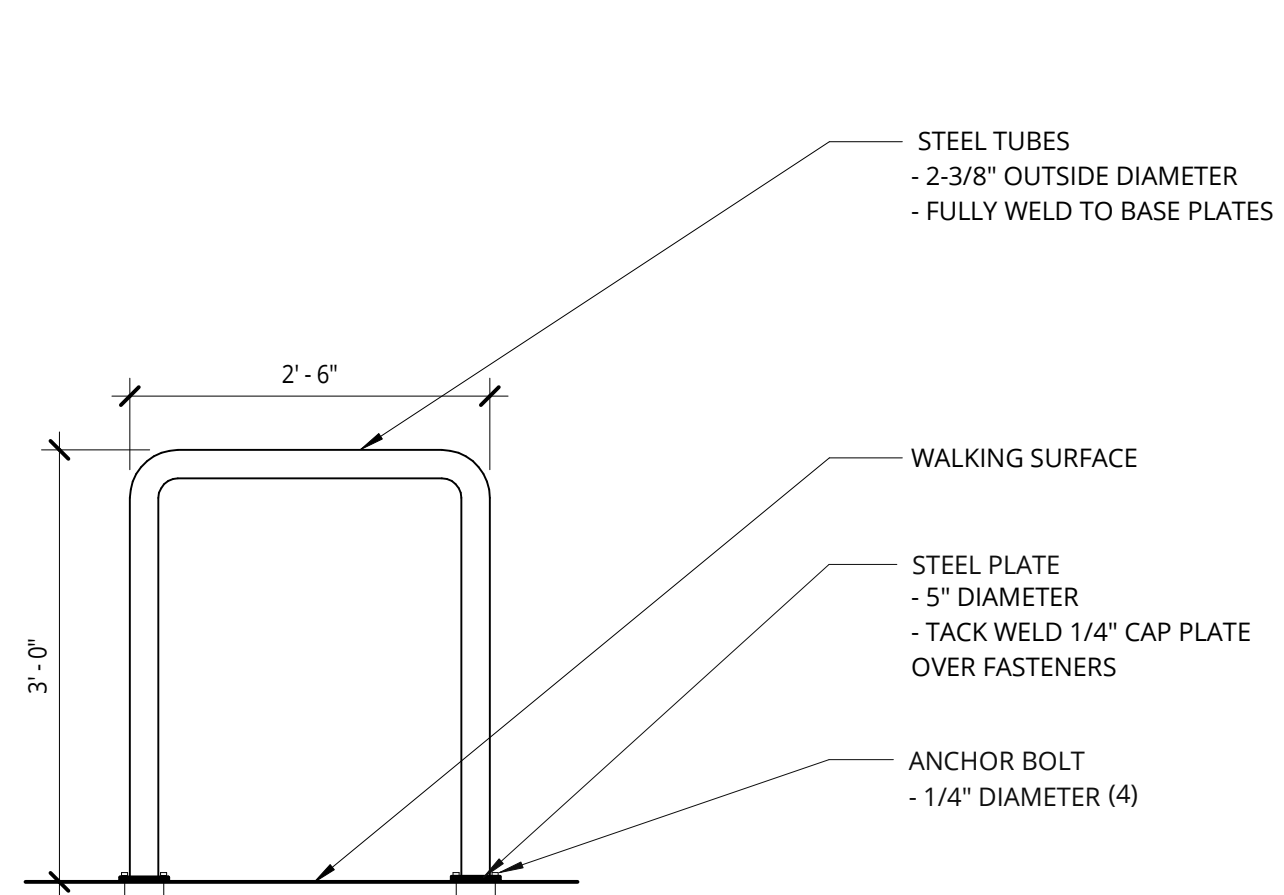
**2 ACCESSIBLE BIKE PARKING**  
3/4" = 1'-0"



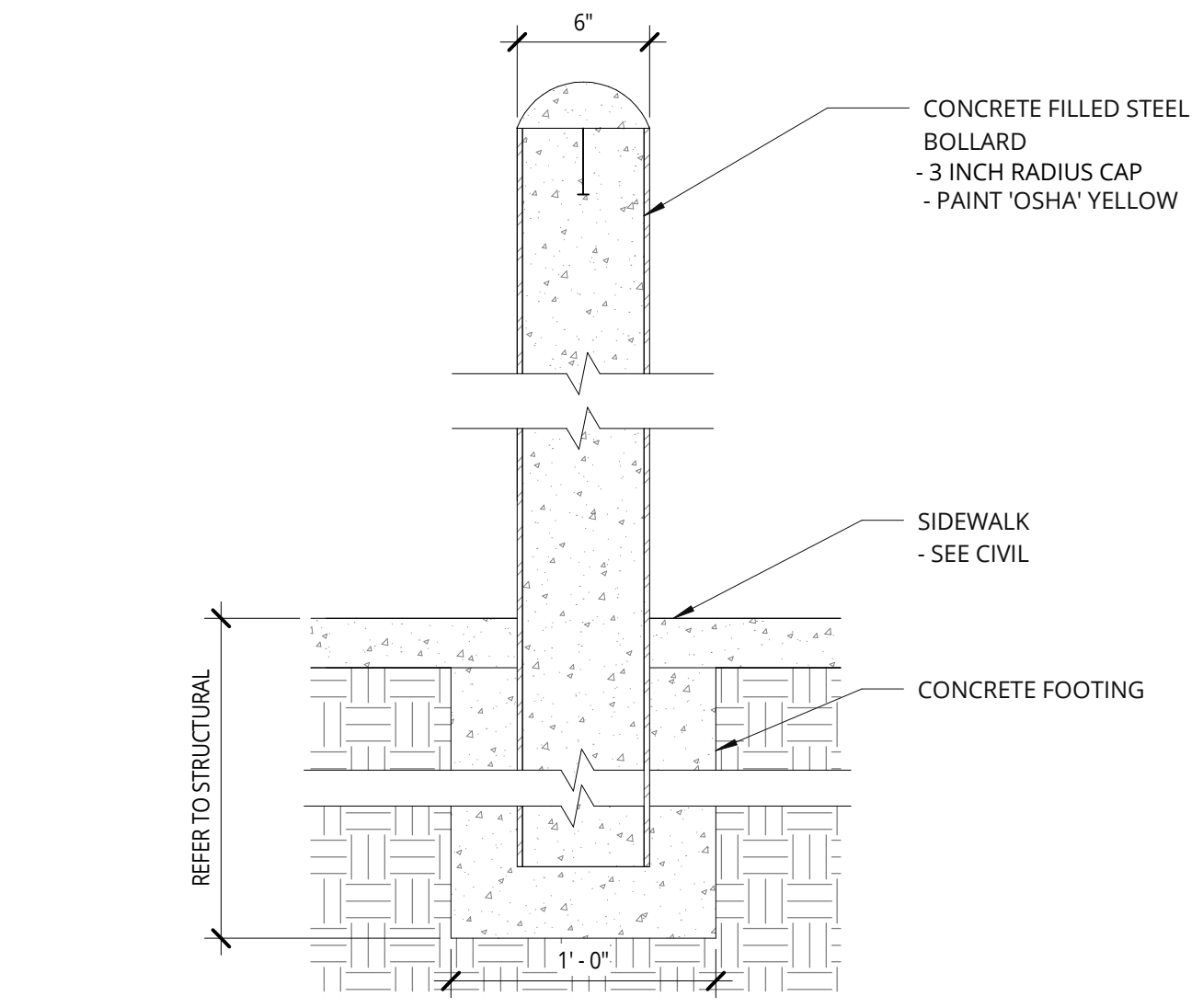
**3 ACCESSIBLE PARKING SIGNAGE**  
3/4" = 1'-0"



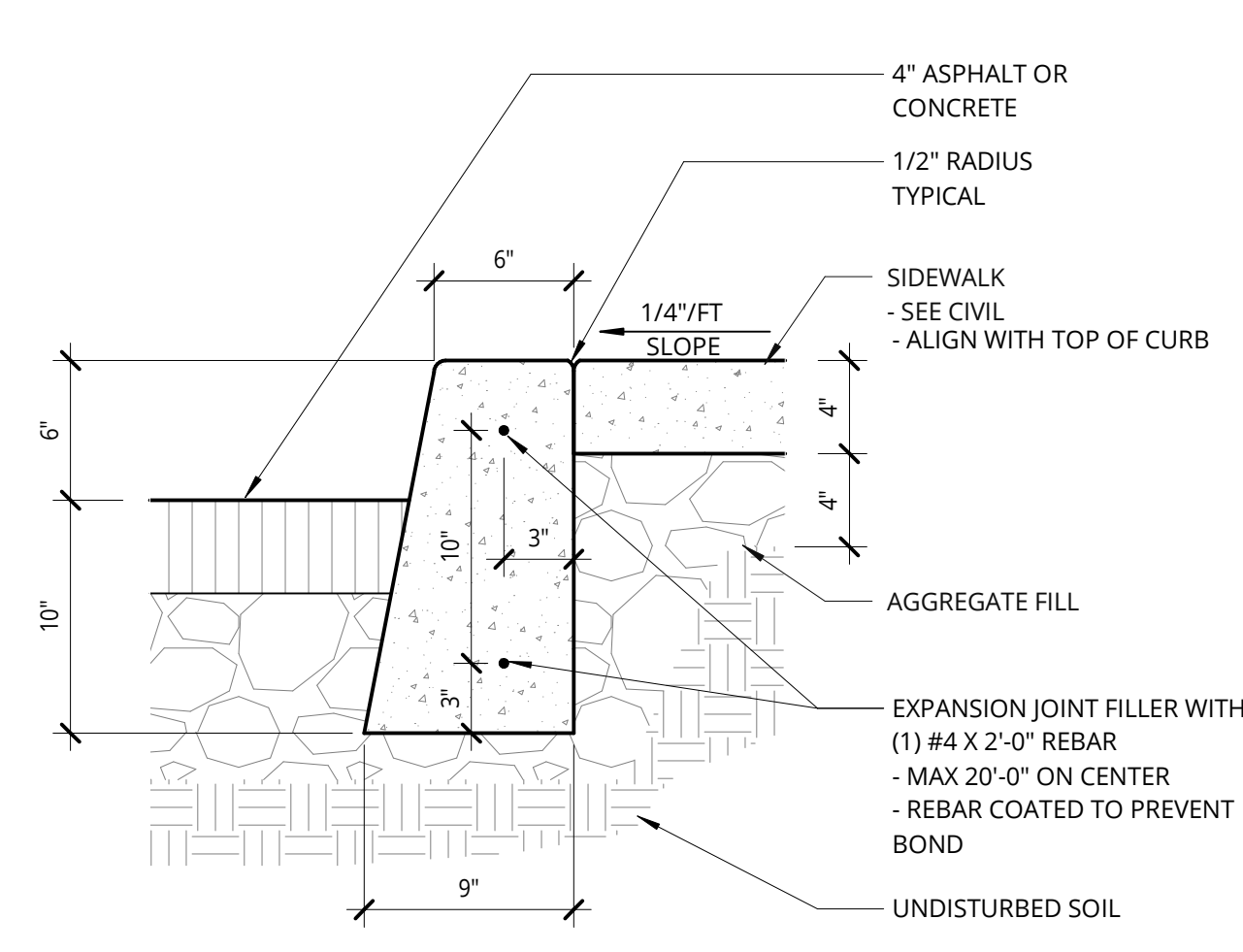
**4 BIKE PARKING**  
3/4" = 1'-0"



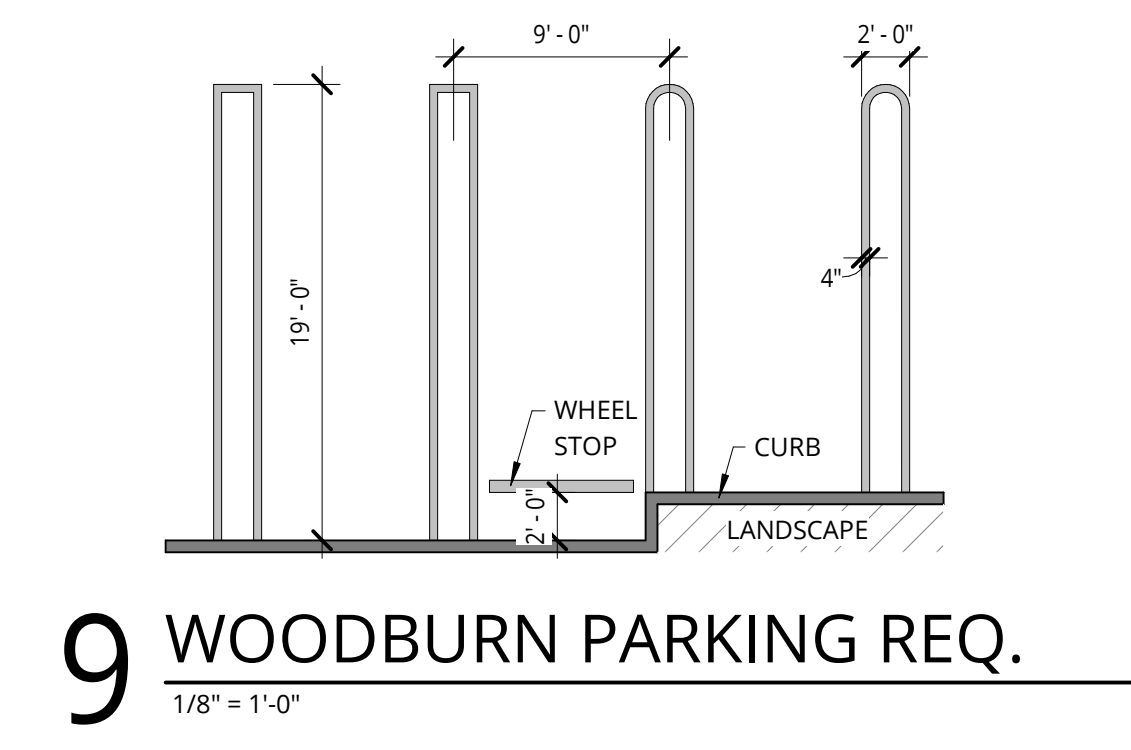
**6 BIKE RACK**  
3/4" = 1'-0"



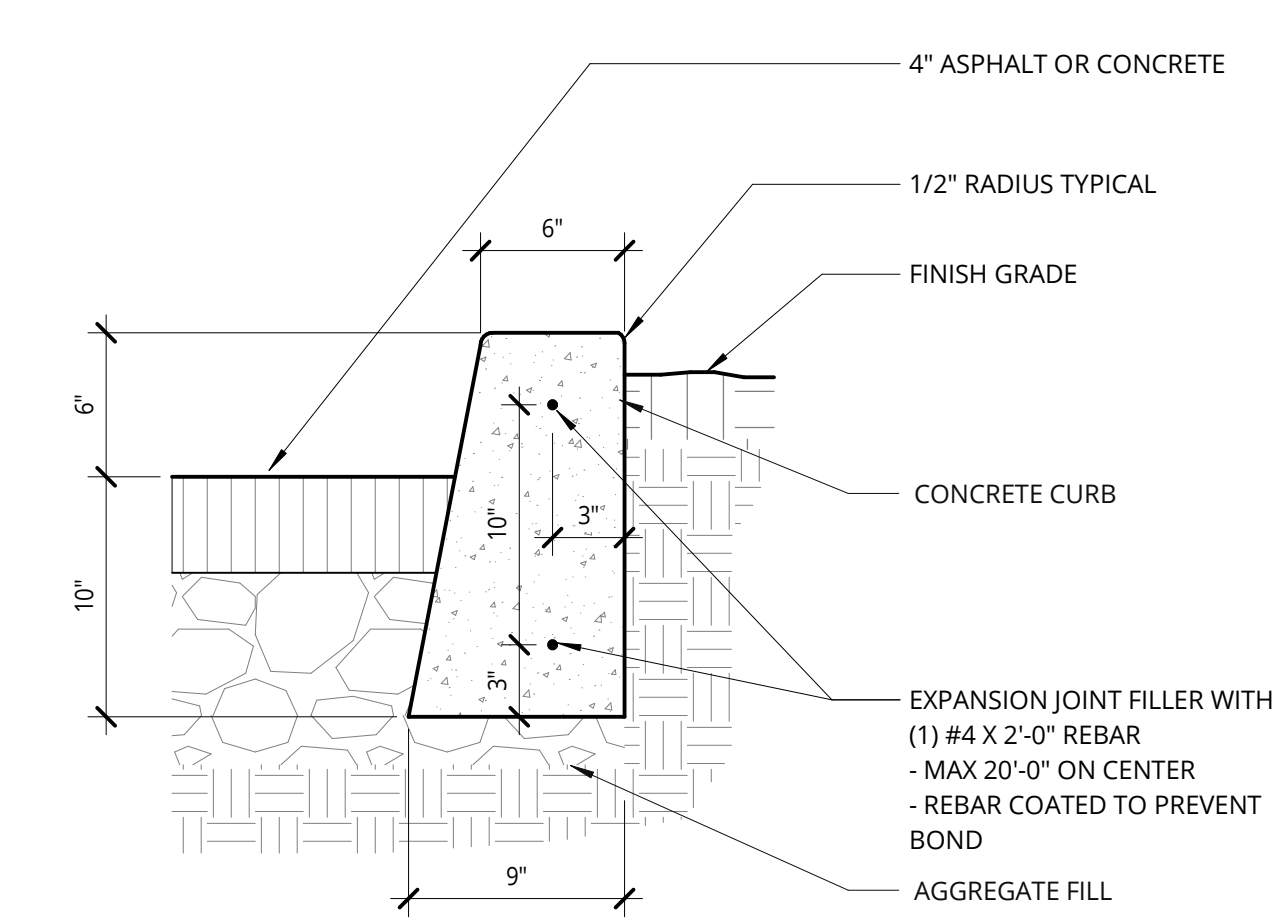
**7 BOLLARD ON PAVING**  
1 1/2" = 1'-0"



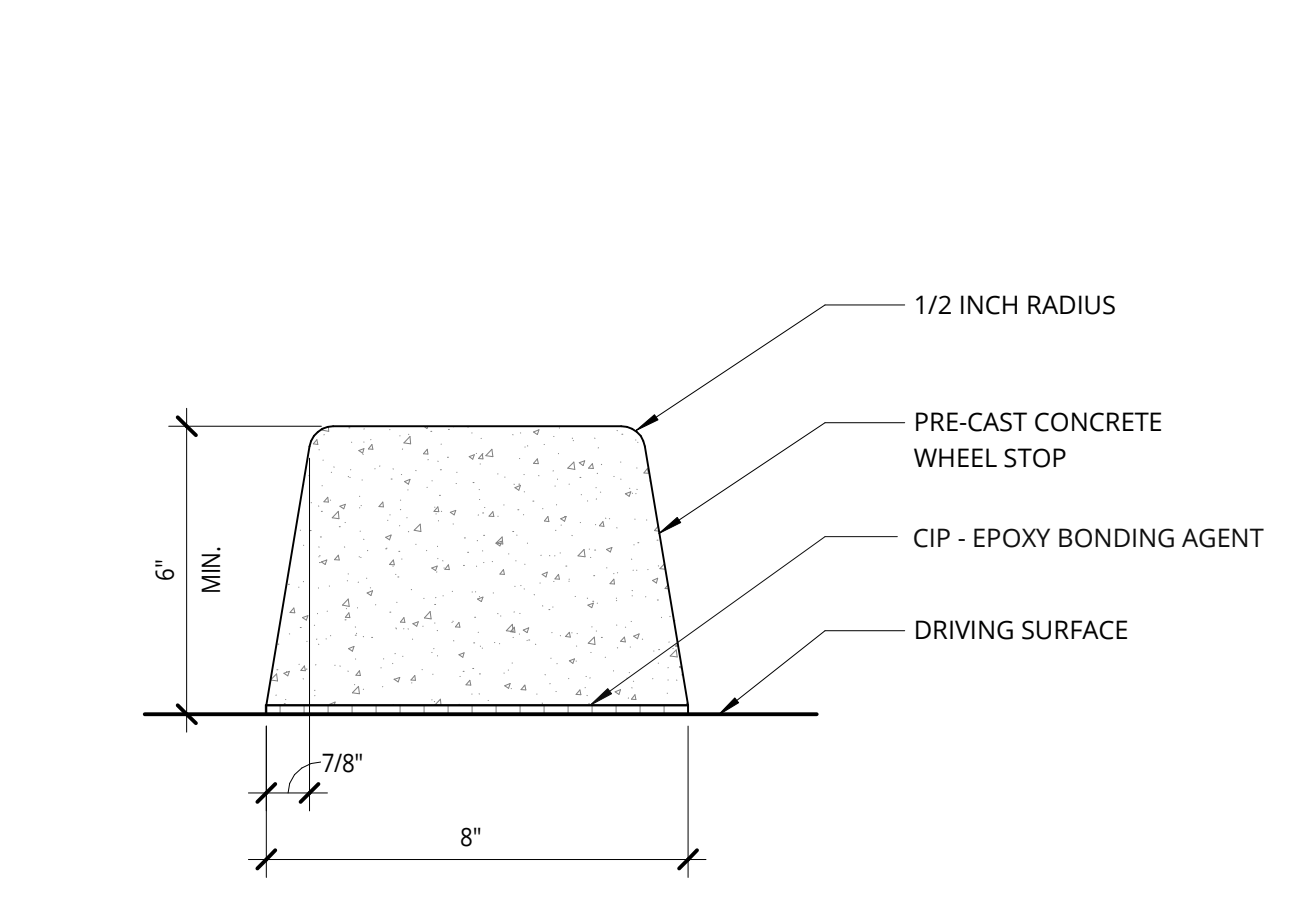
**8 CAST CURB @ CONCRETE SIDEWALK**  
1 1/2" = 1'-0"



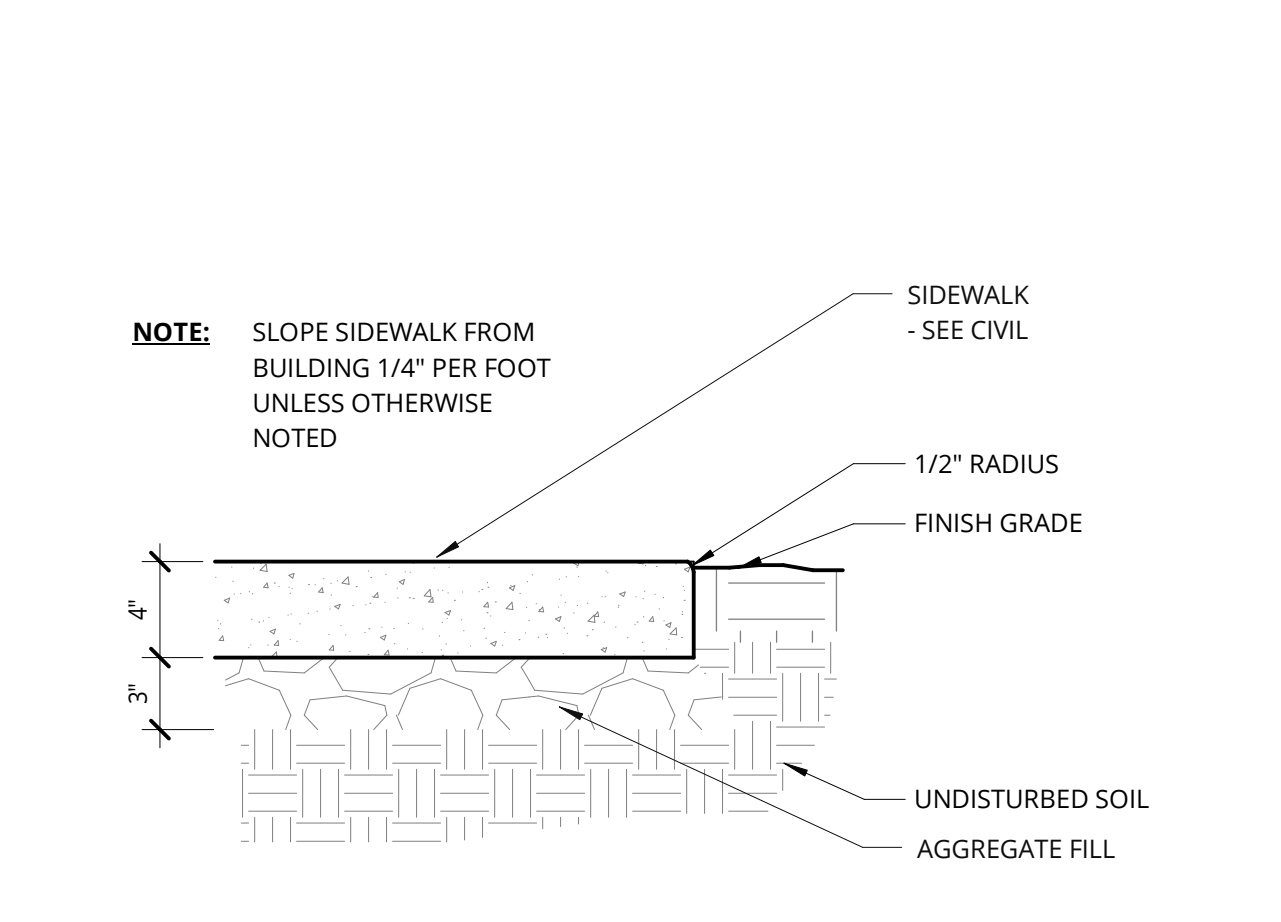
**9 WOODBURN PARKING REQ.**  
1/8" = 1'-0"



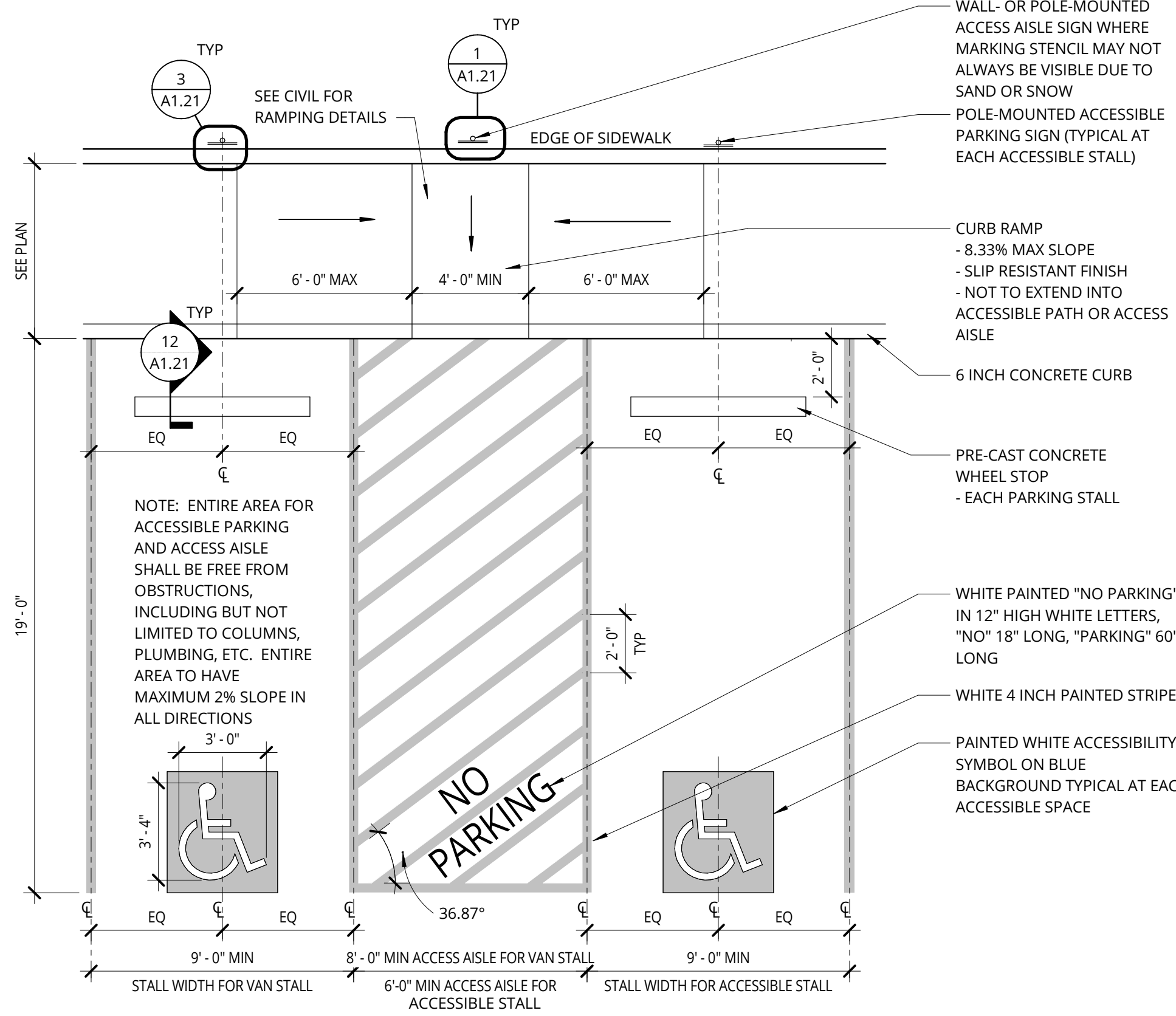
**11 CAST CURB @ LANDSCAPE**  
1 1/2" = 1'-0"



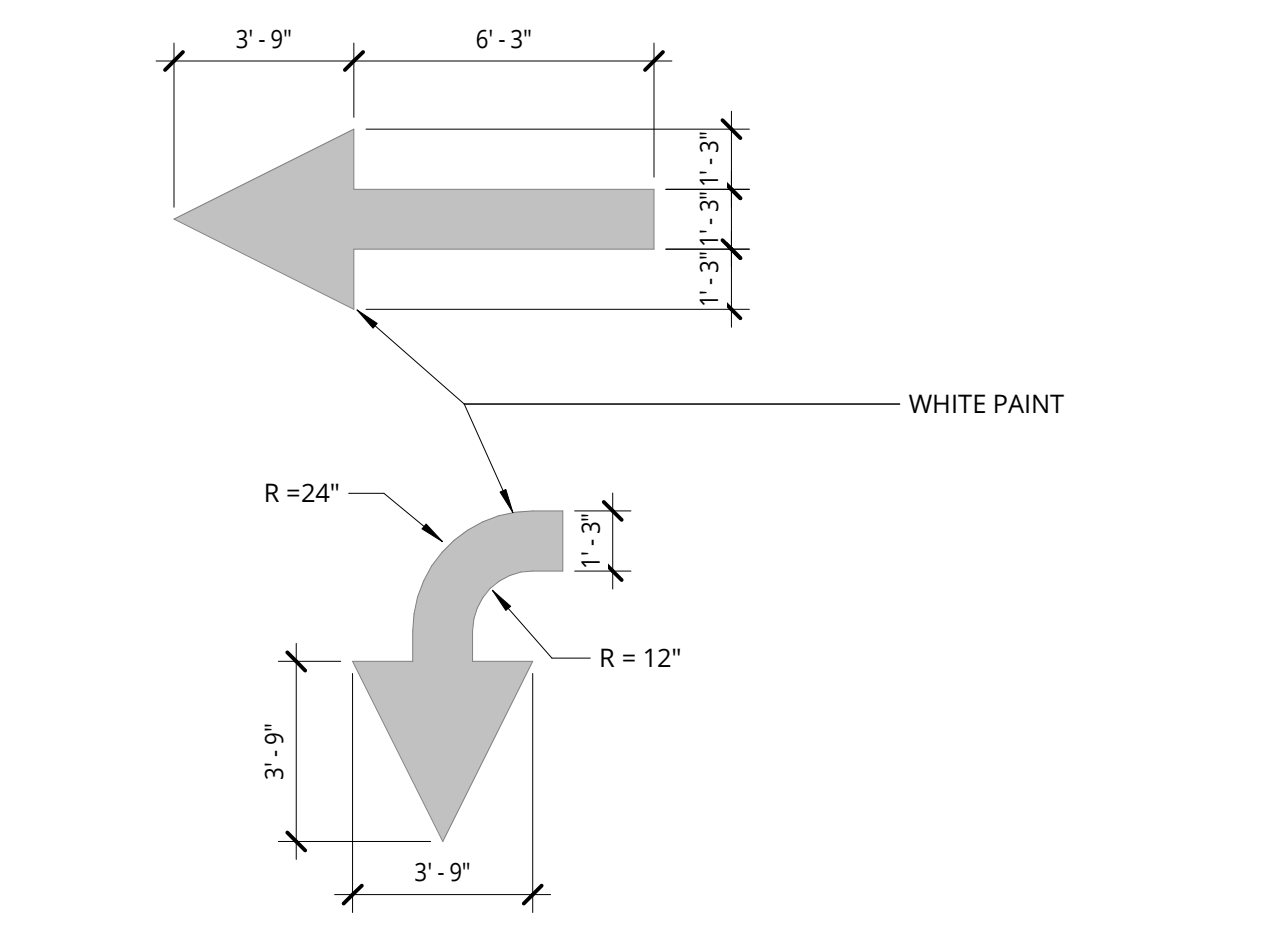
**12 PRE-CAST CONCRETE WHEEL STOP**  
3" = 1'-0"



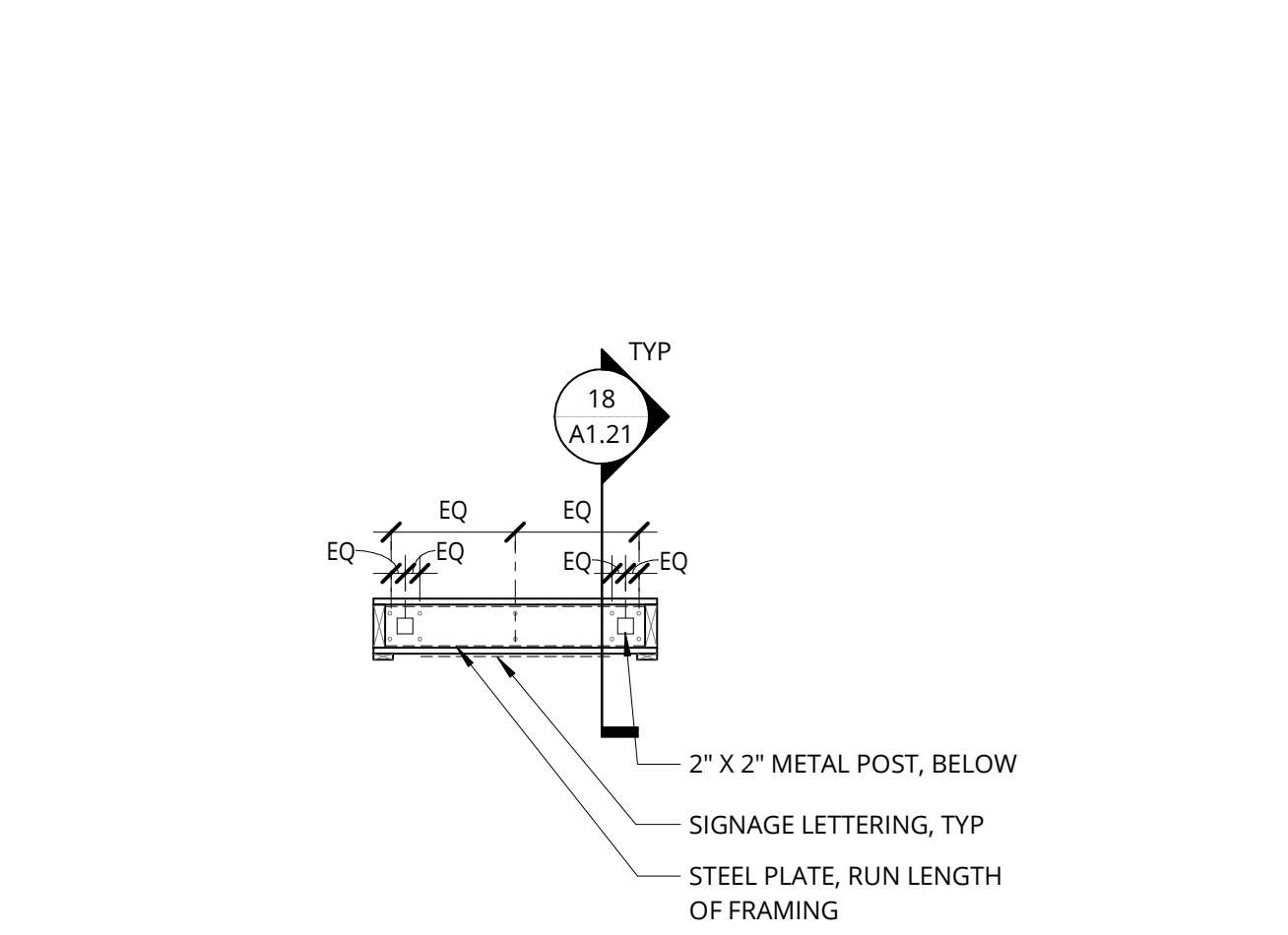
**13 SIDEWALK EDGE**  
1 1/2" = 1'-0"



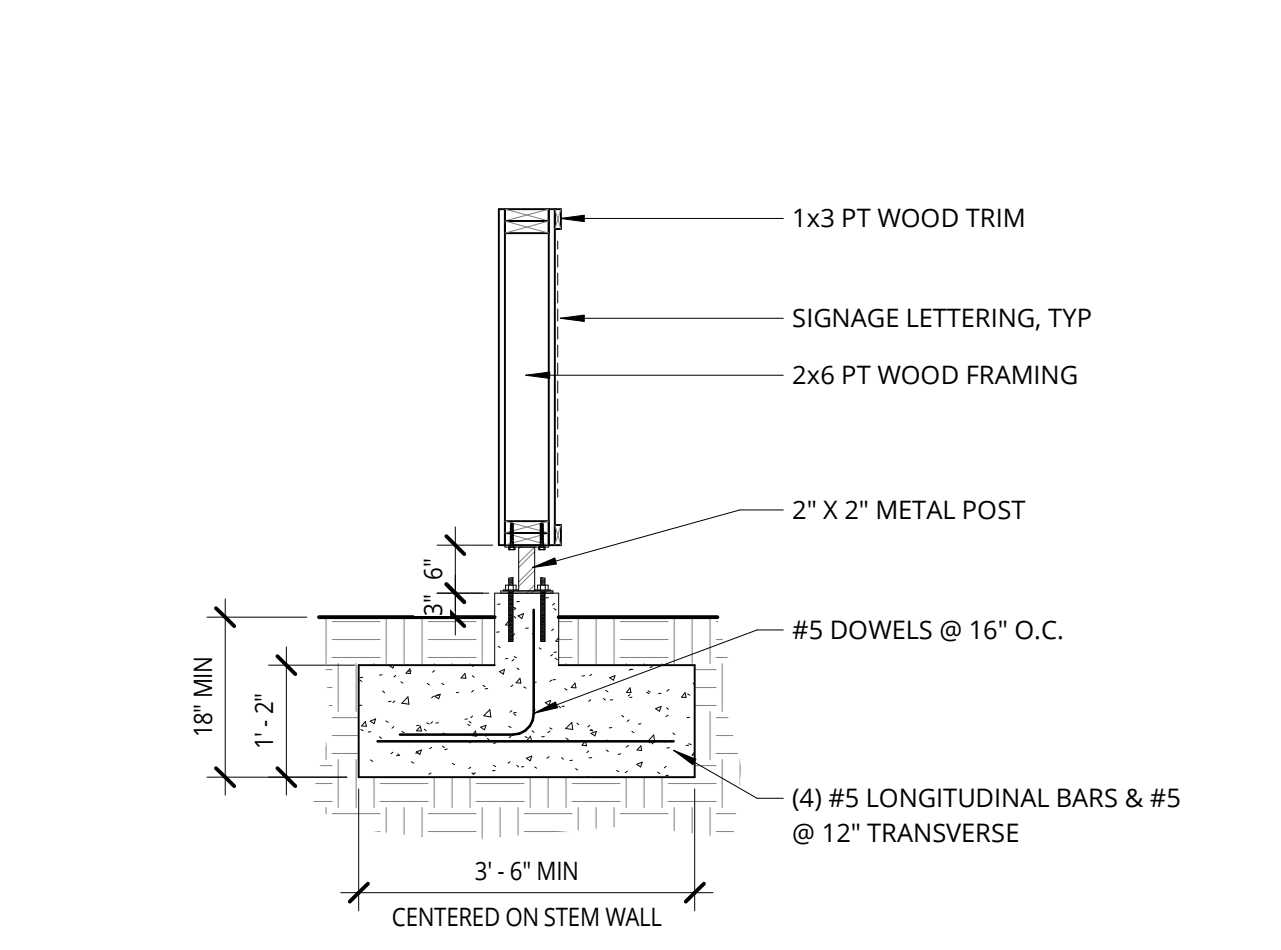
**14 ACCESSIBLE PARKING STALL - OREGON with path**  
1/4" = 1'-0"



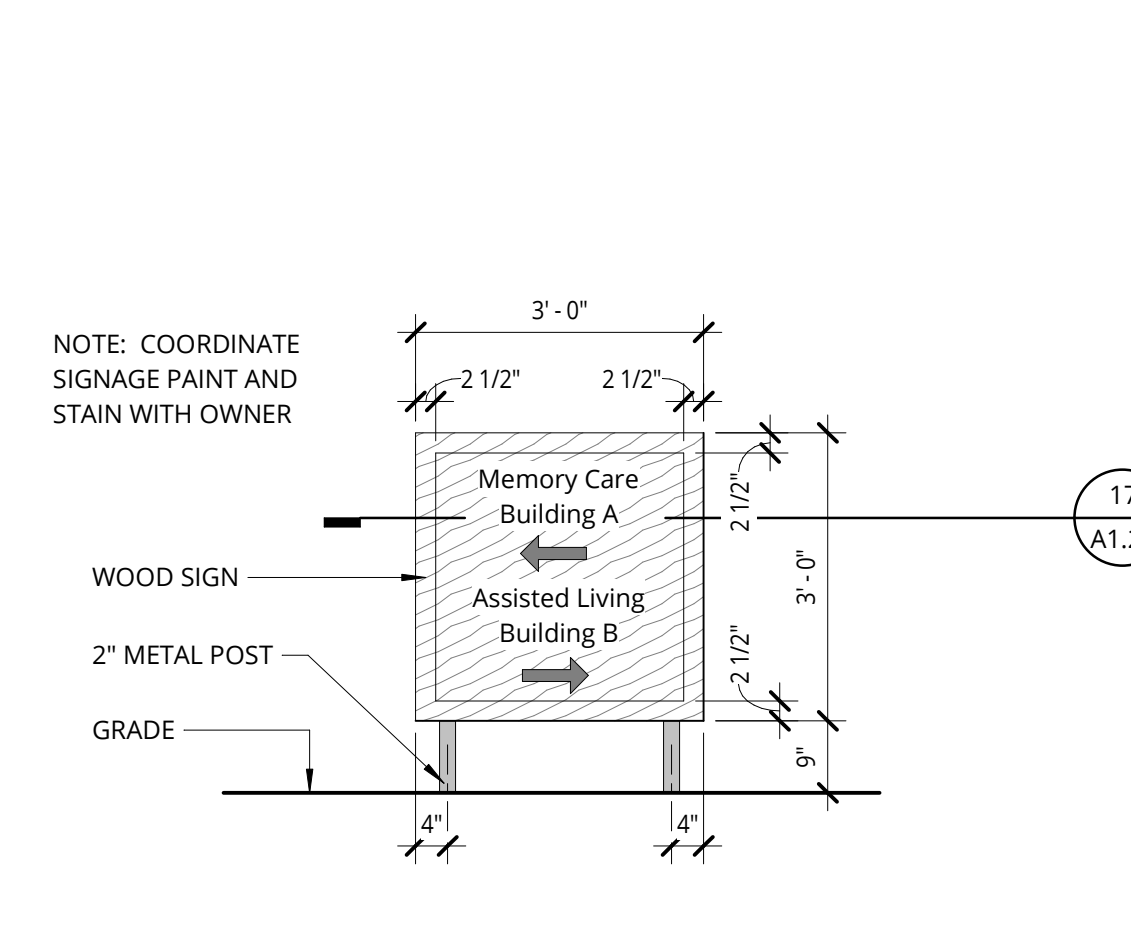
**16 TRAFFIC ARROW DETAILS**  
1/4" = 1'-0"



**17 MONUMENT SIGN - PLAN**  
1/2" = 1'-0"



**18 MONUMENT SIGN - SECTION**  
1/2" = 1'-0"



**19 MONUMENT SIGN - FRONT ELEVATION**  
1/2" = 1'-0"

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WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE
1	6/3/22	Addendum 01

SITE DETAILS

DESIGN REVIEW SET

DATE 9/2/2022	PROJECT NUMBER 203170
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SHEET NUMBER  
**A1.21**

GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING **A5.01**.
3. REFERENCE SLAB PLANS FOR CONCRETE WALL LOCATIONS, UNO. COORDINATE WITH STRUCTURAL DRAWINGS.
4. SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
5. SEE SHEET **A0.41** FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
6. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON **G2.21** FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
7. REFER TO ENLARGED UNIT PLANS (**A5.21 - A5.24**) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
8. REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
9. CORRIDOR AND UNIT DEMISING WALLS TO BE 2X6 INTERIOR ASSEMBLY 6A.1 U.N.O.
10. VERIFY DIMENSION OF PTAC OPENINGS IN FIELD PRIOR TO INSTALL.

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REVISION	DATE	REASON FOR ISSUE
1	6/3/22	Addendum 01

LEVEL 1 FLOOR PLAN

DESIGN REVIEW SET

DATE 9/2/2022	PROJECT NUMBER 203170
SHEET NUMBER	

A2.11

1 LEVEL 1 - PLAN  
 1/8" = 1'-0"



### GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING **A5.01**.
3. REFERENCE SLAB PLANS FOR CONCRETE WALL LOCATIONS, UNO. COORDINATE WITH STRUCTURAL DRAWINGS.
4. SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
5. SEE SHEET **A0.41** FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
6. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON **G2.21** FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
7. REFER TO ENLARGED UNIT PLANS (**A5.21**, **A5.22**) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
8. REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
9. CORRIDOR AND UNIT DEMISING WALLS TO BE 2X6 INTERIOR ASSEMBLY 6A.1 U.N.O.
10. VERIFY DIMENSION OF PTAC OPENINGS IN FIELD PRIOR TO INSTALL.

**NOT FOR CONSTRUCTION**



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**WOODBURN II ASSISTED LIVING FACILITY**  
2355 N BOONES FERRY RD, WOODBURN, OR 97071

WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE
1	6/3/22	Addendum 01

LEVEL 2 FLOOR PLAN

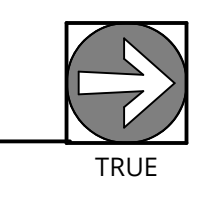
DESIGN REVIEW SET

DATE 9/2/2022	PROJECT NUMBER 203170
SHEET NUMBER	

**A2.12**



**1** LEVEL 2 - PLAN  
1/8" = 1'-0"



**GENERAL NOTES - ROOF PLANS**

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SHEET **A0.01** FOR HORIZONTAL ASSEMBLIES.
3. PROVIDE ROOFING MANUFACTURER'S STANDARD WALKWAY PADS BETWEEN ALL ROOF HATCHES, ROOF ACCESS DOORS, AND ROOFTOP EQUIPMENT AND AROUND PERIMETER OF ALL ROOFTOP EQUIPMENT.
4. PROVIDE POSITIVE ROOF SLOPE TO DRAIN AT MINIMUM SLOPE OF 1/4" PER FOOT MEASURED ALONG VALLEYS, UNLESS NOTED OTHERWISE.
5. ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE; COORDINATE ACTUAL SIZE, TYPE AND LOCATION OF EQUIPMENT, CURBS, AND ANY OTHER ROOF PENETRATIONS THAT MAY BE REQUIRED TO SUPPORT, SECURE OR FLASH ROOFTOP EQUIPMENT.
6. VERIFY AND COORDINATE SLAB PENETRATIONS INCLUDING SLEEVES & BLOCKOUTS AS REQUIRED FOR PLUMBING, MECHANICAL, ELECTRICAL, ETC. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES.
7. COMPLY WITH THE MOST STRINGENT OF SMACNA, NRCA OR MANUFACTURER'S REQUIREMENTS FOR FLASHINGS, COPINGS AND OTHER SHEET METAL CONSTRUCTION.
8. VERIFY ROOFING MANUFACTURER'S MINIMUM REQUIREMENTS FOR LAPPING OF ALL MATERIALS, BRING CONFLICTS WITH ARCHITECTURAL DETAILS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
9. REFER TO DETAILS FOR TOP OF PARAPET DATUMS.
10. SEE MEP AND LANDSCAPE DRAWINGS FOR ROOFTOP FURNISHINGS, EQUIPMENT AND PENETRATIONS.
11. VERIFY AND COORDINATE OVERBUILT FRAMING VENTING AS REQUIRED WITH STRUCTURAL DRAWINGS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES.

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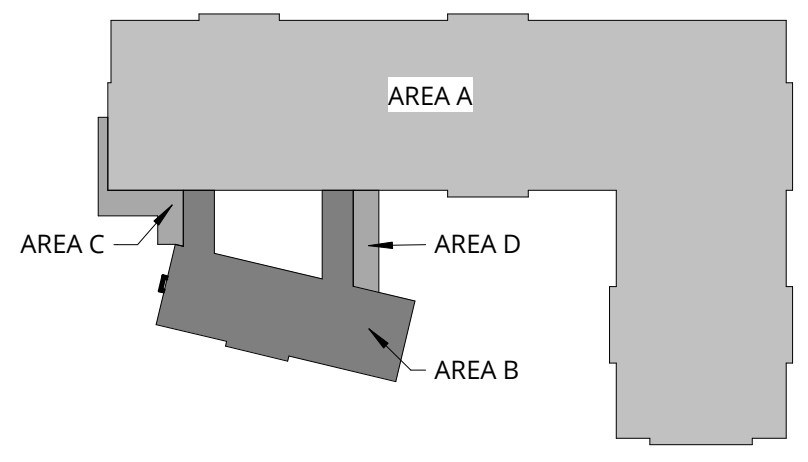
**ROOF VENTING CALCULATIONS**

**EAVE VENTING:**  
8.5 SQUARE INCHES PER LINEAR FOOT (.06 SF/LF) PER MANUFACTURER

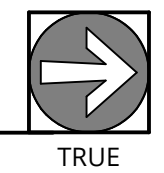
**RIDGE VENTING:**  
18.5 SQUARE INCHES PER LINEAR FOOT (.128 SF/LF) PER MANUFACTURER

**MUSHROOM VENTING:**  
144 SQUARE INCHES (1 SF) PER UNIT PER MANUFACTURER

ROOF AREA	1/300 SF ROOF VENTING REQUIRED	LOWER VENTING	UPPER VENTING	MEETS 1/300 REQUIREMENTS
AREA A 15,746 SF	TOTAL: 53 UPPER: 27 LOWER: 27	27 MUSHROOM VENT X 15F= 27 SF PROVIDED	27 MUSHROOM VENT X 15F= 27 SF PROVIDED	YES
AREA B 2,481 SF	TOTAL: 8.26 UPPER: 4.13 LOWER: 4.13	4.13/.06=68.83 75 SF/LF EAVE VENTING PROVIDED	4.13/.128=32.26 33 SF/LF RIDGE VENTING PROVIDED	YES
AREA C 352.81 SF	TOTAL: 1.17 LOWER: 1.17	1.17/.06=19.5 20 SF/LF EAVE VENTING PROVIDED		YES
AREA D 247.60 SF	TOTAL: .82 LOWER: .82	.82/.06=13.75 14 SF/LF EAVE VENTING PROVIDED		YES



**1 ROOF PLAN**  
1/8" = 1'-0"



**WOODBURN II ASSISTED LIVING FACILITY**  
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WMC HOLDING COMPANY, LLC

REVISION	DATE	REASON FOR ISSUE

ROOF PLAN

DESIGN REVIEW SET

DATE 9/2/2022	PROJECT NUMBER 203170
SHEET NUMBER	

**A2.20**

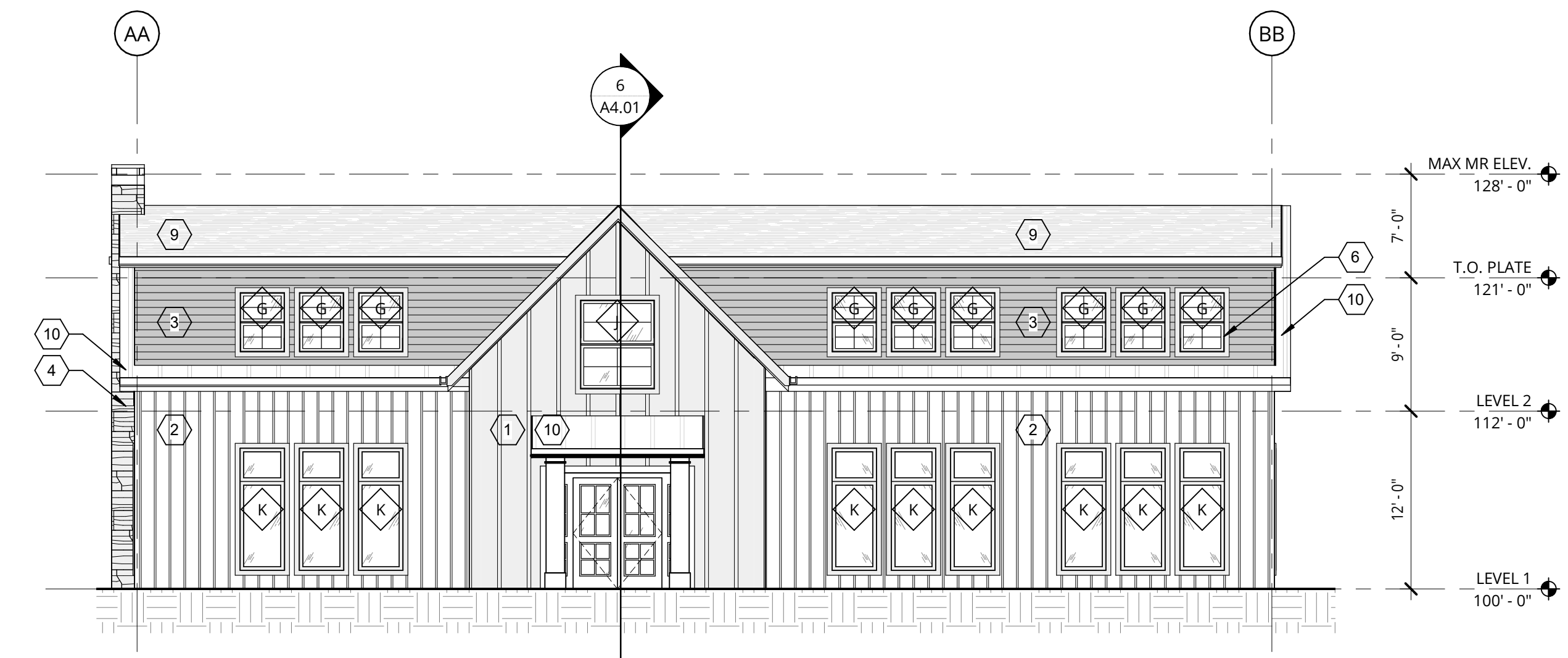
9/2/2022 11:19:50 AM C:\Users\markm\Documents\203170-Woodburn\Central\_Mark\_Miller\_A3.11.rvt

**GENERAL NOTES - EXTERIOR ELEVATIONS**

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE SHEET A12.21 FOR WINDOW SCHEDULE.
4. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
5. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
6. REFER TO A0.11 FOR EXTERIOR WALL TYPES.

**ELEVATIONS - KEY NOTES**

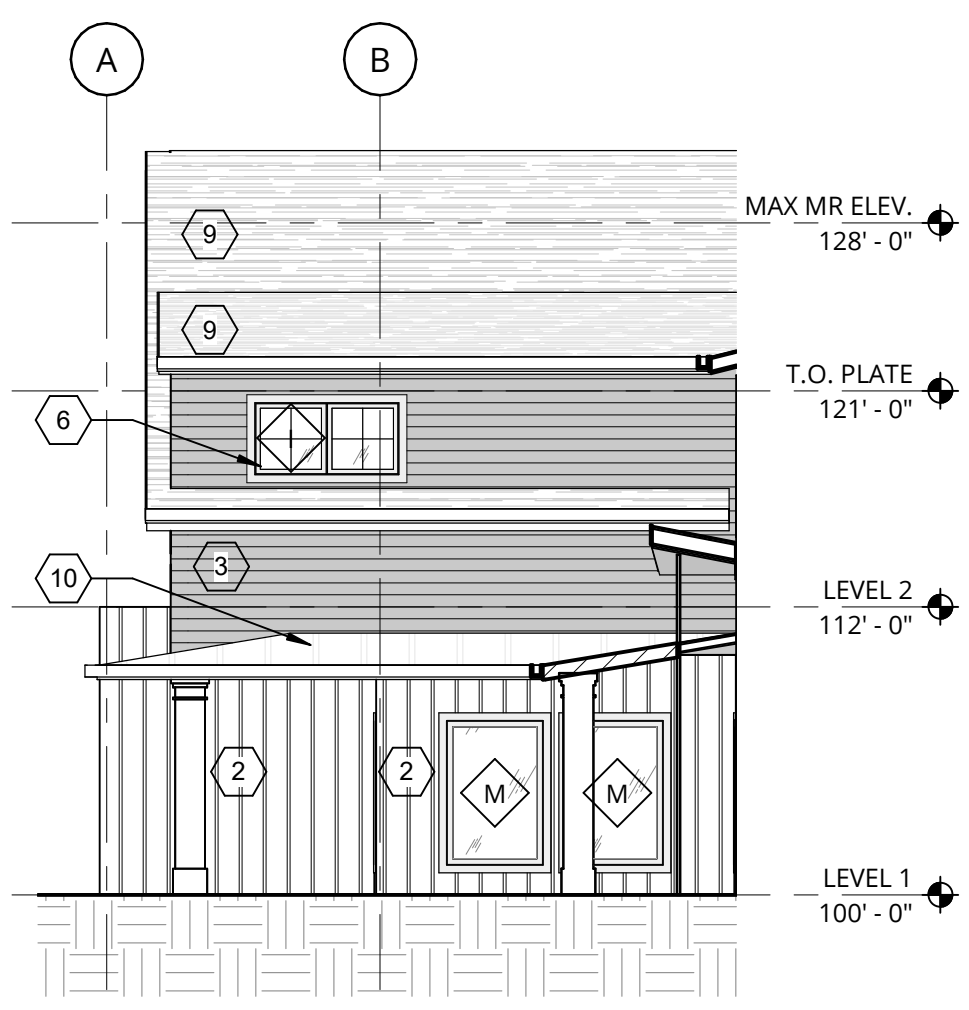
- ① BOARD & BATTEN (DOVER WHITE)
- ② BOARD & BATTEN (SANDY SHOES)
- ③ HORIZONTAL LAP SIDING (REPOSE GREY)
- ④ STONE VENEER SIDING
- ⑤ LOUVER
- ⑥ VINYL WINDOW, TYP
- ⑦ GABLE VENT
- ⑧ ELEVATOR OVERRUN
- ⑨ ASPHALT SHINGLE ROOF
- ⑩ METAL ROOF



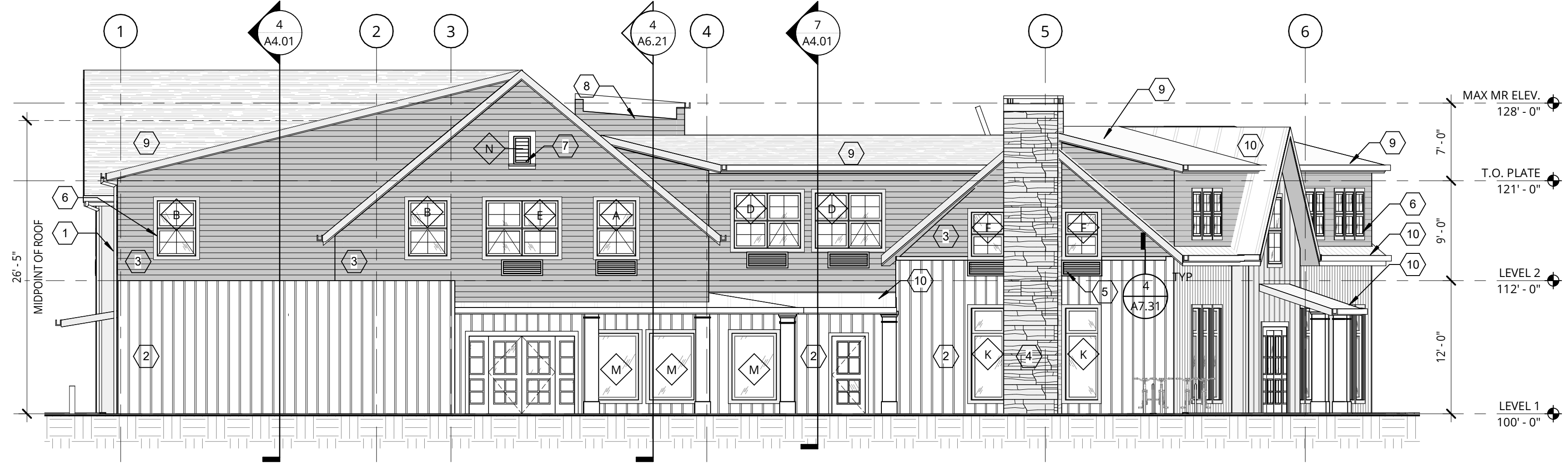
**1 SOUTH EAST ELEVATION**  
1/8" = 1'-0"



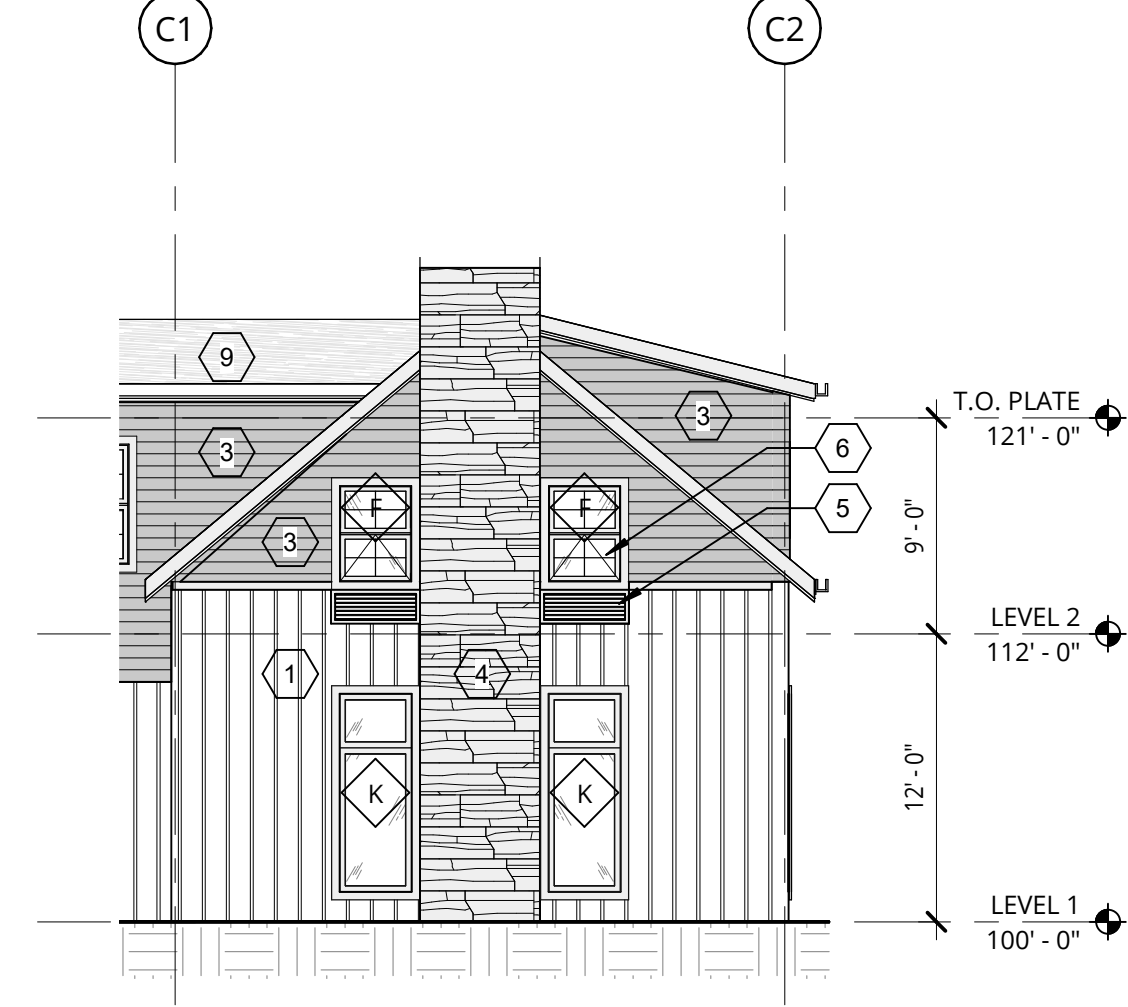
**2 EAST ELEVATION**  
1/8" = 1'-0"



**3 DINING - EAST ELEVATION**  
1/8" = 1'-0"



**4 SOUTH ELEVATION**  
1/8" = 1'-0"



**5 SOUTH WEST ELEVATION**  
1/8" = 1'-0"



**6 WEST ELEVATION**  
1/8" = 1'-0"

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1	6/3/22	Addendum 01

**BUILDING ELEVATIONS**

**DESIGN REVIEW SET**

DATE 9/2/2022	PROJECT NUMBER 203170
------------------	--------------------------

SHEET NUMBER  
**A3.11**

**GENERAL NOTES - EXTERIOR ELEVATIONS**

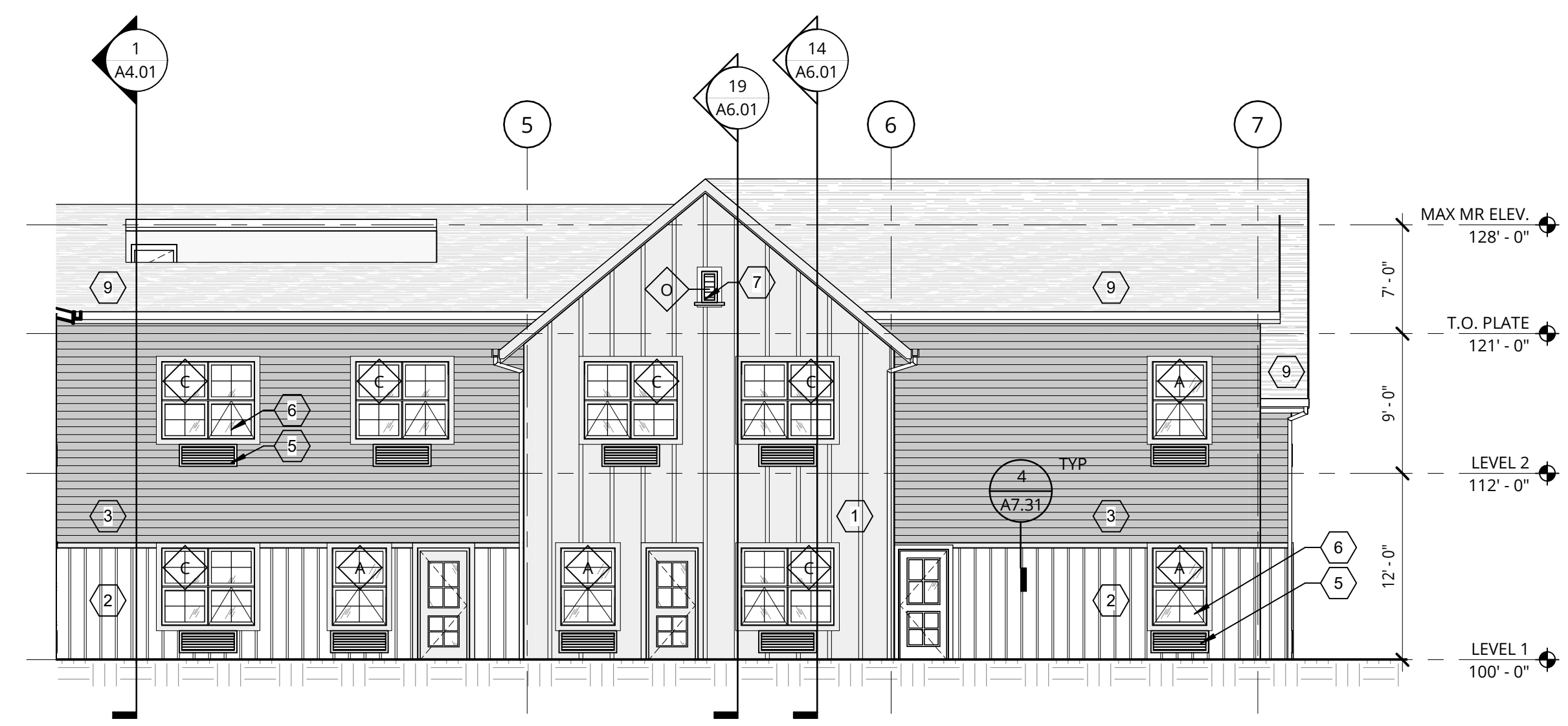
1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE SHEET A12.21 FOR WINDOW SCHEDULE.
4. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
5. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
6. REFER TO A0.11 FOR EXTERIOR WALL TYPES.

**ELEVATIONS - KEY NOTES**

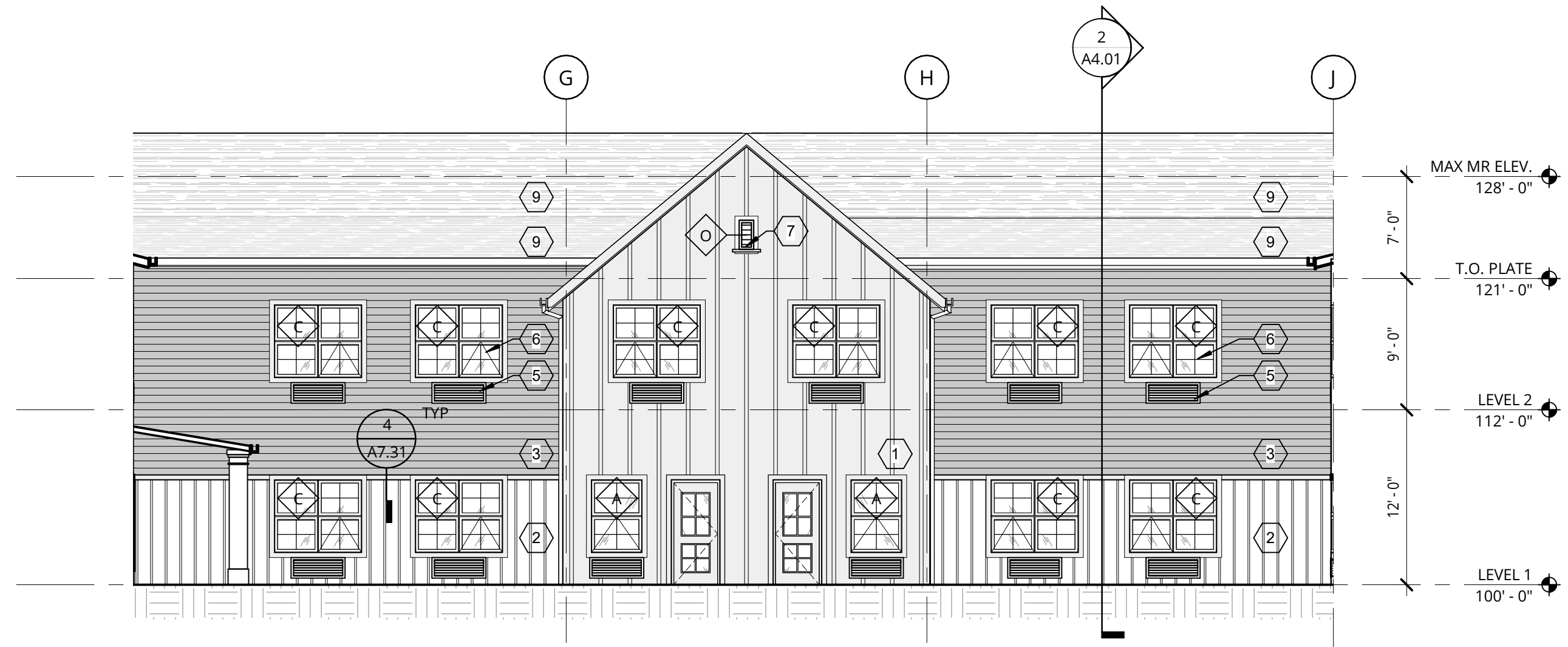
- ① BOARD & BATTEN (DOVER WHITE)
- ② BOARD & BATTEN (SANDY SHOES)
- ③ HORIZONTAL LAP SIDING (REPOSE GREY)
- ④ STONE VENEER SIDING
- ⑤ LOUVER
- ⑥ VINYL WINDOW, TYP
- ⑦ GABLE VENT
- ⑧ ELEVATOR OVERRUN
- ⑨ ASPHALT SHINGLE ROOF
- ⑩ METAL ROOF



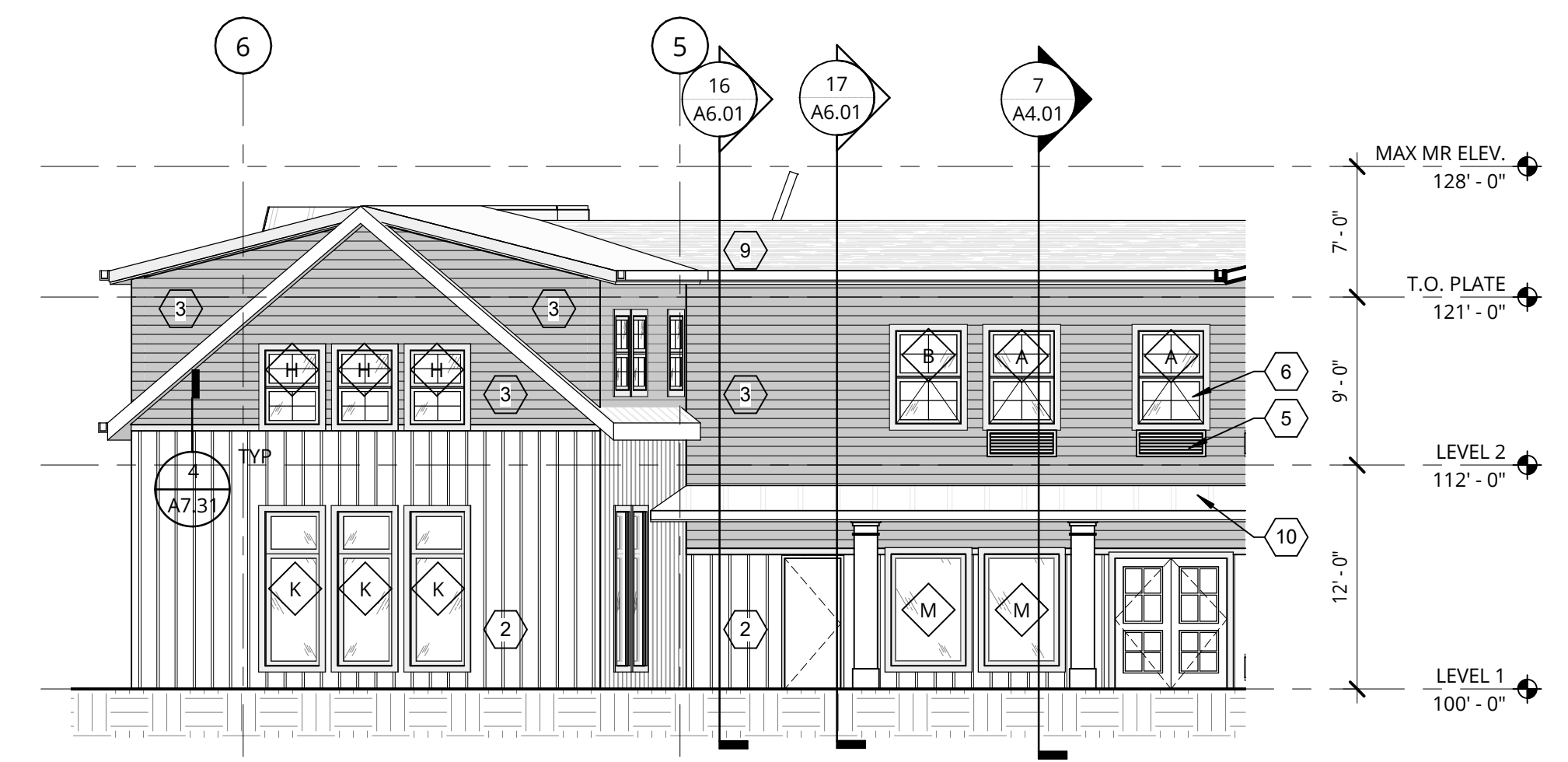
**1 NORTH ELEVATION**  
1/8" = 1'-0"



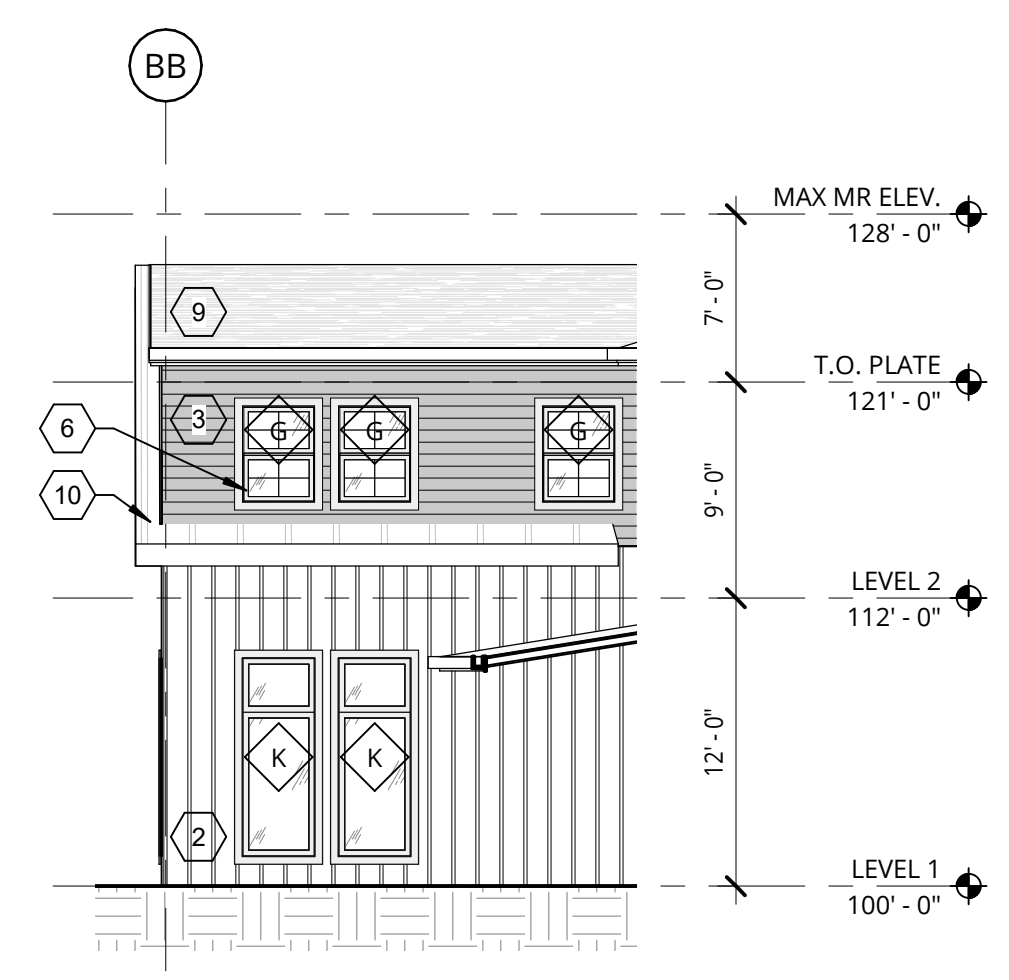
**2 COURTYARD - SOUTH ELEVATION**  
1/8" = 1'-0"



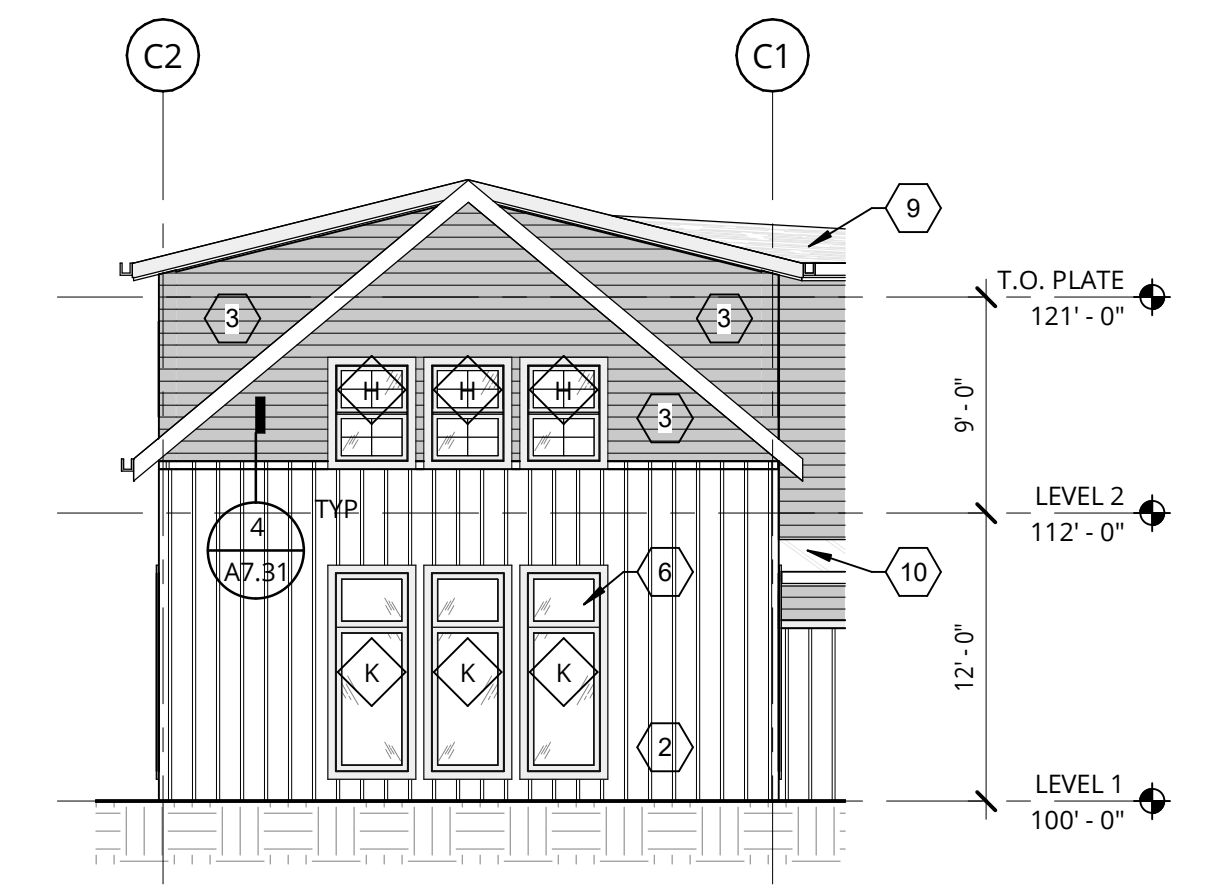
**3 COURTYARD - EAST ELEVATION**  
1/8" = 1'-0"



**4 COURTYARD - NORTH ELEVATION**  
1/8" = 1'-0"



**5 COURTYARD - NORTH WEST ELEVATION**  
1/8" = 1'-0"



**6 COURTYARD - NORTH EAST ELEVATION**  
1/8" = 1'-0"

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REVISION	DATE	REASON FOR ISSUE

**BUILDING ELEVATIONS**

**DESIGN REVIEW SET**

DATE: 9/2/2022 PROJECT NUMBER: 203170

SHEET NUMBER: **A3.12**

**LUMINAIRE SCHEDULE**

FIXTURE TYPE	DESCRIPTION	LOCATION	MOUNTING	CCT / CRI	INPUT WATTS (W)	LUMEN OUTPUT	EFFICACY (LUMENS / WATTS)	BALLAST / TRANSFORMER / DRIVER	VOLTAGE	LENS / REFLECTOR / BEAM	HOUSING	TRIM / FLANGE / BAFFLE / FINISH	MANUFACTURER / CATALOG #	REMARKS / ACCESSORIES/ OPTIONS
C1	CEILING MOUNTED 13 3/4" DIAMETERx11 1/2"H INCANDESCENT GLASS PENDANT	BISTRO	CEILING SURFACE	3000K	240				120	CLEAR SEEDED GLASS, (3) 60W-CANDELA...	CANOPY	BRUSHED NICKEL	QUOIZEL / PRUITT PRUS1714BN	
C3	CEILING MOUNTED 23" DIAMETERx13 3/4"H DECORATIVE INCANDESCENT PENDANT	MAIL & ELEVATOR LOBBIES	CEILING SURFACE	3000K	240					FALX PARCHMENT, (4) 60W CAND	CANOPY	POLISHED NICKEL	HINKLEY / GRAHAM 38894PN	
C4	CEILING MOUNTED 18" DIAMETERx10"H GLASS LED PENDANT	LIBRARY / COMP / MEDIA	CEILING SURFACE		48				120	ETCHED OPAN GLASS	CANOPY	BRUSHED NICKEL	HINKLEY / HARPER 3643BN-LED	
C5	CEILING MOUNTED 24" DIAMETER MULTI-ARM DECORATIVE (3) LIGHT INCANDESCENT GLASS PENDANT	SALON	CEILING SURFACE		105				120	CLEAR GLASS, (3) 30W-G9 WEDGE BASE...	CANOPY	POLISHED NICKEL	MITZI HUDSON VALLEY / KOREY H408603-PN	
C6	CEILING MOUNTED 28" DIAMETERx2 3/4"H INDIRECT LED RING.	FITNESS	CEILING SURFACE	3000K / 90+	52.5	3635	69	ELECTRONIC 0-10V DIMMABLE	120	ALUMINUM		WHITE TEXTURE FINISH	EUREKA / CALDERA 3046-28	
M1	CEILING MOUNTED 5" DIAMETER LENSED LED DOWNLIGHT.	GENERAL AREA	CEILING SURFACE	3000K / 90+	10	700	70	ELECTRONIC 0-10V DIMMABLE	120-277	DIFFUSING LENS	NON CONDUCTIVE AIR-LOC	FIELD INSTALLABLE BAFFLE/CONE SHROUD	JUNO / J55-30K-90CRI-MVOLT ZT-WH-JSFTFRIM	
O1	PATHWAY BOLLARD LUMINAIRE	EXTERIOR	SURFACE	30000K / 80+	12	558	46.5	REMOTE ELECTRONIC 0-10V DIMMABLE...					DESIGNPLAN PLIN 1.2 SERIES PN12105AC-PPLT00599	
O2	WALL MOUNTED BARN LIGHT	EXTERIOR	WALL SURFACE										SEAGULL LIGHTING EXPERTS 8637401 SERIES	
O3	WALL SCONCE	EXTERIOR	WALL SURFACE										SEAGULL LIGHTING EXPERTS 52120 SERIES	
OP2-30	EXTERIOR POLE MOUNTED FULL CUTOFF LENSED LED AREA LIGHT. IES TYPE II, INTEGRAL MOTION SENSOR, 25-FOOT LONG SQUARE TAPERED STEEL POLE WITH VIBRATION DAMPERS.	EXTERIOR	25-FOOT POLE	3000K / 70+	70	7,817	112	ELECTRONIC DIMMABLE	120-277	IES TYPE II	ALUMINUM	DARK BRONZE	LITHONIA / KADRD LED-30C-700-30K-R2-MVOLT-PIRH-DBXDX LITHONIA / STS25-VERIFY WIND-VD	
OP4-30	EXTERIOR POLE MOUNTED FULL CUTOFF LENSED LED AREA LIGHT. IES TYPE IV, INTEGRAL MOTION SENSOR, 25-FOOT LONG SQUARE TAPERED STEEL POLE WITH VIBRATION DAMPERS.	EXTERIOR	25-FOOT POLE	3000K / 70+	70	7,817	112	ELECTRONIC DIMMABLE	120-277	IES TYPE IV	ALUMINUM	DARK BRONZE	LITHONIA / KADRD LED-30C-700-30K-R4-MVOLT-PIRH-DBXDX LITHONIA / STS25-VERIFY WIND-VD	
2-OP4-30	(2) EXTERIOR POLE MOUNTED FULL CUTOFF LENSED LED AREA LIGHT. IES TYPE IV, INTEGRAL MOTION SENSOR, 25-FOOT LONG SQUARE TAPERED STEEL POLE WITH VIBRATION DAMPERS.	EXTERIOR	25-FOOT POLE 2 @180-DEG	3000K / 70+	70 EACH	7817 EACH	112	ELECTRONIC DIMMABLE	120-277	IES TYPE IV	ALUMINUM	DARK BRONZE	LITHONIA / (2) KADRD LED-30C-700-30K-R4-MVOLT-PIRH-DBXDX LITHONIA / STS25-VERIFY WIND-VD	
OP5-30	EXTERIOR POLE MOUNTED FULL CUTOFF LENSED LED AREA LIGHT. IES TYPE V, INTEGRAL MOTION SENSOR, 25-FOOT LONG SQUARE TAPERED STEEL POLE WITH VIBRATION DAMPERS.	EXTERIOR	25-FOOT POLE	3000K / 70+	70	7,817	112	ELECTRONIC DIMMABLE	120-277	IES TYPE V	ALUMINUM	DARK BRONZE	LITHONIA / KADRD LED-30C-700-30K-R5-MVOLT-PIRH-DBXDX LITHONIA / STS25-VERIFY WIND-VD	
P1	CEILING MOUNTED 3 1/2" DIAMETERx13 3/4"L DECORATIVE INCANDESCENT PENDANT.	RECEPTION	CEILING SUSPENDED CHAIN HUNG	3000K	40				120	CRACKLE CLEAR GLASS SHADE, LAMP...	CANOPY	POLISHED NICKEL	HUDSON VALLEY THE LIGHTING STANDARD SORIANO SERIES	
P2	CEILING MOUNTED 30"DIAMETERx12 1/4"H DECORATIVE IN CENTPENDANT	LOBBY	CEILING SUSPENDED STEM HUNG	3000K	480				120	WHITE PLEATED SILK SHADE, (8) 40W-E12...	CANOPY	HISTORIC NICKEL	HUDSON VALLEY THE LIGHTING STANDARD HASTINGS SERIES	
P3	CEILING MOUNTED MULTI ARM DECORATIVE INCANDESCENT (5) LIGHT CHANDELIER	LIVING ROOM	CEILING SUSPENDED CHAIN HUNG	3000K	375				120	CLEAR SEEDED GLASS, (5) 75W-A19	CANOPY	BRUSHED NICKEL	KICHLER LIGHTING LCC VALSERRANO SERIES	
P4	CEILING MOUNTED MULTI ARM DECORATIVE INCANDESCENT (4) LIGHT CHANDELIER	DINING ROOM	CEILING SUSPENDED STEM HUNG	3000K	240				120	SATIN ETCHED DIFFUSER, WHITE ORGAZ...	CANOPY	BRUSHED NICKEL	KICHLER LIGHTING LCC KAILEY SERIES	
P5	CEILING MOUNTED 32 1/2" DIAMETERx19.5"H DECORATIVE LED PENDANT	LOUNGE	CEILING SUSPENDED CABLE HUNG	3000K / 90+	46	775	17	ELECTRONIC DIMMABLE	120	WHITE LINEN FABRIC	CANOPY	SATIN NICKEL	HUDSON VALLEY THE LIGHTING STANDARD MERCEL SERIES	
S1	WALL SURFACE MOUNTED 5 1/2" DIAMETER x22 3/4"H DECORATIVE INCANDESCENT WALL SCONCE	ELEVATOR LOBBIES	WALL SURFACE	3000K	60				120	FALX SILK SHADE, (1) 60W E12...	CANOPY	POLISHED NICKEL	HUDSON VALLEY THE LIGHTING STANDARD FREDONIA SERIES	
S2	WALL SURFACE MOUNTED 5 1/2"Wx14 1/4"H DECORATIVE LED WALL SCONCE	ENTRIES	WALL SURFACE	3000K / 90+	8	420	53	ELECTRONIC DIMMABLE	120	WHITE ACRYLIC DIFFUSER		BRUSHED NICKEL/CHROME	KICHLER LIGHTING LCC 10438NCHLED SERIES	
S3	WALL SURFACE MOUNTED 6"DIAMETERx14"H DECORATIVE INCANDESCENT WALL SCONCE	SALON	WALL SURFACE	3000K					120	CLEAR GLASS SHADE, (1) 60W-E29-G25	CANOPY	POLISHED NICKEL	HUDSON VALLEY THE LIGHTING STANDARD BELINDA SERIES	
U1	SURFACE MOUNTED UNDERCABINET 24"L LED TASK LIGHT. INTEGRAL ON/OFF ROCKER SWITCH.	TYPICAL	SURFACE UNDERCABINET	3000K	10.2	742	73	ELECTRONIC	120	ACRYLIC WHITE DIFFUSER	ALUMINUM	WHITE	LITHONIA / UCCEL24-30K-90CRI-SWR-WH	
V1	WALL SURFACE MOUNTED (3) LIGHT LED VANITY	VANITY	WALL SURFACE	3000K / 90+	13.5	1200	89	ELECTRONIC DIMMABLE	120	CLEAR GLASS SANBLASTED INTERIOR	CANOPY	BRUSHED NICKEL	QUOIZEL / KOLT KLT8603BNLED	
V2	WALL SURFACE MOUNTED (3) LIGHT INCANDESCENT VANITY	RESIDENTIAL UNIT VANITY	WALL SURFACE	3000K	300				120	SATIN ETCHED GLASS, (3) 100W-A19	CANOPY	BRUSHED NICKEL	KICHLER / ANSONIA 5448NI	
EX	CEILING MOUNTED SEMI-RECESSED EDGE LIT LED EXIT SIGN. GREEN LETTERS, MIRROR FINISH, DIRECTION CHEVRONS PER PLAN	COMMON AREAS	CEILING SEMI-RECESSED						120-277			GREEN LETTERS, MIRROR FINISH		

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**WOODBURN II ASSISTED LIVING FACILITY**  
2325 N BOONES FERRY RD, WOODBURN, OR 97071

LINK SENIOR DEVELOPMENT

REVISION	DATE	REASON FOR ISSUE

**ELECTRICAL LIGHTING SCHEDULE**

80% CD

DATE 12/22/2021 PROJECT 203170

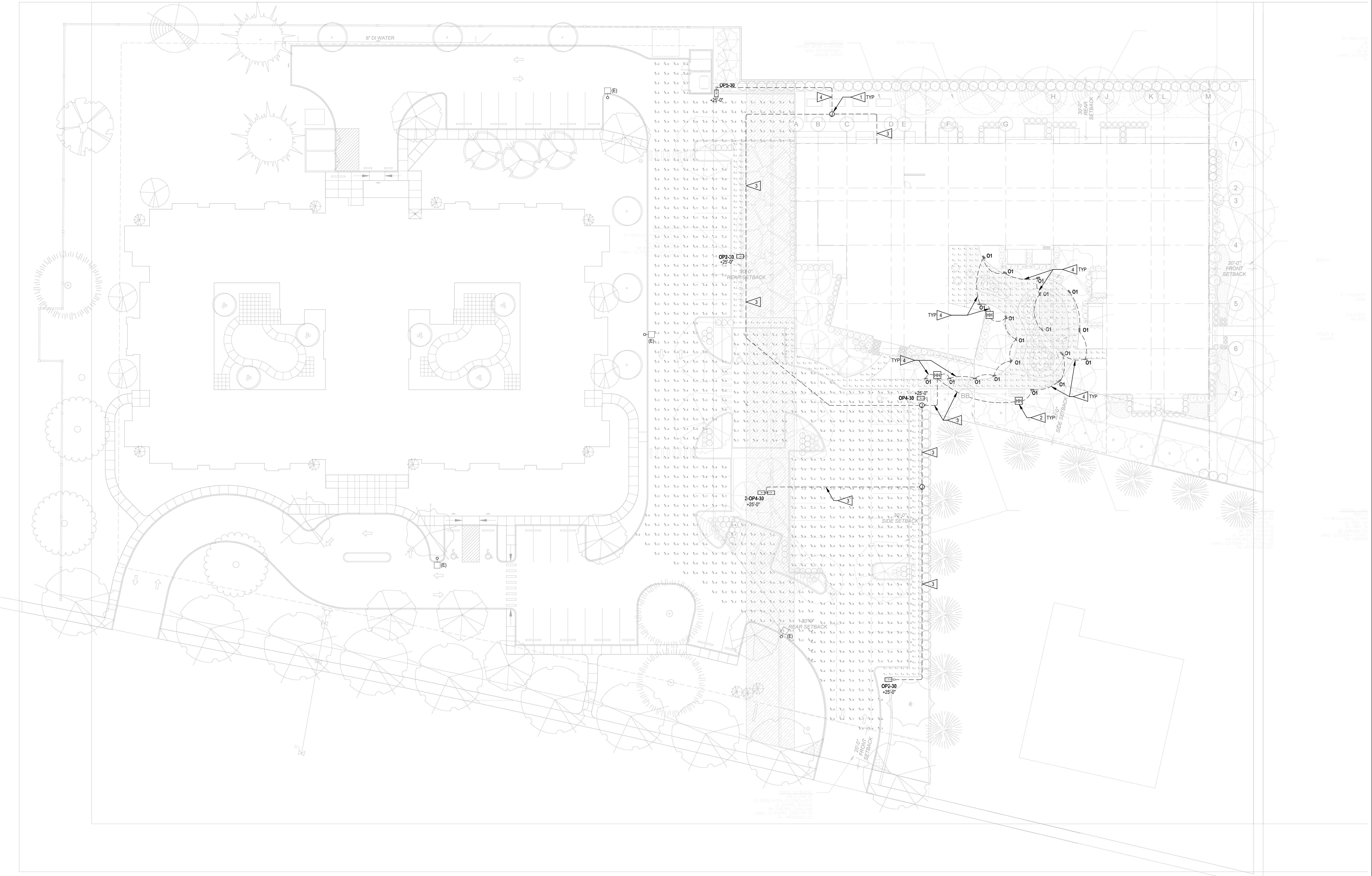
SHEET NUMBER **E0.03**

**FLAG NOTES**

1. PROVIDE UNDERGROUND PULL BOX. EXACT SIZE TBD.
2. PROVIDE 12" SOX 18"D COMPOSITE HANDHOLE FOR LED BOLLARD REMOTE POWER SUPPLY. GLODASTLE #12-18 OR APPROVED EQUAL. COORDINATE EXACT LOCATION WITH ARCHITECT AND LANDSCAPE.
3. PROVIDE 1 1/4" SCHED 40 UG PVC CONDUIT W/ 2#12, 1#10 GND.
4. PROVIDE 3/4" SCHED 40 UG PVC CONDUIT W/ 2#12, 1#12 GND.

**SHEET NOTES**

- A. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410.4. ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410, ALL SUB ARTICLES.
- B. COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS. ALL CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER AND ARCHITECT.
- C. PRIOR TO TRENCHING IN ANY AREA, CONTACT ELECTRICAL, GAS, CABLE TV, COMMUNICATIONS, AND WATER UTILITY COMPANIES AND HAVE ALL UNDERGROUND UTILITIES IN THE AREA IDENTIFIED. DAMAGE TO ANY UNDERGROUND STRUCTURE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE PROJECT.
- D. NUMBER OF BENDS IN A SINGLE CONDUIT RUN SHALL NOT EXCEED THE EQUIVALENT OF 4 QUARTER BENDS BETWEEN PULL POINTS PER NEC. INSTALL FLUSH ON GRADE PULL BOXES AS REQUIRED.
- E. ALL CONDUIT ROUTING AND STUB-UP LOCATIONS ARE SHOWN SCHEMATICALLY. FIELD VERIFY ALL WORK PRIOR TO ANY ROUGH-IN. COORDINATE ROUTING WITH NEW AND ANY EXISTING OBSTRUCTIONS. COORDINATE STUB-UP LOCATIONS WITH ACTUAL EQUIPMENT LOCATIONS IN FIELD.



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© ANKROM MOISAN ARCHITECTS, INC.

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**WOODBURN II ASSISTED LIVING FACILITY**  
 2325 N BOONES FERRY RD, WOODBURN, OR 97071

LINK SENIOR DEVELOPMENT

REVISION N	DATE	REASON FOR ISSUE

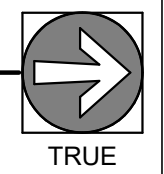
**ELECTRICAL LIGHTING SITE PLAN**

80% CD

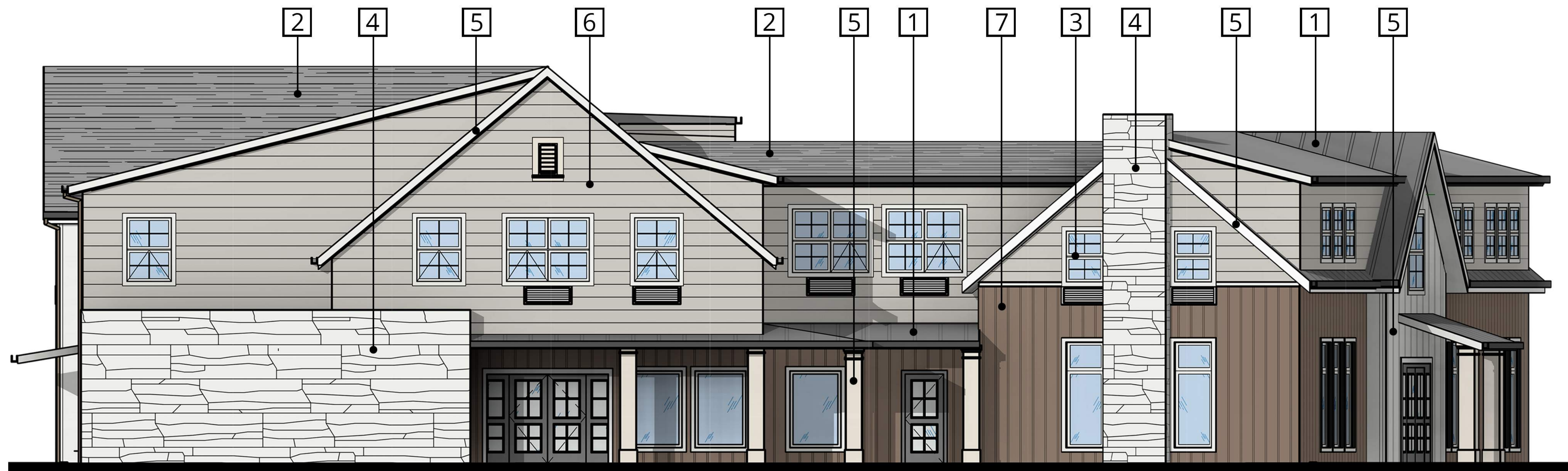
DATE 12/22/2021	PROJECT 203170
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SHEET NUMBER  
**E1.01**

**1 ELECTRICAL - LIGHTING SITE PLAN**  
1" = 20'-0"



TRUE



SOUTH ELEVATION ASSISTED LIVING BUILDING - NOT TO SCALE



**1** METAL ROOFING  
Gray



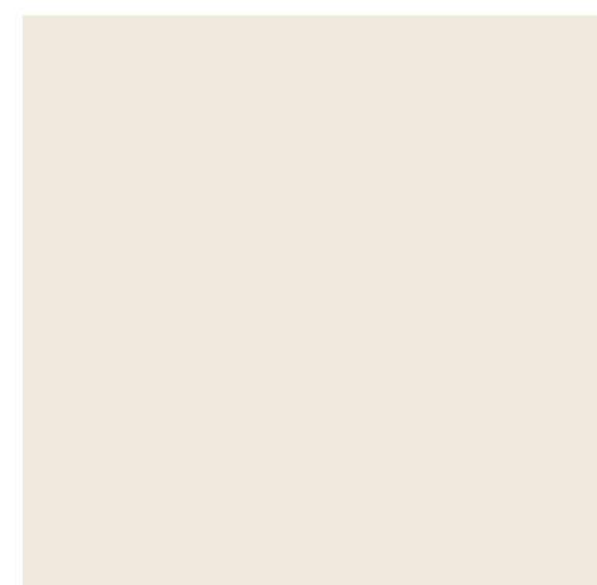
**2** FIBERGLASS SHINGLE ROOFING  
Gray



**3** VINYL WINDOWS  
White



**4** SIMULATED STONE VENEER  
Ledgestone



**5** 10" VERTICAL BOARD & BATTEN SIDING; TRIM; COLUMNS; FASCIA  
Sherwin Williams SW 6385 Dover White



**6** HORIZONTAL FIBER CEMENT LAP SIDING  
Sherwin Williams SW 7015 Repose Gray



**7** 8" VERTICAL BOARD & BATTEN SIDING  
Miller 0199 Sandy Shoes

# WOODBURN ASSISTED LIVING

COLOR & MATERIAL BOARD

WOODBURN, OREGON

WMC HOLDING COMPANY, LLC



Ankrom Moisan