



Final Decision

Planning Commission

File number(s): DR 22-07 & EXCP 22-03
Project name: Do It Best Expansion
Date of decision: June 23, 2022
Date of mailing: June 24, 2022
Applicant: Tim Miller, Do It Best Corp.
Landowner: Do It Best Corp.
Site location: 333 S. Woodland Avenue (Tax Lot 052W110000101)

Summary:

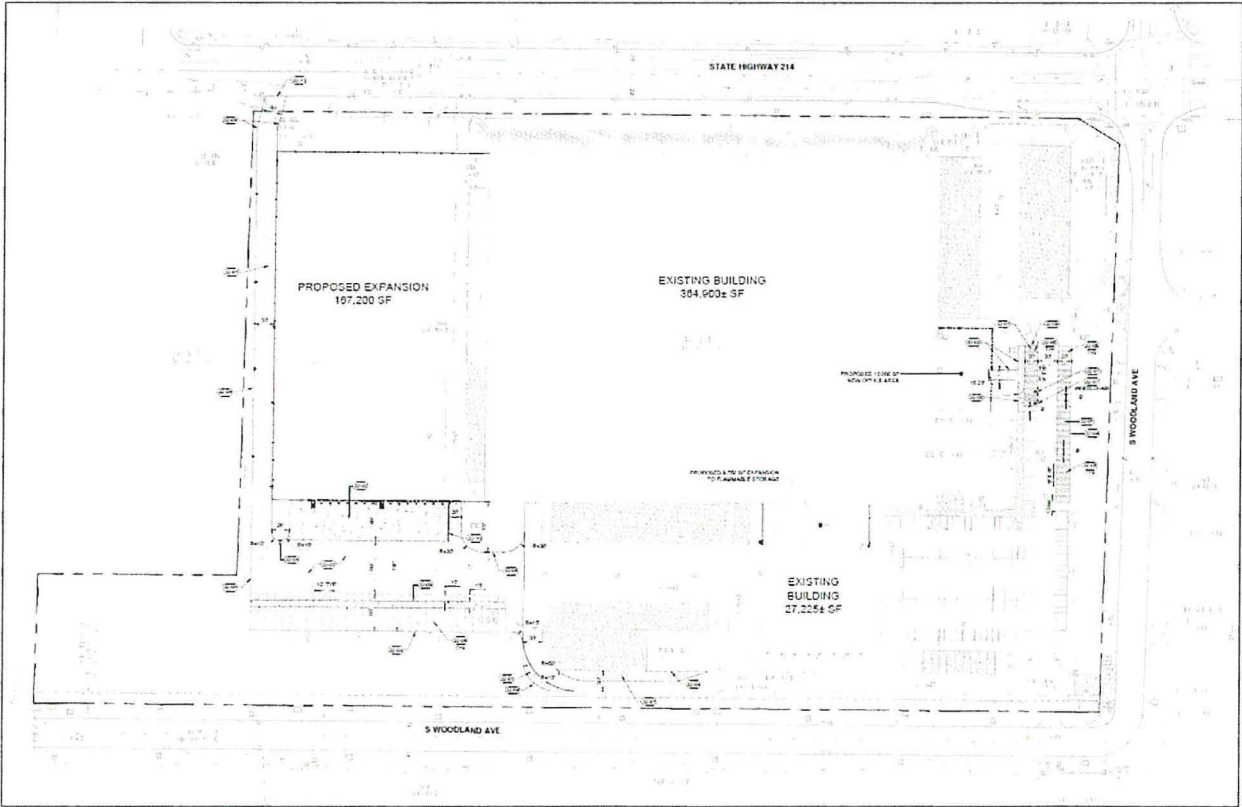
The Planning Commission held a public hearing on June 23, 2022 and unanimously approved the Design Review (DR) and Exception to Street Right of Way and Improvement Requirements ("Street Exception", EXCP) application package with the conditions recommended by staff through the staff report published June 16. No parties testified in opposition.

The subject property is 333 S. Woodland Ave, a 28.02-acre property in the Light Industrial (IL) zoning district and Interchange Management Area (IMA) overlay district. The property is developed with an industrial warehouse and distribution facility occupied by Do It Best Corp.

The Planning Commission approved an expansion to the building, adding approximately 167,200 square feet of warehouse/distribution space, 9,750 square feet of flammable storage space, and 10,000 square feet of office space. Additional site improvements include added parking and trailer storage spaces and landscaping, as well as realignment of the emergency access driveway on Newberg Hwy / OR 219. The Commission also approved the applicant's Street Exception request to maintain existing street improvements along the Newberg Hwy / OR 219 and S. Woodland Ave frontages.



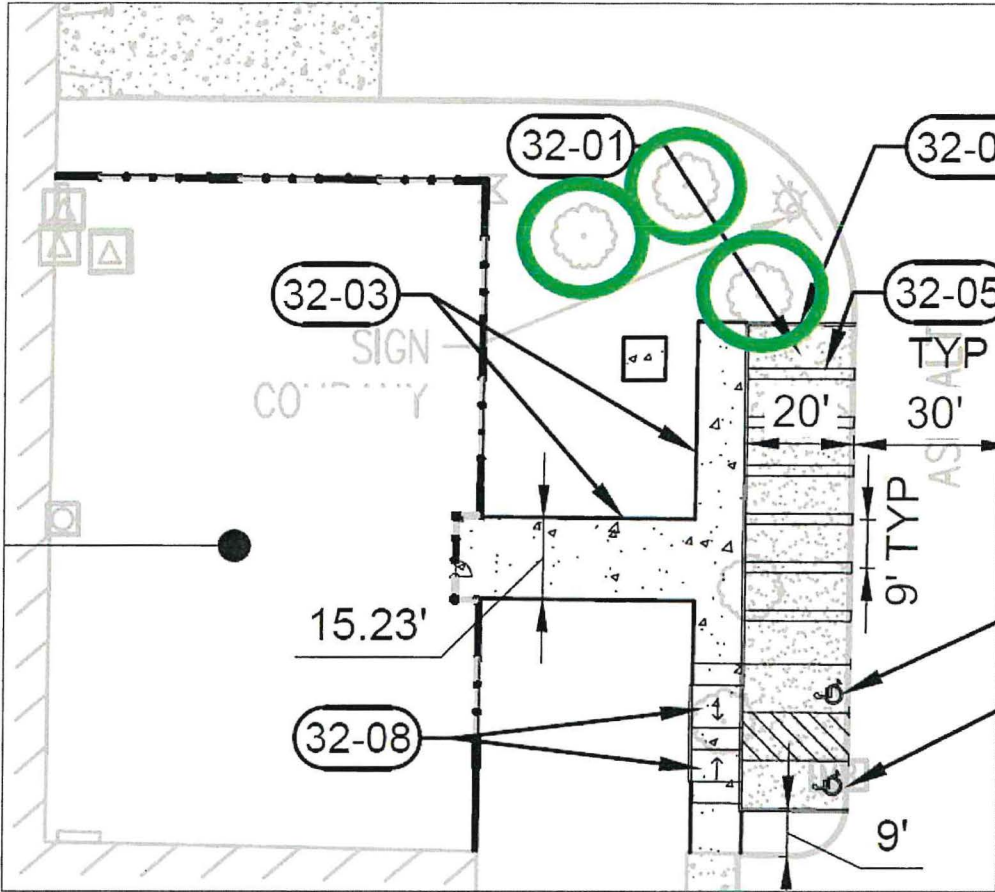
Aerial view of the subject property



Approved site plan

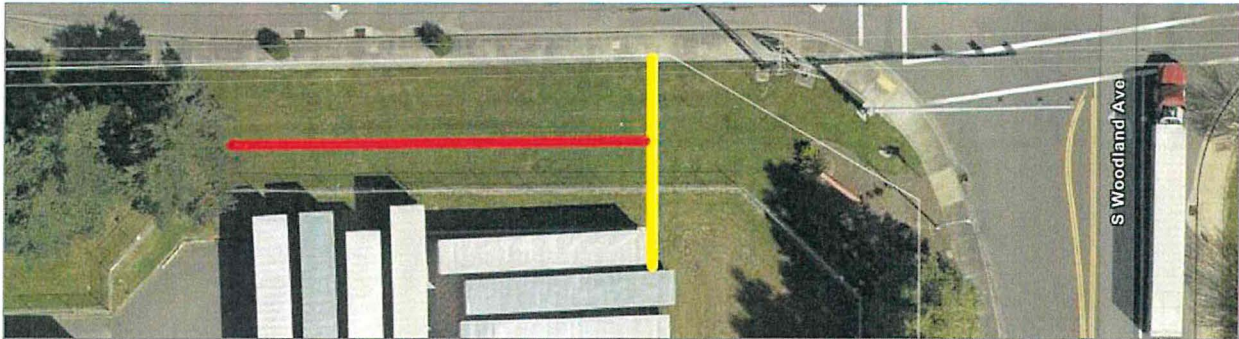
Conditions of Approval

1. **Substantial Conformance:** The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. **Public Works:** Follow the attached "Public Works Conditions May 18, 2022" (Attachment 101A).
3. **Fence Permit:** To demonstrate conformance with WDO 2.06.02 and 5.01.03, the applicant shall submit application for and obtain approval of a Fence Permit prior to building permit issuance.
4. **Public Utility Easement:** Pursuant to WDO 3.02.01 and Figure 3.01B, the applicant shall either provide documentation of an existing 10-foot wide public utility easement (PUE) along the frontage of Newberg Hwy, or grant a 10-foot wide PUE along this frontage. This is due prior to building permit issuance.
5. **Emergency Access Driveway:**
 - a. For the relocated emergency access driveway along Newberg Hwy, the paved width at the north property line shall be no wider than 20 feet, unless required to be wider by the Woodburn Fire District.
 - b. Prior to building permit final inspection, the applicant shall remove the existing emergency access driveway improvements within the right-of-way and construct restorative curb, sidewalk, and lawn landscaping. This is due prior to building permit final inspection.
6. **Bicycle Parking:** To meet WDO 3.05.03E, the applicant shall revise the site plan to illustrate and note at least three new bicycle parking stalls. This is due prior to building permit issuance.
7. **Tree Preservation:** The applicant shall make a reasonable effort to protect and preserve the three existing trees east of the proposed office expansion and north of the parking lot improvements (see the image on the following page), following the City of Portland Tree Protection Rules (Attachment 101B) throughout the entire construction process for the development. These trees may only be removed if the applicant provides an arborist report documenting why and how preservation is not physically possible. If it is determined that a tree cannot be preserved, the applicant shall pay a tree removal fee of \$185 per tree.



Condition 7: Site plan excerpt with existing trees to be preserved circled in green.

8. Newberg Hwy Tree Line: The applicant shall revise landscaping plans to fill in the approximately 120-foot long gap in the tree line along Newberg Highway in the northeast corner of the property, between the existing tree line and the eastern boundary of the paved trailer parking area (see image below). Tree planting within this gap shall match the tree species and spacing illustrated on Sheet L1.10. Revised plans are due prior to building permit issuance.



Condition 8: Continue the tree line roughly along the red line to the eastern boundary of the paved trailer parking area (approximated by the yellow line).

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Demolition Permits: Demolition of any existing structures may require [Demolition Permit](#) approval through the Building Division.
3. Records: Staff recommends that the applicant retain a copy of the subject approval.
4. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
5. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
6. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
7. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
8. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.
9. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.

10. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
11. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
12. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
13. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
14. SDCs: The developer pays System Development Charges prior to building permit issuance.

Expiration

Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

Appeals

Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or planning@ci.woodburn.or.us.

Sincerely,



Dan Handel, AICP, Planner

6-23-22
Date

Affirmed,



Charles Piper, Chair, Planning Commission

6-23-22
Date

attachments:

1. Public Works Conditions May 18, 2022 (Planning Commission Staff Report Attachment 101A)
2. City of Portland Tree Protection Rules (Planning Commission Staff Report Attachment 101B)
3. Site Plans (Planning Commission Staff Report Attachment 104)



**Public Works Comments
Do It Best Corporation
Expansion
333 S Woodland Avenue**

May 18, 2022

A. CONDITIONS OF LAND USE APPROVAL:

1. The applicant, not the city, is responsible for obtaining required permits from any county, state, and/or federal agencies.
2. All work within the public rights-of-way or easements within city jurisdiction shall require plan approval and permit issuance from the Public Works Department. All public improvements construction work shall be performed in accordance with the plans stamped "approved" by the City, and comply with the City's Standard Specifications and Standard drawings.
3. System Development fees shall be paid prior to building permit issuance. The Water, Sewer, Storm and Parks SDC fees will be determined after the developer provides a complete Commercial/Industrial Development information sheet
4. Applicant to submit a final stormwater report indicating that the design complies with both City of Woodburn and Oregon Department of Transportation (ODOT) requirements. The westerly private storm system conveys drainage to ODOT's system located on State Highway 219. Report shall address the plan to maintain the same detention on the southeast detention pond, compensate for the proposed improvements.
5. Applicant to obtain approval from ODOT for proposed improvement along State Highway 219.
6. Applicant to obtain a plumbing permit from Marion County for the proposed modifications to the onsite private storm drainage system.
7. Applicant to comply with Planning Division and Woodburn Fire District requirements for emergency access.
8. Traffic impact analysis (TIA) shall comply with both City of Woodburn and ODOT requirements.
9. Fire protection requirements shall comply with the Woodburn Fire District standards and requirements.
10. For information, the applicant is not requesting additional sewer services, storm drainage connections, and water services (domestic, irrigation or fire protection).

Attachment 101B

The applicant shall protect the preserved trees pursuant similar to City of Portland Title [11.60.030](#), specifically either the subsections set of C.1.a.(1), (3) and C.1.b., e., & f. (clear and objective) and D.; or, the subsections set of C.2.a., b., & d.-f. (arborist's discretion) and D. as modified below and shall do so between land use approval and issuance of certificate of occupancy (C of O):

C. Protection methods. The Tree Plan shall show that the contractor adequately protects trees to be preserved during construction using one of the methods described below:

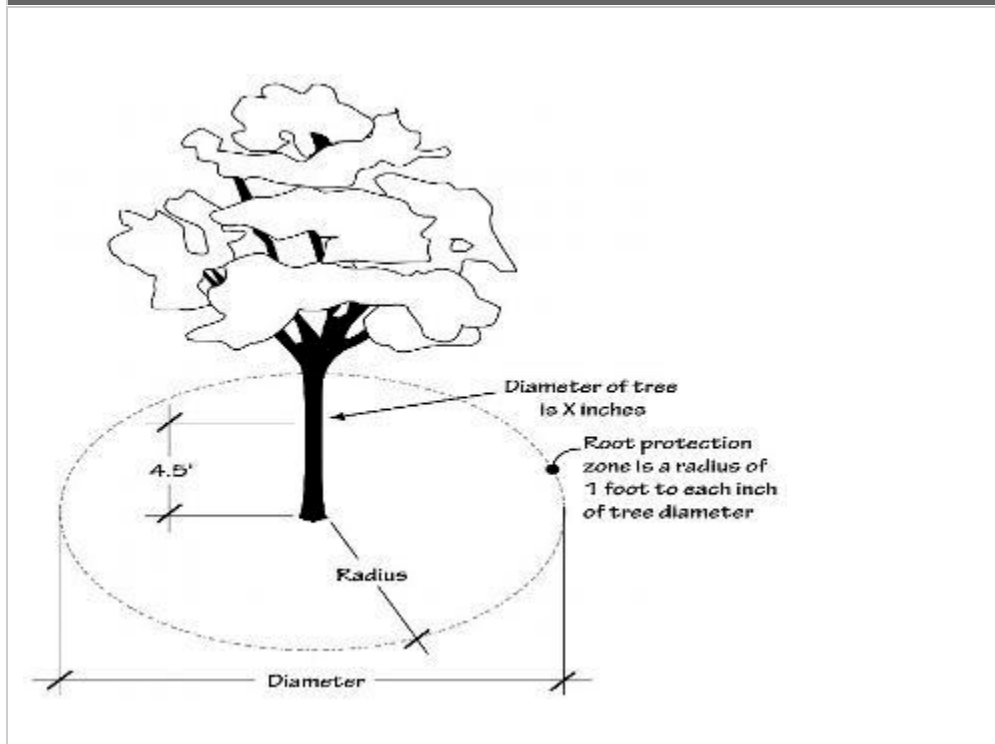
1. Clear & Objective Path.

a. A root protection zone is established as follows:

- (1) For trees on the development site - a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter (see Figure 80-2)

Figure 80-2

Root Protection Zone

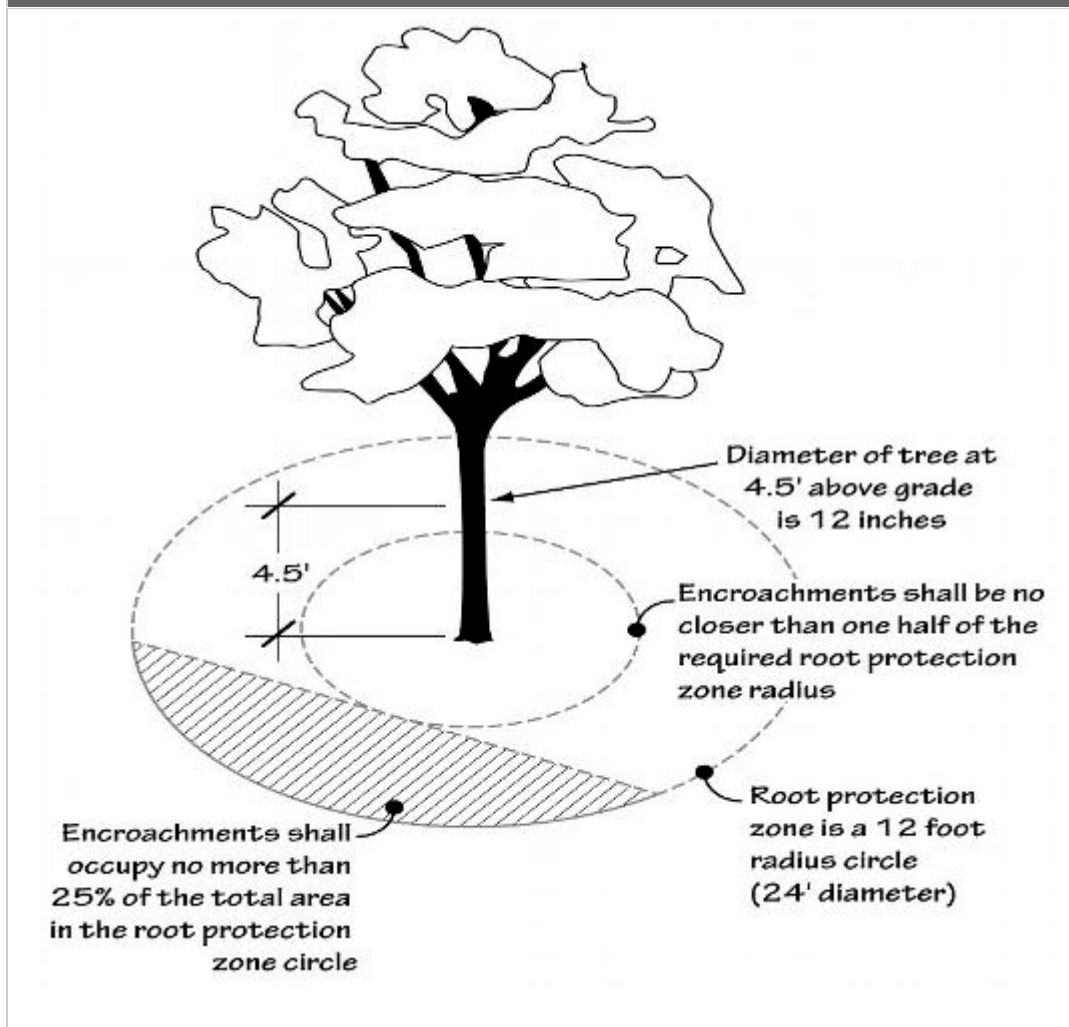


(3) Existing encroachments into the root protection zone, including structures, paved surfaces and utilities, may remain. New encroachments into the root protection zone are allowed provided:

- (a) the area of all new encroachments is less than 25 percent of the remaining root protection zone area when existing encroachments are subtracted; and
- (b) no new encroachment is closer than $1/2$ the required radius distance (see Figure 60-1);

Figure 60-1

Permissible RPZ Encroachments



b. Protection fencing

(1) Protection fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 8-foot metal posts shall be established at the edge of the root protection zone and permissible encroachment area on the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

(2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

e. The following is prohibited within the root protection zone of each tree or outside the limits of the development impact area: ground disturbance or construction activity including vehicle or equipment access (but excluding access on existing streets or driveways), storage of

Attachment 101D

equipment or materials including soil, temporary or permanent stockpiling, proposed buildings, impervious surfaces, underground utilities, excavation or fill, trenching or other work activities; and

f. The fence shall be installed before any ground disturbing activities including clearing and grading, or construction starts; and shall remain in place until final inspection by Planning Division staff.

2. Arborist's Discretion. When the prescriptive path is not practicable, the applicant may propose alternative measures to modify the clear and objective root protection zone (RPZ), provided the following standards are met:

a. The alternative RPZ is prepared by an arborist who has visited the site and examined the specific tree's size, location, and extent of root cover, evaluated the tree's tolerance to construction impact based on its species and health, identified any past impacts that have occurred within the root zone, and forwarded a report through the developer to Planning Division staff;

b. The arborist has prepared a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site visit described above;

d. If the alternative methods require the arborist be on site during construction activity, the applicant shall submit a copy of the contract for those services prior to permit issuance and a final report from the arborist documenting the inspections and verifying the viability of the tree(s) prior to final inspection by the Planning Division;

e. If the alternative tree protection method involves alternative construction techniques, an explanation of the techniques and materials used shall be submitted;

f. The arborist shall sign the tree preservation and protection plan and include contact information.

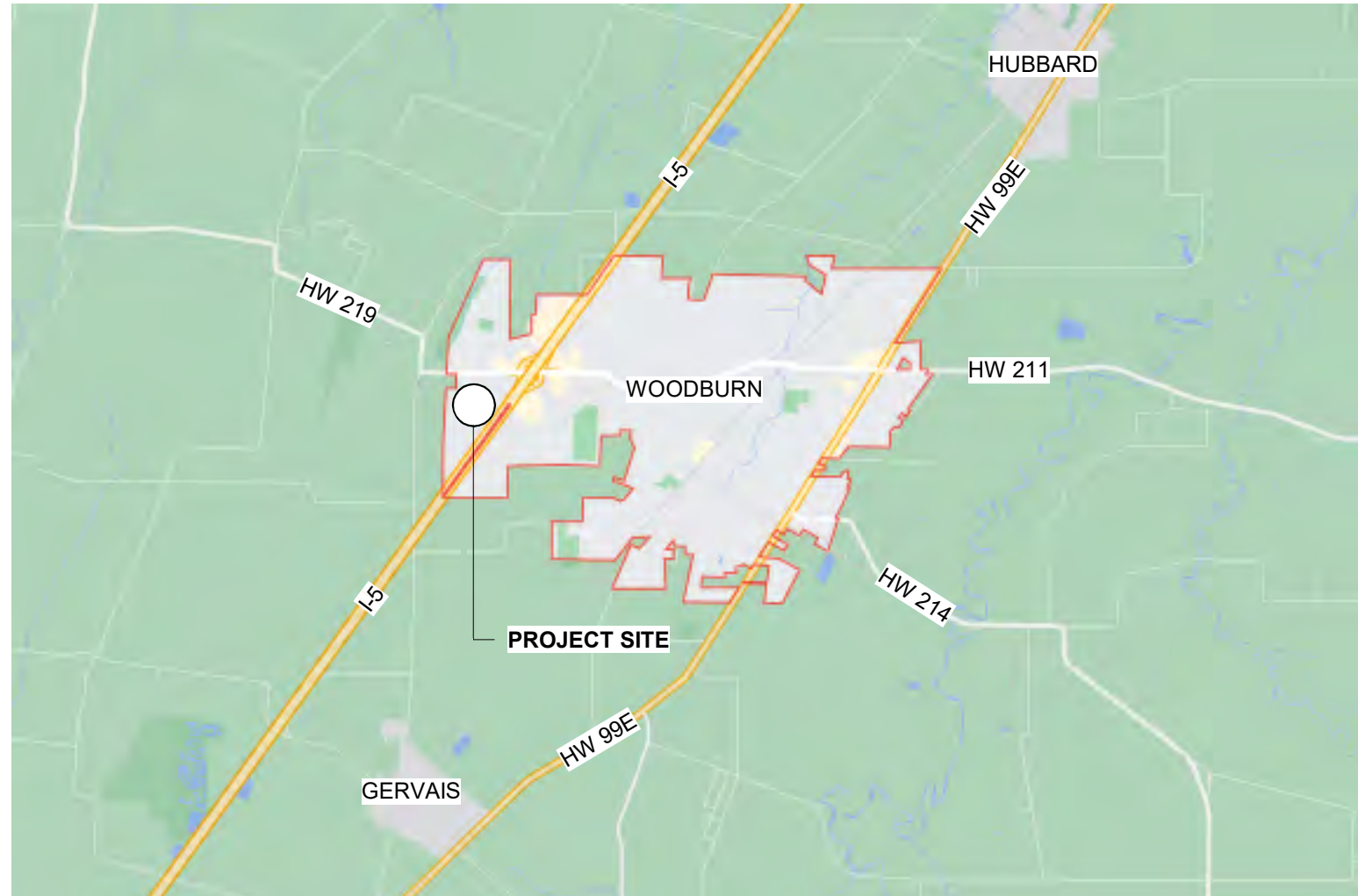
D. Changes to tree protection. Changes to the tree protection measures during the course of the development may be approved as a revision to a permit provided that the change is not the result of an unauthorized encroachment into a root protection zone (RPZ), and the applicant demonstrates that the tree protection standards of this Section continue to be met. When an unauthorized encroachment has occurred, the City may pursue an enforcement action or other remedy.

DO IT BEST EXPANSION

333 S WOODLAND AVE, WOODBURN
 LU SUBMITTAL - APRIL 14, 2022

ABBREVIATIONS

@	AT	GA	GAUGE	(N)	NEW
AB	ANCHOR BOLT	GALV	GALVANIZED	NFPA	NATIONAL FIRE PROTECTION AGENCY
AC	ASPHALTIC CONCRETE	GEN	GENERAL	NIC	NOT IN CONTRACT
ACI	AMERICAN CONCRETE INSTITUTE	GLB	GLULAM BEAM	NO. / #	NUMBER
ADA	AMERICANS WITH DISABILITIES ACT	GLZ	GLAZING	NOM	NOMINAL
ADDL	ADDITIONAL	GR	GRADE	NR	NON RATED
ADJ	ADJACENT ADJUSTABLE	GRD	GRID ONLY	NS	NEAR SIDE
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	GSA	U.S. GENERAL SERVICES ADMINISTRATION	NTE	NOT TO EXCEED
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSUM BOARD	NTS	NOT TO SCALE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	HB	HOSE BIB	OJA	OVERALL
AL / ALUM	ALUMINUM	HC	HOLLOW CORE / HANDICAP	OC	ON CENTER
ALTERNATE	HOLLOW CLAY MASONRY	HCM	HOLLOW CLAY MASONRY	OD	OUTSIDE DIAMETER
APPROXIMATE	HIGH DENSITY POLYETHYLENE	HDPE	HIGH DENSITY POLYETHYLENE	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
ARCH	ARCHITECT(URAL)	HDR	HEADER	OFI	OWNER FURNISHED, OWNER INSTALLED
ATR	ALL-THREAD ROD	HDWR	HARDWARE	OTYP	TYPICAL
		HGR	HANGER	OH	OPPOSITE HAND
B/	BOTTOM OF	HL	HALF LITE	OHD	OVERHEAD DOOR
BATT	BATTEN INSULATION	HIA	HOLLOW METAL	OPNG	OPENING
BD	BOARD	HKM	HOLLOW METAL KNOCKDOWN	OPP	OPPOSITE
BLD / BLDG	BUILDING	HWW	HOLLOW METAL WELDED	OSF / O/FACE	OUTSIDE FACE
BLK	BLOCK	HORIZ	HORIZONTAL	OSSC	OREGON STRUCTURAL SPECIALTY CODE
BLKG	BLOCKING	HR(S)	HEADED STUD	OTS	OPEN TO STRUCTURE
BM	BENCHMARK / BEAM	HS	HIGH STRENGTH BOLT	P	PAINT
BN	BOUNDARY NAIL	HSB	HOLLOW STRUCTURAL STEEL	P-LAM	PLASTIC LAMINATE
BOT / BOTT	BOTTOM	HSS	HOLLOW STRUCTURAL STEEL	PE	PROFESSIONAL ENGINEER
BRG	BEARING	HTG	HEATING	PB	PARTICLE BOARD
BSMT	BASMENT	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	PDA / PAF	POWDER DRIVEN ANCHORS/POWDER ACTUATED FASTENER
BTVN	BETWEEN	HWS	HEADED WELD STUD	PJ	PANEL JOINT
BUR	BUILT UP ROOFING			PL /	PLATE
		IBC	INTERNATIONAL BUILDING CODE	PLB	PARALLAM BEAM
CAB	CABINET	IE	INSIDE DIAMETER	PLMB	PLUMBING
CB	CATCH BASIN	IFC	INTERNATIONAL FIRE CODE	PLY / PLYWD	PLYWOOD
CDF	CONTROLLED DENSITY FILL	IMC	INTERNATIONAL MECHANICAL CODE	PNL	PANEL
CIJ	CAST IRON	INF	INSULATION	PR	PAIR
CIP	CONTROL JOINT	INSP	INSPECTION / INSPECTOR	PS	POUR STRIP
CL /	CENTERLINE	INSUL	INSULATION	PSF	POUNDS PER SQUARE FOOT
CLNG	CLUNG	INT	INTERIOR	PSI	POUNDS PER SQUARE INCH
CLR	CLEAR	IPC	INTERNATIONAL PLUMBING CODE	PSL	PARALLEL STRAND LUMBER
CMP	CORRUGATED METAL PIPE	JNT	JOINT	PT	PRESSURE TREATED / PORCELAIN TILE
CMU	CONCRETE MASONRY UNIT	JST	JOIST	PVC	POLY VINYL CHLORIDE
CNTR	CENTER	K	KIPS	PVMT	PAVEMENT
CO	CLEAN OUT	KSF	KIPS PER SQUARE FOOT		
COL	COLUMN	KSI	KIPS PER SQUARE INCH	R	RADIUS
CONC	CONCRETE			RAD	RADIUL
CONF	CONFERENCE	L	ANGLE	RB	RUBBER BASE
CONN	CONNECTION	LAM	LAMINATE	RBE	ROOF BASE ELEVATION
CONN	CONNECTION	LAV	LAVATORY	RCP	REFLECTED CEILING PLAN
CONST	CONSTRUCTION	LB	LAG BOLT	RD	ROOF DRAIN
CONT	CONTINUOUS	LL	LIVE LOAD	RECEPT	RECEPTION(IST)
CONTR	CONTRACTOR	LLV	LONG LEG VERTICAL	REF	REFERENCE / REFRIGERATOR
COORD	COORDINATE	LONG / LONGIT	LONGITUDINAL	REINFC	REINFORCING
CORR	CORRUGATED(ION)	LP	LOWPOINT	REQD	REQUIRED
CPT	CARPET	LSL	LAMINATED STRAND LUMBER	REV	REVISION
CRC	CHEMICAL RESISTANT COATING	LVL	LAMINATED VENEER LUMBER	RM	ROOM
CSK	COUNTERSINK	LWC	LIGHTWEIGHT CONCRETE	RO	ROUGH OPENING
CSP	CONCRETE SEWER PIPE			ROW	RIGHT OF WAY
CTOP	COUNTERTOP			S	STAIN
CTR / CNTR	CENTER	M	MIRROR	SAT	SUSPENDED ACOUSTICAL TILE
CW	CONCRETE WALL	ME/P	MECHANICAL / ELECTRICAL / PLUMBING OR PROCESS	SC	SEALED CONCRETE / SOLID CORE WOOD
		MANF	MANUFACTURER	SCHED	SCHEDULE
d	PENNY(NAILS)	MAS	MASONRY	SCM	STRUCTURAL CLAY MASONRY
DBA	DEFORMED BAR ANCHOR	MATL	MATERIAL	SF	STORE FRONT / SQUARE FEET
DBL	DOUBLE	MAX	MAXIMUM	SFRS	SEISMIC FORCE RESISTING SYSTEM
DC	DEMAND CRITICAL WELD	MB	MACHINE BOLT	SHTG / SHT'G	SHEATHING
DET / DTL	DETAIL	MOD/MDO	MEDIUM DENSITY FIBERBOARD / OVERLAY	SIM	SIMILAR
DET/DTL	DETAIL			SILRS	SEISMIC LOAD RESISTIVE SYSTEM
DF	DRINKING FOUNTAIN / DOUGLAS FIR			SLV	SHORT LEG VERTICAL
DIA / ø	DIAMETER			SMS	SHEET METAL SCREW
DIA	DIAPHRAGM			SOG	SLAB ON GRADE
DM	DIMENSION			SP	SPACE(D)(S)
DL	DEAD LOAD			SPEC(S)	SPECIFICATION(S)
DN	DOWN			SQ	SQUARE
DP	DEEP			SS	STAINLESS STEEL / SOLID SURFACE
DR	DOOR			ST	STONE
DS	DOWN SPOUT			STA PT	STATION POINT
DWG	DRAWING			STAGG	STAGGERED
DWLS	DOWELS			STD	STANDARD
				STIFF	STIFFENER
(E) / EXIST	EXISTING			STL	STEEL
EI	EDGE OF			STRUCT	STRUCTURAL
EA	EACH			SUSP	SUSPENDED
EF	EACH FACE			SV	SHEET VINYL
EIFS	EXTERIOR INSULATION FINISH SYSTEM				
ELECT	ELECTRICAL				
ELEV	ELEVATION				
EN	EDGE NAIL				
ENGR	ENGINEER				
EOP	EDGE OF PANEL				
EP	EPOXY PAINT / EDGE OF PAVEMENT				
EPDM	ETHYLENE PROPYLENE DIENE MONOMER				
EQ	EQUAL				
ES	EACH SIDE				
ETC	EPOXY TRAFFIC COATING / ETCETERA				
EW	EACH WAY				
EXP	EXPOSED STRUCTURE				
EXP JT / EJ	EXPANSION JOINT				
EXT	EXTERIOR				
F/	FACE OF				
F/STUD	FACE OF STUD				
FB	FLAT BAR				
FC	FACE OF CURB				
FD	FLOOR DRAIN				
FDC	FIRE DEPARTMENT CONNECTION				
FE	FIRE EXTINGUISHER				
FF	FACTORY FINISH / FINISHED FACE				
FFE	FINISH FLOOR ELEVATION				
FIN	FINISH(ED)				
FL	FLUSH				
FLR	FLOOR				
FM	FACTORY MUTUAL				
FN	FIELD NAILING				
FND	FOUNDATION				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOIC	FURNISH BY OWNER INSTALL BY CONTRACTOR				
FOM	FACE OF MASONRY				
FOS	FACE OF STUD				
FOW	FACE OF WALL				
FS	FAR SIDE				
FT	FEET/FOOT FIRE TREATED				
FTG	FOOTING				



VICINITY MAP
 1
 G0.01

OWNER

DO IT BEST CORP.
 333 S WOODLAND AVE
 WOODBURN, OR 97071
 TELEPHONE: 202-749-8533
 CONTACT: TIM MILLER
 EMAIL: TIM.MILLER@DOITBEST.COM

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 EMAIL: ASMELLEY@PERLO.BIZ

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AKS ENGINEERING AND FORESTRY, LLC.
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 EMAIL: JSULLIVAN@AKS-ENR.COM

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 CONTACT: RYAN WESTON
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 CONTACT: TBD
 EMAIL: TBD

LANDSCAPE ARCHITECT

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 TELEPHONE: 503-224-9560
 LA ARCHITECT:
 CONTACT: NICOLE FERREIRA
 EMAIL: NFERREIRA@MCKNZE.COM

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A2.12	NEW BUILDING ELEVATIONS
A2.13	NEW BUILDING ELEVATIONS
A2.14	NEW BUILDING ELEVATIONS

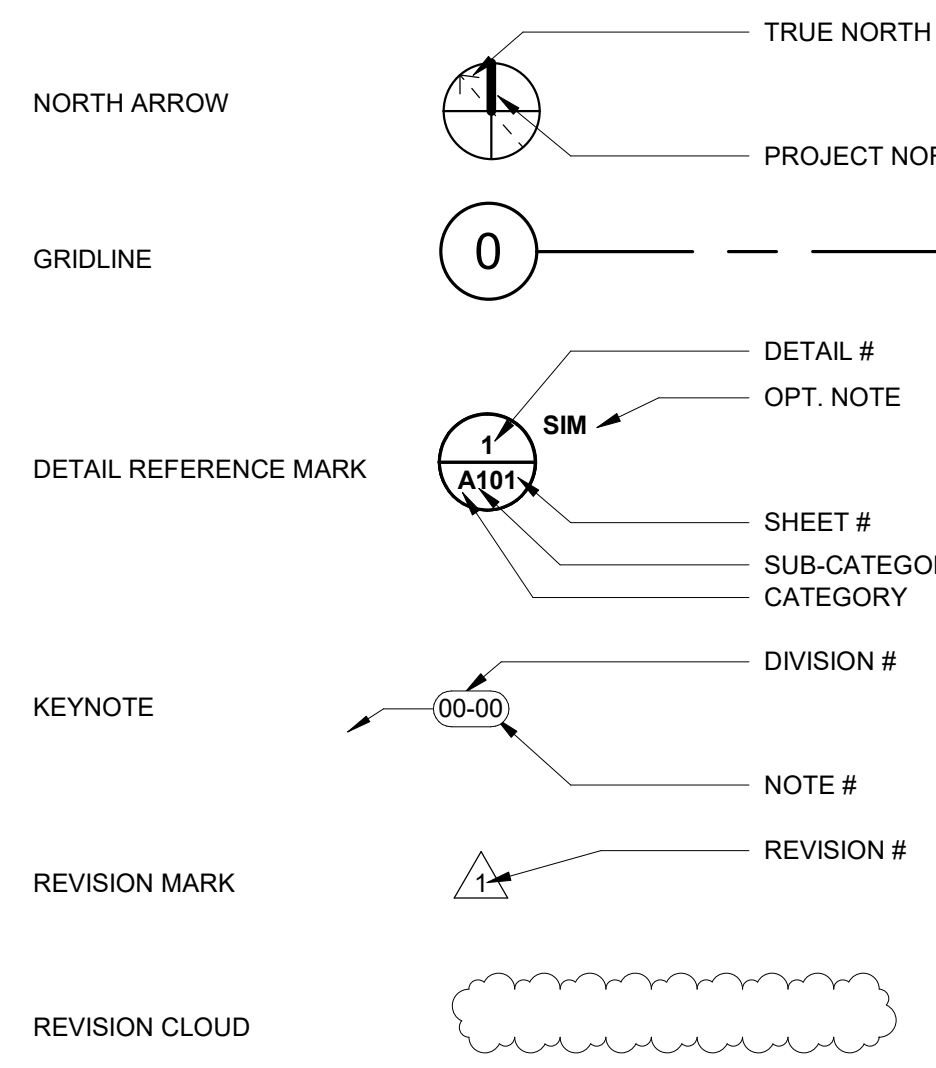
PHOTOMETRIC DRAWINGS

1	OF 2	PHOTOMETRICS SITE
2	OF 2	PHOTOMETRICS OFFICE

PROJECT GENERAL NOTES

- A. THE DRAWINGS LOCATE PRODUCTS, SURFACES, AND MATERIALS AND THE NOTES CONVEY DESIGN INTENT. THE PROJECT INTENT IS TO PROVIDE FOR A COMPLETE WORKING SYSTEM.
- B. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADOPTED BUILDING CODE EDITION, AND TO CONDITIONS AND SPECIFICATIONS OF ALL GOVERNING AUTHORITIES.
- C. VERIFY AND CONFIRM ALL CONDITIONS, DIMENSIONS, AND LAYOUT INFORMATION PRIOR TO START OF CONSTRUCTION. NOTIFY MACKENZIE OF ANY DISCREPANCIES PRIOR TO START OF WORK. ANY CORRECTION WORK REQUIRED AS A RESULT OF NOT REPORTING SUCH DISCREPANCIES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- D. CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS OF THE ENTIRE WORK. INCONSISTENCIES IN THE PLANS OR SPECIFICATIONS SHALL BE CALLED TO THE ATTENTION OF MACKENZIE.
- E. REFER TO ENLARGED PLANS AND ELEVATIONS WHERE INDICATED FOR ADDITIONAL INFORMATION. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE, AND DETAILS TAKE PRECEDENCE OVER PLANS. IN THE CASE OF A CONFLICT, THE HIGHEST COST OPTION SHOULD BE PRICED.
- F. DETAIL REFERENCES SHALL BE APPLIED TO ALL INSTANCES WHERE THE SAME CONDITIONS OCCUR, UNLESS NOTED OTHERWISE.
- G. THE TERMS 'ABOVE FINISH FLOOR' (AFF) AND 'FINISH FLOOR ELEVATION' (FFE) REFER TO FINAL FINISHED FLOOR ELEVATION, WHETHER BUILT-UP SLAB, COMPOSITE DECK, OR RAISED ACCESS FLOOR.
- H. DO NOT SCALE DRAWINGS.
- I. CUTTING AND DRILLING OF STRUCTURAL MEMBERS NOT DETAILED REQUIRES THE WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.
- J. FINISH FLOOR ELEVATION OF 0'-0" = 273.00' AS INDICATED ON CIVIL DRAWINGS.
- K. REMOVED EXISTING MATERIAL SHALL BE LEGALLY DISPOSED, COORDINATE WITH CITY OF VANCOUVER REQUIREMENTS FOR RECYCLING/RE-USE OF DEMOLITION DEBRIS.
- L. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR WORK. THE CONTRACTOR WILL COORDINATE CLEAN UP OF ALL AREAS AFFECTED BY DUST OR ANY MATERIALS, BOTH DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT, INCLUDING THE INSIDE OF ALL WINDOWS AS NECESSARY SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT.
- M. ALL DESIGN-BUILD ITEMS, SYSTEMS, AND ELEMENTS ARE TO BE SUBMITTED FOR REVIEW AND APPROVED BY MACKENZIE.
- N. EXISTING MATERIAL NOTED TO BE RETURNED TO THE OWNER SHALL BE SAFELY STORED AND PROTECTED UNTIL IT IS REMOVED FROM THE SITE BY THE OWNER.

SYMBOLS AND REFERENCES



M.

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REVISION SCHEDULE

Delta	Issued As	Issue Date

SHEET TITLE: TITLE SHEET AND DRAWING INDEX

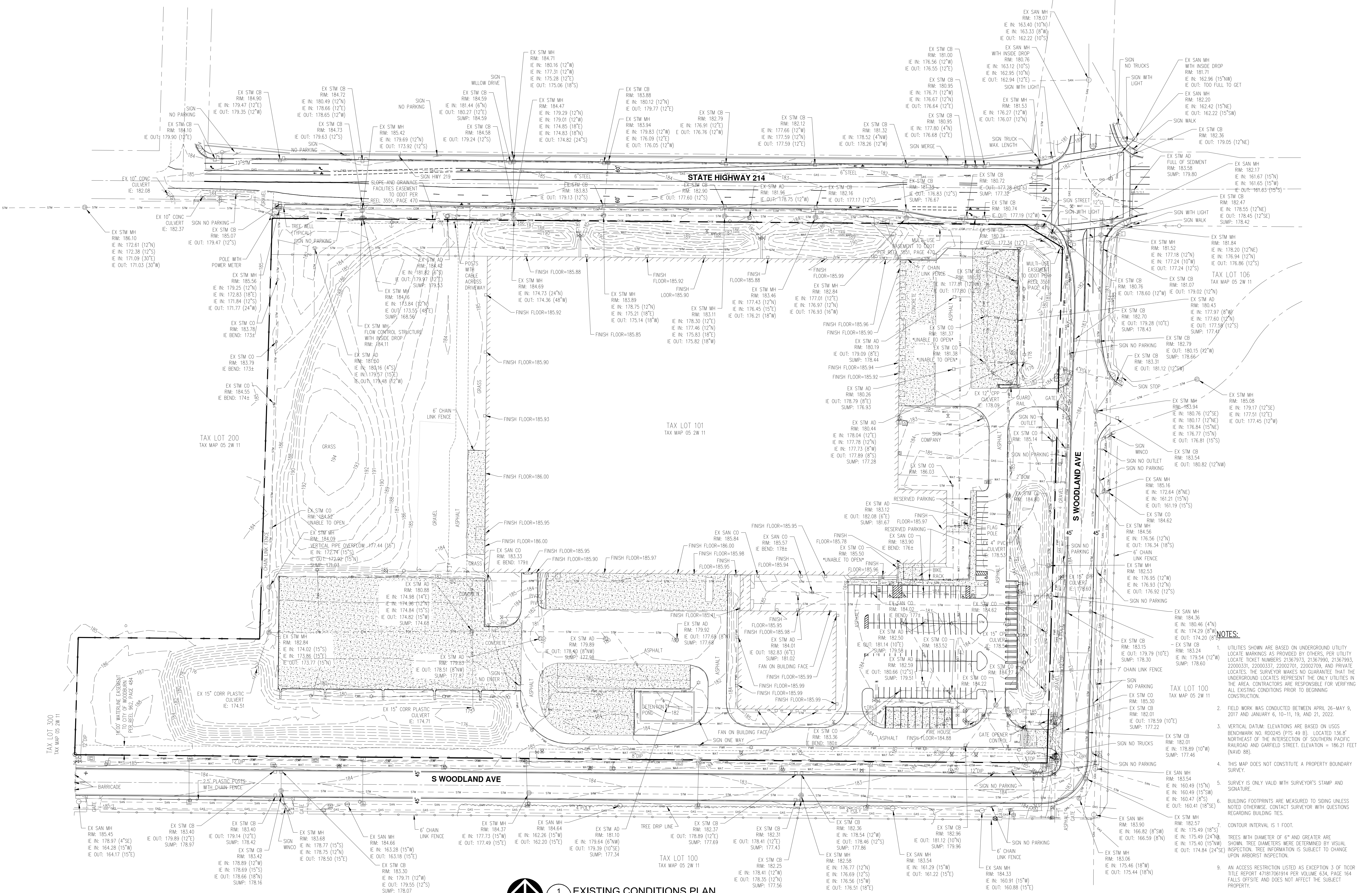
ATTACHMENT 104

DRAWN BY: BTM/SJE
 CHECKED BY: REW
 SHEET

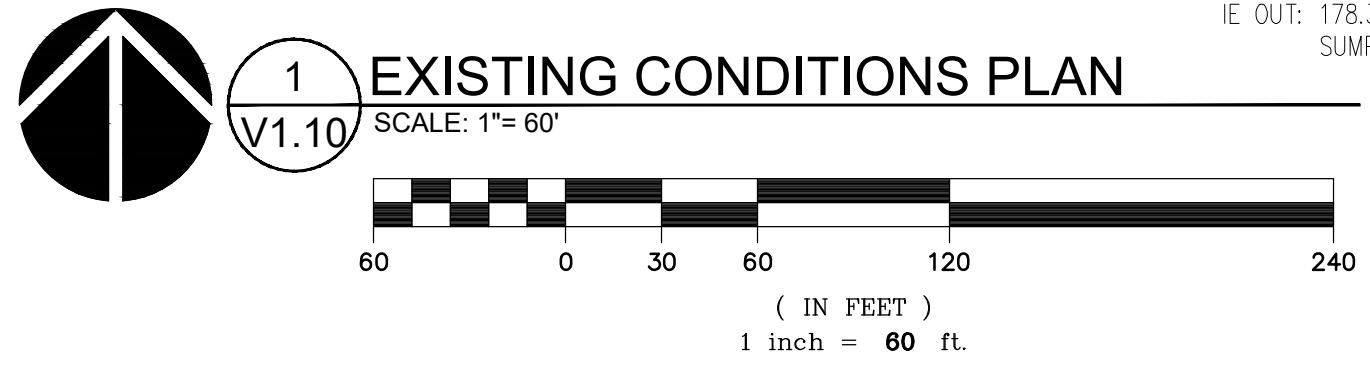
G0.01

JOB NO. 2210471.00

LU SUBMITTAL - APRIL 14, 2022



NOTE:
STORM LINE HAS BEEN ALTERED FROM FIELD SURVEYING TO MATCH RECORD DRAWINGS.



- NOTES:**
- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PER UTILITY LOCATE TICKET NUMBERS 21367973, 21367990, 21367993, 22000331, 22000337, 22002701, 22002709, AND PRIVATE LOCATES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 - FIELD WORK WAS CONDUCTED BETWEEN APRIL 26-MAY 9, 2017 AND JANUARY 6, 10-11, 19, AND 21, 2022.
 - VERTICAL DATUM: ELEVATIONS ARE BASED ON USGS BENCHMARK NO. R00245 (PTS 49 B), LOCATED 136.8' NORTHEAST OF THE INTERSECTION OF SOUTHERN PACIFIC RAILROAD AND GARFIELD STREET. ELEVATION = 166.21 FEET (NAVD 88).
 - THIS MAP DOES NOT CONSTITUTE A PROPERTY BOUNDARY SURVEY.
 - SURVEY IS ONLY VALID WITH SURVEYOR'S STAMP AND SIGNATURE.
 - BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
 - CONTOUR INTERVAL IS 1 FOOT.
 - TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE DETERMINED BY VISUAL INSPECTION. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.
 - AN ACCESS RESTRICTION LISTED AS EXCEPTION 3 OF TICOR TITLE REPORT 471817061914 PER VOLUME 634, PAGE 164 FALLS OFFSITE AND DOES NOT AFFECT THE SUBJECT PROPERTY.
 - A UTILITIES AND RIGHT-OF-WAY EASEMENT TO CITY OF WOODBURN LISTED AS EXCEPTION 4 OF TICOR TITLE REPORT 471817061914 PER REEL 814, PAGE 73 FALLS WITHIN THE RIGHT-OF-WAY OF S WOODLAND AVE.
 - AN ANCHOR EASEMENT TO PGE LISTED AS EXCEPTION 6 OF TICOR TITLE REPORT 471817061914 PER REEL 1066, PAGE 444 FALLS WITHIN THE RIGHT-OF-WAY OF STATE HIGHWAY 214.

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
EXISTING CONDITIONS PLAN

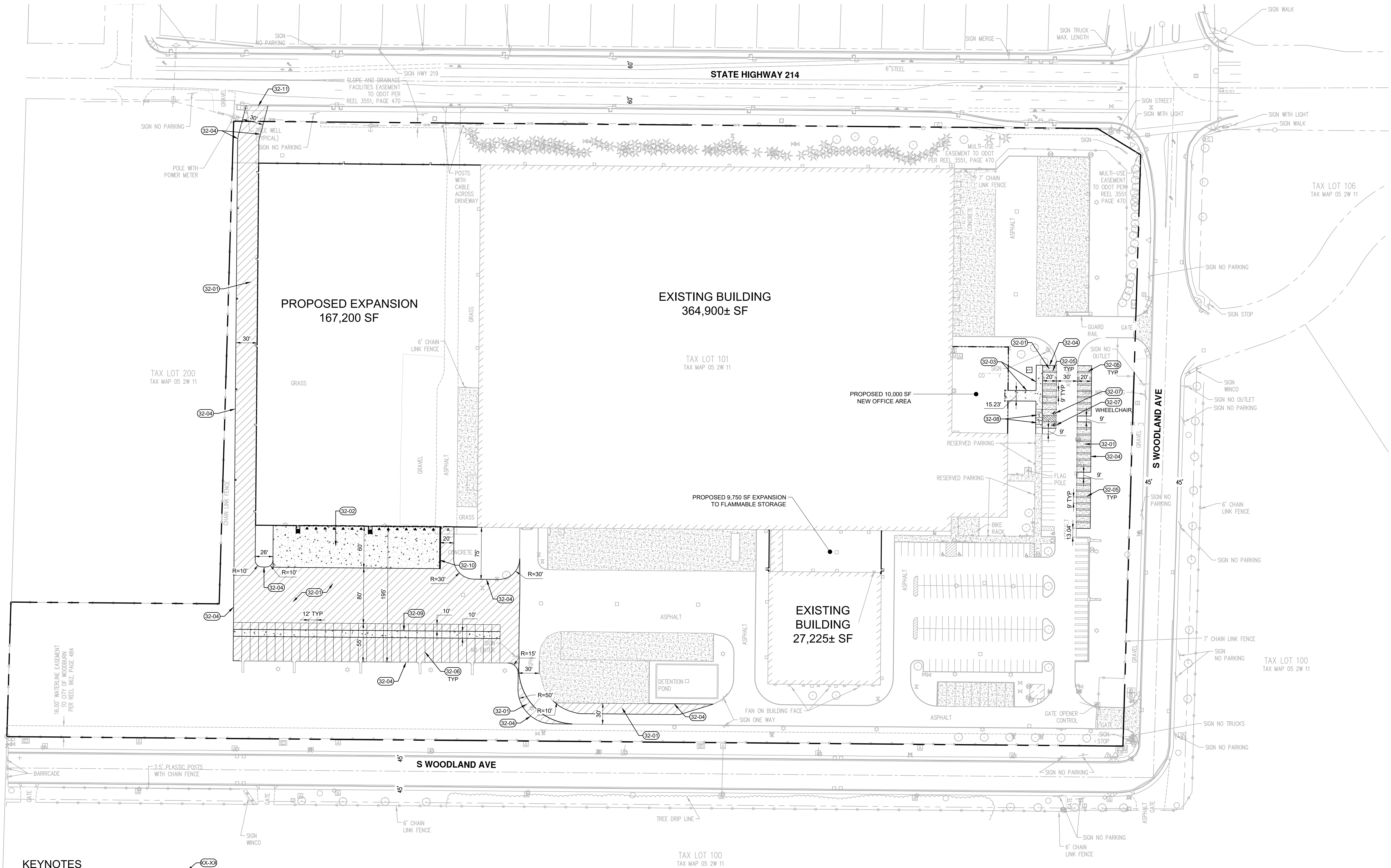
DRAWN BY: AOC, SAO
CHECKED BY: NKB
SHEET

V1.10

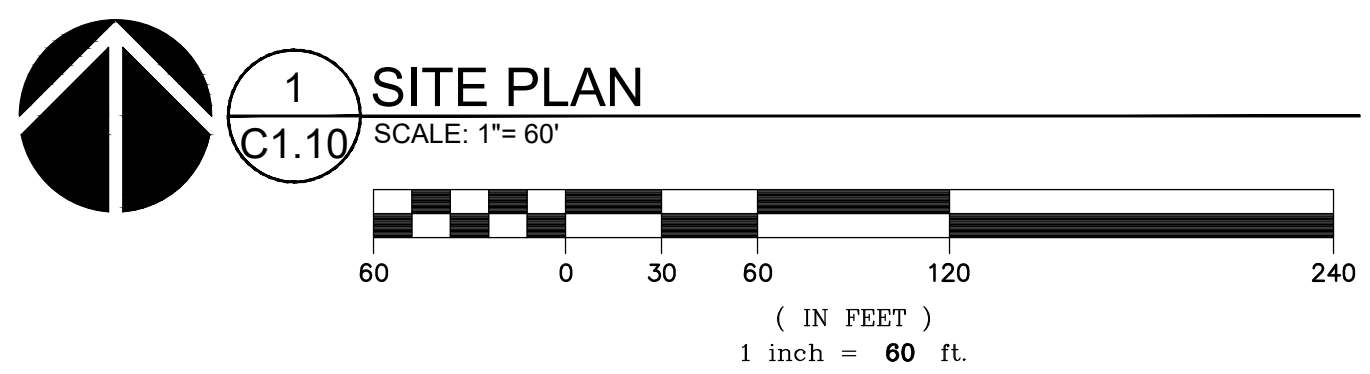
JOB NO. 2210471.00

LU SUBMITTAL - APRIL 14, 2022
221047100DRAWINGS\CIVIL\471-V1.10.DWG NKB 04/01/22 09:34

REVISION SCHEDULE		
Delta	Issued As	Issue Date



- KEYNOTES**
- 32-01 ASPHALT PAVEMENT
 - 32-02 CONCRETE PAVEMENT
 - 32-03 SIDEWALK
 - 32-04 VERTICAL CURB
 - 32-05 PARKING STALL STRIPING
 - 32-06 TRAILER PARKING STRIPING
 - 32-07 ACCESSIBLE PARKING STALL
 - 32-08 PARALLEL CURB RAMP
 - 32-09 CONCRETE DOLLY PAD
 - 32-10 RETAINING WALL
 - 32-11 DRIVEWAY PER ODOT STANDARDS



PAVEMENT LEGEND PAVEMENT SECTIONS BY GEO PACIFIC ENGINEERING INC. SEE SOILS REPORTS AND SPECIFICATIONS

- LIGHT DUTY ASPHALT
3.5" AC OVER 2.0" CRUSHED AGGREGATE BASE 3/4"-0 OVER 10.0" CRUSHED AGGREGATE BASE 1 1/2"-0 OVER 12.0" SUBGRADE
- CONCRETE DOCK/ TRAILER PARKING
6.0" SLAB WITH #4 AT 2'-0" O.C. OVER 8.0" ROCK
- HEAVY DUTY ASPHALT
6.0" AC OVER 2.0" CRUSHED AGGREGATE BASE 3/4"-0 OVER 10.0" CRUSHED AGGREGATE BASE 1 1/2"-0 OVER 12.0" SUBGRADE

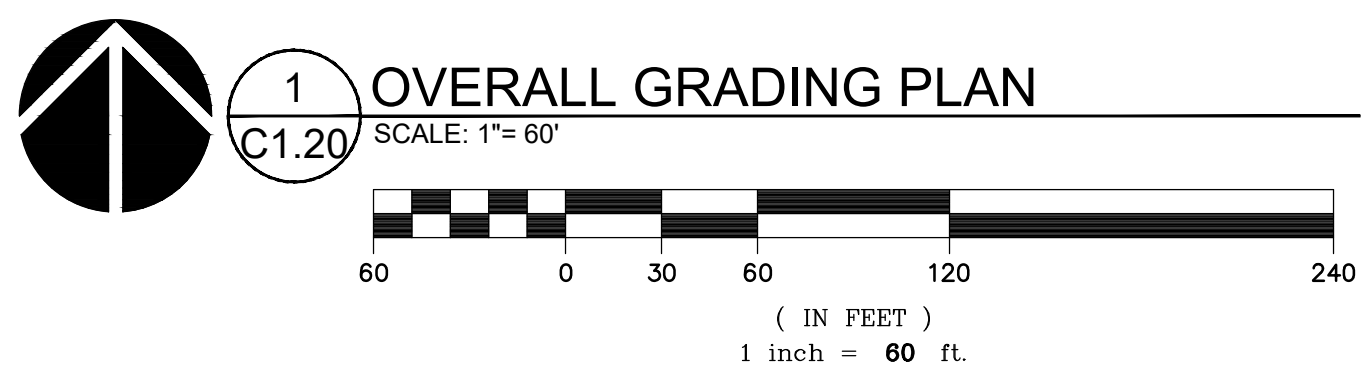
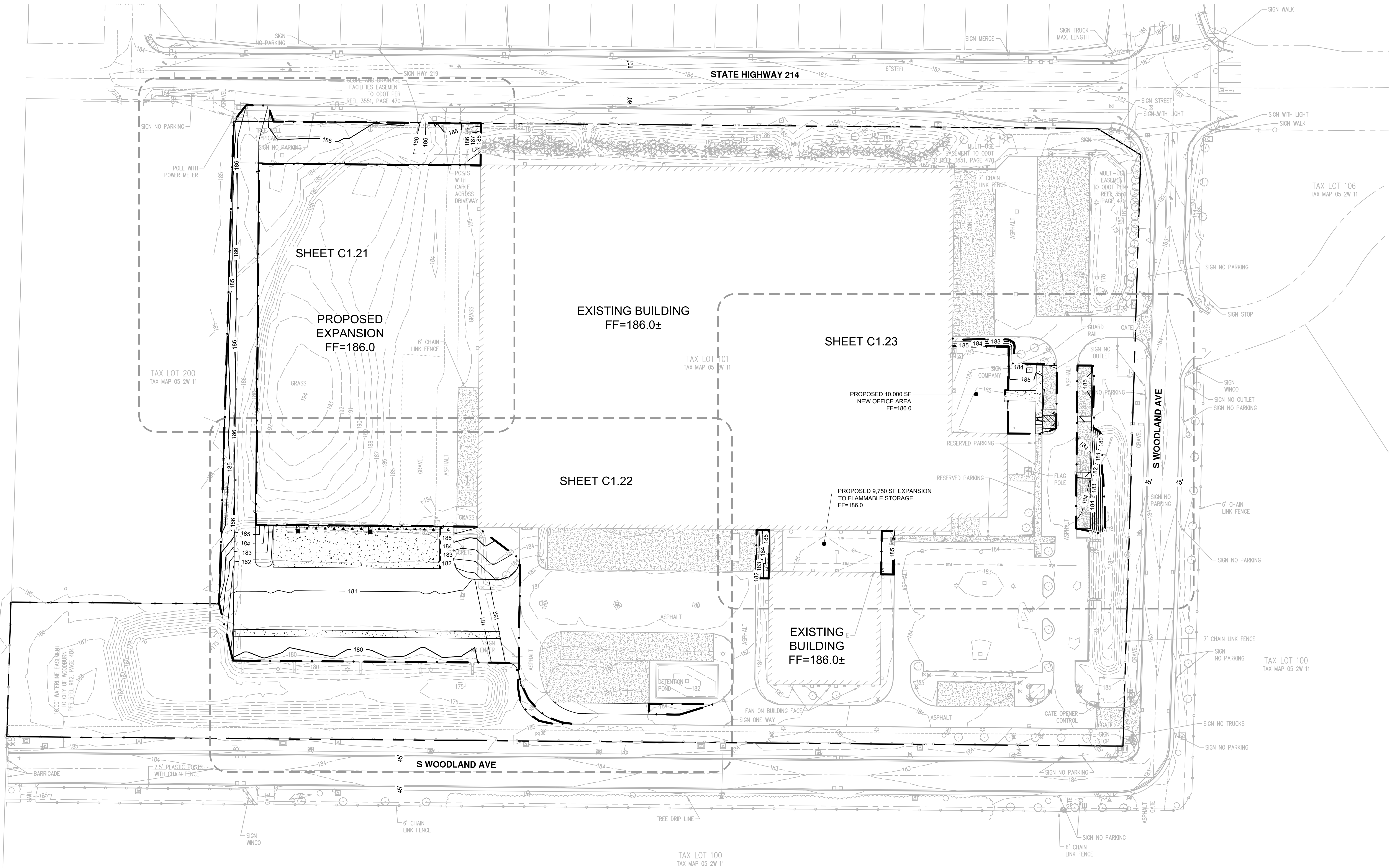
SITE DATA

	AREA (SF)	AREA (AC)	COVERAGE
GROSS PROPERTY AREA	1,220,789	28.03	
AREA OF DISTURBANCE	293,823	6.75	24.1%
IMPERVIOUS AREA			
EXISTING BUILDING AREA	362,125	9.00	32.1%
PROPOSED BUILDING AREA	186,950	4.29	15.3%
PAVED AREA	332,779	7.64	27.3%
TOTAL	911,854	20.93	74.7%
LANDSCAPE AREA	308,935	7.09	25.3%

PARKING DATA

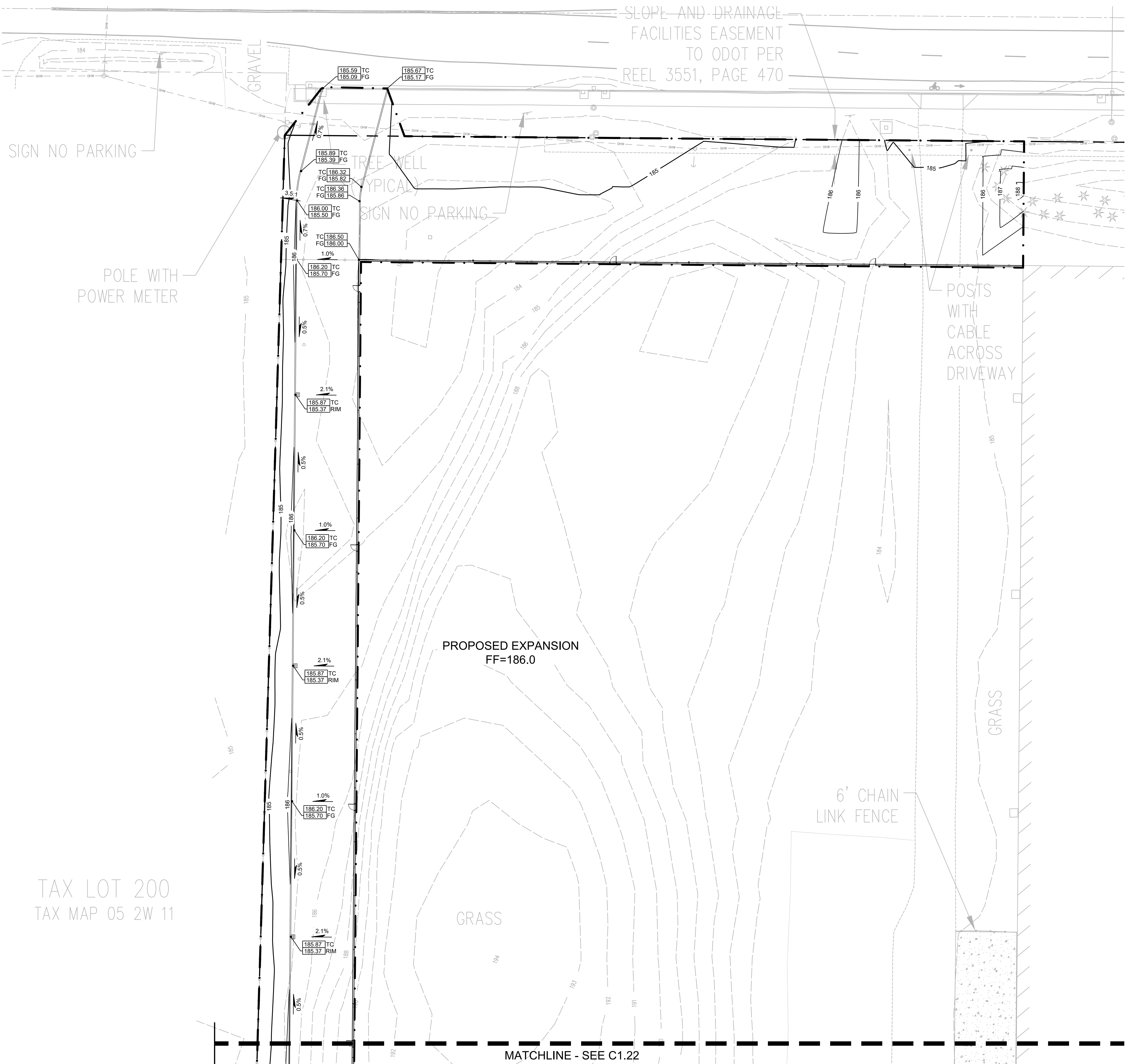
PARKING TYPE	REQUIRED		PROVIDED
	MINIMUM	MAXIMUM	
STANDARD	0	-	182
COMPACT	0	-	0
ACCESSIBLE	0	-	5
WHEELCHAIR USE ONLY	0	-	1
TOTAL PARKING	0	-	188
PARKING RATIO		0.32	
BICYCLE	0	-	0
PROPOSED TRAILER PARKING	0	-	32

REVISION SCHEDULE		
Delta	Issued As	Issue Date

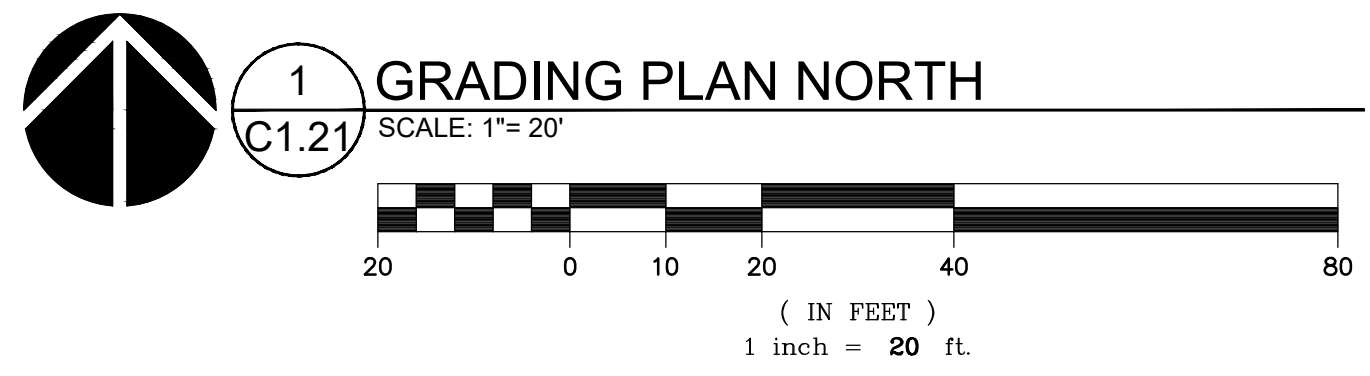


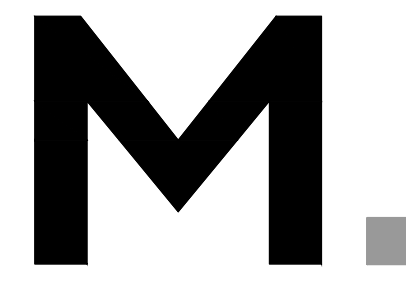
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SLOPE AND DRAINAGE
 FACILITIES EASEMENT
 TO ODOT PER
 REEL 3551, PAGE 470



TAX LOT 200
 TAX MAP 05 2W 11





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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**GRADING PLAN
SOUTH**

DRAWN BY: SAO

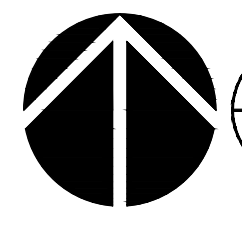
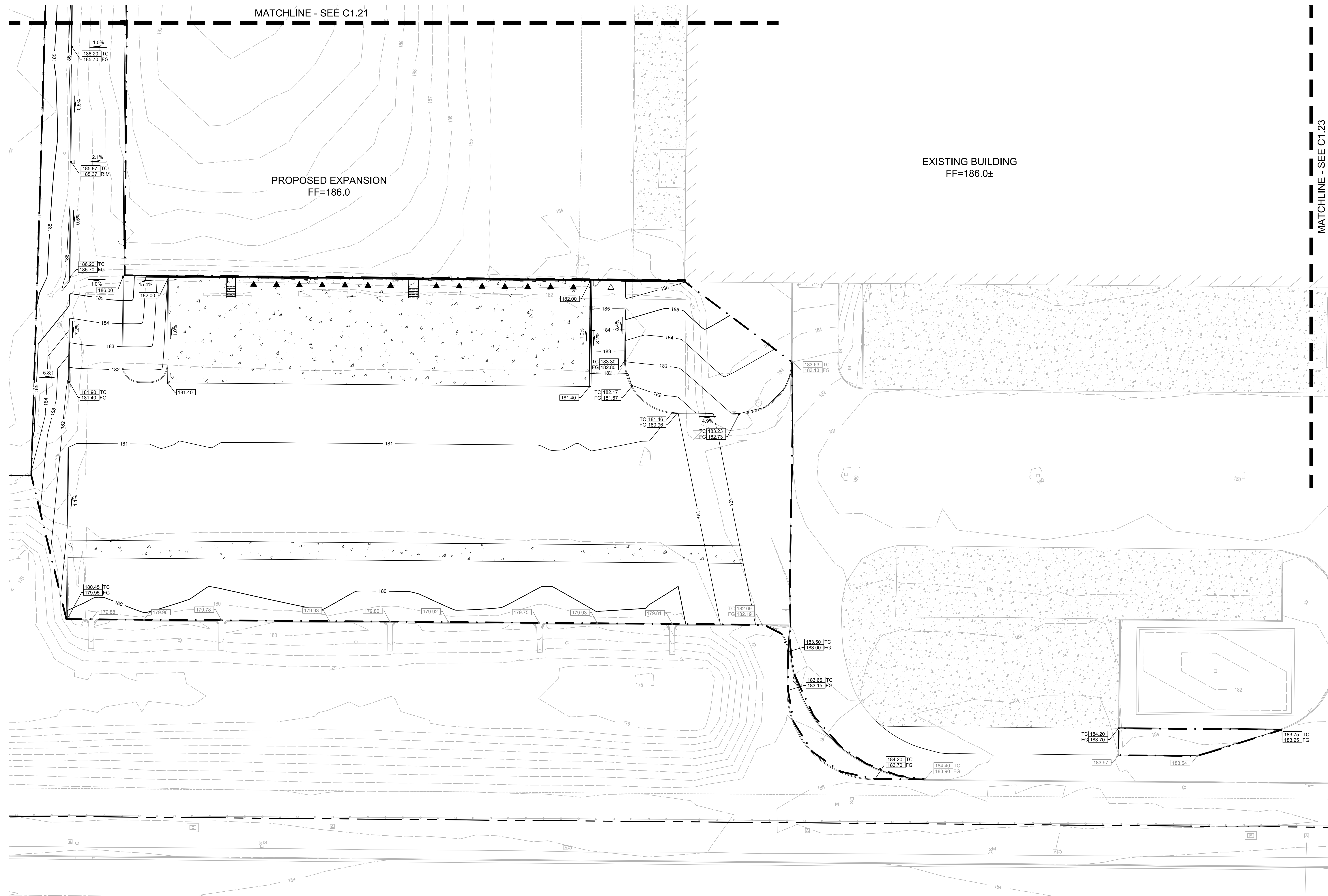
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SHEET

C1.22

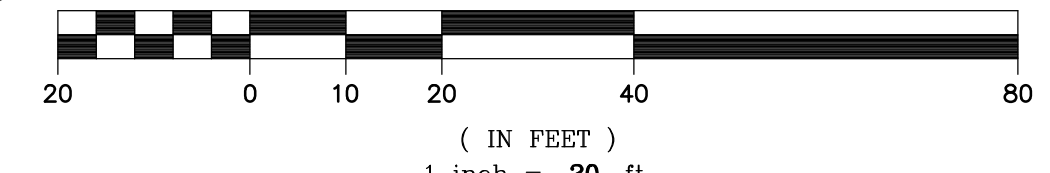
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LU SUBMITTAL - APRIL 14, 2022
221047100DRAWINGS\CIVIL\471-C1.20X.DWG NKB 04/01/22 09:35 1/20



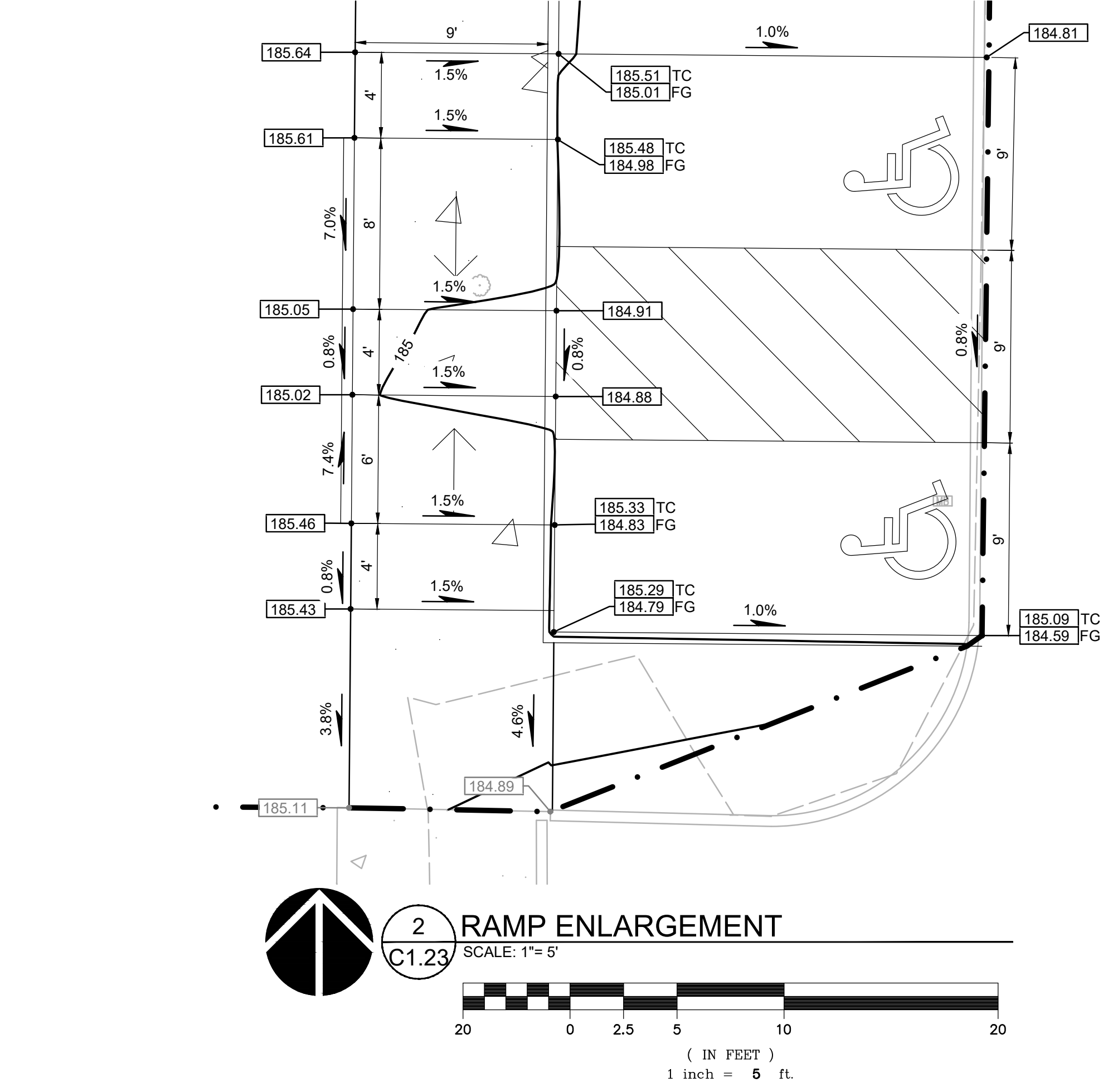
1 GRADING PLAN SOUTH

C1.22 SCALE: 1"= 20'

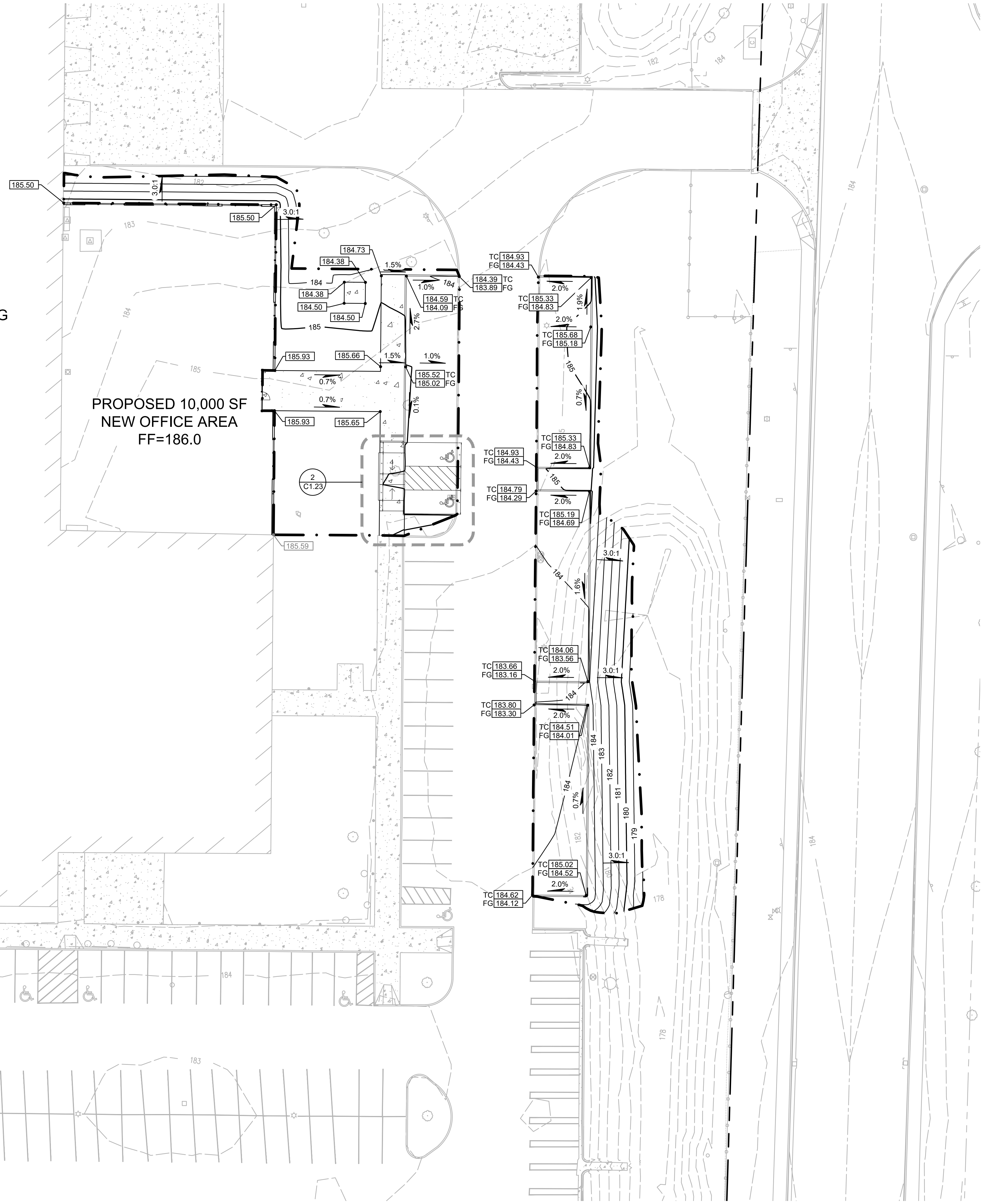


THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS SHOWN FOR REFERENCE ONLY AND IS BASED ON A SURVEY BY A&S ENGINEERING AND FORESTRY, L.L.C. DATED FEBRUARY 16, 2022.

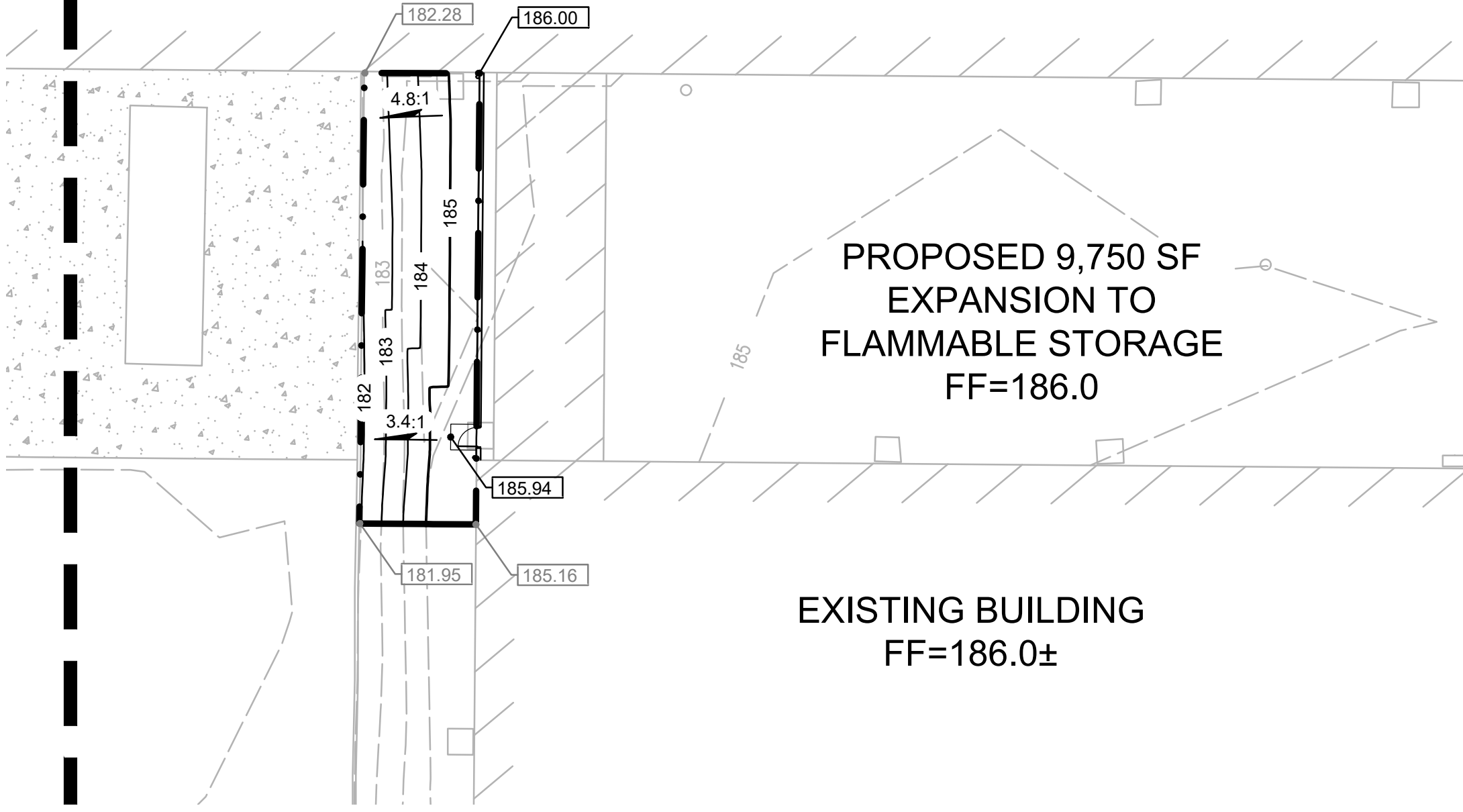
REVISION SCHEDULE		
Delta	Issued As	Issue Date



EXISTING BUILDING
 FF=186.0±



MATCHLINE - SEE C1.22



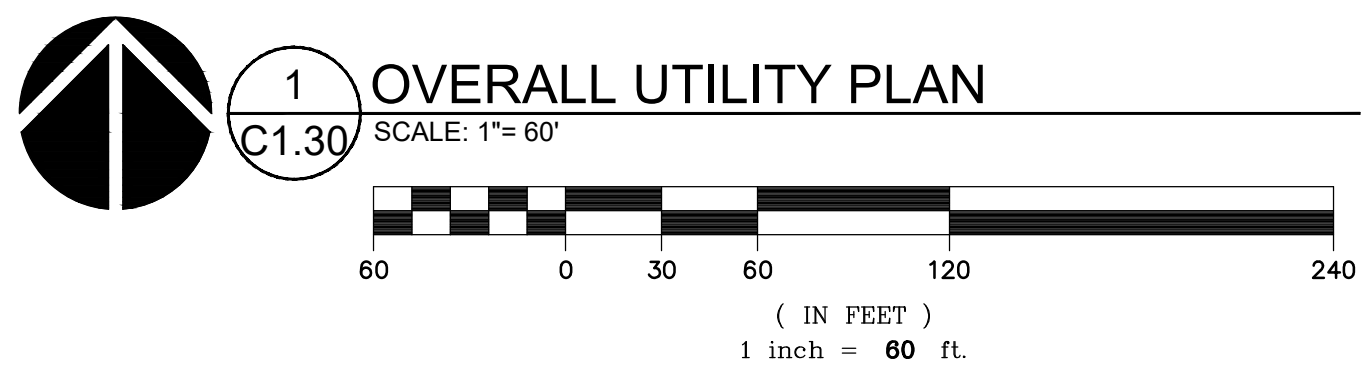
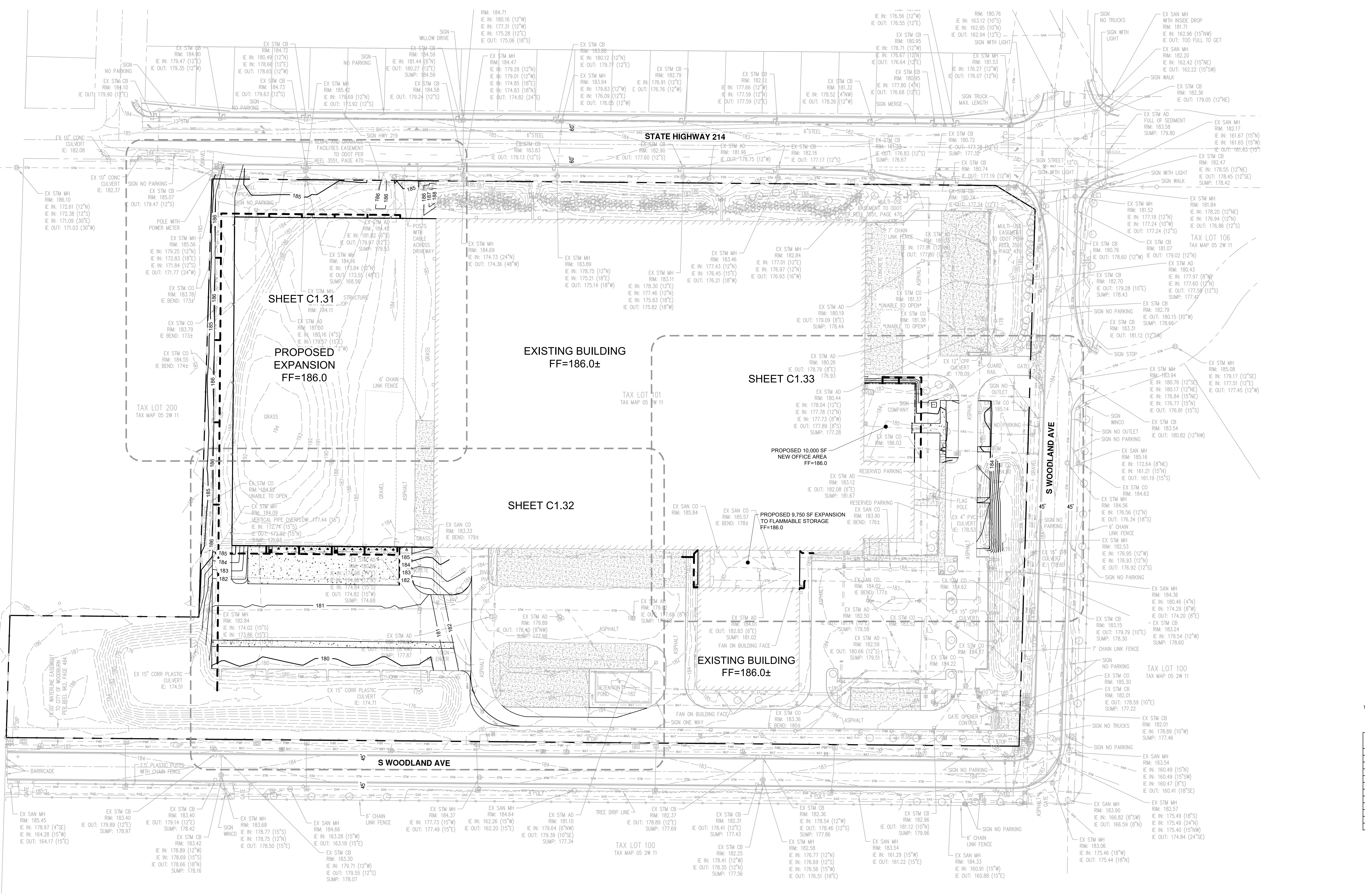
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
OVERALL UTILITY PLAN

DRAWN BY:
 CHECKED BY:
 SHEET

C1.30

JOB NO. **2210471.00**





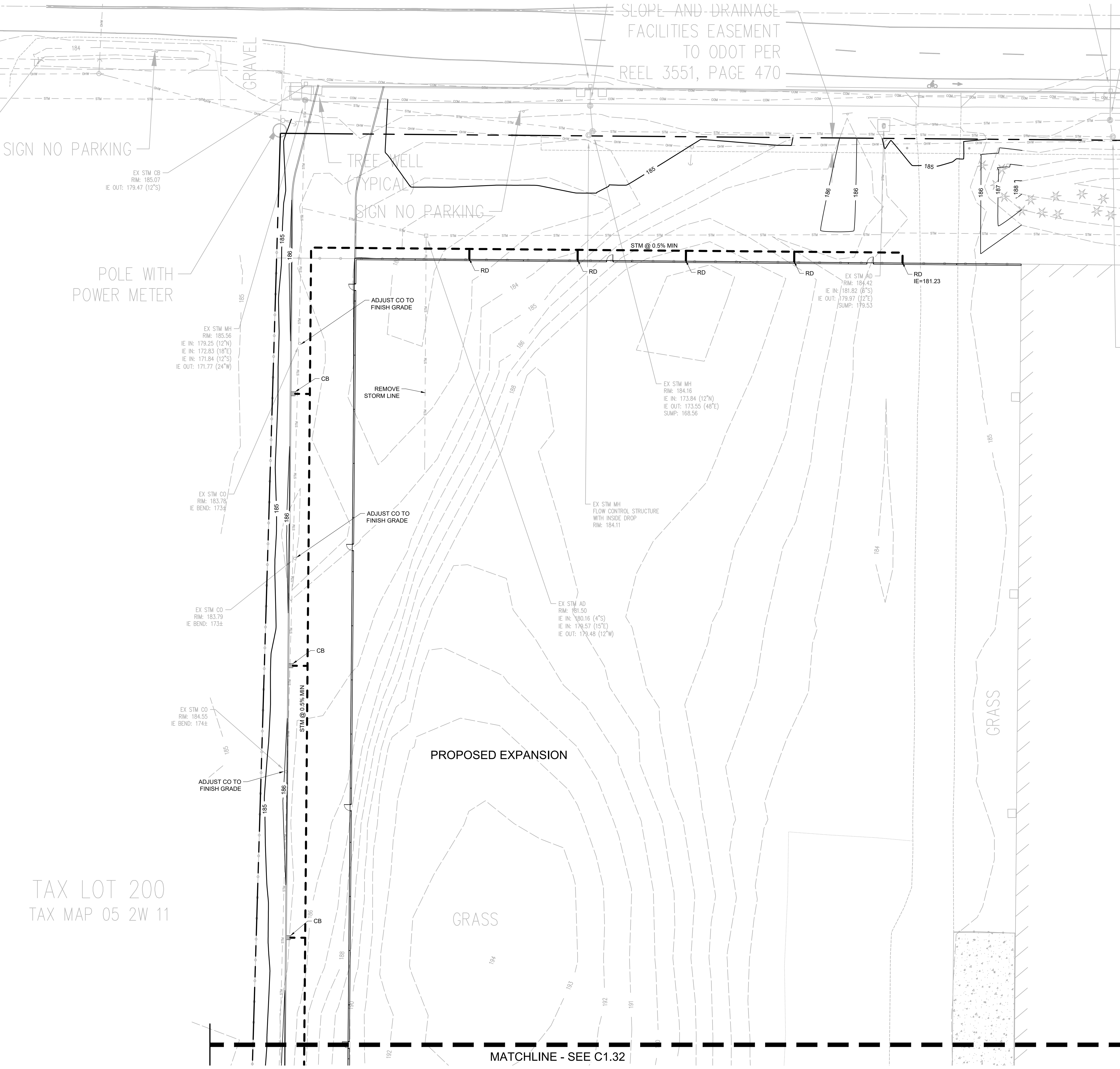
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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**UTILITY PLAN
NORTH**

DRAWN BY: SAO

CHECKED BY: NKB

SHEET

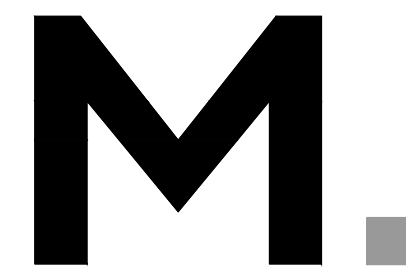
C1.31

JOB NO. 2210471.00

THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS SHOWN FOR REFERENCE ONLY AND IS BASED ON A SURVEY BY A&S ENGINEERING AND FORESTRY, LLC DATE: FEBRUARY 16, 2022

1 **UTILITY PLAN NORTH**
C1.31 SCALE: 1"= 20'

(IN FEET)
1 inch = 20 ft.



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**UTILITY PLAN
EAST**

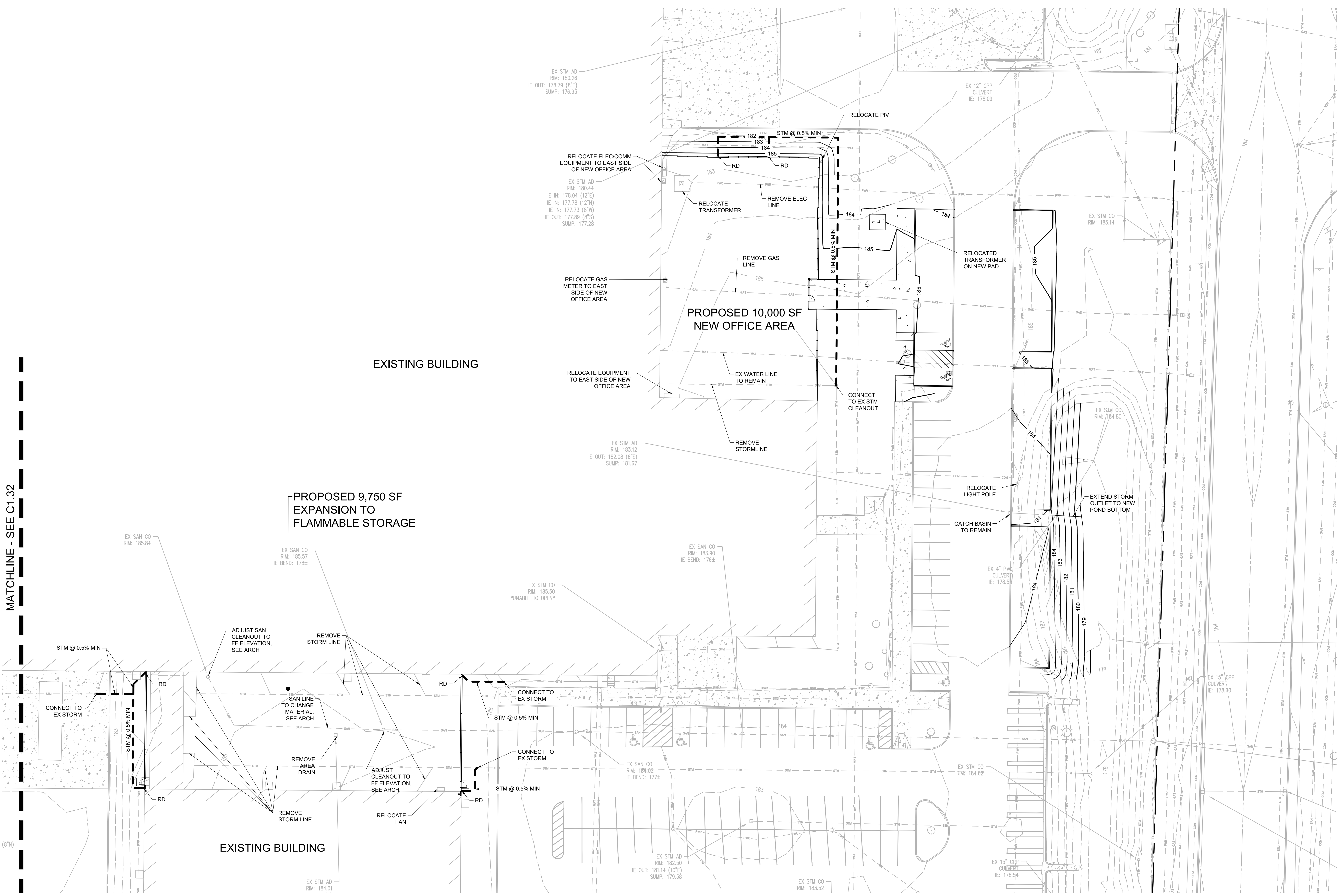
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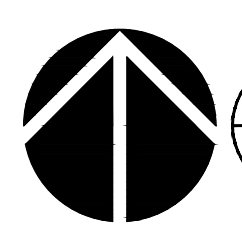
SHEET

C1.33

JOB NO. **2210471.00**



MATCHLINE - SEE C1.32



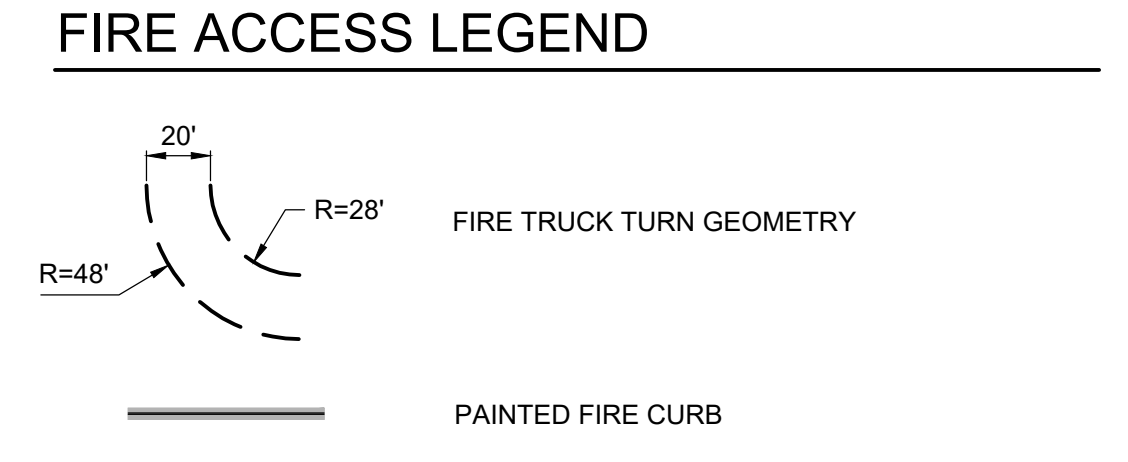
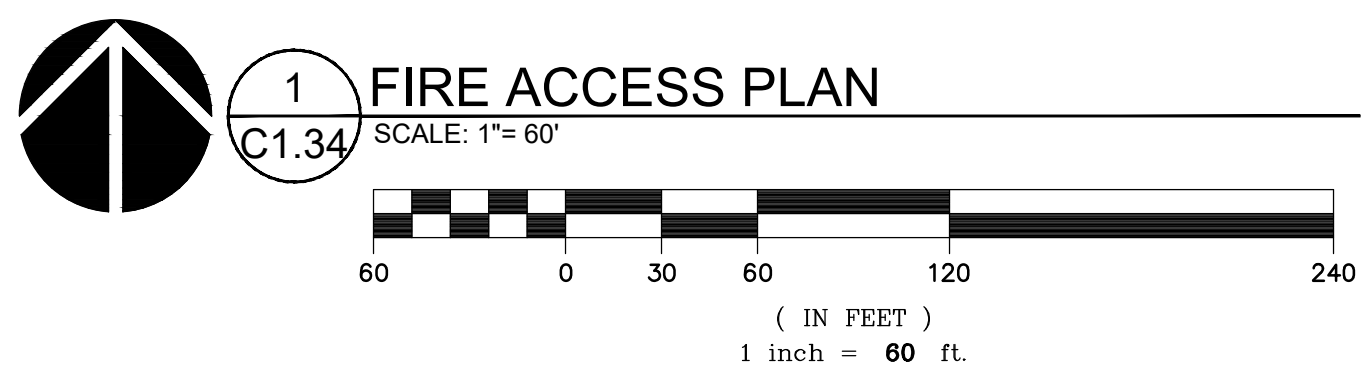
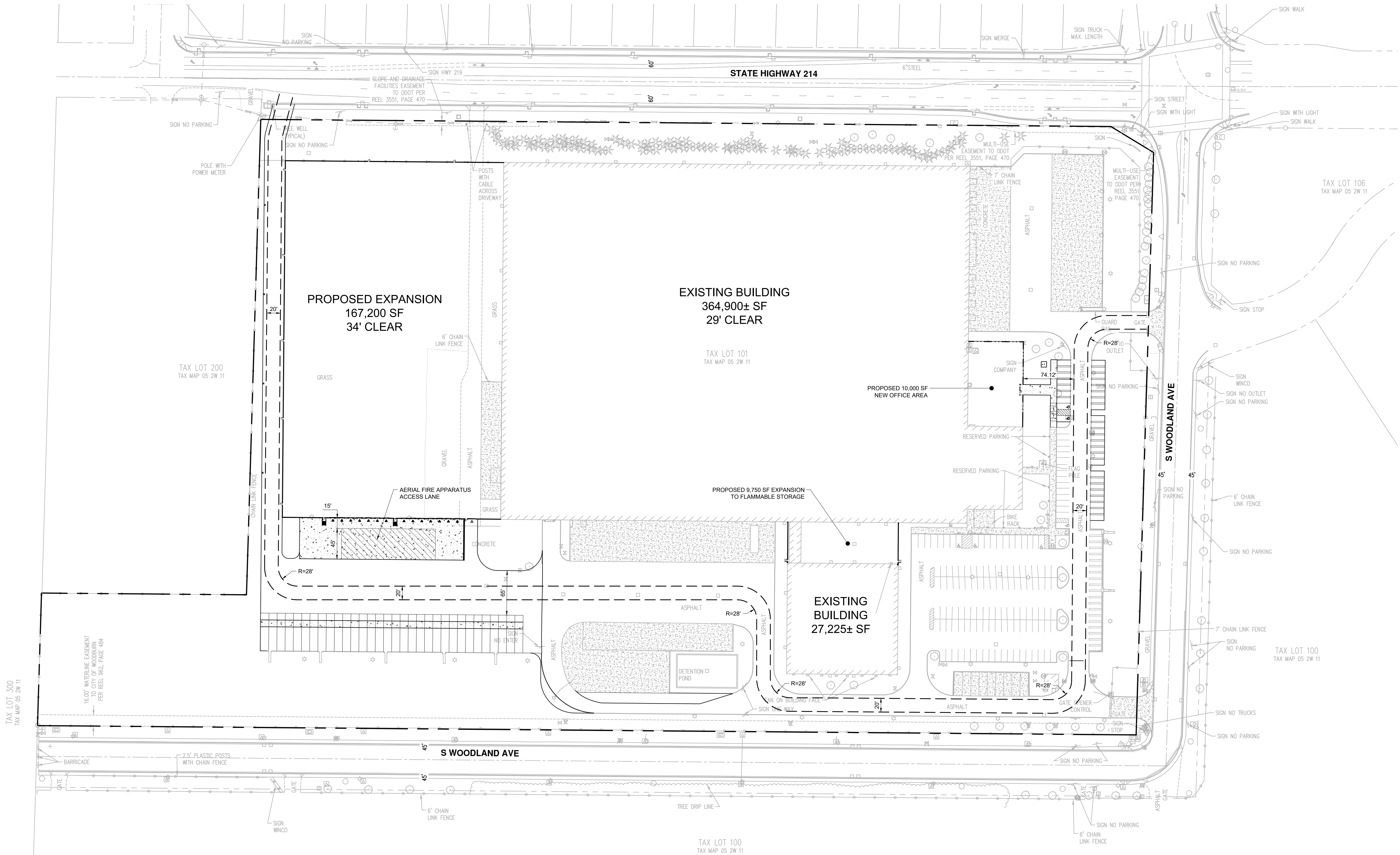
1 UTILITY PLAN EAST
C1.33

SCALE: 1" = 20'



(IN FEET)
1 inch = 20 ft.

REVISION SCHEDULE		
Delta	Issued As	Issue Date



- NOTES**
1. FIRE DEPARTMENT ACCESS ROADS ON SITE ARE DESIGNED TO SUPPORT AN APPARATUS WEIGHING 75,000 LB. GROSS VEHICLE WEIGHT PER GEOTECHNICAL RECOMMENDATIONS
 2. ALL FIRE DEPARTMENT ACCESS ROADS SHOWN ON PLANS HAVE A TURNING RADIUS OF 28 FEET (INSIDE) AND 48 FEET (OUTSIDE), UNLESS OTHERWISE NOTED

SHEET INDEX

L0.01	LANDSCAPE GENERAL INFORMATION
L1.10	PLANTING PLAN NORTH
L1.11	PLANTING PLAN SOUTH
L1.12	PLANTING PLAN EAST
L1.20	IRRIGATION PLAN (NOT INCLUDED)
L5.10	PLANTING DETAILS (NOT INCLUDED)
L5.11	IRRIGATION DETAILS (NOT INCLUDED)

TABLE OF ABBREVIATIONS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
B&B	BALL AND BURLAP
CAL	CALIPER
CONC	CONCRETE
DEG	DEGREE
DIAMØ	DIAMETER
DWGS	DRAWING
ELL	ELBOW
EQ	EQUAL
FT	FEET/FOOT
GAL	GALLON
GALV	GALVANIZED
HHT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
MIX	MIXTURE
NITS	NOT TO SCALE
OC	ON CENTER
PVC	POINT OF CONNECTION
SCH	POLY VINYL CHLORIDE
SF	SCHEDULE
SPEC	SQUARE FOOT SPECIFICATION
TYP	TYPICAL
X	TIMES

SITE INFORMATION

JURISDICTION	WOODBURN, OR
STORMWATER	CITY OF WOODBURN
ZONING	IL - LIGHT INDUSTRIAL
SITE AREA	1,220,766 SF (28.0 AC)
LANDSCAPE AREA	308,849 SF
PARKING STALLS - NEW	33 STALLS
PARKING STALLS - EXISTING	155

PLANT UNIT (PU) CALCULATIONS

OFF-STREET PARKING AND LOADING		
NEW PAVED PARKING AREA	6183 SF	
LANDSCAPE AREA (10% OF PAVED AREA)	618.3 SF (10%)	
TREES		
LARGE (1 PER 25 STALLS)	0 TREES (0 STALLS)	
MEDIUM (1 PER 15 STALLS)	4 TREES (60 STALLS)	
SMALL (1 PER 10 STALLS)	0 TREES (0 STALLS)	
SHRUBS (1 PU PER 20 SF)	618.3 SF (30.9 PU REQ)	
LARGE (2 PU)	0 SHRUBS (0 PU)	
SMALL (1 PU)	35 SHRUBS (35 PU)	
GROUND COVER OR LAWN (1 PER 50 SF)	421 SF (8.4 PU)	
STREET SETBACK (1 PU PER 15 SF)	3194 SF (212.9 PU REQ)	
TREES		
LARGE (10 PU)	12 TREES (120 PU)	
MEDIUM (8 PU)	0 TREES (0 PU)	
SMALL (4 PU)	0 TREES (0 PU)	
SHRUBS (1 PU PER 20 SF)	16 SHRUBS (32 PU)	
LARGE (2 PU)	0 SHRUBS (0 PU)	
SMALL (1 PU)	0 SHRUBS (0 PU)	
GROUND COVER OR LAWN (1 PER 50 SF)	3194 SF (63.9 PU)	
OTHER YARDS (1 PU PER 50 SF)	26972.2 SF (539.4 PU REQ)	
TOTAL LANDSCAPE AREA	26972.2 SF	
GROUND COVER OR LAWN (1 PER 50 SF)	26972.2 SF (539.4 PU)	

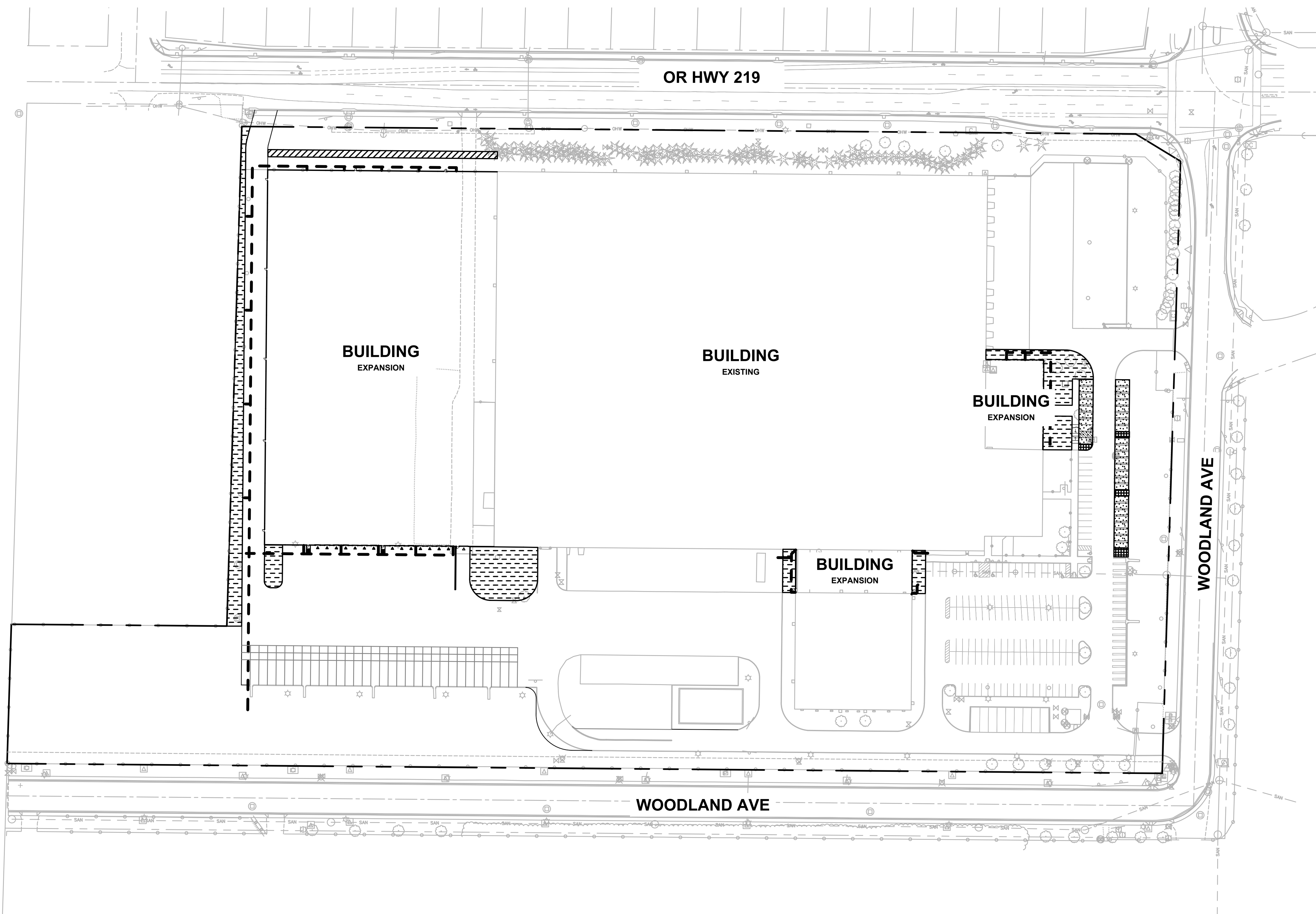
PROVIDED PLANT UNIT QUANTITIES ARE ESTIMATED WITH A MARGIN OF ERROR OF APPROX. +/-10%. FINAL PLANT UNIT QUANTITIES ARE TO BE PROVIDED WITH FINAL PERMIT DRAWINGS.

LANDSCAPE NOTES

- GENERAL**
- CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
 - CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON.
 - NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.
 - LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
 - DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE CONSTRUCTION CONDITIONS.
 - CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK.
- PLANTING**
- ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
 - SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUND COVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
 - ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
 - TREES IN THE RIGHT OF WAY SHALL BE TALL ENOUGH TO BE LIMBED UP TO AT LEAST 8 FT ABOVE DRIVE SURFACE GRADE WHILE MAINTAINING ENOUGH BRANCHES TO SUPPORT HEALTHY GROWTH.
 - DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
 - IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
 - REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
 - EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS SO NOTED.
 - A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIED SOIL AMENDMENTS.
 - TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.
 - ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.
- IRRIGATION**
- ALL NEW LANDSCAPE AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
 - ASSESS EXISTING IRRIGATION SYSTEM FOR CAPACITY TO ACCOMMODATE PROPOSED LANDSCAPE AREAS.
 - CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
 - CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
 - IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS.
 - SYSTEM SHALL BE DESIGNED TO SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO FARTHEST EMITTER FROM WATER METER.
 - SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE WITHOUT OVERSPRAY ONTO BUILDING, FENCES, SIDEWALKS, PARKING AREAS, OR OTHER NON-VEGETATED SURFACES.
 - STOCKPILE ANY IRRIGATION COMPONENTS IN GOOD CONDITION THAT COULD BE REUSED, EITHER IN THE NEW LANDSCAPE AREAS OR ELSEWHERE ON SITE. CLEAN COMPONENTS AND PROVIDE TO OWNER'S MAINTENANCE REPRESENTATIVE.
 - ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS.
 - PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING.
 - VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND CONNECTED TO THE IRRIGATION CONTROLLER.
 - QUICK COUPLER TO BE PLACED IN A DISCRETE AND ACCESSIBLE LOCATION.
 - IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER. CONTRACTOR TO VERIFY LOCATION AND FUNCTIONALITY OF QUICK COUPLERS.
 - THE SYSTEM SHALL BE GRAVITY DRAINED. THE CONTRACTOR SHALL VERIFY PRESENCE OF APPROPRIATE MANUAL DRAINS AT LOW POINTS.
 - REVIEW OPERATION OF IRRIGATION SYSTEM WITH OWNER'S REPRESENTATIVE. PROVIDE AS BUILT PLAN SHOWING THE MODIFICATIONS AND HOW THEY CONNECT TO THE EXISTING SYSTEM. PLAN TO BE LAMINATED AND STORED IN THE CONTROLLER HOUSING WITH INSTRUCTIONS FOR SEASONAL MAINTENANCE, INCLUDING WINTERIZATION AND SPRING START UP.

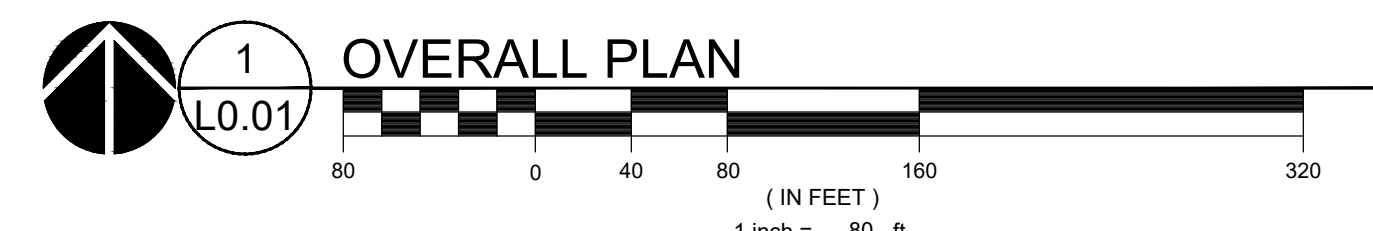
PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	
	ABIES GRANDIS GRAND FIR MATURE (150' H X 40' W) MEDIUM TREE	10' HT. MIN. B&B	
	THUJA PLICATA WESTERN RED CEDAR MATURE (100' H X 30' W) LARGE TREE	10' HT. MIN. B&B	
	ZELKOVA SERRATA "GREEN VASE" SAWLEAF ZELKOVA MATURE (85' H X 75' W) LARGE TREE	2" CAL., B&B	
SHRUBS	BOTANICAL / COMMON NAME	SIZE	SPACING
	BERBERIS THUNBERGII "ATROPURPUREA NANA" DWARF RED LEAF JAPANESE BARBERRY (3' H X 3' W) SMALL SHRUB	3 GAL.	30" o.c.
	SPIRAEA BETULIFOLIA BIRCH LEAF SPIREA (3' H X 3' W) SMALL SHRUB	3 GAL.	30" o.c.
	VIBURNUM TINUS LAURUSTINUS VIBURNUM (6-7' H X 5' W) LARGE SHRUB	3 GAL.	48" o.c.
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	SPACING
	EUONYMUS FORTUNEI "COLORATUS" COLORATUS PURPLE WINTERCREEPER 24" HEIGHT	1 GAL.	24" o.c.
	MAHONIA REPENS CREEPING MAHONIA 18" HEIGHT, NATIVE NW	1 GAL.	16" o.c.
	SEED MIX TYPE A	---	
	SEED MIX TYPE B	---	



LEGEND - LANDSCAPE USE AREAS

AREA TYPE	REQUIRED PU
	PARKING LANDSCAPE 1 PU/20 SF
	STREET SETBACK 1 PU/15 SF
	OTHER YARDS 1 PU/50 SF
	NEW PARKING AREA
	PER WOODBURN DEVELOPMENT ORDINANCE TABLE 3.06A



Client
PERLO CONSTRUCTION

DO IT BEST: BUILDING EXPANSION

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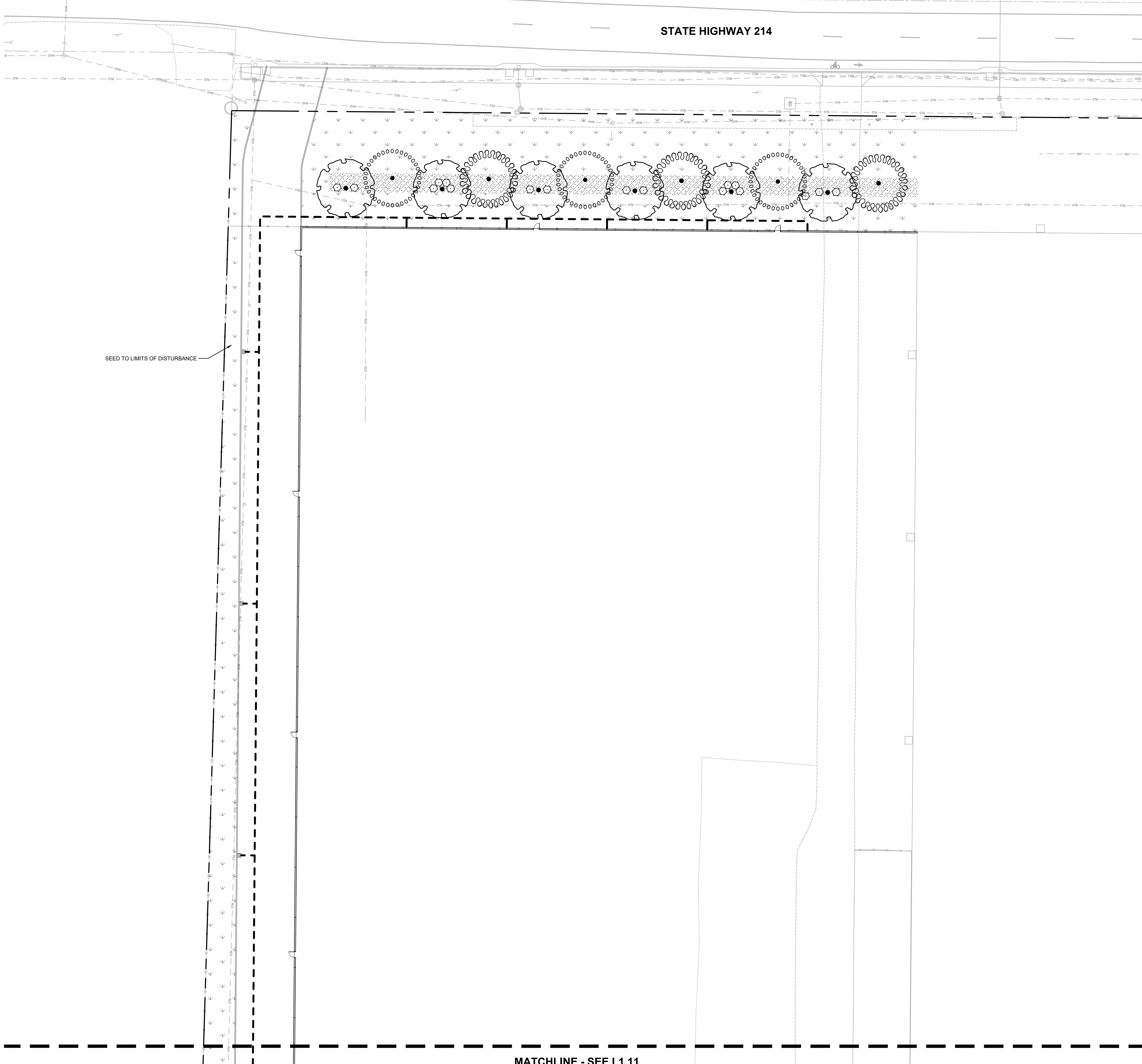
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
LANDSCAPE GENERAL INFORMATION

DRAWN BY: AB
CHECKED BY: NRF
SHEET

L0.01
JOB NO. 2210471.00

STATE HIGHWAY 214



PLANT KEY LEGEND

TREES	BOTANICAL / COMMON NAME
	ABIES GRANDIS GRAND FIR MATURE (150' H X 40' W) MEDIUM TREE
	THUJA PLICATA WESTERN RED CEDAR MATURE (100' H X 30' W) LARGE TREE
	ZELKOVA SERRATA 'GREEN VASE' SAWLEAF ZELKOVA MATURE (85' H X 75' W) LARGE TREE
SHRUBS	BOTANICAL / COMMON NAME
	BERBERIS THUNBERGII 'ATROPURPUREA NANA' DWARF RED LEAF JAPANESE BARBERRY (3' H X 3' W) SMALL SHRUB
	SPIRAEA BETULIFOLIA BIRCH LEAF SPIREA (3' H X 3' W) SMALL SHRUB
	VIBURNUM TINUS LAURUSTINUS VIBURNUM (6-7' H X 5' W) LARGE SHRUB
GROUND COVERS	BOTANICAL / COMMON NAME
	EUONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER 24" HEIGHT
	MAHONIA REPENS CREEPING MAHONIA 18" HEIGHT, NATIVE NW
	SEED MIX TYPE A
	SEED MIX TYPE B

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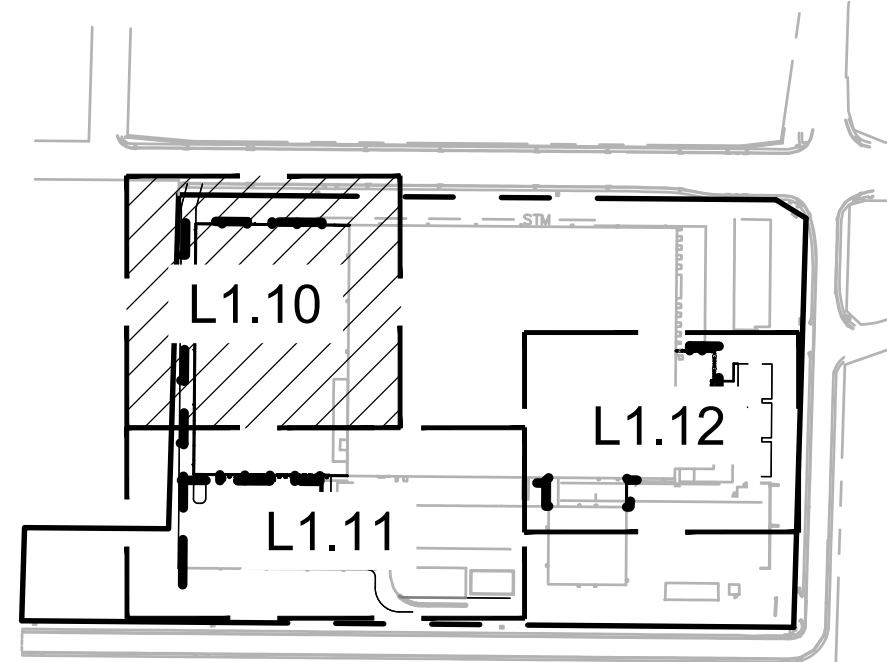
REFERENCE NOTES

1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.01.
2. EXISTING TREE TO REMAIN. DO NOT DISTURB. PROTECT IN PLACE.
3. CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
4. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT CONFLICTS TO LANDSCAPE ARCHITECT.

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**PLANTING PLAN
NORTH**

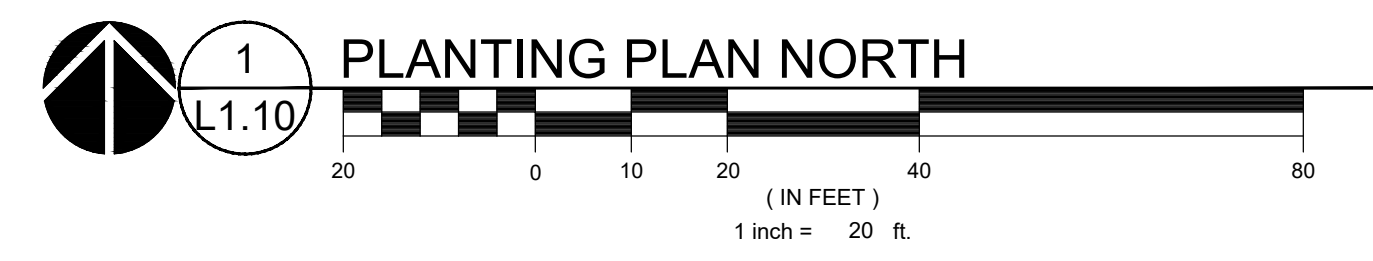


DRAWN BY: AB
CHECKED BY: NRF
SHEET

L1.10

JOB NO. **2210471.00**

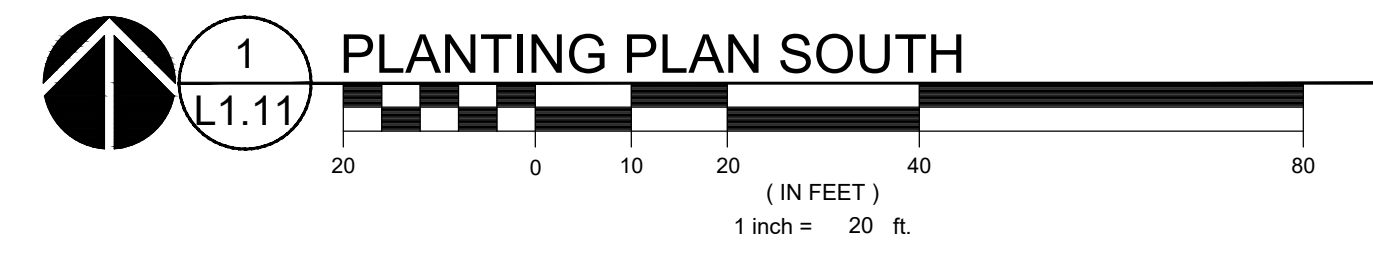
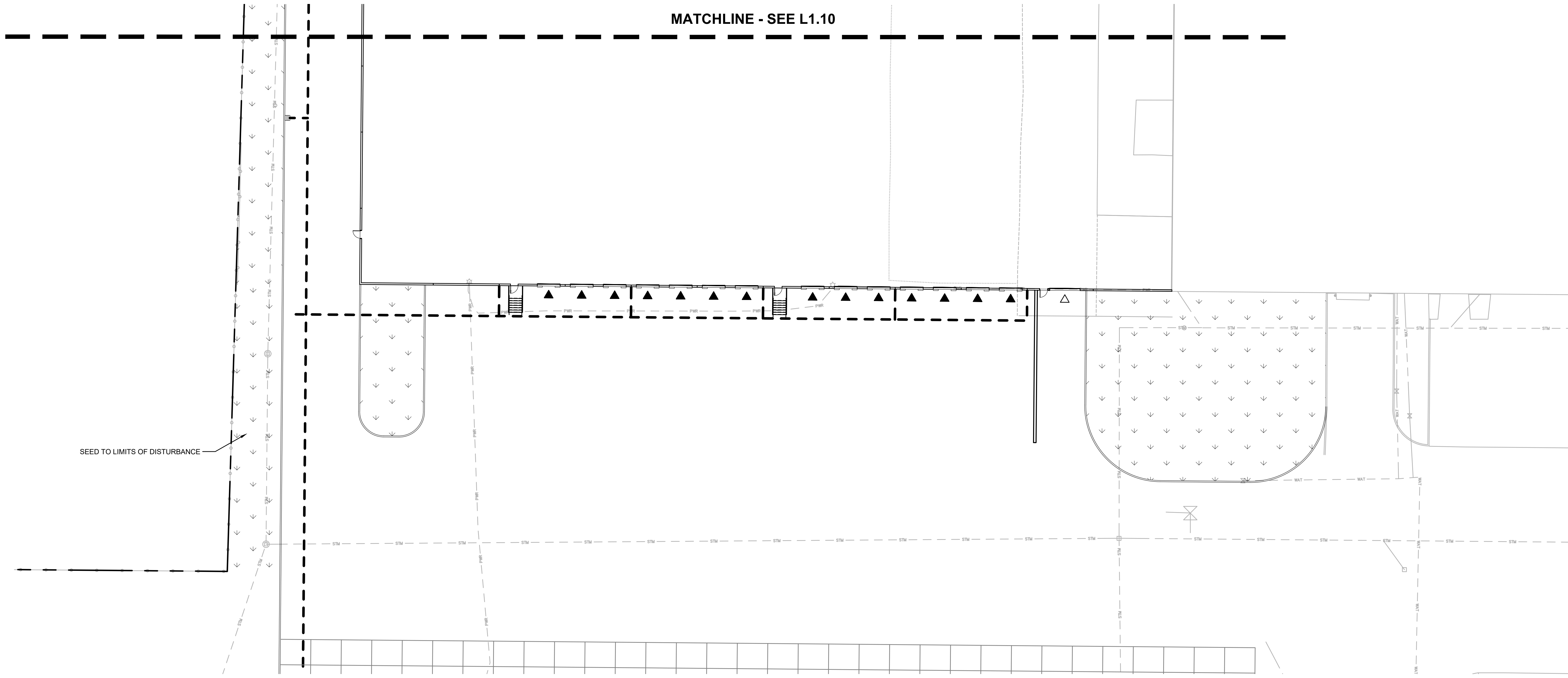
LU SUBMITTAL - APRIL 14, 2022
221047100DRAWINGS\LANDSCAPE\471_L1.01.DWG.L1.10 NRF 03/24/22 02:34 1:0:08



MATCHLINE - SEE L1.11

SEED TO LIMITS OF DISTURBANCE

MATCHLINE - SEE L1.10



PLANT KEY LEGEND

- TREES**
- ABIES GRANDIS
GRAND FIR
MATURE (150' H X 40' W) MEDIUM TREE
 - THUJA PLICATA
WESTERN RED CEDAR
MATURE (100' H X 30' W) LARGE TREE
 - ZELKOVA SERRATA 'GREEN VASE'
SAWLEAF ZELKOVA
MATURE (85' H X 75' W) LARGE TREE
- SHRUBS**
- BERBERIS THUNBERGII 'ATROPURPUREA NANA'
DWARF RED LEAF JAPANESE BARBERRY
(3' H X 3' W) SMALL SHRUB
 - SPIRAEA BETULIFOLIA
BIRCH LEAF SPIREA
(3' H X 3' W) SMALL SHRUB
 - VIBURNUM TINUS
LAURUSTINUS VIBURNUM
(6-7' H X 5' W) LARGE SHRUB
- GROUND COVERS**
- EUONYMUS FORTUNEI 'COLORATUS'
COLORATUS PURPLE WINTERCREEPER
24" HEIGHT
 - MAHONIA REPENS
CREEPING MAHONIA
18" HEIGHT, NATIVE NW
- SEED MIX TYPE A
- SEED MIX TYPE B

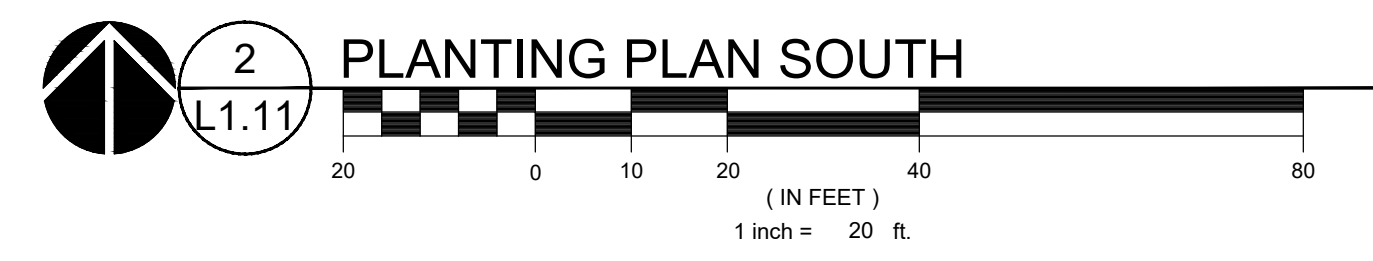
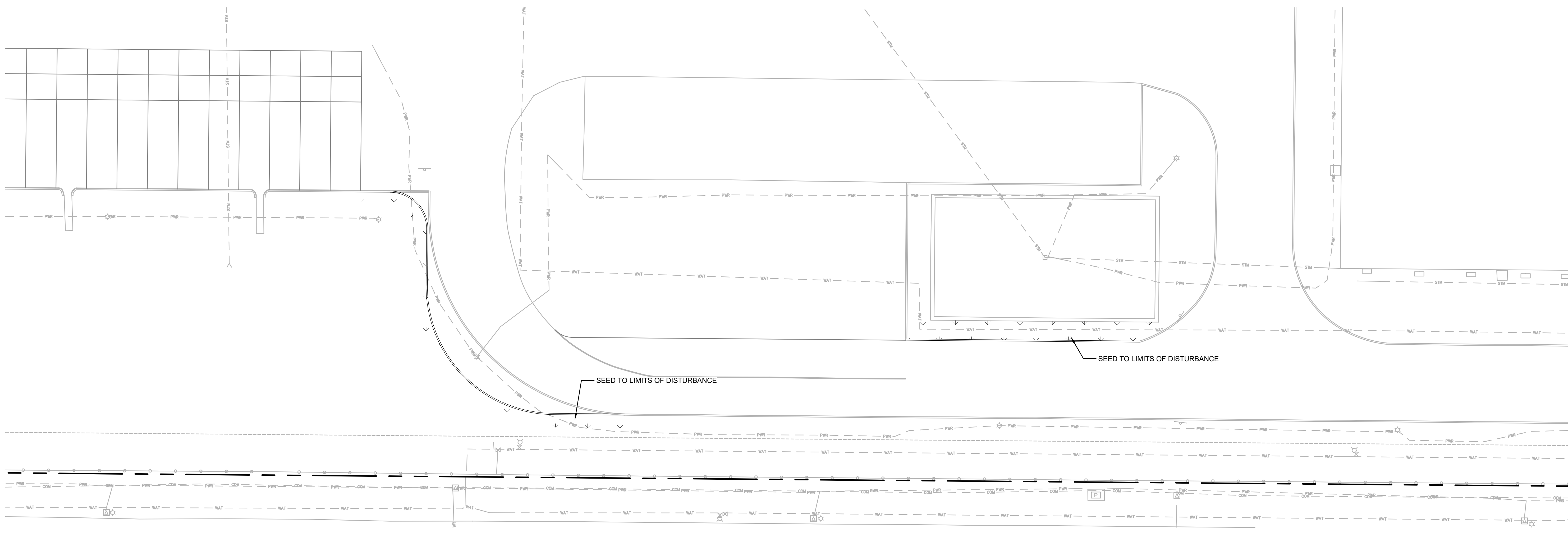
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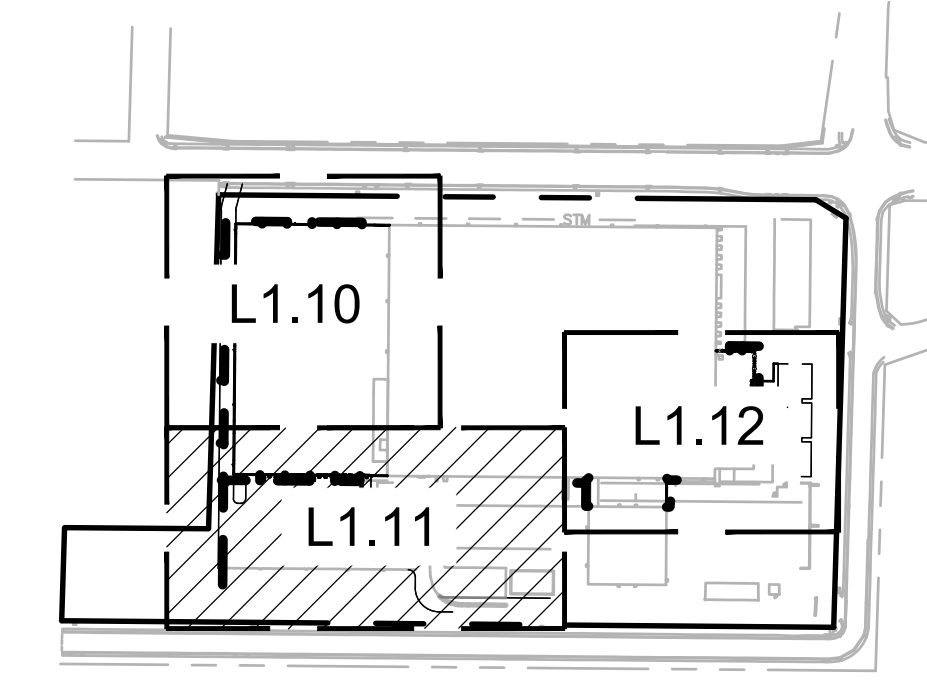
REFERENCE NOTES

1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.01.
2. EXISTING TREE TO REMAIN. DO NOT DISTURB. PROTECT IN PLACE.
3. CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
4. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT CONFLICTS TO LANDSCAPE ARCHITECT.

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**PLANTING PLAN
SOUTH**



KEY MAP
SCALE: NTS

DRAWN BY: AB
CHECKED BY: NRF
SHEET

L1.11

JOB NO. **2210471.00**

REVISION SCHEDULE		
Delta	Issued As	Issue Date

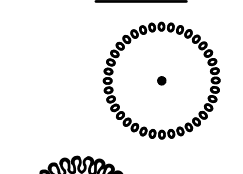
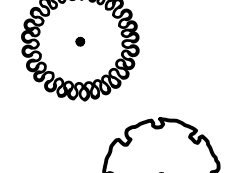



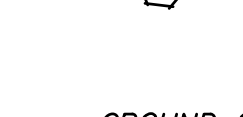
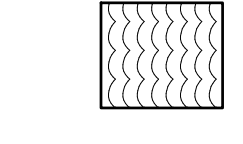
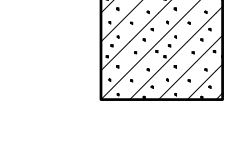
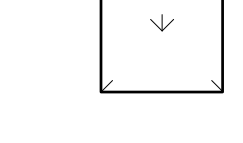

SHEET TITLE:
**PLANTING PLAN
 EAST**

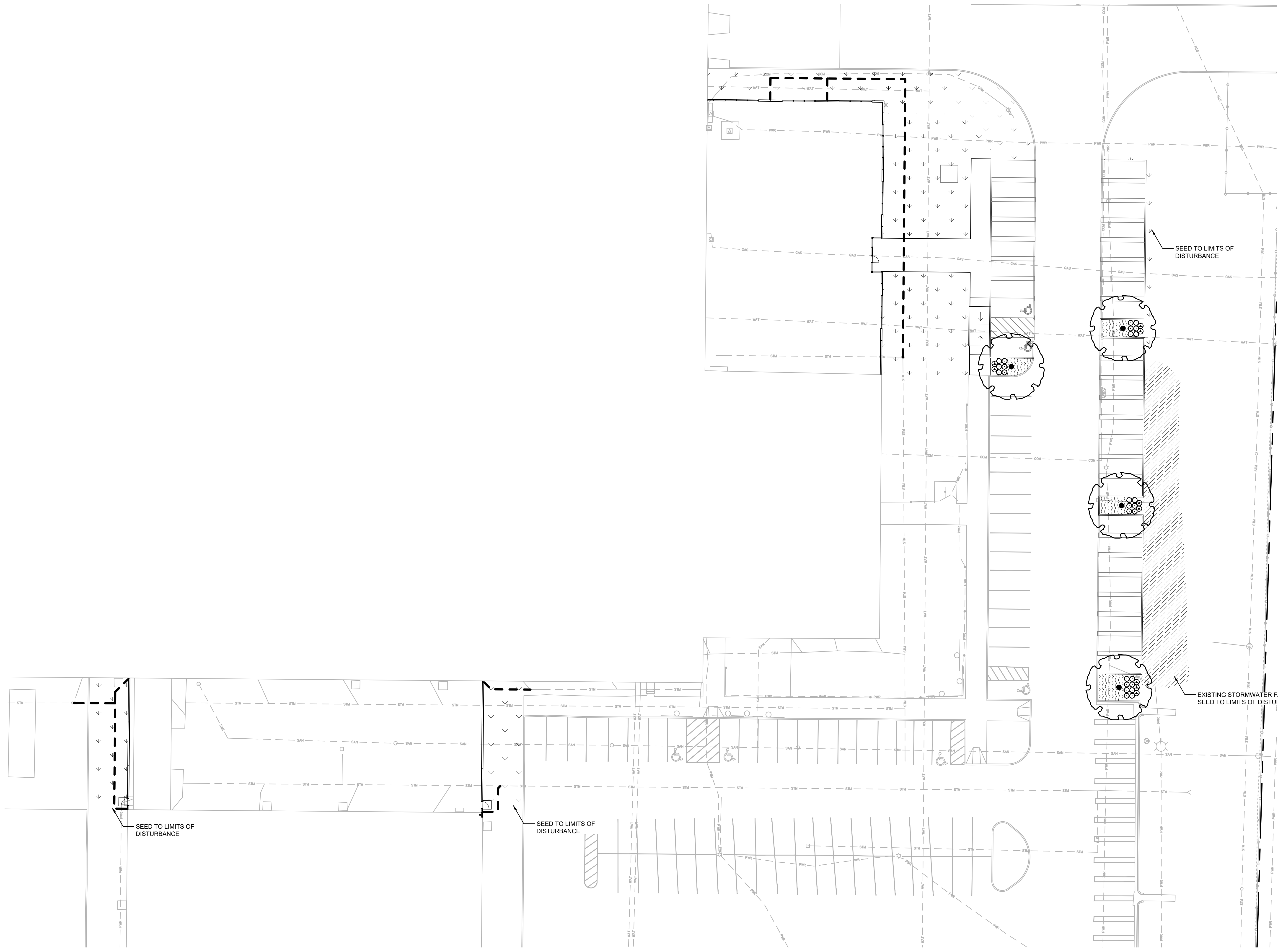
DRAWN BY: AB
 CHECKED BY: NRF
 SHEET

L1.12

JOB NO. **2210471.00**

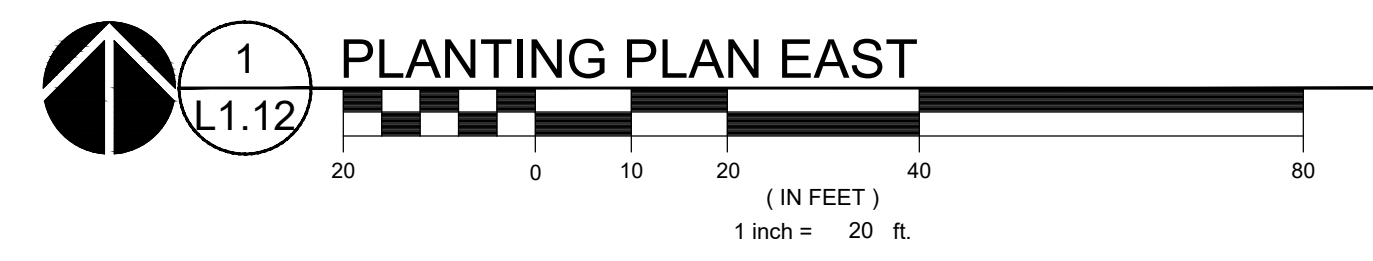
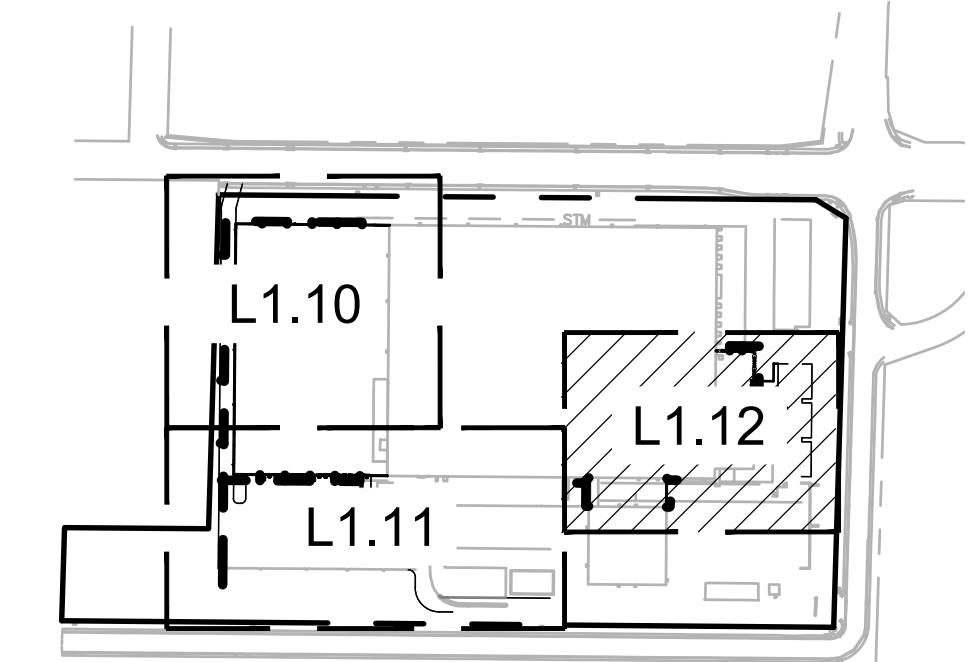
PLANT KEY LEGEND

- TREES**
-  **ABIES GRANDIS**
GRAND FIR
MATURE (150' H X 40' W) MEDIUM TREE
 -  **THUJA PLICATA**
WESTERN RED CEDAR
MATURE (100' H X 30' W) LARGE TREE
 -  **ZELKOVA SERRATA 'GREEN VASE'**
SAWLEAF ZELKOVA
MATURE (85' H X 75' W) LARGE TREE
- SHRUBS**
-  **BERBERIS THUNBERGII 'ATROPURPUREA NANA'**
DWARF RED LEAF JAPANESE BARBERRY
(3' H X 3' W) SMALL SHRUB
 -  **SPIRAEA BETULIFOLIA**
BIRCH LEAF SPIREA
(3' H X 3' W) SMALL SHRUB
 -  **VIBURNUM TINUS**
LAURUSTINUS VIBURNUM
(6-7' H X 5' W) LARGE SHRUB
- GROUND COVERS**
-  **EUONYMUS FORTUNEI 'COLORATUS'**
COLORATUS PURPLE WINTERCREEPER
24" HEIGHT
 -  **MAHONIA REPENS**
CREEPING MAHONIA
18" HEIGHT, NATIVE NW
 -  **SEED MIX TYPE A**
 -  **SEED MIX TYPE B**



REFERENCE NOTES

1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.01.
2. EXISTING TREE TO REMAIN. DO NOT DISTURB. PROTECT IN PLACE.
3. CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
4. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT CONFLICTS TO LANDSCAPE ARCHITECT.



REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**EXISTING
OVERALL
PLAN**

DRAWN BY: JND

CHECKED BY: REW

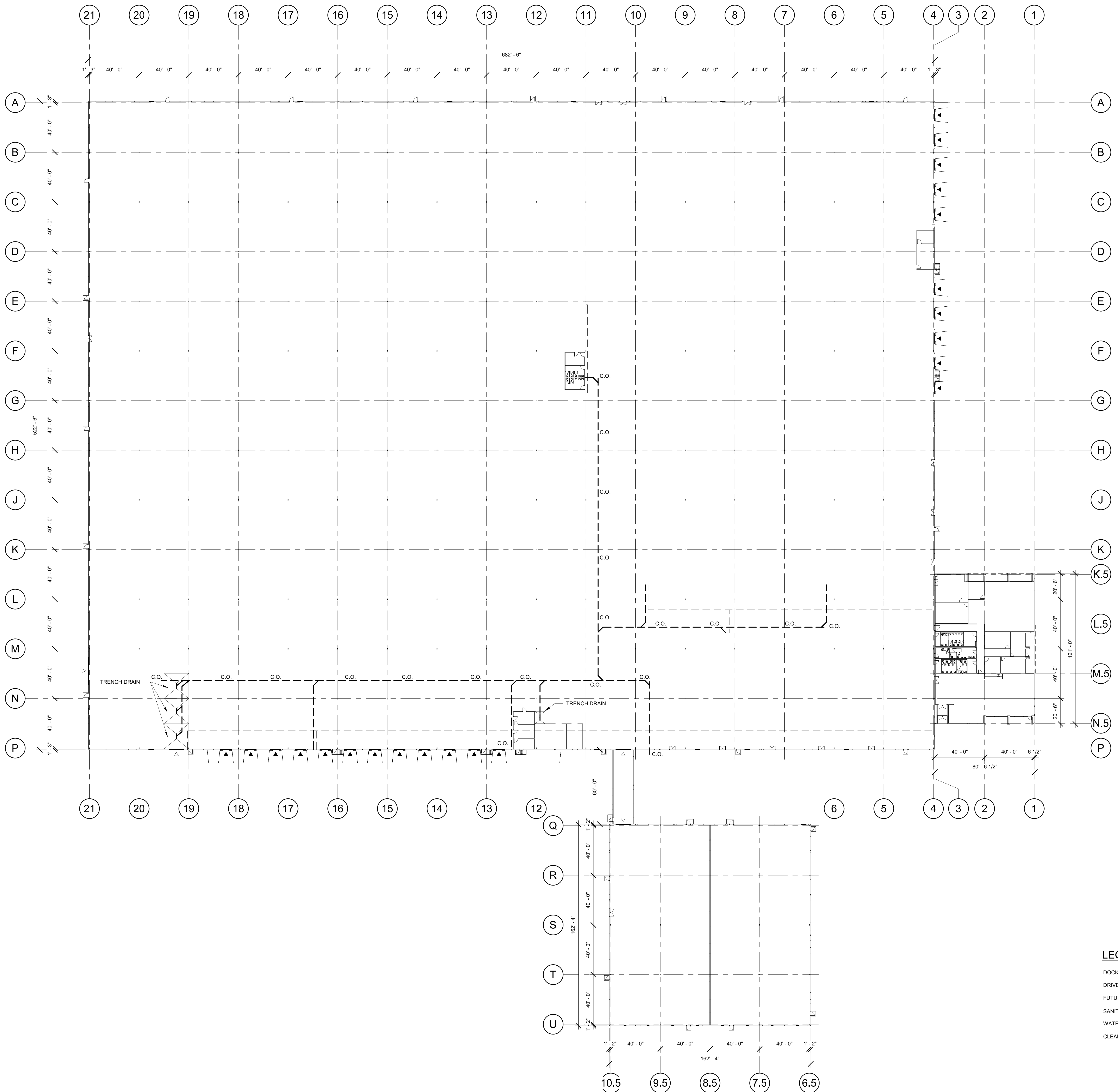
SHEET

A1.10

JOB NO. **2210471.00**

LU SUBMITTAL - APRIL 14, 2022

C:\Users\jnd\Documents\Revit Projects\2210471.00_LU\A1.10-DIB-V22-L.rvt 4/5/2022 12:59:34 PM As Indicated



LEGEND

- DOCK HIGH OVERHEAD DOOR
- DRIVE IN OVERHEAD DOOR
- FUTURE OPENING
- SANITARY SEWER
- WATER LINE
- CLEAN OUT

1 EXISTING OVERALL PLAN
A1.10 1/32" = 1'-0"

Client Name
 Edit address and other
 client information in
 Manage > Project
 Information

Do It Best: Building
 Expansion
 Edit in Manage >
 Project Information

Mechanical/Electrical

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**NEW
 WAREHOUSE
 PLAN - NORTH**

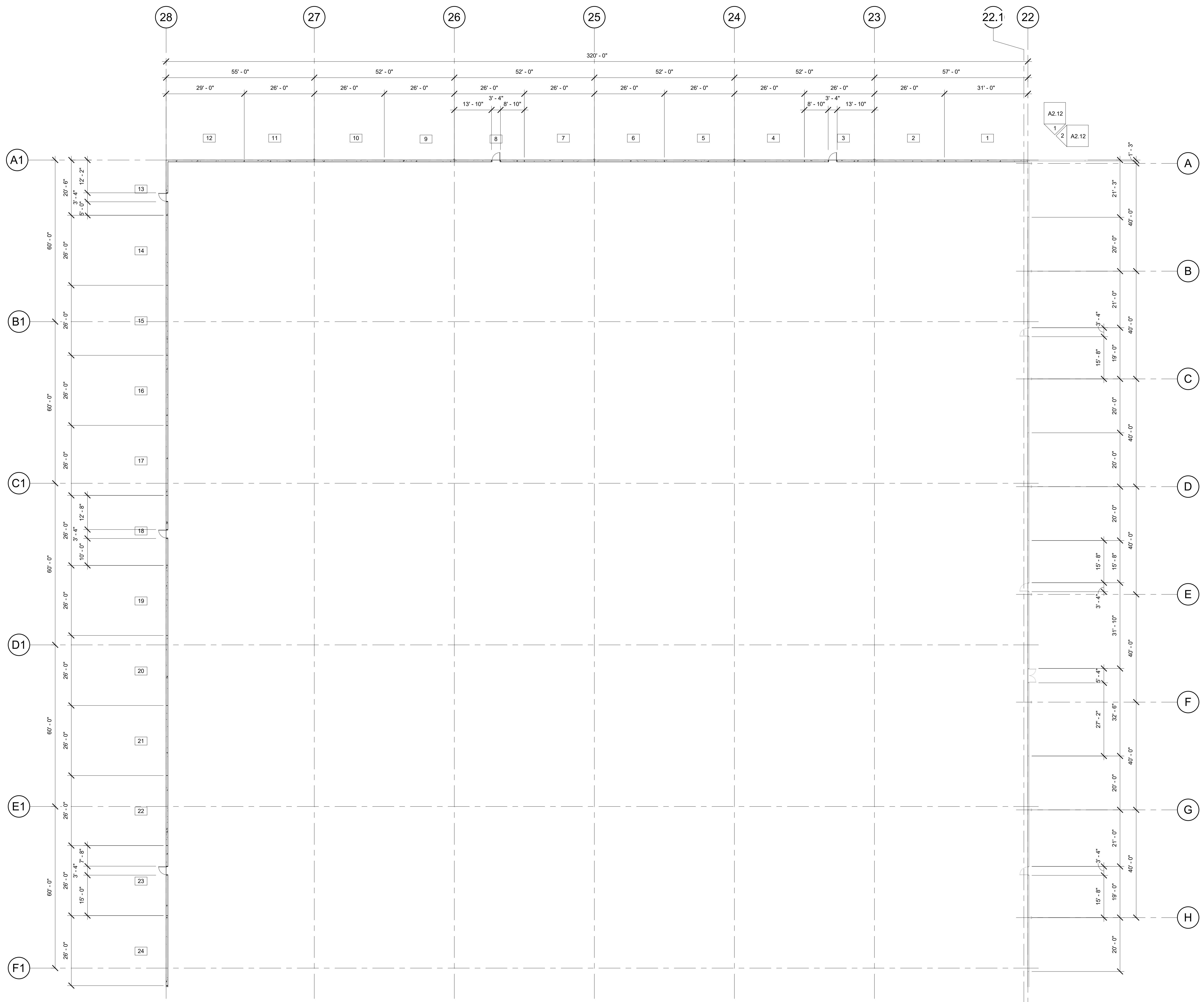
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SHEET

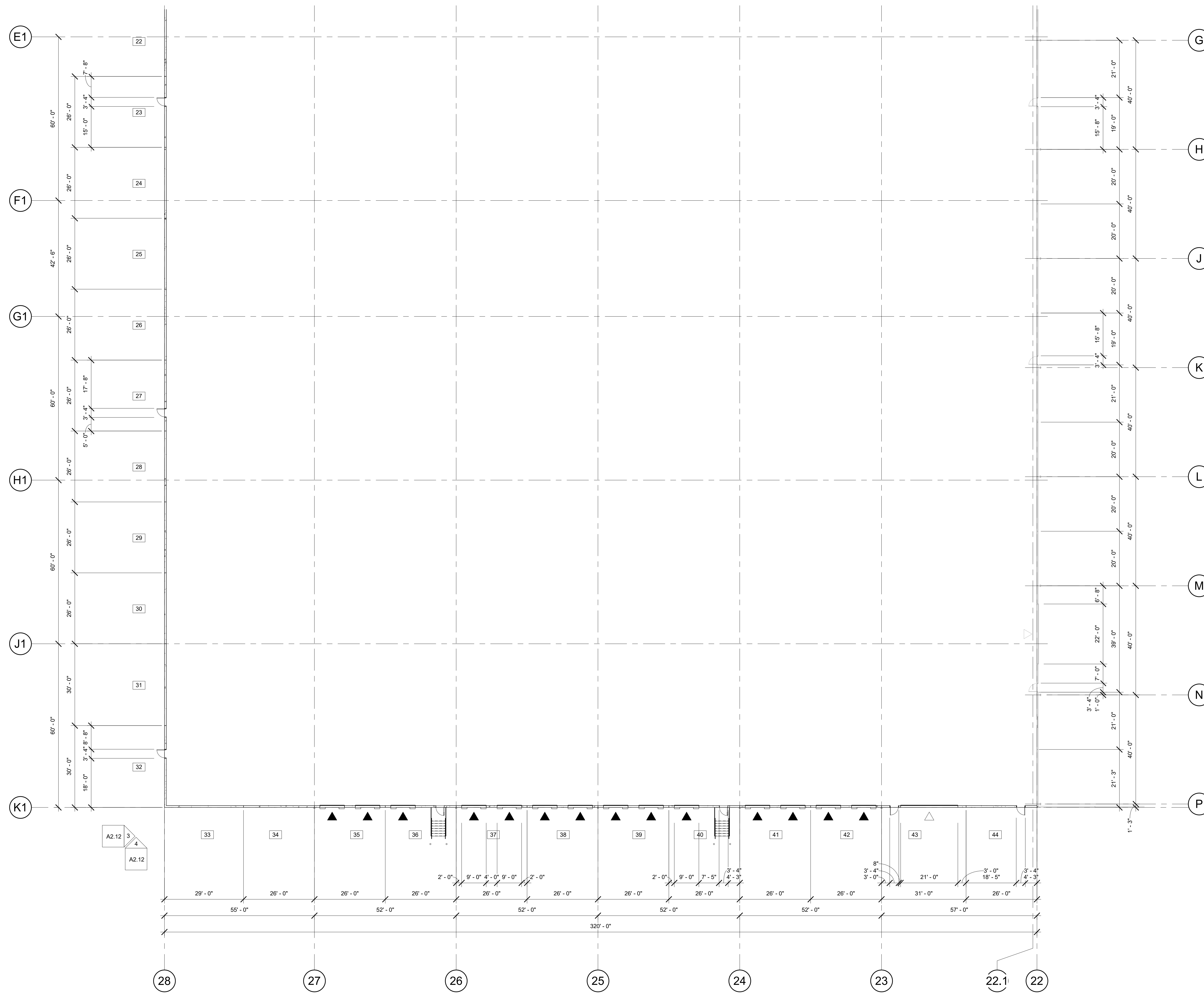
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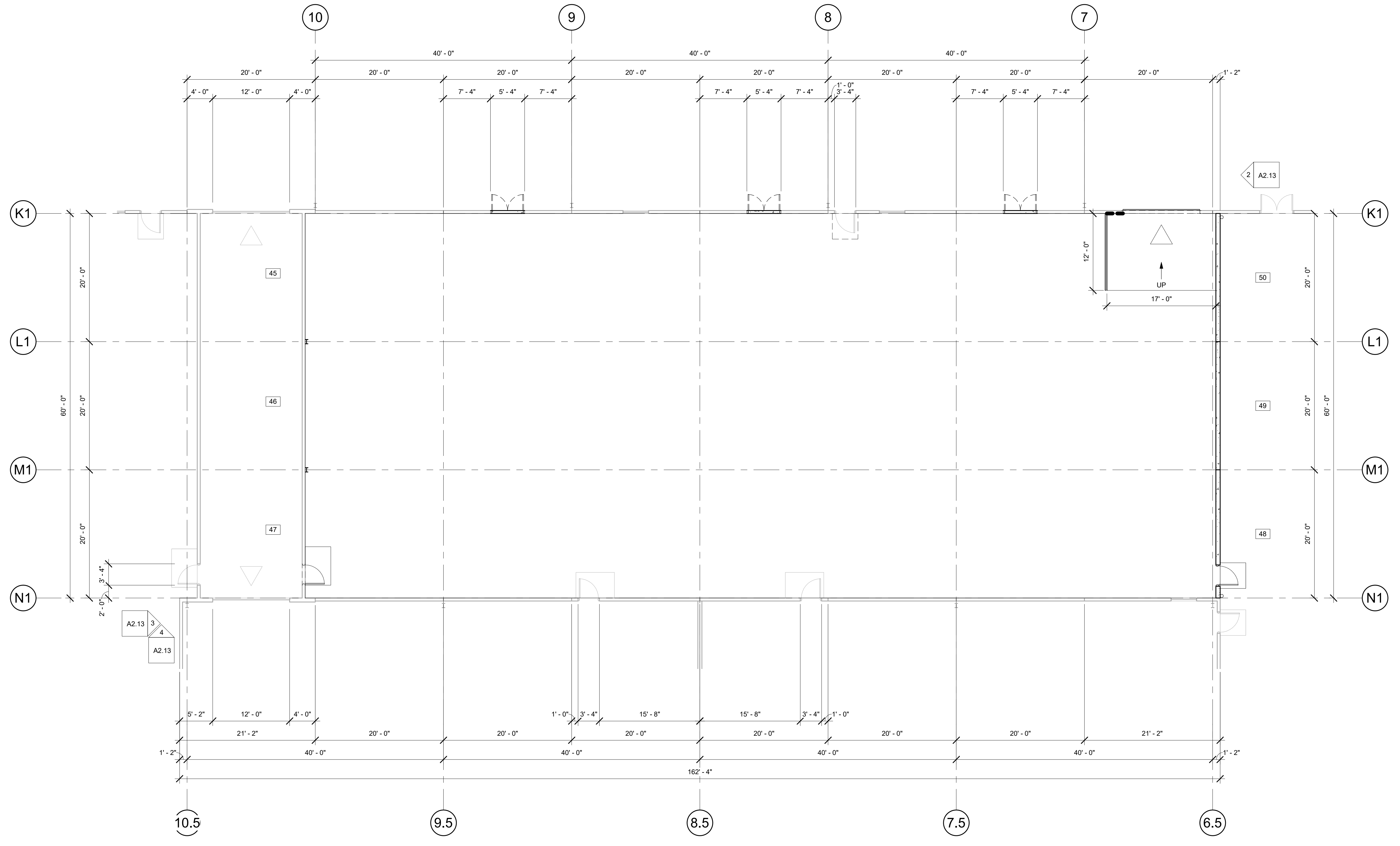


NEW WAREHOUSE PLAN
 1/16" = 1'-0"

REVISION SCHEDULE		
Delta	Issued As	Issue Date



NEW WAREHOUSE PLAN - SOUTH
1/16" = 1'-0"



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**NEW
 FLAMMABLE
 STORAGE
 PLAN**

DRAWN BY: JND

CHECKED BY: Checker

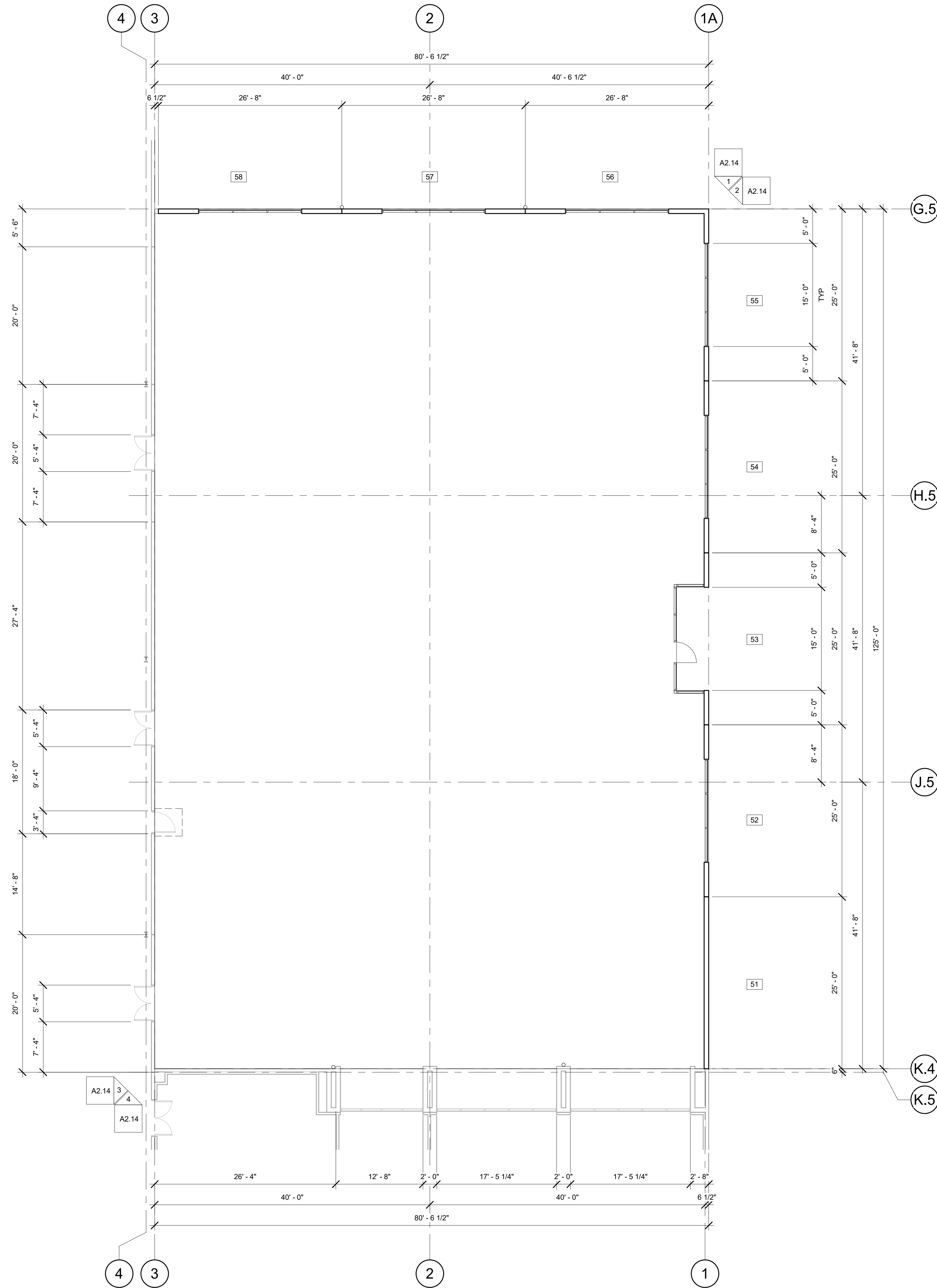
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A1.17

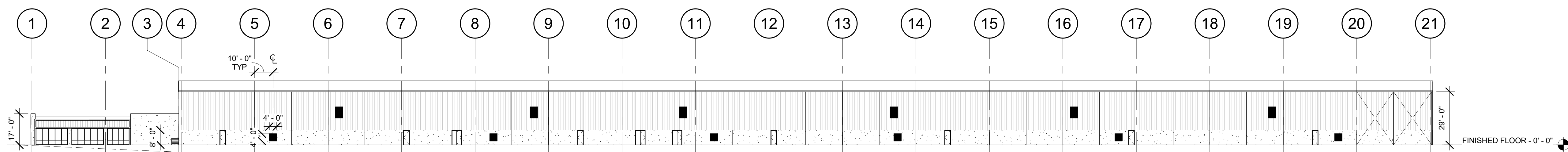
JOB NO. **2210471.00**

NEW FLAMMABLE STORAGE PLAN
 1/8" = 1'-0"

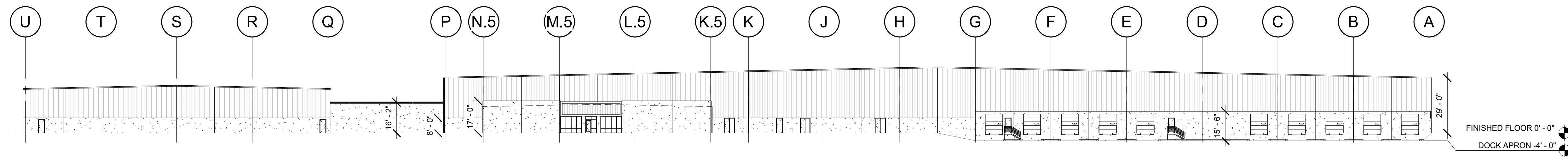
REVISION SCHEDULE		
Delta	Issued As	Issue Date



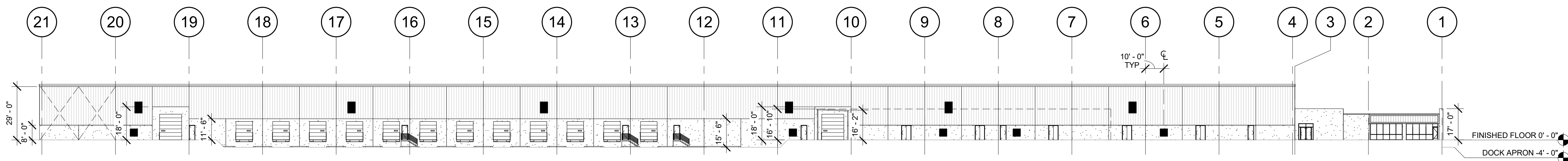
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A1.18 ENLARGED NEW OFFICE PLAN
1/8" = 1'-0"



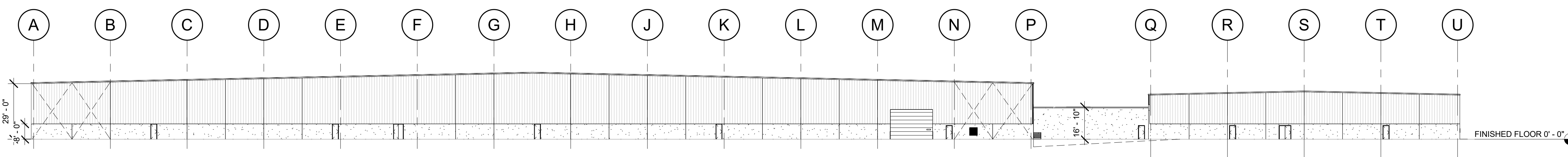
1 OFFICE / WAREHOUSE - NORTH ELEVATION
A2.10 1/32" = 1'-0"



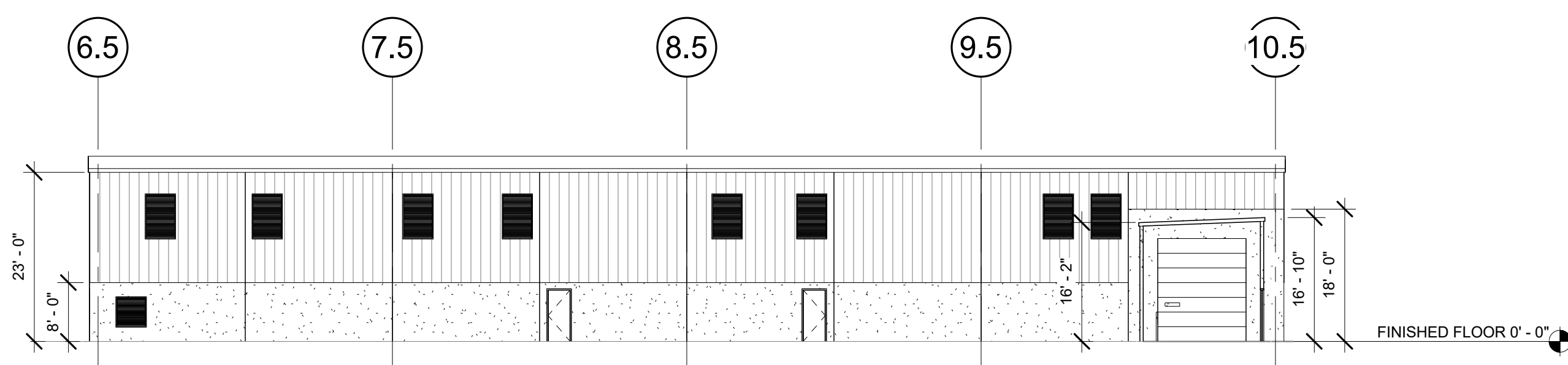
2 FLAM. STORAGE / OFFICE / WAREHOUSE - EAST ELEVATION
A2.10 1/32" = 1'-0"



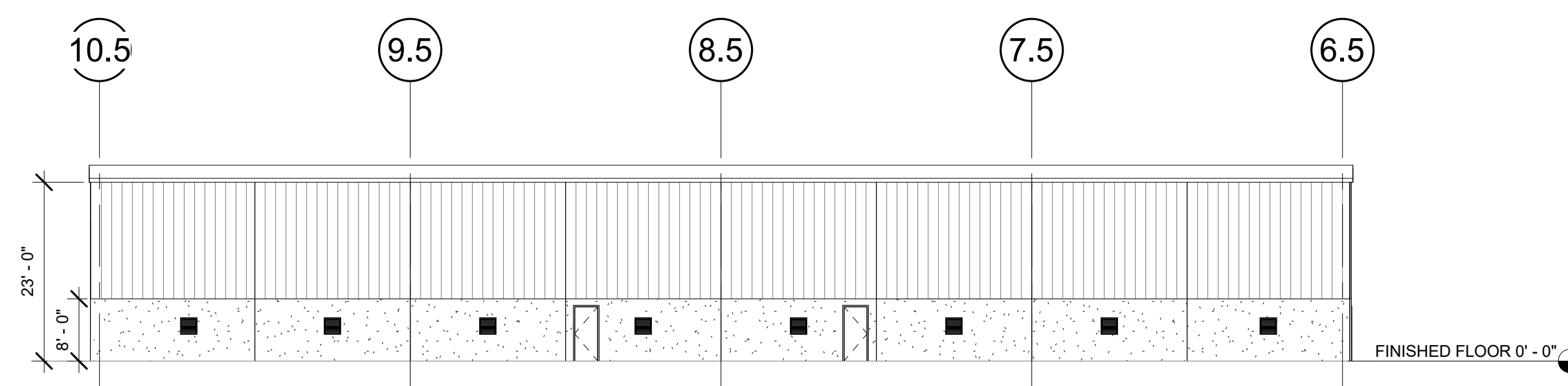
3 WAREHOUSE / OFFICE ONLY - SOUTH ELEVATION
A2.10 1/32" = 1'-0"



4 WAREHOUSE / FLAM. STORAGE - WEST ELEVATION
A2.10 1/32" = 1'-0"



5 FLAMMABLE STORAGE - NORTH ELEVATION
A2.10 1/16" = 1'-0"



6 FLAMMABLE STORAGE - SOUTH ELEVATION
A2.10 1/16" = 1'-0"

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**EXISTING
BUILDING
ELEVATIONS**

DRAWN BY: JND

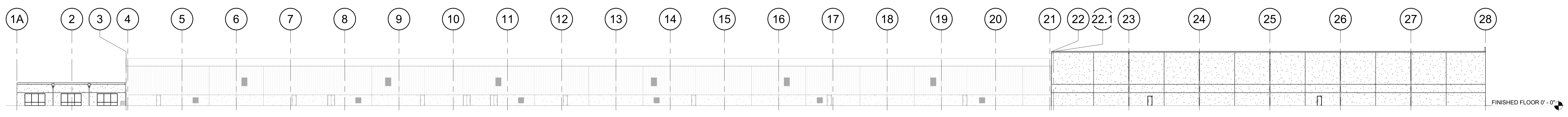
CHECKED BY: REW

SHEET

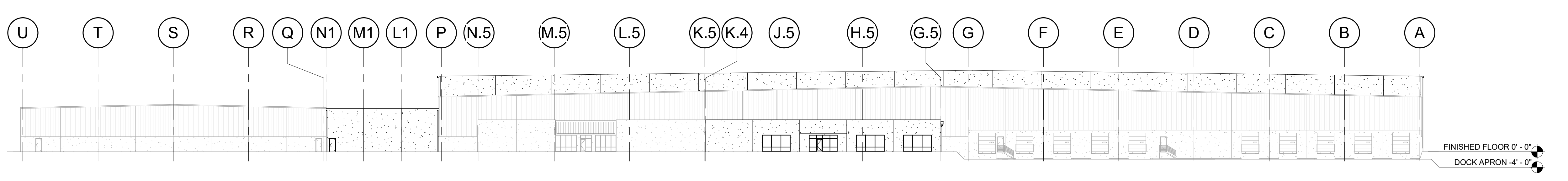
A2.10

JOB NO. **2210471.00**

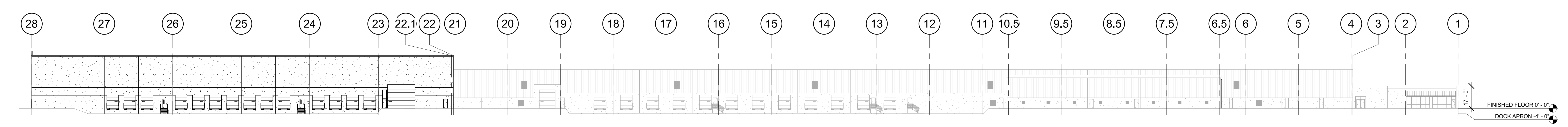
REVISION SCHEDULE		
Delta	Issued As	Issue Date



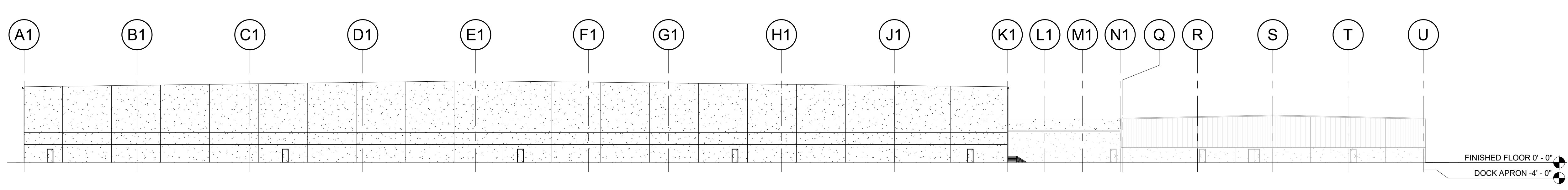
1 **OVERALL - NORTH ELEVATION**
 A2.11 1/32" = 1'-0"



2 **OVERALL - EAST ELEVATION**
 A2.11 1/32" = 1'-0"

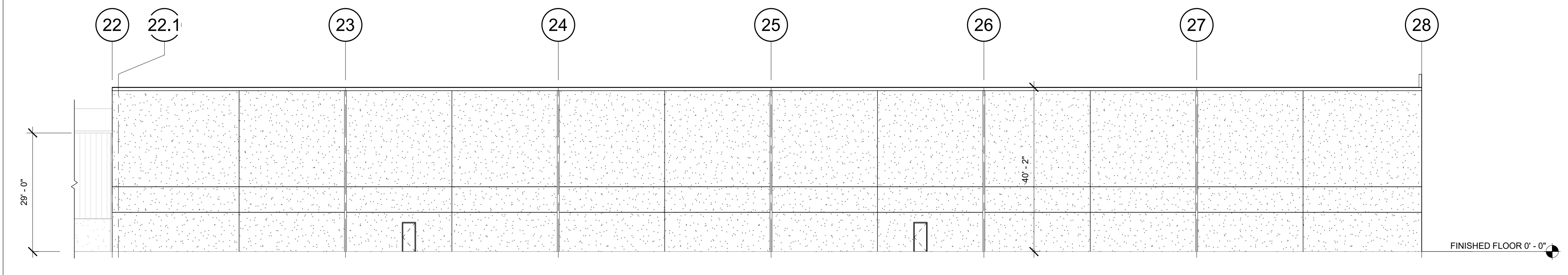


3 **OVERALL - SOUTH ELEVATION**
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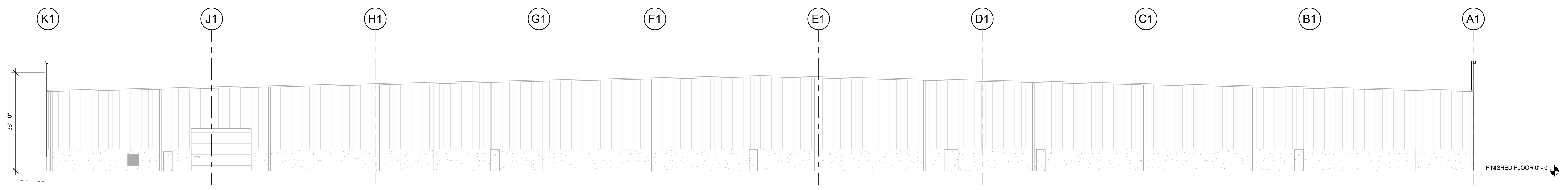


4 **OVERALL - WEST ELEVATION**
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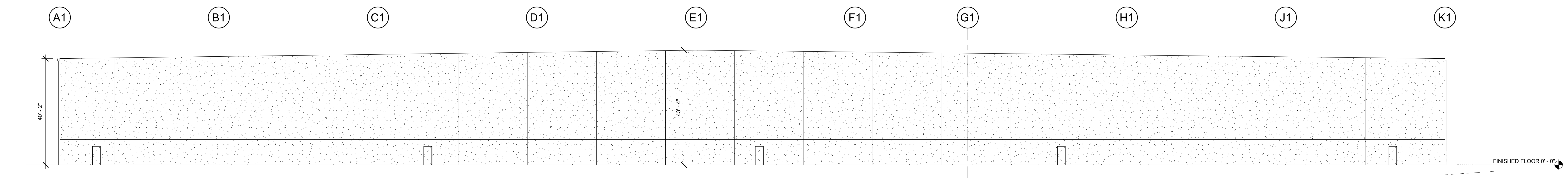
REVISION SCHEDULE		
Delta	Issued As	Issue Date



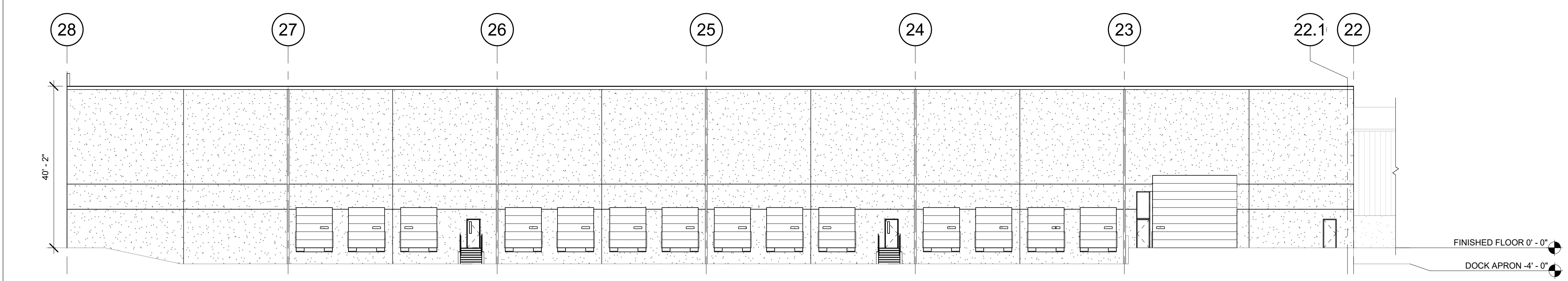
1 NEW WAREHOUSE - NORTH ELEVATION
 A2.12 1/16" = 1'-0"



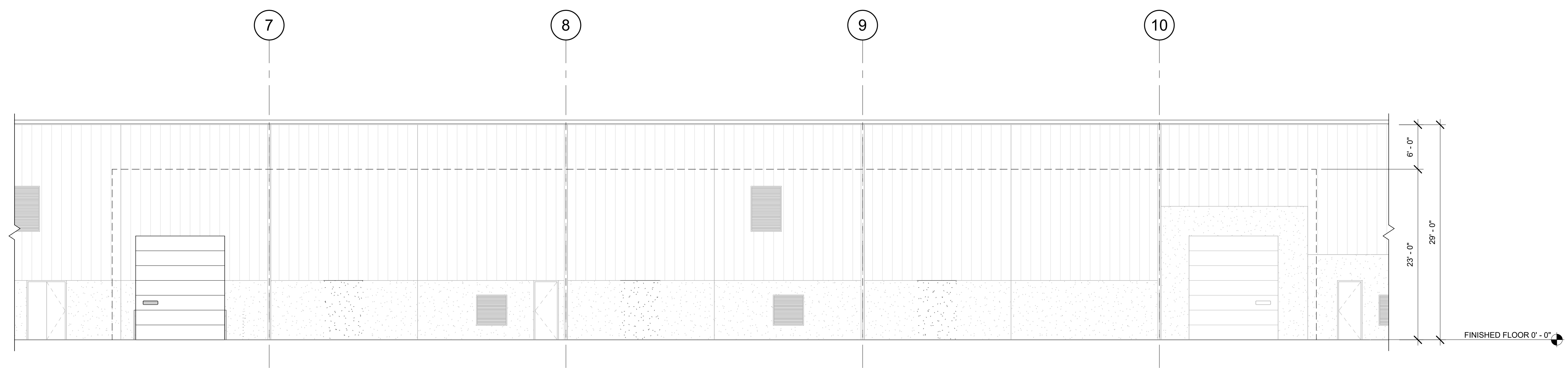
2 NEW WAREHOUSE - EAST ELEVATION
 A2.12 1/16" = 1'-0"



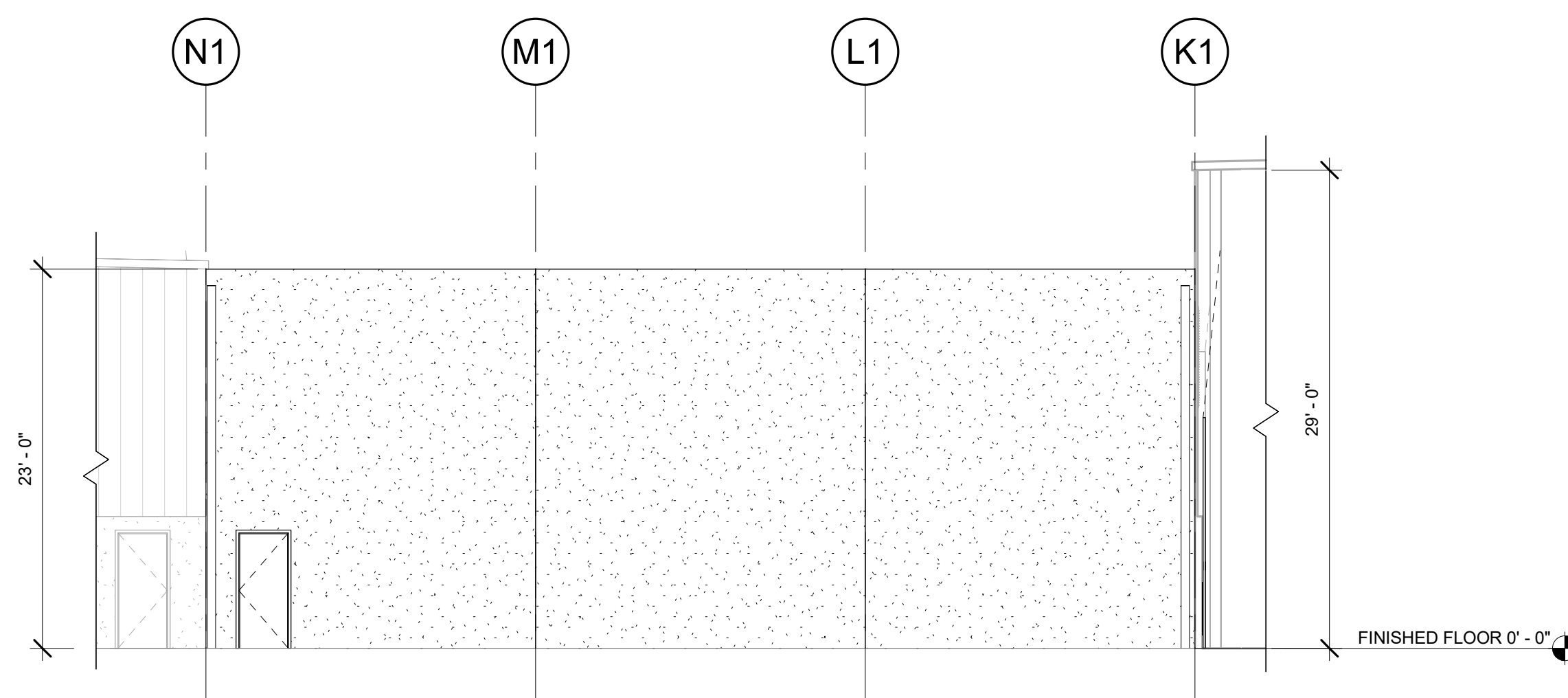
3 NEW WAREHOUSE - WEST ELEVATION
 A2.12 1/16" = 1'-0"



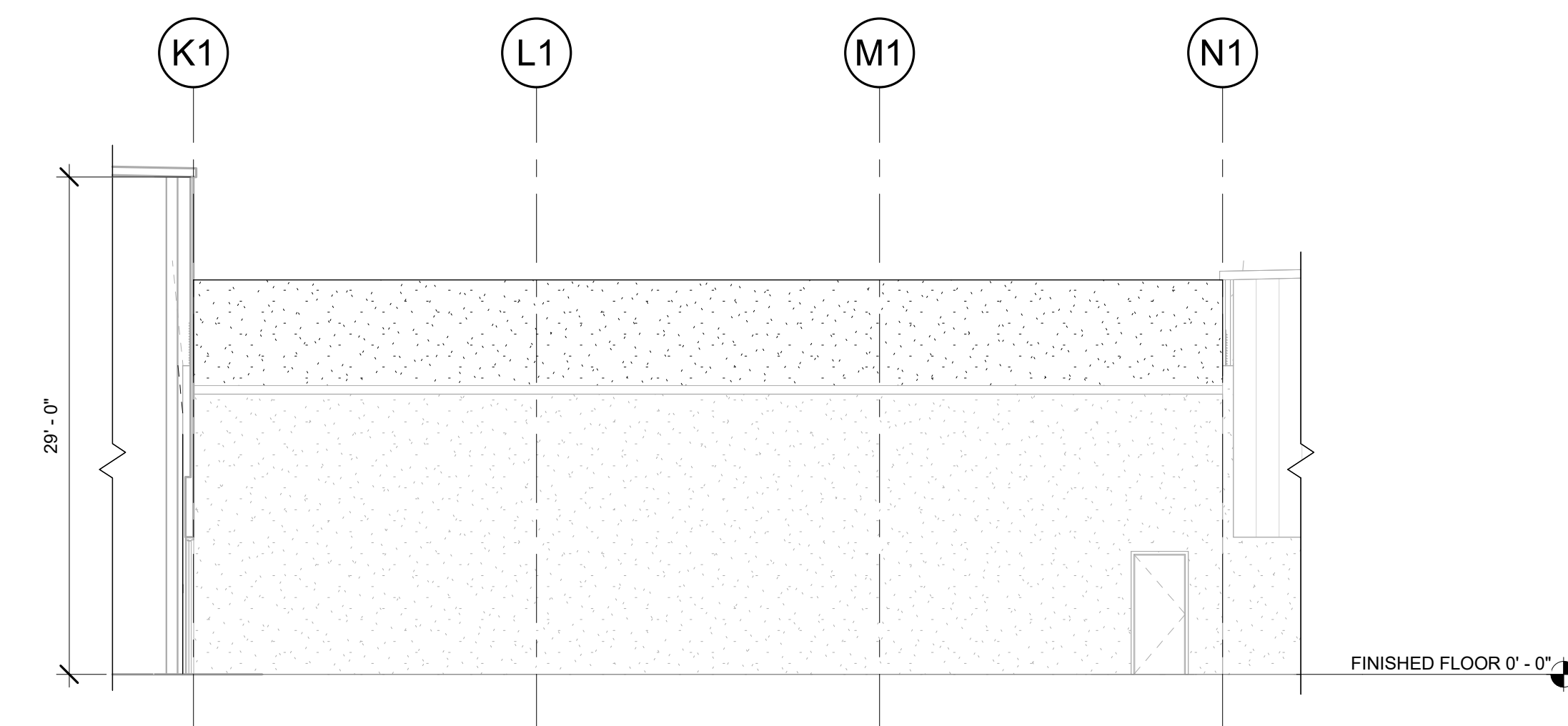
4 NEW WAREHOUSE - SOUTH ELEVATION
 A2.12 1/16" = 1'-0"



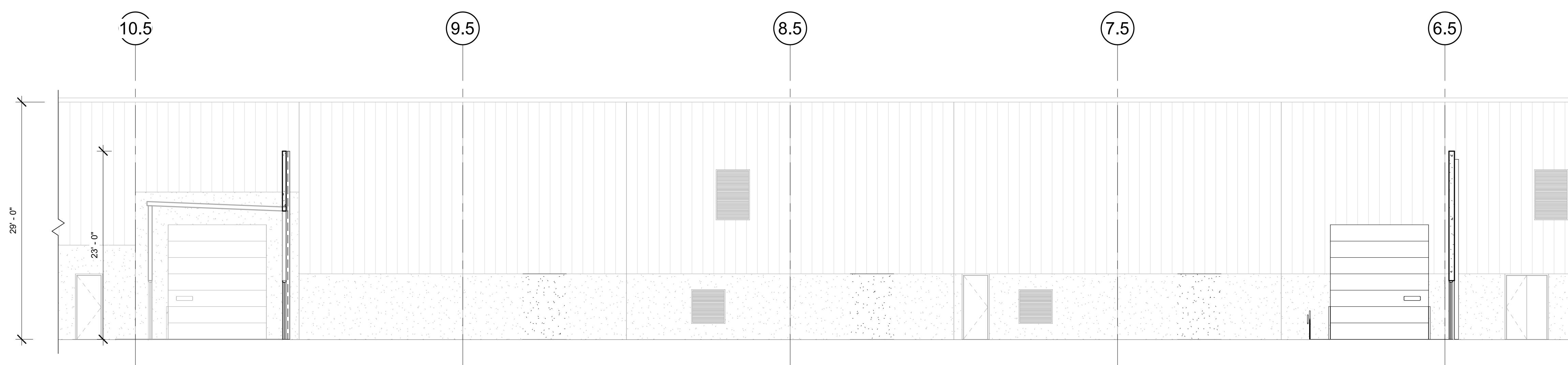
1 NEW FLAMMABLE STORAGE - NORTH ELEVATION
A2.13 1/8" = 1'-0"



2 NEW FLAMMABLE STORAGE - EAST ELEVATION
A2.13 1/8" = 1'-0"

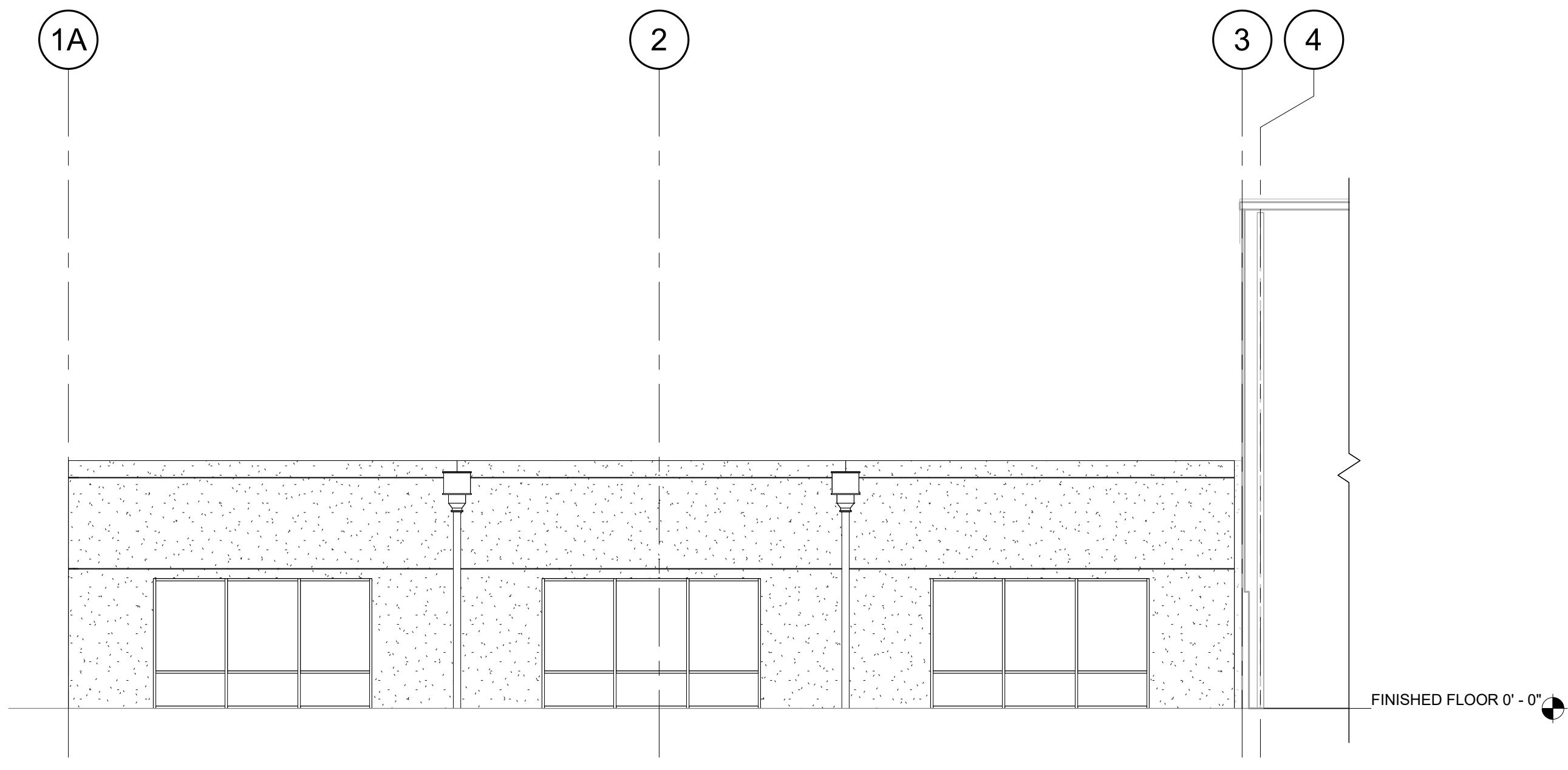


3 NEW FLAMMABLE STORAGE - WEST ELEVATION
A2.13 1/8" = 1'-0"

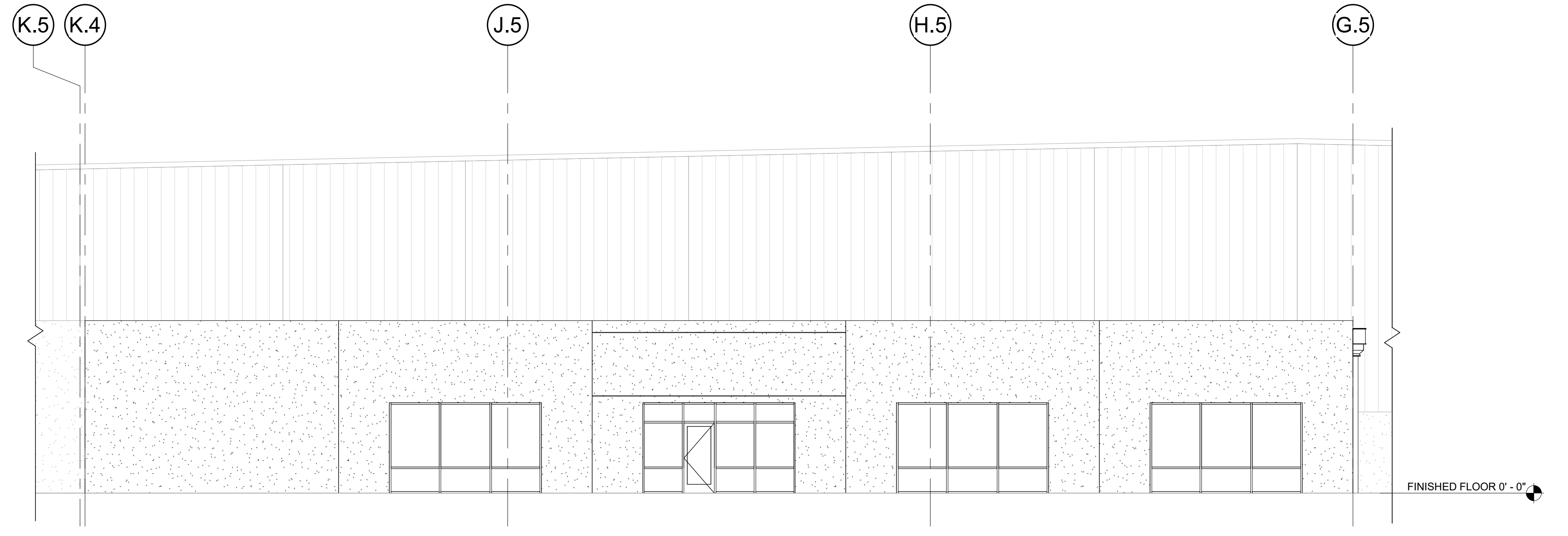


4 NEW FLAMMABLE STORAGE - SOUTH ELEVATION
A2.13 1/8" = 1'-0"

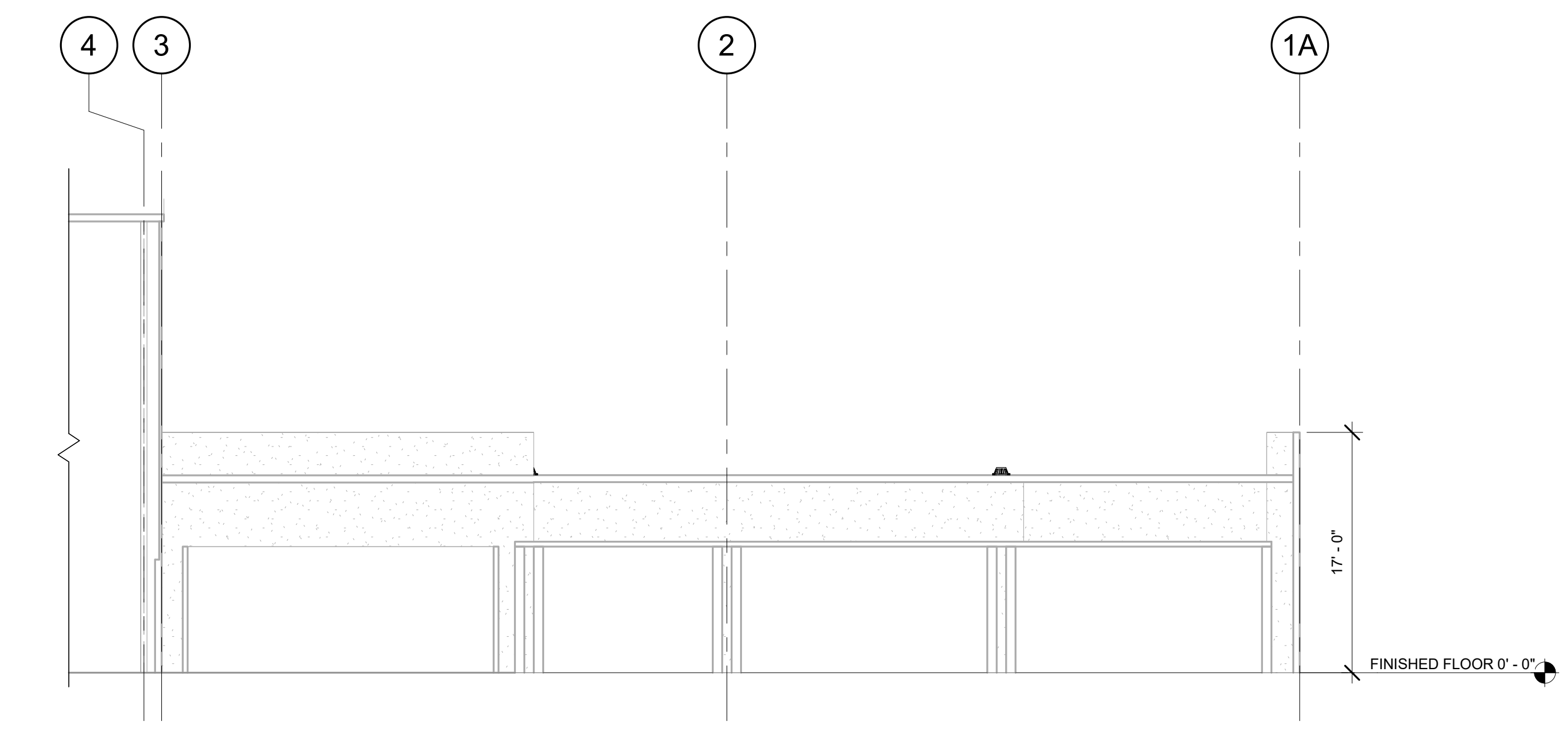
REVISION SCHEDULE		
Delta	Issued As	Issue Date



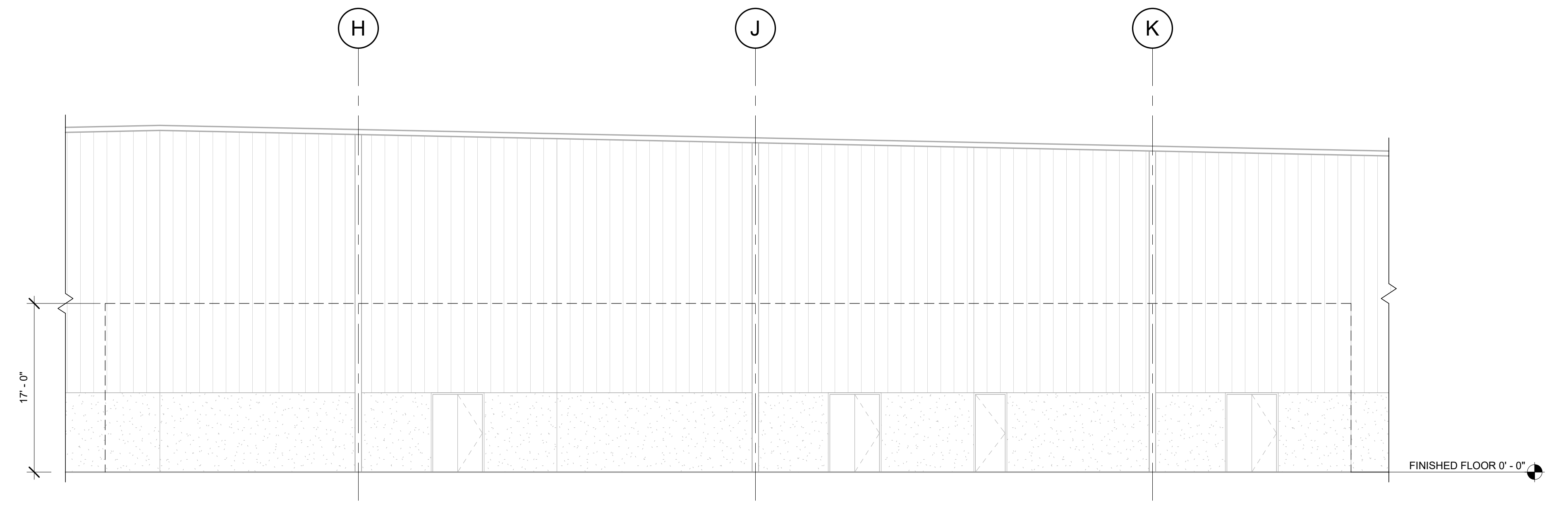
1 NEW OFFICE - NORTH ELEVATION
A2.14 1/8" = 1'-0"



2 NEW OFFICE - EAST ELEVATION
A2.14 1/8" = 1'-0"



4 NEW OFFICE - SOUTH ELEVATION
A2.14 1/8" = 1'-0"



3 NEW OFFICE - WEST ELEVATION
A2.14 1/8" = 1'-0"

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WITHOUT PRIOR WRITTEN PERMISSION

REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**NEW BUILDING
ELEVATIONS**

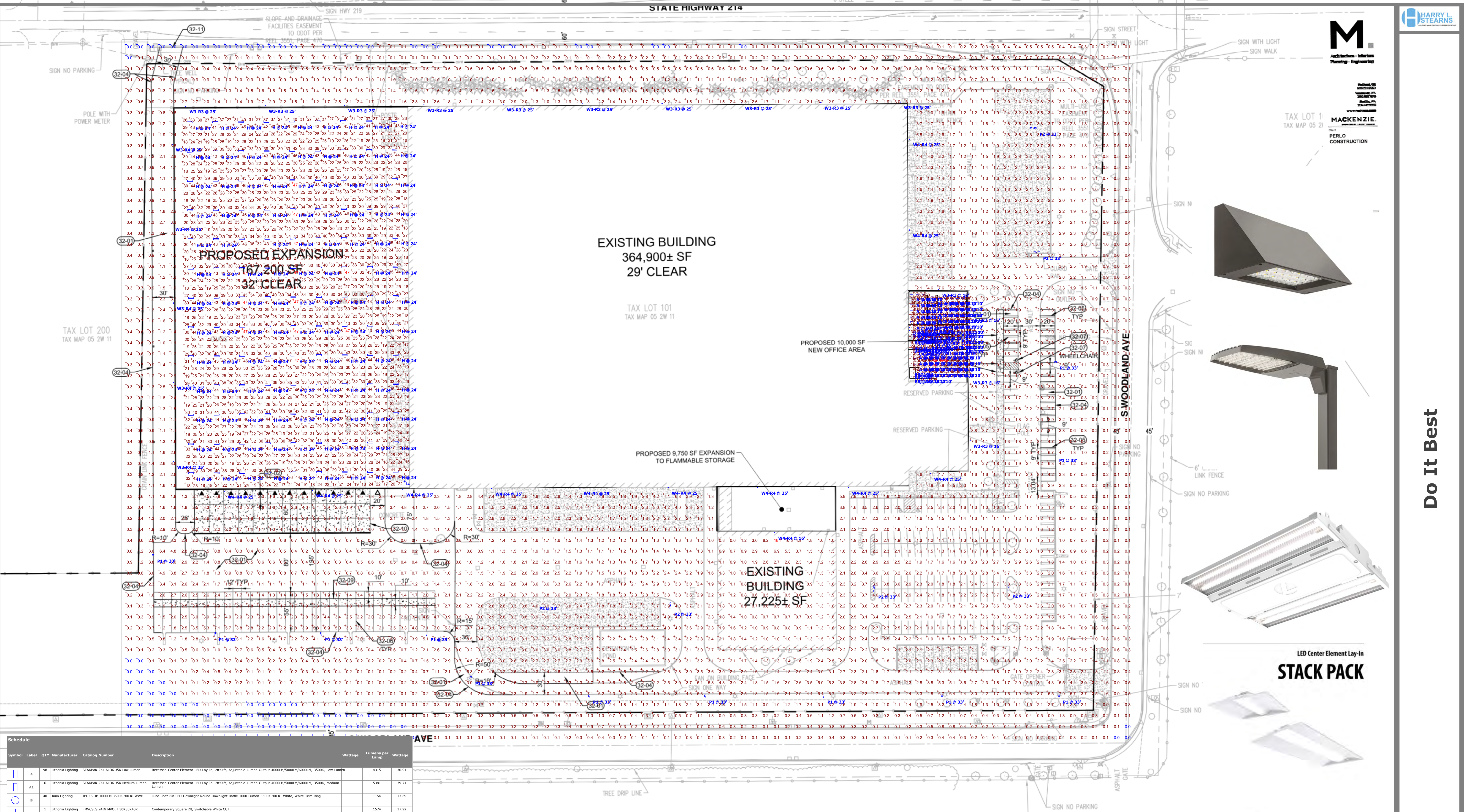
DRAWN BY: JND

CHECKED BY: Checker

SHEET

A2.14

JOB NO. **2210471.00**



EXISTING BUILDING
364,900± SF
29' CLEAR

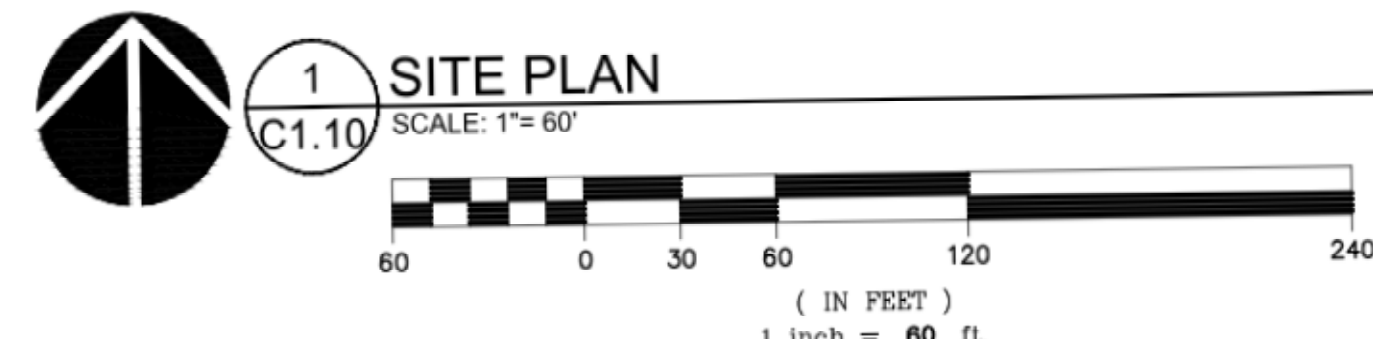
PROPOSED EXPANSION
167,200 SF
32' CLEAR

PROPOSED 10,000 SF
NEW OFFICE AREA

PROPOSED 9,750 SF EXPANSION
TO FLAMMABLE STORAGE

EXISTING BUILDING
27,225± SF

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Wattage	Lumens per Lamp	Wattage
A	98	Lithonia Lighting	STAKPAK 2X4 ALD 35K Low Lumen	Recessed Center Element LED Lay In, 29X4R, Adjustable Lumen Output 4000L/5000M/6000H, 3500K, Low Lumen	4315	30.91		
A1	6	Lithonia Lighting	STAKPAK 2X4 ALD 35K Medium Lumen	Recessed Center Element LED Lay In, 29X4R, Adjustable Lumen Output 4000L/5000M/6000H, 3500K, Medium Lumen	5381	39.71		
B	40	Juno Lighting	JPD26 DB 1000LM 3500K 80CRI WHN	Juno Pdrz 6in LED Downlight Round Downlight Baffle 1000 Lumen 3500K 80CRI White, White Trim Ring	1154	13.69		
C2	1	Lithonia Lighting	FVCSLS 48IN MVDLT 30K35K40K	Contemporary Square 2ft, Switchable White CCT	1574	13.92		
C4	6	Lithonia Lighting	FVCSLS 48IN MVDLT 30K35K40K	Contemporary Square 4ft, Switchable White CCT	2988	35.18		
W3-R4	14	Lithonia Lighting	WDGEG LED P4 70CRI R3 40K	WDGEG LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 3 OPTIC	12166	87.8914		
W3-R4	5	Lithonia Lighting	WDGEG LED P4 70CRI R4 40K	WDGEG LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 4 OPTIC	12537	87.8914		
W4-R4	12	Lithonia Lighting	WDGEG LED P6 70CRI R4 40K	WDGEG LED WITH P6 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 4 OPTIC	25861	185.23		
HD	0	Lithonia Lighting	WDGEG LED P1 40K 80CRI VF	WDGEG LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	1227	10.0002		
P	0	Lithonia Lighting	RSX LED P4 40K R4	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution	25338	189.54		
P1	12	Lithonia Lighting	RSX LED P4 40K R4	RSX Area Fixture Size 3 P4 Lumen Package 4000K CCT Type R4 Distribution	40976	311.92		
P2	6	Lithonia Lighting	RSX LED P4 40K R5	RSX Area Fixture Size 3 P4 Lumen Package 4000K CCT Type R5 Distribution	41525	623.84		
H	117	Lithonia Lighting	CPH8 48000LM SEF GCL HD 40K 80CRI	Compact Pro Highway, 48000 Lumens, Standard efficiency, Glare control lens, Medium distribution, 40 K, 80CRI	48340	324.15		

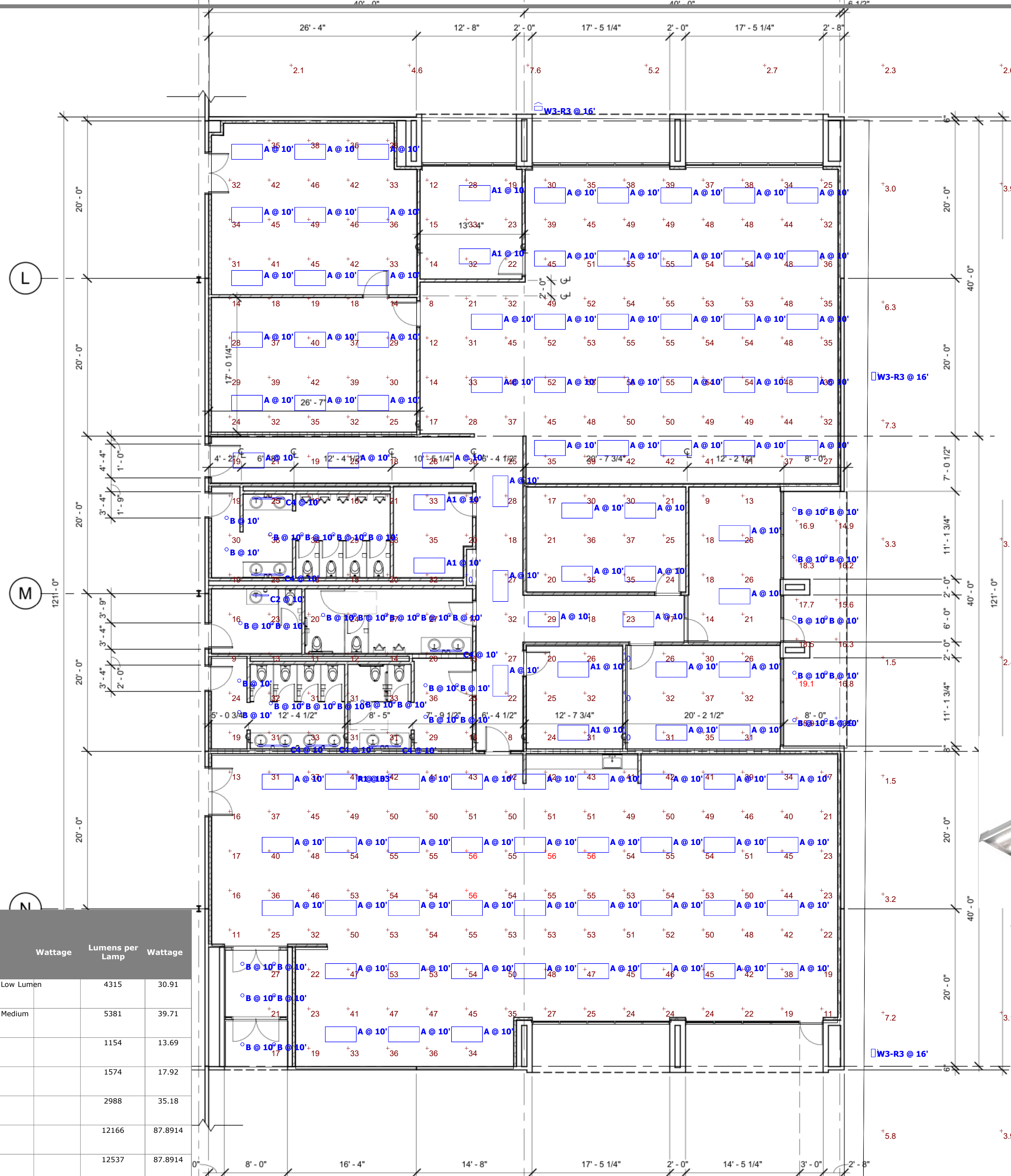


Statistics					
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
Office	+	35 fc	56 fc	0 fc	N/A N/A
Site	+	1.6 fc	18.1 fc	0.0 fc	N/A N/A
Soffit	+	16.7 fc	19.1 fc	13.9 fc	1.4:1 1.2:1
Whse	+	30 fc	47 fc	14 fc	3.4:1 2.1:1

SITE DATA			
	AREA (SF)	AREA (AC)	COV
GROSS PROPERTY AREA	1,220,789	28.03	
AREA OF DISTURBANCE	293,823	6.75	2
EXISTING BUILDING AREA	392,125	9.00	32.1%



Do It Best



LED Center Element Lay-In
STACK PACK



Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Wattage	Lumens per Lamp	Wattage
[Symbol]	A	98	Lithonia Lighting	STAKPAK 2X4 ALO6 35K Low Lumen	Recessed Center Element LED Lay In, 2ftX4ft, Adjustable Lumen Output 4000LM/5000LM/6000LM, 3500K, Low Lumen		4315	30.91
[Symbol]	A1	6	Lithonia Lighting	STAKPAK 2X4 ALO6 35K Medium Lumen	Recessed Center Element LED Lay In, 2ftX4ft, Adjustable Lumen Output 4000LM/5000LM/6000LM, 3500K, Medium Lumen		5381	39.71
[Symbol]	B	40	Juno Lighting	JPDZ6 DB 1000LM 3500K 90CRI WWH	Juno Podz 6in LED Downlight Round Downlight Baffle 1000 Lumen 3500K 90CRI White, White Trim Ring		1154	13.69
[Symbol]	C2	1	Lithonia Lighting	FMVCSLS 24IN MVOLT 30K35K40K	Contemporary Square 2ft, Switchable White CCT		1574	17.92
[Symbol]	C4	6	Lithonia Lighting	FMVCSLS 48IN MVOLT 30K35K40K	Contemporary Square 4ft, Switchable White CCT		2988	35.18
[Symbol]	W3-R3	14	Lithonia Lighting	WDGE3 LED P4 70CRI R3 40K	WDGE3 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 3 OPTIC		12166	87.8914
[Symbol]	W3-R4	5	Lithonia Lighting	WDGE3 LED P4 70CRI R4 40K	WDGE3 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 4 OPTIC		12537	87.8914
[Symbol]	W4-R4	12	Lithonia Lighting	WDGE4 LED P6 70CRI R4 40K	WDGE4 LED WITH P6 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 4 OPTIC		25861	185.23
[Symbol]	MD	0	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VF	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1227	10.0002
[Symbol]	P	0	Lithonia Lighting	RSX2 LED P4 40K R4	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution		25328	189.54
[Symbol]	P1	12	Lithonia Lighting	RSX3 LED P4 40K R4	RSX Area Fixture Size 3 P4 Lumen Package 4000K CCT Type R4 Distribution		40976	311.92
[Symbol]	P2	6	Lithonia Lighting	RSX3 LED P4 40K R5	RSX Area Fixture Size 3 P4 Lumen Package 4000K CCT Type R5 Distribution		41525	623.84
[Symbol]	H	117	Lithonia Lighting	CPHB 48000LM SEF GCL MD 40K 80CRI	Compact Pro Highbay, 48000 lumens, Standard efficiency, Glare control lens, Medium distribution, 40 K, 80CRI,		48340	324.15

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Office	+	35 fc	56 fc	0 fc	N/A	N/A
Site	+	1.6 fc	18.1 fc	0.0 fc	N/A	N/A
Soffit	+	16.7 fc	19.1 fc	13.9 fc	1.4:1	1.2:1
Whse	+	30 fc	47 fc	14 fc	3.4:1	2.1:1

Do It Best