



Final Decision

Planning Commission

File number(s): DR 22-13 & EXCP 22-10

Project name: Unitus Community Credit Union

Date of decision: December 8, 2022

Date of mailing: December 12, 2022

Applicant: Terie Ebert, Unitus Community Credit Union

Landowner: Unitus Community Credit Union

Site location: 2951 Stacy Allison Way (Tax Lot 052W12C000604)

Summary:

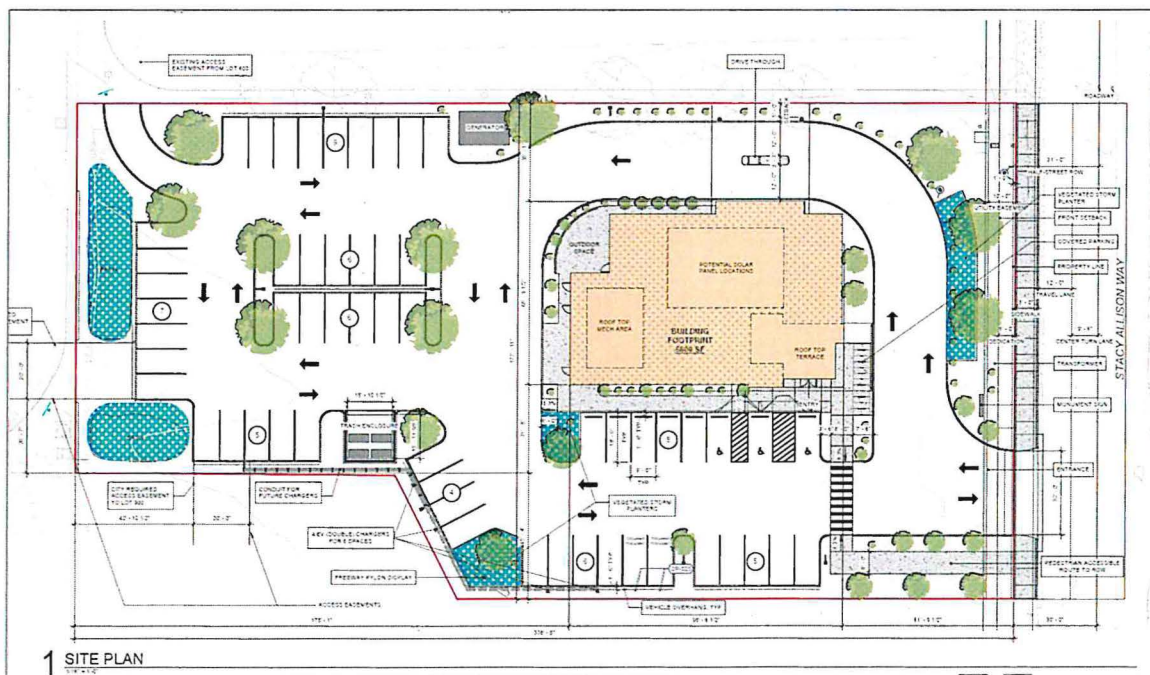
The Planning Commission held a public hearing on December 8, 2022 and unanimously approved the Design Review (DR) and Exception to Street Right of Way and Improvement Requirements ("Street Exception", EXCP) application package with the conditions recommended by staff through the staff report published December 1. No testimony was received by proponents or opponents.

The subject property is 2951 Stacy Allison Way, an undeveloped 1.25-acre property in the Commercial General (CG) zoning district and Interchange Management Area (IMA) overlay district.

The Planning Commission approved a three-story, 16,500 square foot office building with site landscaping and parking improvements, including a cross-access easement over the drive aisle benefitting adjacent properties. The Commission also approved the applicant's Street Exception request for modified street improvement requirements along the Stacy Allison Way frontage.



Aerial view of the subject property.



Site plan.

Conditions of Approval

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

1. **Substantial Conformance:** The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. **Grading Permit:** Prior to beginning any grading work on-site, the applicant shall apply for and obtain a [Grading Permit](#) per WDO 5.01.04.
3. **Traffic mitigation:** Pay a mitigation fee of \$20,000 to fund a transportation study for the Stacy Allison Way / Evergreen Road intersection. This is due prior to building permit issuance.
4. **TDM plan:** Submit to the City a Transportation Demand Management (TDM) plan within six months of issuance of a certificate of occupancy for the development. The Plan shall include a list of enforceable, programmatic TDM strategies and measures that will minimize peak hour vehicle trips generated by the proposed development. At a minimum, the Plan shall include:
 - a. Ongoing incentives for ride-sharing, using transit, biking, or walking to work. This can include bus passes, carpool/vanpool parking spaces, indoor bike parking facilities, and on-site lockers and showers.
 - b. A detailed plan for offering a Guaranteed Ride Home Program for employees.
 - c. Appointment of an on-site TDM program manager for monitoring and enforcement.
 - d. Provisions for an annual report to be provided to the City which includes a review of targets, performance measures, and the effectiveness of the TDM programs implemented.
5. **Transit:** Contribute \$11,000 to Woodburn Transit for planning, implementing, and maintaining a robust transit system within the community. (Numerous TSP Transit projects outline service enhancements for the Woodburn Transit system.)
6. **Stacy Allison Way improvements:** Complete the following items prior to building permit issuance:
 - a. **ROW:** Dedicate right-of-way (ROW) along the property frontage to achieve 36 feet of width from centerline.

- b. Sidewalk: Construct an 8-foot wide sidewalk along the Stacy Allison Way frontage. The sidewalk shall connect into the existing sidewalk to the east in a manner acceptable to the Public Works Director.
 - c. Crosswalk: Construct a crosswalk across Stacy Allison Way on the west side of the Harvard Drive intersection. Design of the crosswalk shall be acceptable to the Public Works Director.
 - d. Landscape strip: Revise plans to shift the 8-foot wide sidewalk along the frontage to allow for a 6-foot wide landscape planter strip between sidewalk and curb. Shift the proposed street trees to be within this landscape strip.
7. Public utility easements: Grant the following public utility easements. A draft copy of each easement shall be provided to the City for review prior to recordation with Marion County. Proof of recordation shall be submitted prior to building permit issuance.
 - a. Fire vault: A 3-foot wide public utility easement around the proposed fire vault near the southeast corner of the property.
 - b. Streetside PUE: A 5-foot wide minimum public utility easement along the widened right-of-way of Stacy Allison Way, pursuant to WDO Figure 3.01D and 3.02.01B. Maximum width of this easement is 8 feet per 3.02.01F2a.
8. Street lighting: Pursuant to WDO 3.02.03A, adjacent street lighting shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works Department indicating that existing illumination complies with the standards or install new lighting to conform. This is due prior to building permit issuance.
9. Underground utilities: Pursuant to WDO 3.02.04, all utility services to and within the development shall be underground.
10. Existing private sewer line: Prior to building permit final inspection, complete one of the following for the existing private sewer line crossing through the front yard of the subject property that serves 855 Lawson Street (Tax Lot 052W12C000600):
 - a. Grant a private sewer easement over this utility line; or
 - b. Relocate the private sewer line to provide a direct connection between 855 Lawson St and the public sewer line within Stacy Allison Way.
11. Shared access: Complete the following items prior to building permit issuance:
 - a. Easement: Grant a 20-foot wide minimum private access easement benefiting 985 Lawson St and 2961 Stacy Allison Way (Tax Lots 052W12C000700 and 900, respectively), pursuant to WDO 3.04.03C & D2. The easement shall be centered over the drive aisle it follows and connect from property lines to Stacy Allison Way. Pursuant to 3.04.01A2, a draft copy of the easement shall be provided to the City for review prior to recordation with Marion County. Proof of recordation shall be submitted prior to building permit issuance.

- b. Improvements: Per 3.04.03C4b, drive aisle improvements within the easement shall extend to the property line with no terminating curb and no fixed barrier mounted to the drive aisle. The drive aisle minimum width is 20 feet if without side curbs and 21 feet inclusive of side curbs.
- 12. Walkway crossing: Per WDO 3.04.06D1, the wide walkway crossing over the drive aisle shall be either poured concrete at the same grade as adjacent vehicular area or in the form of a speed table, also known as a raised walkway crossing, minimum 4 inches high and with vehicular side ramps maximum slope ten percent and with striped warning triangles. Revise plans as needed to address this prior to building permit issuance.
- 13. Parking:
 - a. Parking striping: Per WDO 3.05.02K and Figure 3.05C, parking spaces shall be delineated by double parallel lines.
 - b. Carpool/vanpool stalls: Provide striping and signage for each carpool/vanpool stall to meet WDO 3.05.03H2 & 3.
 - c. Electric vehicle stalls: Charging stations shall provide Level 2 charging per WDO 3.05.03I2. Provide striping and signage for each electric vehicle stall to meet 3.05.03I3 & 4.
- 14. Street trees: Pursuant to WDO 3.06.03A2b, revise the proposed street tree species to meet the medium tree category in Table 3.06B. This is due prior to building permit issuance.
- 15. Trash enclosure: To meet WDO Table 3.06D, revise the trash enclosure design drawings to demonstrate the architectural wall meets the design standards outlined in 3.06.06B. This is due prior to building permit issuance.
- 16. Exterior lighting: Pursuant to WDO 3.11.02A, all exterior lighting fixtures shall be full cut off or fully shielded.
- 17. Sign Permit: To demonstrate conformance with WDO 3.10 and 5.01.10, submit application for and obtain approval of a Sign Permit for each new sign prior to building permit issuance.

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Demolition Permits: Demolition of any existing structures may require [Demolition Permit](#) approval through the Building Division.
3. Records: Staff recommends that the applicant retain a copy of the subject approval.
4. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
5. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
6. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
7. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
8. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the

development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.

9. **Public Works Review:** Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.
10. **Franchises:** The applicant provides for the installation of all franchised utilities and any required easements.
11. **Water:** All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
12. **Grease Interceptor/Trap:** If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
13. **Fire:** Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
14. **SDCs:** The developer pays System Development Charges prior to building permit issuance.

Expiration

Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, pursuant to Section 4.02.05, has been approved.

Appeals

Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or planning@ci.woodburn.or.us.

Sincerely,

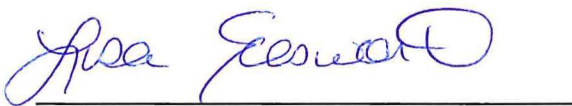


Dan Handel, AICP, Planner

12/12/2022

Date

Affirmed,



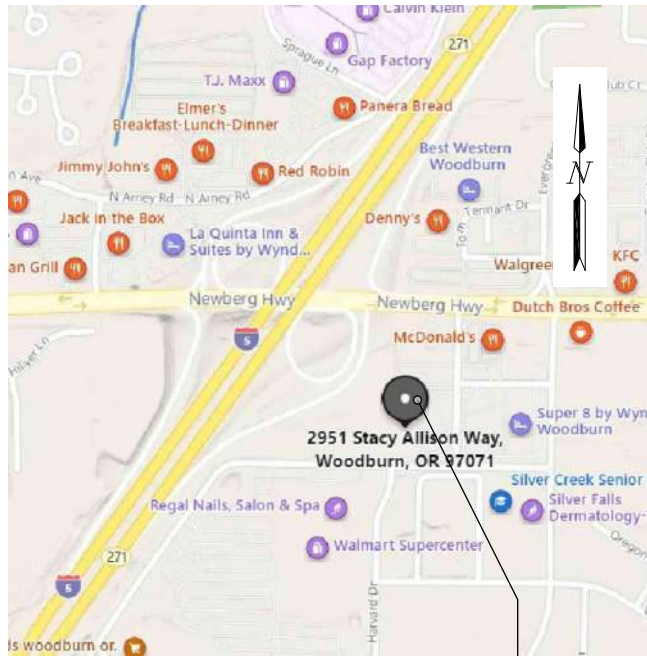
Lisa Ellsworth, Vice-Chair, Planning Commission

12/19/2022

Date

attachments:

1. Site Plans (Planning Commission Staff Report Attachment 105)



Vicinity Map

SITE

Drawing Sheet

Cover Sheet
Survey

Civil

C1.0 On Site Utility Plan
C2.0 On Site Grading Plan

Landscape

L1.0 Landscape Plan
L1.1 Plant List
L2.0 Landscape Details
L2.1 Landscape Specifications
L2.2 Landscape Specifications

Architectural

A1.1 Architectural Site Plan
A1.2 Site Plan - Fire Service
A1.3 Rendering
A2.1 First Floor Plan
A2.2 Second Level Floor Plan
A2.3 Third Level Floor Plan
A2.4 Roof Level Floor Plan
A4.1 Elevations - Building
A4.2 Elevations - Trash Enclosure

Lighting

LT1.0 Site Photometrics

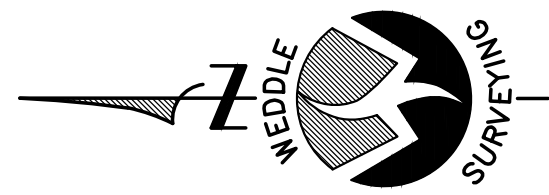
SITE DATA

- Zoning = CG (Commercial General)
- Setback = 5' (Front)
- Site Area = 54,553 sf (1.252 Acres)
- Proposed Building = 18,405 sf (5,800 sf / Floor + Roof Deck)
- Parking = 50 required (56 Space Provided) (3.22 per 1000 sf)
- Bicycle Parking = 11 required (18,405 (0.6) / 1,000), 4 exterior, 8 interior (50% covered min)
- Building Height = 45' (70' Maximum Allowed)

4. Access: Standards are per 3.04.03 and Table 3.04A.

a. Pursuant to 3.04.03B.1., provide a shared access easement benefitting Tax Lots 052W12C000600, 700, & 900. Pave drive aisles to the property lines along this easement.

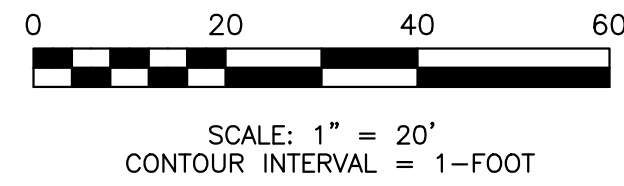
Conceptual drawing of shared access easement



A.L.T.A./N.S.P.S. LAND TITLE SURVEY

2951 STACEY ALLISON WAY

PARCEL 2 OF PARTITION PLAT NO. 92-24, AS RECORDED IN REEL 937, PAGE 467, IN THE S.W. 1/4 OF SECTION 12, T. 5 S., R. 2 W., W.M., CITY OF WOODBURN MARION COUNTY, OREGON



LEGEND

- CATCH BASIN
- CLEAN OUT
- ELECTRIC VAULT
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- LIGHT POLE
- PROPERTY MONUMENT
- SIGN
- SEWER MANHOLE
- SPOT ELEVATION
- EC = EDGE OF CONCRETE
- G = GUTTERLINE
- T = TOP OF CURB
- TP = TOP OF PAVEMENT
- STORM MANHOLE
- WATER VALVE
- WATER VAULT
- SEWER
- STORM
- WATER
- ASPHALT
- CONCRETE
- DEC = DECIDUOUS

TABLE A ITEMS

(OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS)

- MONUMENTS FOUND AT PROPERTY CORNERS, AS SHOWN.
- NO BUILDING; ADDRESS IS #2951 STACEY ALLISON WAY, WOODBURN, OREGON 97071 AS SHOWN ON THE MAP.
- FLOOD ZONING: ZONE X (UNSHADED); AREAS OUTSIDE THE 500-YEAR FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP 41047C0119-G, EFFECTIVE DATE: JANUARY 19, 2000.
- GROSS LAND AREA: 54,553 SQUARE FEET (1.252 ACRES) MORE OR LESS.
- VERTICAL RELIEF: SPOT ELEVATIONS AND 1-FOOT VERTICAL INTERVAL CONTOUR LINES ARE SHOWN ON THE MAP. VERTICAL DATUM: NAVD 1988.
- A CURRENT ZONING REPORT WAS NOT PROVIDED. CURRENT ZONING PER CITY OF WOODBURN IS "CG" (COMMERCIAL GENERAL). WOODBURN DEVELOPMENT ORDINANCE, SECTION 2.03, PAGE 50 NOTES THE FOLLOWING RESTRICTIONS:
LOT AREA: NO MINIMUM
LOT WIDTH: NO MINIMUM
LOT DEPTH: NO MINIMUM
STREET FRONTAGE: NO MINIMUM
FRONT SETBACK/STREET SETBACK: 5 FEET
SIDE/REAR SETBACK: 0 OR 5 FEET
SETBACK TO PRIVATE EASEMENT: 5 FEET
LOT COVERAGE, MAXIMUM: NOT SPECIFIED
BUILDING HEIGHT (OUTSIDE GATEWAY SUBAREA): 70 FEET
- SUBSTANTIAL, VISIBLE IMPROVEMENTS: SHOWN ON THE MAP. SITE IS CURRENTLY UNDEVELOPED (BARE LAND).
- UNDERGROUND UTILITY LINES ARE SHOWN ADJACENT TO THE SITE WITHIN THE PUBLIC RIGHT-OF-WAY, PER SURFACE FEATURES AND PAINT MARKS.
- NAMES OF ADJOINING OWNERS WILL BE ADDED THE MAP UPON RECEIPT OF INFORMATION FROM THE TITLE COMPANY LISTED HEREON.

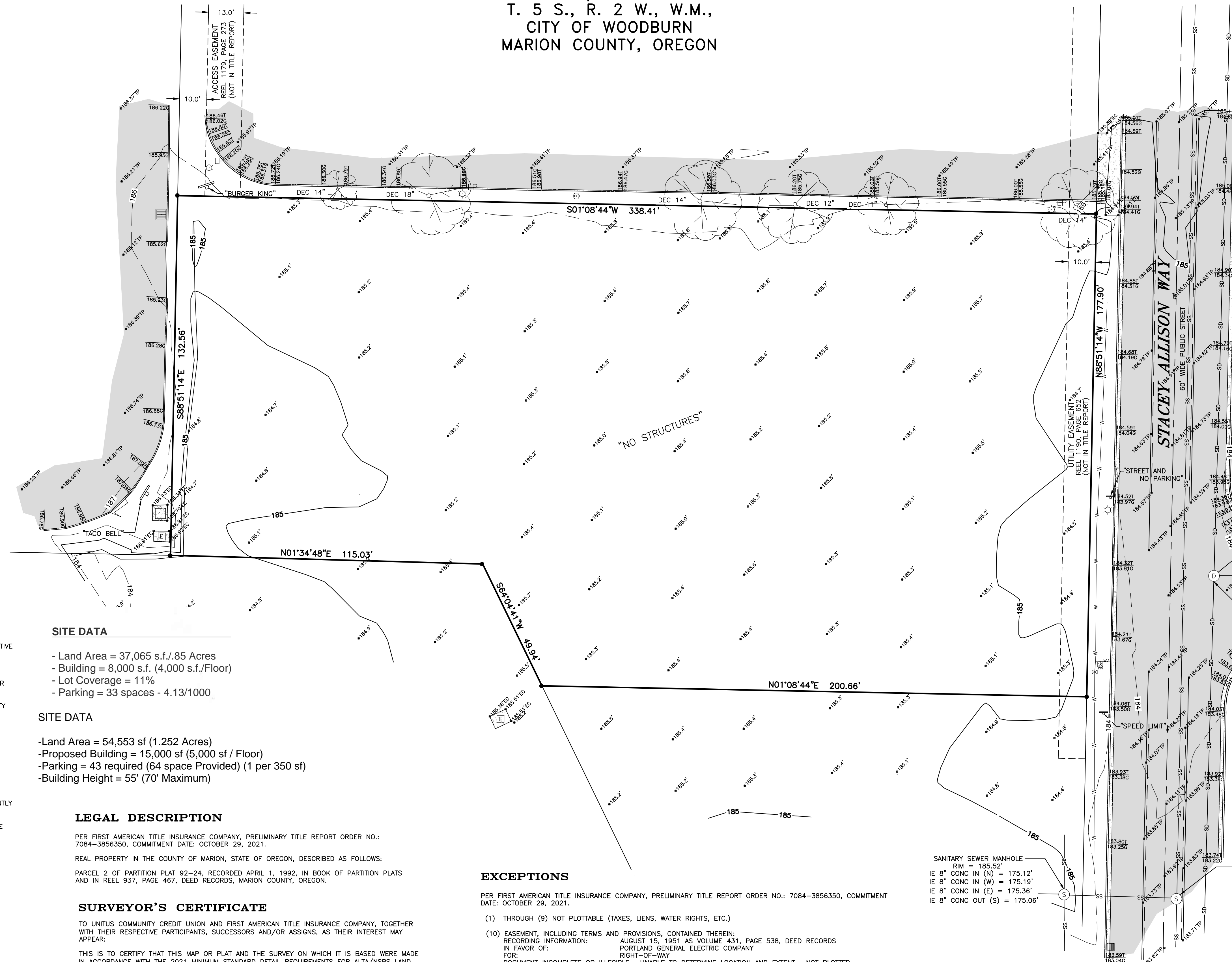
SURVEYOR'S NOTES

- THE BASIS OF BEARINGS FOR THIS SURVEY IS PER PARTITION PLAT NO. 92-24, MARION COUNTY PLAT RECORDS. (THIS IS NOT A RECORDABLE BOUNDARY SURVEY.)
- UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.

BENCHMARK

THE BENCHMARK USED FOR THIS PROJECT IS AN OPUS-DERIVED ELEVATION ON A HUB AND TACK ON THE NORTH SIDE OF PROPERTY.

ELEVATION: 184.38' NAVD88 (GEOID18)



SITE DATA

- Land Area = 37,065 s.f./ .85 Acres
- Building = 8,000 s.f. (4,000 s.f./Floor)
- Lot Coverage = 11%
- Parking = 33 spaces - 4.13/1000

SITE DATA

- Land Area = 54,553 sf (1.252 Acres)
- Proposed Building = 15,000 sf (5,000 sf / Floor)
- Parking = 43 required (64 space Provided) (1 per 350 sf)
- Building Height = 55' (70' Maximum)

LEGAL DESCRIPTION

PER FIRST AMERICAN TITLE INSURANCE COMPANY, PRELIMINARY TITLE REPORT ORDER NO.: 7084-3856350, COMMITMENT DATE: OCTOBER 29, 2021.

REAL PROPERTY IN THE COUNTY OF MARION, STATE OF OREGON, DESCRIBED AS FOLLOWS:

PARCEL 2 OF PARTITION PLAT 92-24, RECORDED APRIL 1, 1992, IN BOOK OF PARTITION PLATS AND IN REEL 937, PAGE 467, DEED RECORDS, MARION COUNTY, OREGON.

SURVEYOR'S CERTIFICATE

TO UNITS COMMUNITY CREDIT UNION AND FIRST AMERICAN TITLE INSURANCE COMPANY, TOGETHER WITH THEIR RESPECTIVE PARTICIPANTS, SUCCESSORS AND/OR ASSIGNS, AS THEIR INTEREST MAY APPEAR:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(c), 11(g) AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 4, 2022.

ANTHONY B. RYAN LS 58833
DATE: JAN. 13, 2022

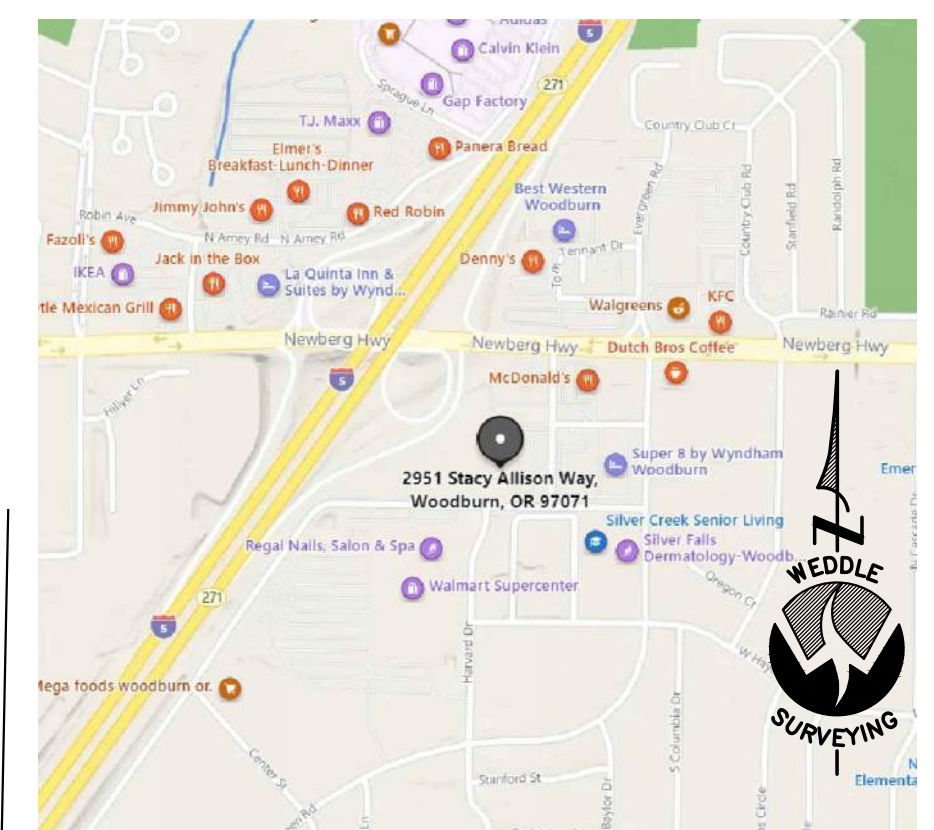
EXCEPTIONS

PER FIRST AMERICAN TITLE INSURANCE COMPANY, PRELIMINARY TITLE REPORT ORDER NO.: 7084-3856350, COMMITMENT DATE: OCTOBER 29, 2021.

- THROUGH (9) NOT PLOTTABLE (TAXES, LIENS, WATER RIGHTS, ETC.)
- EASEMENT, INCLUDING TERMS AND PROVISIONS, CONTAINED THEREIN: RECORDING INFORMATION: AUGUST 15, 1991 AS VOLUME 431, PAGE 538, DEED RECORDS IN FAVOR OF: PORTLAND GENERAL ELECTRIC COMPANY FOR: RIGHT-OF-WAY DOCUMENT INCOMPLETE OR ILLEGIBLE. UNABLE TO DETERMINE LOCATION AND EXTENT. NOT PLOTTED.
- EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDING INFORMATION: SEPTEMBER 25, 1989 AS REEL 719, PAGE 136, FILM RECORDS IN FAVOR OF: THE CITY OF WOODBURN, A MUNICIPAL CORPORATION OF MARION COUNTY, OREGON FOR: UTILITIES FALLS ENTIRELY WITHIN STACEY ALLISON WAY AND DOES NOT AFFECT SUBJECT PROPERTY. NOT PLOTTED.
- NOT PLOTTABLE

SANITARY SEWER MANHOLE
RIM = 185.52'
IE 8" CONC IN (N) = 175.12'
IE 8" CONC IN (W) = 175.19'
IE 8" CONC IN (E) = 175.36'
IE 8" CONC OUT (S) = 175.06'

SANITARY SEWER MANHOLE
RIM = 183.81'
IE 8" CONC IN (N) = 174.95'
IE 8" CONC IN (E) = 174.93'
IE 8" CONC OUT (W) = 174.71'



Vicinity Map
(NO SCALE)

POTENTIAL ENCROACHMENTS

NONE OBSERVED.

REGISTERED PROFESSIONAL LAND SURVEYOR

ANTHONY B. RYAN
LS 58833
EXPIRES: DECEMBER 31, 2022



6950 SW HAMPTON ST., STE. 170, TIGARD, OR 97223
PH: (503) 941-9585 FAX: (503) 941-9640
www.weddlesurveying.com

PRELIMINARY
NOT FOR
CONSTRUCTION
09/23/22



Structural - Civil Engineers
6443 SW Beaverton-Hillsdale Hwy, suite 210
Portland, Oregon 97221
ph:503.203.8111 fx:503.203.8122
www.owdy.com

Client/ Owner:

UNITUS

Project:

**UNITUS
WOOD BURN**

2951 Stacy Allison Way
Woodburn, OR 97071

Sheet Title:

**ONSITE
UTILITY PLAN**

Revisions:

#	Description	Date

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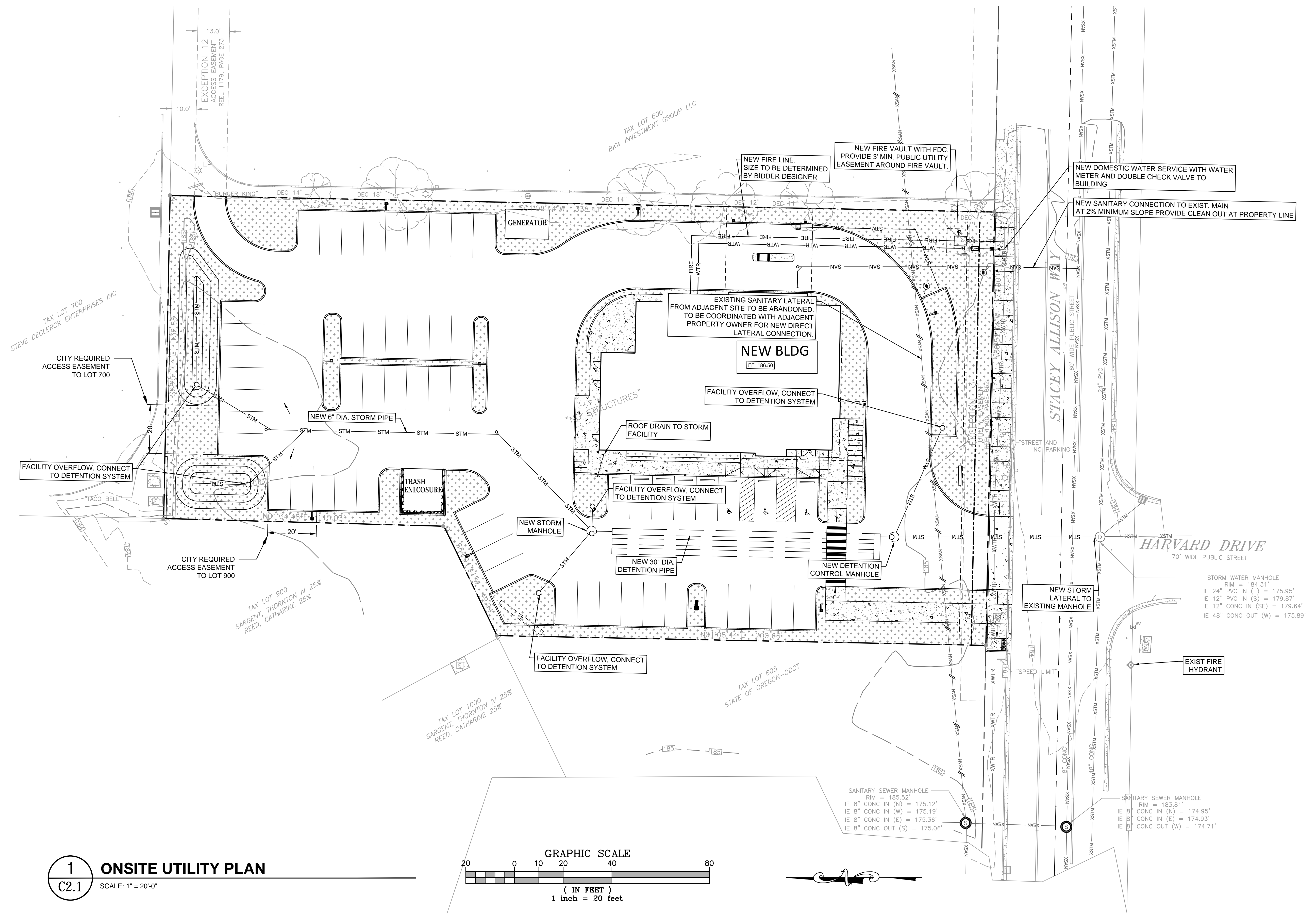
Date: 06/20/2022

Drawn by: JR Checked by: KK

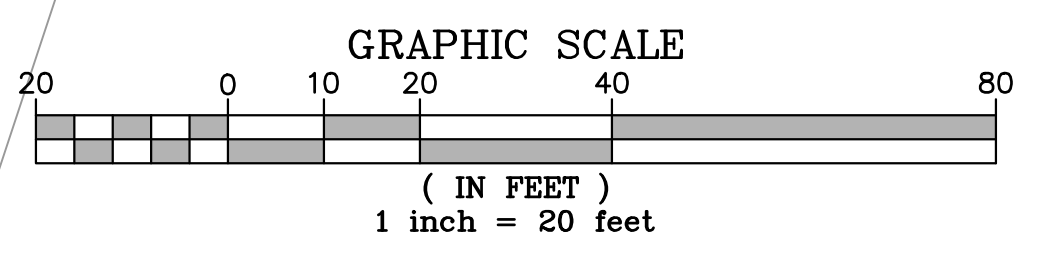
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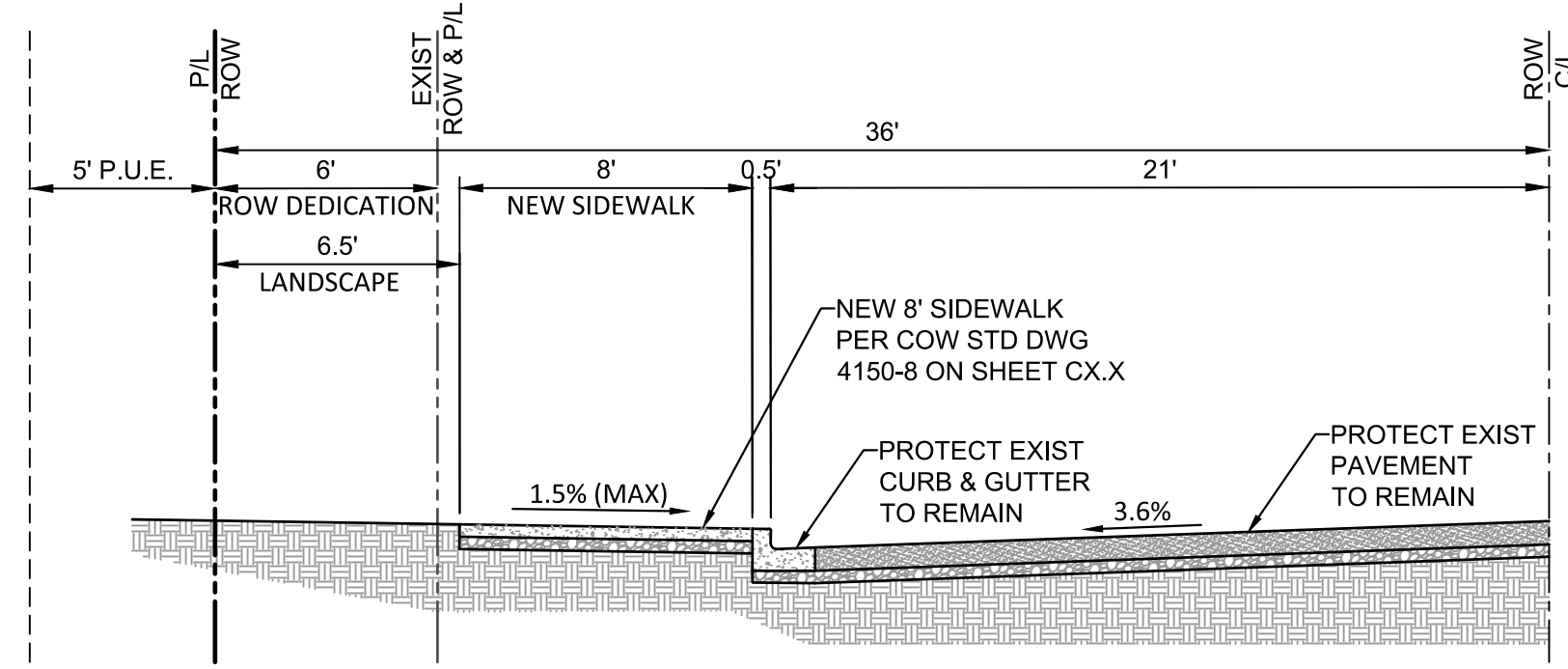
Sheet

C2.1



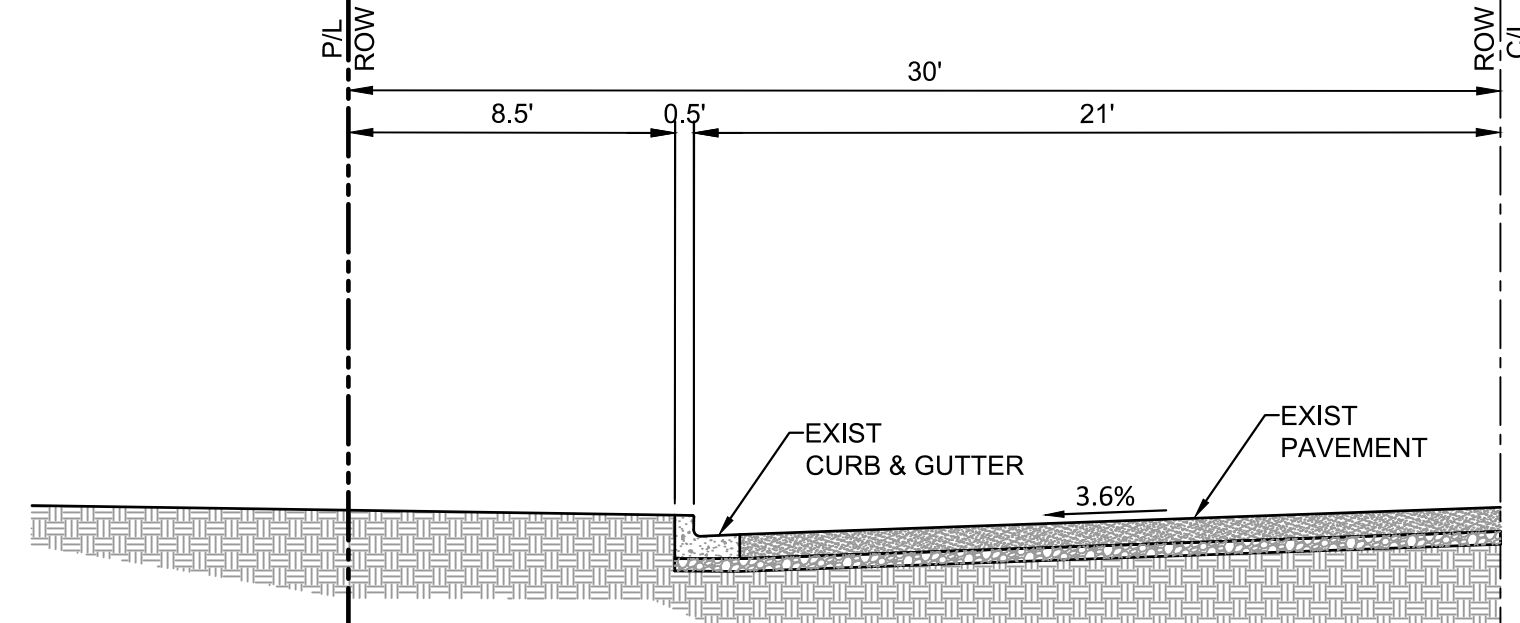
1 ONSITE UTILITY PLAN
C2.1 SCALE: 1" = 20'-0"





3 STACY ALLISON WAY TYPICAL PROPOSED CROSS SECTION

SCALE: 1" = 5'-0"



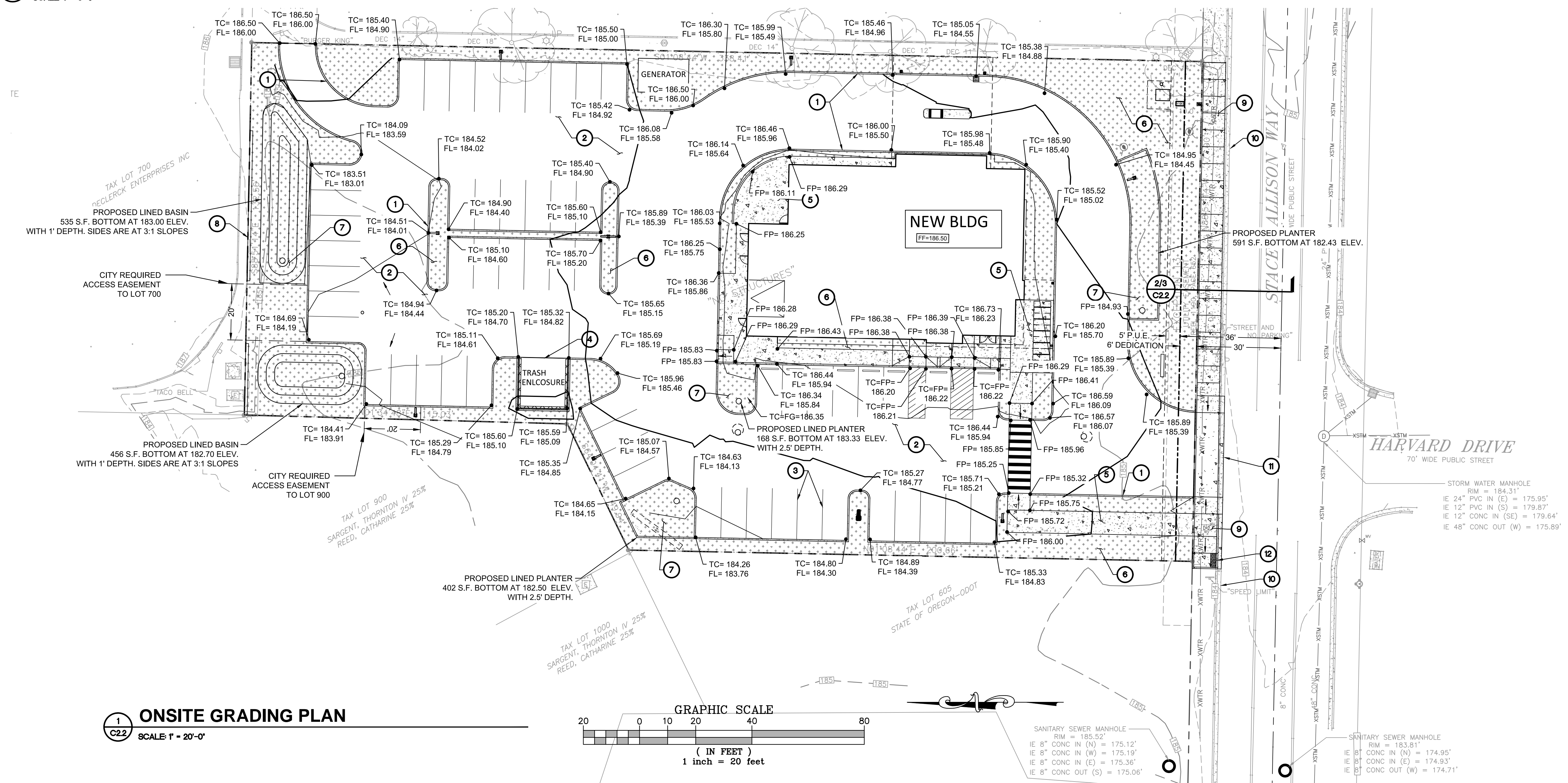
2 STACY ALLISON WAY TYPICAL EXISTING CROSS SECTION

SCALE: 1" = 5'-0"

- GRADING NOTES:**
- CONTRACTOR IS RESPONSIBLE TO PERFORM CUT AND FILL EARTH WORK IN SUCH A MANNER TO PROTECT NATIVE SOILS FROM BEING OVER WORKED AND FROM BECOMING TOO SATURATED DURING WET WEATHER. DURING WET WEATHER PERFORM WORK IN AREAS SMALL ENOUGH TO CUT AND ROCK SITE AREAS UNDER PAVEMENT AND BUILDING TO PREVENT AREAS OF NATIVE SOIL BEING EXPOSED TO WET WEATHER. THIS SITE SHALL HAVE CEMENT DEEP SOIL MISSING COLUMNS DESIGNED, INSTALLED AND SHOWN BY OTHERS. COORDINATE SITE WORK AND ESC MEASURES ACCORDINGLY.
 - REFER TO ARCHITECTURAL SITE PLANS FOR ALL SITE LAYOUT DIMENSIONS INCLUDING WALKWAYS, BUILDING, AND RETAINING WALLS.
 - PROVIDE SEPARATE BID ADDITIVES IN SPEC SECTION 12.0 FOR WET WEATHER CONSTRUCTION OVER-EXCAVATION OF SUBGRADE AND REPLACEMENT WITH CRUSHED ROCK. PROVIDE FOR A 2 FOOT THICK OVER-EXCAVATION AND REPLACEMENT OF NATIVE SOIL UNDER THE BUILDING FOOTPRINT (EXTEND TO 5 FEET BEYOND OUTSIDE OF FOOTING) AND A 9 INCH THICK OVER-EXCAVATION AND REPLACEMENT UNDER ALL PARKING LOT AREAS (EXTEND 1.33 FEET BEYOND CURBS). VERIFY REQUIREMENTS WITH AND OBTAIN APPROVAL FROM PROJECT GEOTECHNICAL ENGINEER AND PROJECT ARCHITECT PRIOR TO EXECUTING.
 - CONTRACTOR TO CONFIRM WITH OWNER AND REMOVE AND DISPOSE OF OFFSITE ALL EXCESS SOIL, DEBRIS AND MATERIALS NOT REUSABLE FOR THIS PROJECT.
 - ON-SITE HANDICAP/DISABILITY ACCESS ROUTES SHALL COMPLY WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA), STATE AND LOCAL REGULATIONS, IN GENERAL:
 - MAXIMUM CROSS SLOPE OF ANY PAVEMENT PERPENDICULAR TO DIRECTION OF TRAVEL IS 2.0%.
 - MAXIMUM SLOPE OF WALKWAYS WITHOUT HANDRAILS IN DIRECTION OF TRAVEL IS 5.0%.
 - FOR RAMP, THE MAXIMUM SLOPE IS 8.33% AND MAXIMUM RISE BETWEEN LANDINGS IS 30 INCHES. HANDRAILS ARE REQUIRED EACH SIDE OF ALL RAMPS WITH SLOPE GREATER THAN 5%.
 - MAXIMUM SLOPE OF CURB RAMPS AND WINGS OF CURB RAMPS IS 8.33%. THE MAXIMUM LENGTH OF A CURB RAMP IS 6 FEET WITH A MAXIMUM 6-INCH RISE.
 - PROVIDE FINISH PAVEMENT SURFACE TEXTURES IN ACCORDANCE WITH ADA.
 - CONTACT ARCHITECT AND ENGINEER FOR INSTRUCTIONS PRIOR TO INSTALLING FINISH PAVEMENTS IN CONFLICT WITH ADA REQUIREMENTS.
 - STRAIGHT GRADE FINISH PAVEMENT BETWEEN CATCH BASIN AND SURROUNDING GUTTER ELEVATIONS. STRAIGHT GRADE BETWEEN GIVEN ELEVATION POINTS. BLEND FINISH GRADES BETWEEN GIVEN POINTS AND AT GRADE BREAKS.
 - SEE SHEET C1.0, SECTION 12.0 FOR CONSTRUCTION TESTING, INSPECTIONS, AND OBSERVATION REQUIREMENTS.

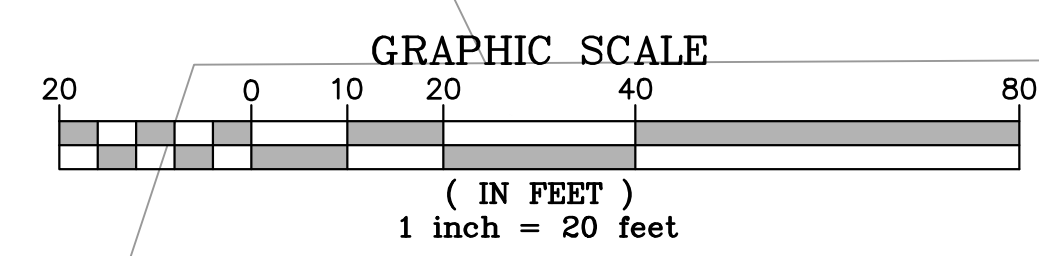
KEYNOTES FOR THIS SHEET

MARK	DESCRIPTION
1	INSTALL NEW CURB PER DETAIL x/C3.0.
2	INSTALL NEW ASPHALT PAVEMENT PER DETAIL 9/C3.0.
3	NEW PAINT STRIPING, SEE ARCH.
4	NEW TRASH ENCLOSURE, SEE ARCH.
5	INSTALL NEW SIDEWALK PER DETAIL x/C3.0.
6	NEW LANDSCAPE, SEE LANDSCAPE DRAWINGS.
7	NEW VEGETATED FACILITY FOR WATER QUALITY TREATMENT.
8	NEW LANDSCAPE WALL, 2' EXPOSURE MAX.
9	NEW PUBLIC SIDEWALK PER CITY STANDARD DETAIL. 1.5% CROSS SLOPE, TYP. MATCH EXIST TOP OF CURB.
10	PROTECT EXISTING PUBLIC CURB AND PAVEMENT TO REMAIN, TYP.
11	NEW 30' WIDE DRIVEWAY. SEE CITY OF WOODBURN DETAIL.
12	NEW MID BLOCK PEDESTRIAN CROSSING.



1 ONSITE GRADING PLAN

SCALE: 1" = 20'-0"



#	Description	Date

PLANT UNIT CALCULATIONS:

TOTAL PROPOSED LANDSCAPE AREA=12,920 SF

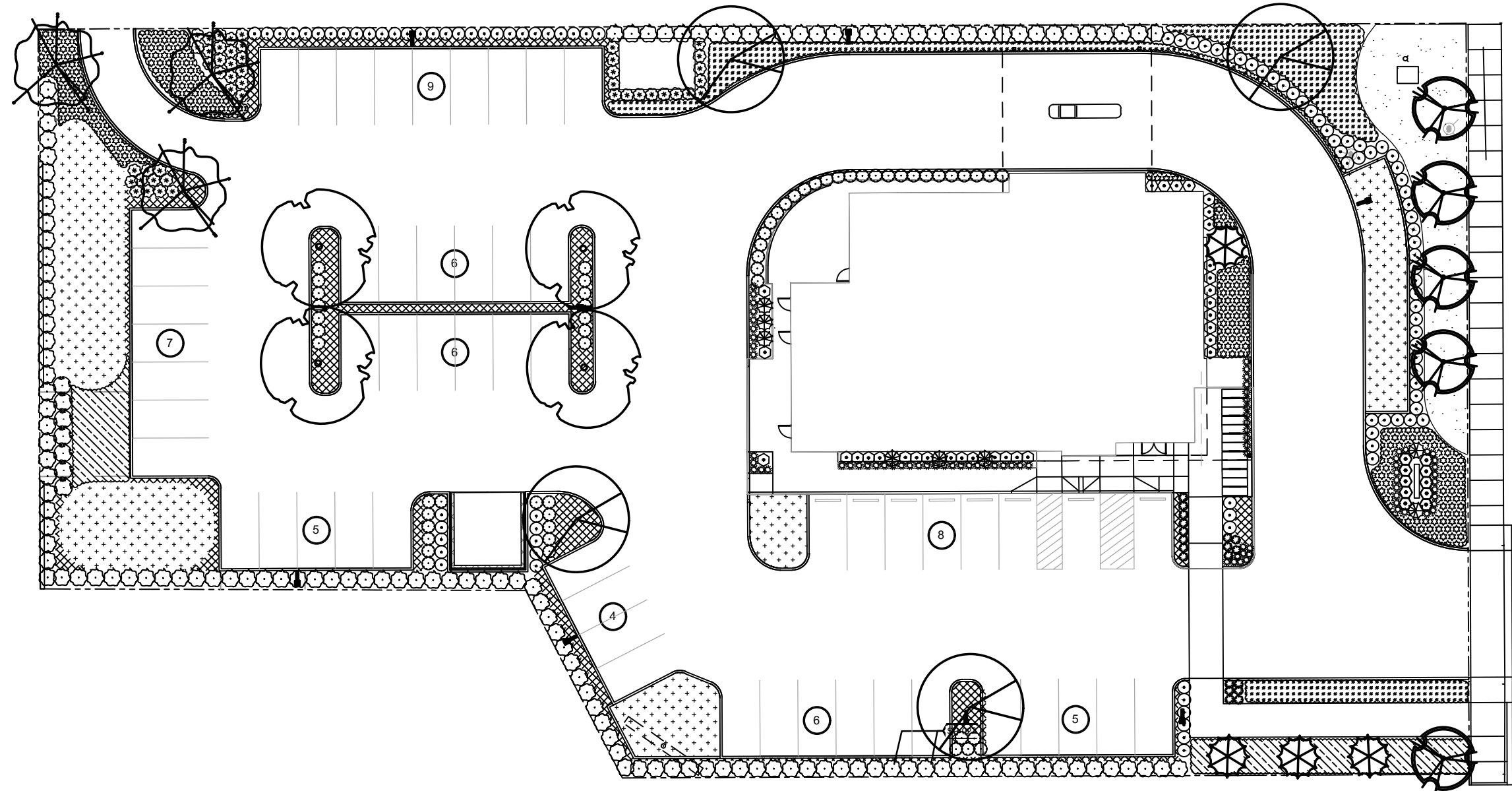
5' FRONT SETBACK LANDSCAPE AREA=667 SF
 PLANT UNITS REQUIRED (1 PER 15 SF)=44
 PROPOSED SETBACK PLANT UNITS=13
 667 SF LAWN/GROUND COVER=13 PU

BUFFER YARDS/PARKING LOT LANDSCAPE AREA=11,145 SF
 PLANT UNITS REQUIRED (1 PER 20 SF)=557
 PROPOSED BUFFER YARDS PLANT UNITS=795
 (8) MEDIUM TREES=88 PU
 (8) SMALL TREES=32 PU
 (259) LARGE SHRUBS=518 PU
 (61) SMALL/MEDIUM SHRUBS=61 PU
 4,798 SF LAWN/GROUND COVER=96 PU

OTHER YARDS LANDSCAPE AREA=1,108
 PLANT UNITS REQUIRED (1 PER 50 SF)=22
 PROPOSED OTHER YARDS PLANT UNITS=128
 (1) MEDIUM TREE=8 PU
 (35) LARGE SHRUBS=70 PU
 (37) SMALL/MEDIUM SHRUBS=37 PU
 668 SF LAWN/GROUND COVER=13 PU

PARKING LOT TREE REQUIREMENTS:
 PROPOSED PARKING LOT SPACES=57

PROPOSED PARKING LOT TREES:
 (6) MEDIUM TREES=60 PARKING SPACE CREDITS
 (2) SMALL TREES=10 PARKING SPACE CREDITS



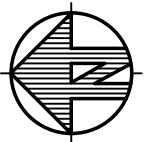
STACEY ALLEN WAY

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 (503) 972-0311
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LANDSCAPE PLAN

SCALE 1" = 30'-0"



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UNITUS
 2951 Stacy Allison Way Woodburn, OR 97071

Sheet Title:
 LANDSCAPE DESIGN

Revisions:
 # Description Date

Date: 09/23/2022

Drawn by:
 LH

Checked by:
 EH

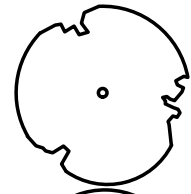
Sheet L1.0 -
 Job Number: 122002
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PLANT LIST:

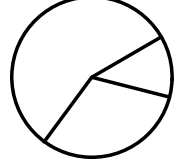
SYMBOL	QTY.	LATIN NAME/ Common Name	SIZE	SPACING
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TREES

MEDIUM TREES—8 PLANT UNIT



4	CERCIDIPHYLLUM JAPONICUM Katsura	2" cal.	As shown
---	-------------------------------------	---------	----------

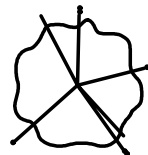


4	GLEDITSIA TRIACANTHOS "SUNCOLE" Sunburst Honeylocust	2" cal.	As shown
---	---	---------	----------



3	PINUS STROBUS 'FASTIGIATA' Columnar Eastern White Pine	7' ht.	As Shown
---	---	--------	----------

SMALL TREES—4 PLANT UNIT



3	CERCIS OCCIDENTALIS Western Redbud	2" cal.	As shown
---	---------------------------------------	---------	----------



5	SYRINGA RETICULATA 'IVORY SILK' Ivory Silk Japanese Tree Lilac	2" cal.	As Shown
---	---	---------	----------

GROUND COVER & GRASSES—1 PLANT UNIT PER 50 SF



157	ARCTOSTAPHYLOS UVA-URSI "MASS." Massachusetts Kinnikinnick	1 gal.	3' o.c.
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109	EUONYMUS FORTUNEI "EMERALD GAIETY" Emerald Gaiety Winter Creeper	1 gal.	3' o.c.
-----	---	--------	---------



84	HELICTOTRICHON SEMPERVIRENS Blue Oat Grass	1 gal.	2' o.c.
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44	LONICERA PILEATA Box Honeysuckle	1 gal.	4' o.c.
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201	MAHONIA REPENS Creeping Oregon Grape	1 gal.	30" o.c.
-----	---	--------	----------

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SYMBOL	QTY.	LATIN NAME/ Common Name	SIZE	SPACING
--------	------	-------------------------	------	---------

SHRUBS

LARGE SHRUBS—2 PLANT UNIT



7	ABELIA CHINENSIS 'ROSE CREEK' Rose Creek Abelia	5 gal.	4' o.c.
---	--	--------	---------



100	ILEX GLABRA 'COMPACTA' Compact Inkberry	5 gal.	3' o.c.
-----	--	--------	---------



8	JUNIPERUS SCOPULORUM 'SKYROCKET' Skyrocket Juniper	3' high	4' o.c.
---	---	---------	---------



58	VIBURNUM DAVIDII David Viburnum	3 gal.	3' o.c.
----	------------------------------------	--------	---------



137	VIBURNUM TINUS "SPRING BOUQUET" Spring Bouquet Laurustinus	5 gal.	4' o.c.
-----	---	--------	---------

MEDIUM/SMALL SHRUBS—1 PLANT UNIT



47	CISTUS 'GRAYSWOOD PINK' Grayswood Pink Rock Rose	2 gal.	3' o.c.
----	---	--------	---------



32	NANDINA DOMESTICA "GULF STREAM" Gulf Stream Nandina	2 gal.	3' o.c.
----	--	--------	---------



19	SPIRAEA MEDIA Blue Kazoo Spirea	2 gal.	2' o.c.
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LAWN—1 PLANT UNIT PER 50 SF

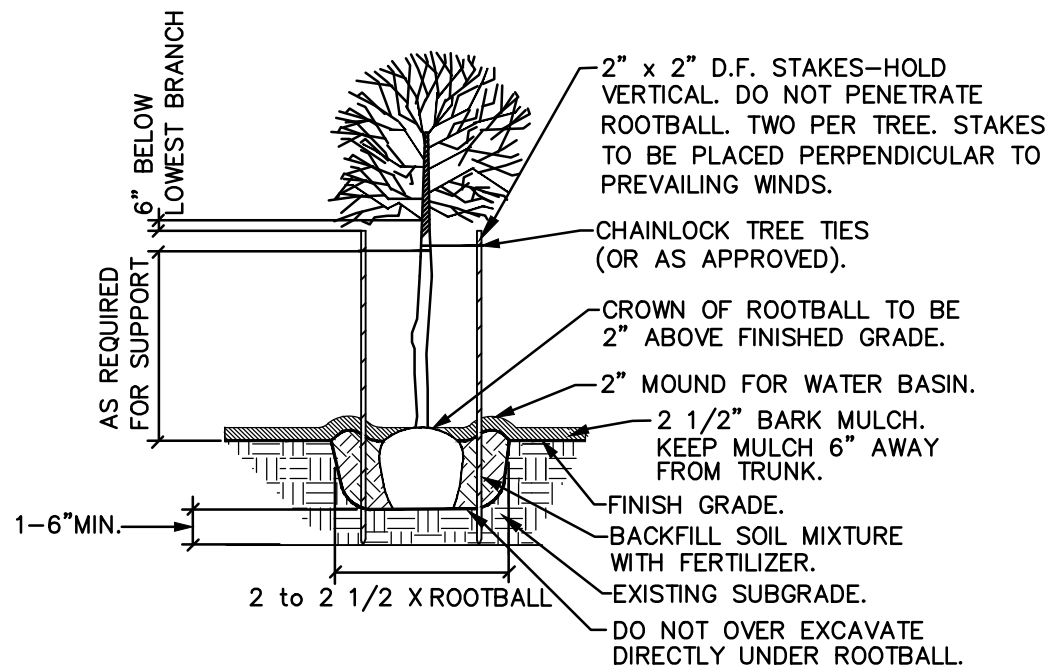


2,028 SF	FINE LAWN See Specifications
----------	---------------------------------

STORM WATER FACILITIES

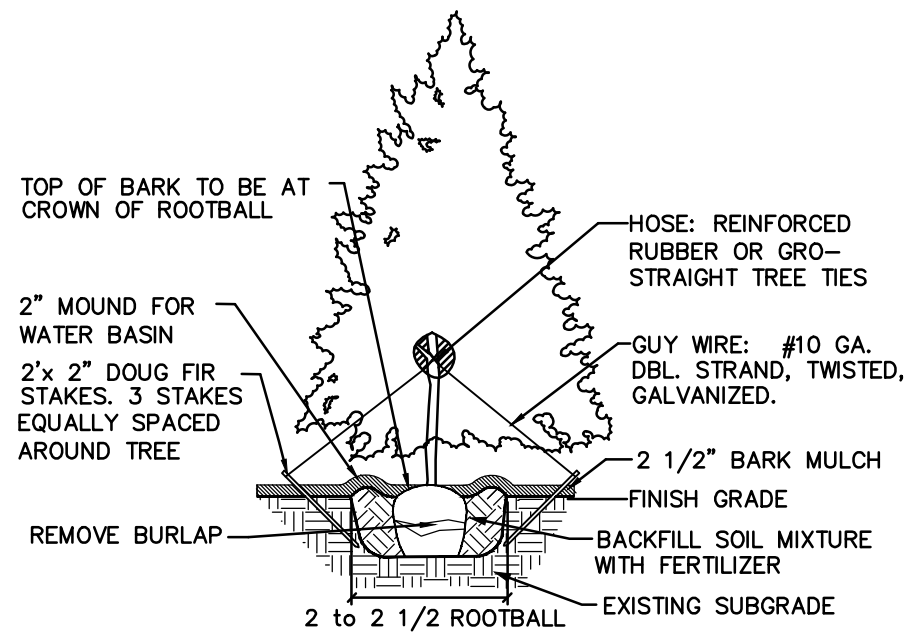


PLANTINGS PER CITY OF SALEM
STORMWATER DESIGN HANDBOOK

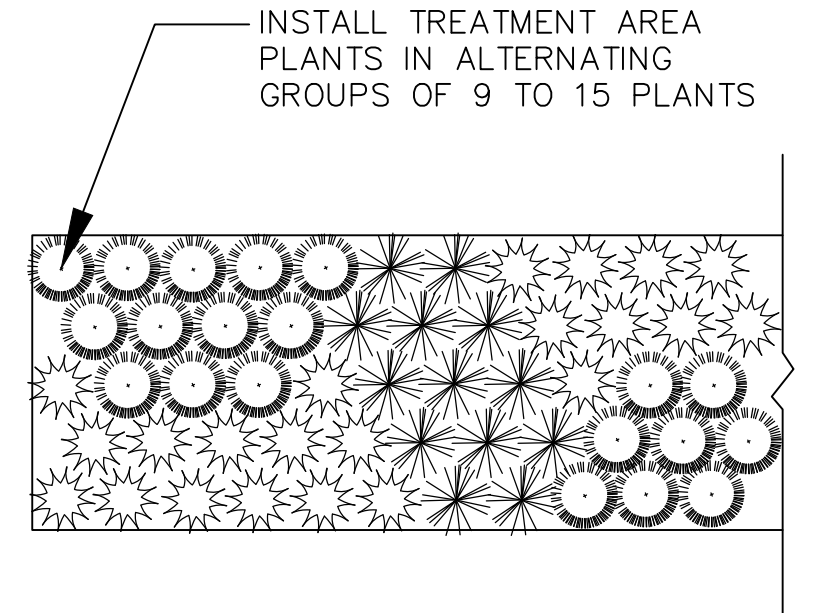


NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

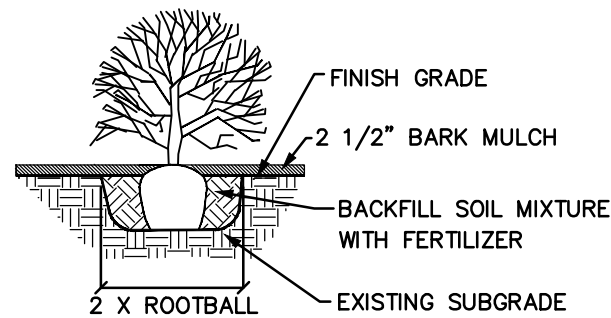
○ GENERAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



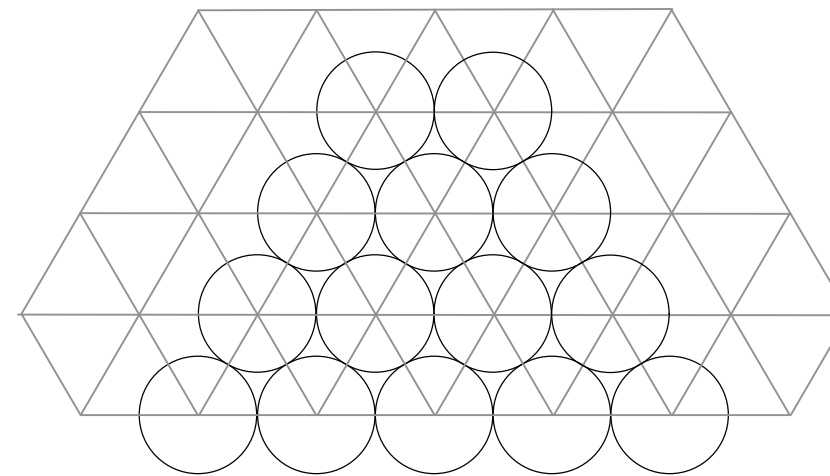
○ EVERGREEN TREE STAKING DETAIL
NOT TO SCALE



○ STORMWATER FACILITY PLANTING DETAIL
NOT TO SCALE



○ SHRUB PLANTING DETAIL
NOT TO SCALE



○ GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

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Sheet Title:
LANDSCAPE DETAILS

Revisions:
Description Date

Date: 09/07/2022

Drawn by:
LH

Checked by:
EH

Sheet L2.0 -
Job Number: 122002

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OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 – 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect’s right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner’s Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner’s negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner’s Representative’s inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliated, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container–grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. **Grow container plants in containers a minimum of one year** prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well–branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12” of topsoil in planting beds and 6” in lawn areas. Landscape Contractor is to verify with the General Contractor if the on–site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitability of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3” below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

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3933 South Kelly Avenue, Suite B
Portland, OR, 97239
(503) 972-0311
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Project:

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2951 Stacy Allison Way Woodburn, OR 97071

Sheet Title:

LANDSCAPE SPECIFICATIONS

Revisions:

Description

Date

Date: 09/07/2022

Drawn by:

LH

Checked by:

EH

Sheet L2.1 -

Job Number: 122002

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PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer’s instructions.

SOIL PREPARATION: Work all areas by rototilling to a minimum depth of 8”. Remove all stones (over 1½” size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2” of compost (or as approved) and till in to the top 6” of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any ”subsoil” or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

SOIL MIX: Prepare soil mix in each planting hole by mixing:
2 part native topsoil (no subsoil)
1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:

- Small shrubs – 1/8 lb./ plant
- Shrubs – 1/3 to 1/2 lb./ plant
- Trees – 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer ”A” Inorganic (5–4–3) with micro–nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer ”B” (8–16–8) with micro–nutrients and 50% slow–releasing nitrogen. For lawn maintenance use Commercial Fertilizer ”C” (22–16–8) with micro–nutrients and 50% slow–releasing nitrogen. DO NOT apply fertilizer to Water Quality Swale.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6” minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1”. Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2” X 2” (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8’–0”. Drive stake firmly 1’–6” below the planting hole. Tree ties for deciduous trees shall be ”Chainlock” (or better). For Evergreen trees use ”Gro–Strait” Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright. Tree stakes shall be removed after one year.

MULCHING OF PLANTINGS: Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2” in ground cover areas and 2½” in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

FINE LAWN AREAS: In fine lawn area apply Commercial Fertilizer Mix ”B” at 4.5 lbs. Per 1,000 sq.ft. and rake into soil surface. Establish an even, fine textured seedbed meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

SEED: Bluetag grass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis.

Fine Lawn Seed Mix: To contain 50% Top Hat Perennial Ryegrass, 30% Derby Supreme Ryegrass, 20% Longfellow Chewings Fescue (Hobbs and Hopkins Pro–Time 303 Lawn Mix or as approved) Sow Seed at 5 lbs. / 1000 sq. ft.

MAINTENANCE OF SEEDED AREAS:

Fine Lawn Areas: The lawn areas shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix ”C” at 5 lbs. per 1,000 sq. ft. Mow and keep at 1½” to 2” in height. Remove clippings and dispose of off site.

GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

CLEAN–UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.

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Sheet Title:

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Job Number: 122002

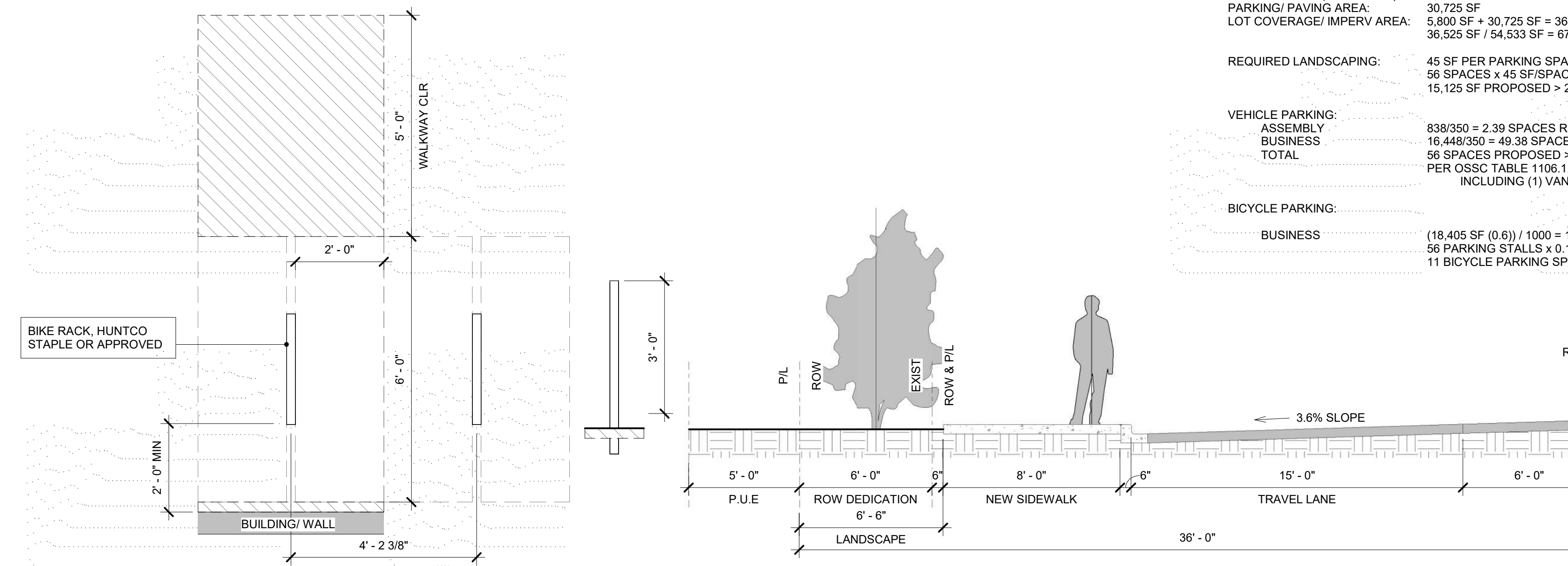
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GENERAL NOTES - SITE PLAN

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION RELATED TO SUCH.
 - REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
 - CONTRACTORS SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES.
 - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
 - THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK-UP.
 - THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE POWER LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS OR ADDITIONAL EXPENSES.
 - FIRE LANES SHALL BE DESIGNED TO SUPPORT A FIRE APPARATUS LOAD OF 75,000 LBS WITH A WHEEL LOAD OF 12,500 LBS.
 - DELEGATED DESIGN NPFA 13 FIRE SPRINKLER SYSTEM DESIGNED IN ACCORDANCE WITH OSSC 903.3.1.1 WILL BE A DEFERRED SUBMITTAL.
 - FIRE FLOW DEMAND PER OFC APPENDIX B:
A. PER TABLE B105.2, SECTION 903.3.1.1 DESIGN STANDARD:
TABLE B105.1(2) - TYPE I-B, 17,705 SF:
FIRE FLOW RATE: 2,750 GPM
FIRE FLOW DURATION: 2 HRS
TABLE B105.2 REQUIRED FIRE FLOW - SPRINKLERED PER IFC 903.3.1.1:
FIRE FLOW REDUCTION: 2,750 GPM x 0.25 = 687.5 GPM*
*THE REDUCED FIRE FLOW RATE SHALL NOT BE LESS THAN 1,000 GPM
MIN. REQUIRED FIRE FLOW RATE = 1,000 GPM
MIN. REQUIRED FIRE FLOW DURATION = 2 HRS
- SITE AREA: 54,533 SF = 1.25 ACRE
BUILDING AREA (FOOTPRINT): 5,800 SF
PARKING/PAVING AREA: 30,725 SF
LOT COVERAGE/IMPERV AREA: 5,800 SF + 30,725 SF = 36,525 SF
36,525 SF / 54,533 SF = 67%
- REQUIRED LANDSCAPING: 45 SF PER PARKING SPACE
56 SPACES x 45 SF/SPACE = 2,520 SF MIN REQ'D
15,125 SF PROPOSED > 2,520 SF, OKAY
- VEHICLE PARKING:
ASSEMBLY: 838/350 = 2.39 SPACES REQ'D, NO MAX
BUSINESS: 16,448/350 = 46.99 SPACES REQ'D, NO MAX
TOTAL: 56 SPACES PROPOSED > 49.38, OKAY
PER OSSC TABLE 1108.1. (3) ACCESSIBLE SPACES INCLUDING (1) VAN SPACE REQ'D
- BICYCLE PARKING:
BUSINESS: (18,405 SF (0.6)) / 1000 = 11, OR
50 PARKING STALLS x 0.15 = 8
11 BICYCLE PARKING SPACES REQUIRED, MIN

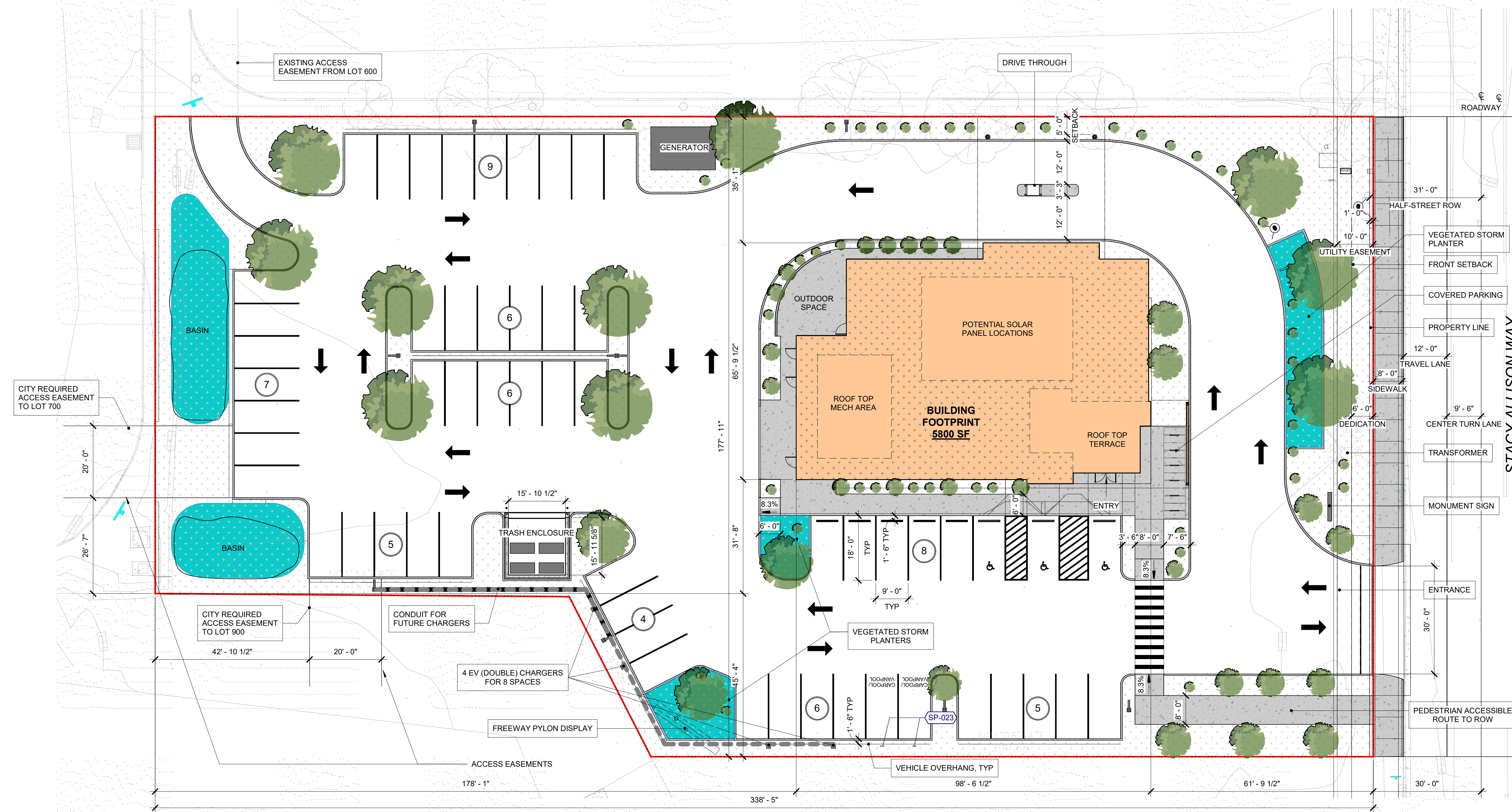
LEGEND

- AREA OF WORK
- PARKING COUNT SUBTOTAL
- SLOPE DOWN, UNO



KEYNOTES

SP-023 CARPOOL/VANPOOL RESERVED SIGNAGE, SEE DETAIL 9/A1.3



Client/ Owner:

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1300 SW 6TH AVE
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Project:

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WOODBURN**

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Sheet Title:

SITE PLAN

Revisions:

#	Description	Date
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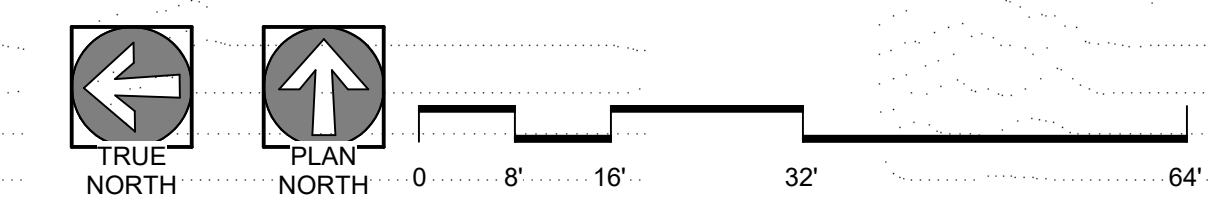
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Date: 9/16/2022

Job Number: 1220022

Sheet



BUILDING CODE ANALYSIS

BASED ON 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC) INCLUDING PORTIONS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC), THE 2019 OREGON FIRE CODE, AND THE 2019 OREGON ZERO ENERGY READY COMMERCIAL CODE, INCLUDING PORTIONS OF ANSI/ASHRAE/IES STANDARD 90.1-2016.

OCCUPANCY AND CONSTRUCTION	PER IBC 304, 306, 311 AND 602.2
ASSUMED OCCUPANCY:	A-3, B
CONSTRUCTION TYPE:	II-B
REQUIRED SEPARATION:	A-3, B 1-HR SEPARATION REQUIREMENT PER OSSC SECTION 508.3
BUILDING HEIGHT AND AREA	PER OSSC TABLES 504.3, 504.4, 506.2
ALLOWABLE HEIGHT:	A-3, B: 75'
ALLOWABLE STORIES:	A-3: 3 B: 4
PROPOSED HEIGHT:	45' <= 75', OKAY
PROPOSED STORIES:	3 <= 3, OKAY
ALLOWABLE AREA:	A-3 (SM): 28,500 SF B (SM): 69,000 SF
II-B THREE STORY SPRINKLERED	A-3 (SM): 884 SF < 28,500 SF, OKAY
ACTUAL BUILDING AREA:	B (SM): 16,821 SF < 69,000 SF, OKAY
FIRE-RESISTANCE RATING REQUIREMENTS	PER OSSC TABLE 601 AND 602
STRUCTURAL FRAME:	0 HRS
EXTERIOR BEARING WALLS:	0 HRS
EXTERIOR NON-BEARING WALLS:	0 HRS
INTERIOR NON-BEARING WALLS:	0 HRS
FLOOR CONSTRUCTION:	0 HRS
ROOF CONSTRUCTION:	0 HRS
OPENING PROTECTION IN EXTERIOR WALLS	PER OSSC TABLE 705.8
> 30 FT	NO LIMIT
FIRE PROTECTION	BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SYSTEM THROUGHOUT IN LAW WITH OSSC 903.3.1.1
INTERIOR FINISH	CLASS B - INTERIOR EXIT STAIRS CLASS C - ROOMS AND ENCLOSED SPACES
A-3 & B:	
EXIT TRAVEL DISTANCE	
A-3 OCCUPANCY:	1006.2.1: <49 OCC. COMMON PATH OF EGRESS < 75'-0" (SPRINKLERED) 1017.2: EXIT ACCESS TRAVEL DISTANCE < 250'-0" (SPRINKLERED)
B OCCUPANCY:	1006.2.1: <49 OCC. COMMON PATH OF EGRESS < 100'-0" (SPRINKLERED) 1017.2: EXIT ACCESS TRAVEL DISTANCE < 300'-0" (SPRINKLERED)

GENERAL NOTES - SITE PLAN

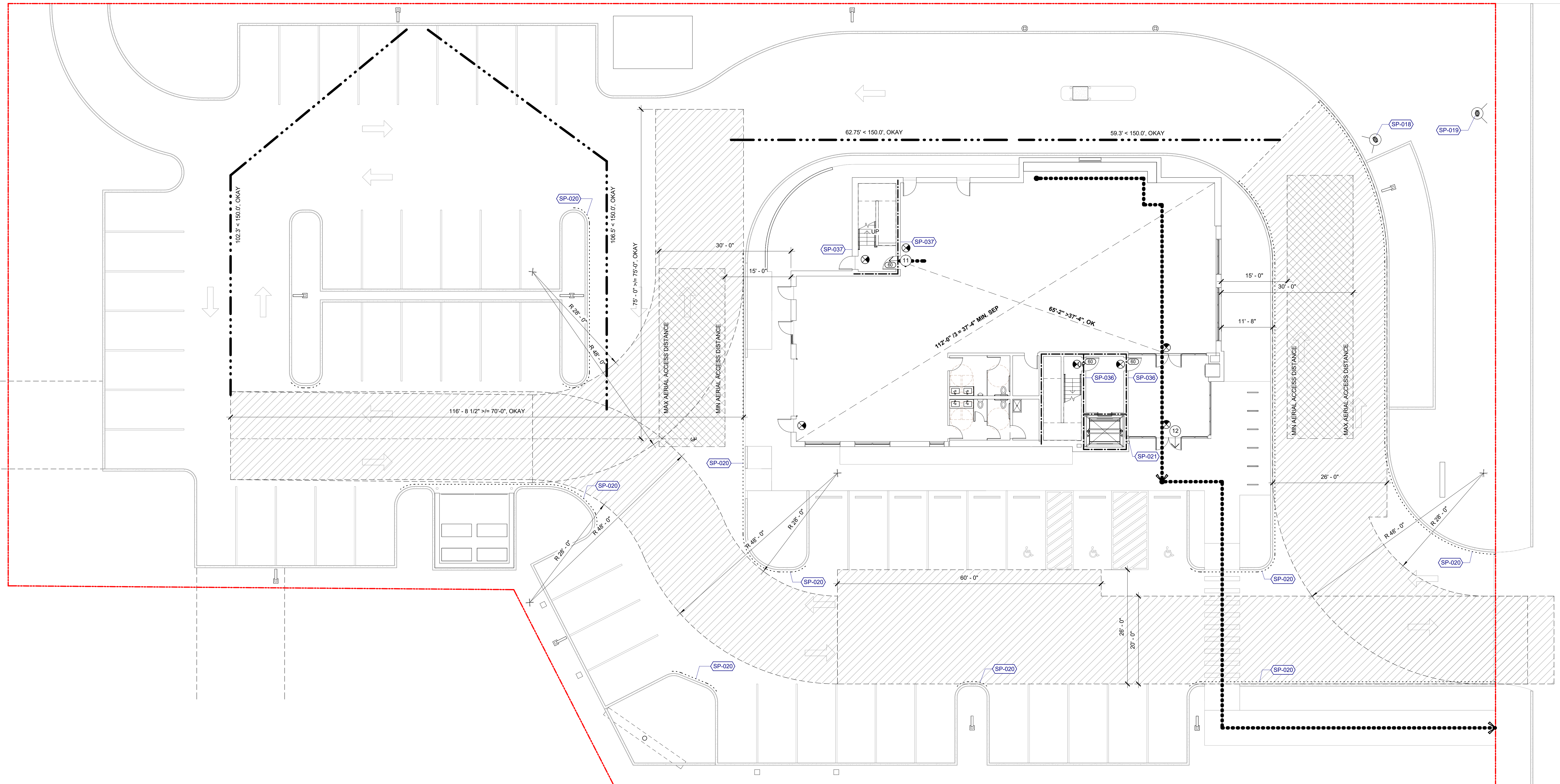
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION RELATED TO SUCH.
 - REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
 - CONTRACTORS SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES.
 - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
 - THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK-UP.
 - THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE POWER LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS OR ADDITIONAL EXPENSES.
 - FIRE LANES SHALL BE DESIGNED TO SUPPORT A FIRE APPARATUS LOAD OF 75,000 LBS WITH A WHEEL LOAD OF 12,500 LBS.
 - DELEGATED DESIGN NFPA 13 FIRE SPRINKLER SYSTEM DESIGNED IN ACCORDANCE WITH OSSC 903.3.1.1 WILL BE A DEFERRED SUBMITTAL.
 - FIRE FLOW DEMAND PER OFC APPENDIX B:
 - A. PER TABLE B105.2, SECTION 903.3.1.1 DESIGN STANDARD:
 - TABLE B105 (12) - TYPE II-B, 17,705 SF:
 - FIRE FLOW RATE: 2,750 GPM
 - FIRE FLOW DURATION: 2 HRS
 - TABLE B105.2 REQUIRED FIRE FLOW - SPRINKLERED PER IFC 903.3.1.1:
 - FIRE FLOW REDUCTION: 2,750 GPM x 0.25 = 687.5 GPM
 - *THE REDUCED FIRE FLOW RATE SHALL NOT BE LESS THAN 1,000 GPM
 - MIN. REQUIRED FIRE FLOW RATE = 1,000 GPM
 - MIN. REQUIRED FIRE FLOW DURATION = 2 HRS
- SITE AREA:**
 BUILDING AREA (FOOTPRINT): 5,800 SF
 PARKING/PAVING AREA: 30,725 SF
 LOT COVERAGE/IMPERV AREA: 5,800 SF + 30,725 SF = 36,525 SF
 36,525 SF / 54,533 SF = 67%
- REQUIRED LANDSCAPING:** 45 SF PER PARKING SPACE
 56 SPACES x 45 SF/SPACE = 2,520 SF MIN REQ'D
 15,125 SF PROPOSED > 2,520 SF, OKAY
- VEHICLE PARKING:**
 ASSEMBLY: 838/350 = 2.39 SPACES REQ'D, NO MAX
 BUSINESS: 16,448/350 = 46.99 SPACES REQ'D, NO MAX
 TOTAL: 56 SPACES PROPOSED > 49.38, OKAY
 PER OSSC TABLE 1106.1, (3) ACCESSIBLE SPACES INCLUDING (1) VAN SPACE REQ'D
- BICYCLE PARKING:**
 BUSINESS: (18,405 SF (0.6)) / 1000 = 11, OR
 56 PARKING STALLS x 0.15 = 8
 11 BICYCLE PARKING SPACES REQUIRED, MIN

KEYNOTES

- SP-018 FDC, SIGN PER WOODBURN FIRE DISTRICT STANDARDS, VERIFY LOCATION & SIGNAGE REQUIREMENTS WITH FIRE MARSHAL
- SP-019 NEW FIRE HYDRANT
- SP-020 FIRE LANE CURB PAINTED RED, MARKED "NO PARKING FIRE LANE" AT 25 FT INTERVALS, WHITE LETTERING: 1" STROKE, 6" HIGH
- SP-021 KNOX BOX, SIGN PER WOODBURN FIRE DISTRICT STANDARDS, VERIFY LOCATION & SIGNAGE REQUIREMENTS WITH FIRE MARSHAL
- SP-036 STAIR, ROOF ACCESS, SIGN PER WOODBURN FIRE DISTRICT STANDARDS
- SP-037 STAIR, NO ROOF ACCESS, SIGN PER WOODBURN FIRE DISTRICT STANDARDS

LEGEND - FIRE ACCESS SITE PLAN

LIGHTED EXIT SIGN ON BATTERY BACKUP - SEE LIGHTING FIXTURE SCHEDULE & ELECTRICAL FOR ADDITIONAL INFORMATION	
EXIT ACCESS TRAVEL DISTANCE	
OCCUPANT LOAD AT DOOR OPENING	
OCCUPANT LOAD TOTAL PER SPACE	
DOOR TAG FIRE RATING IN MINUTES (NR = NON-RATED)	
FIRE EXTINGUISHER CABINET, RECESSED	
FIRE EXTINGUISHER CABINET, SURFACE-MOUNT	
FIRE HOSE ACCESS, 150' MAX	
FIRE LANE CURB	
FIRE APPARATUS MANEUVERING CLEARANCE	
AERIAL APPARATUS ACCESS	



1 SITE PLAN - FIRE SERVICE
1" = 10'-0"



3.07.06 Design Guidelines

Multi- Planed Roof: Offsets/ Jogs/ Parapet Walls Variations

Articulated Building Facade: Wall Offsets/ Projections, Variation in Building Materials / Textures. Walls visible from a Street shall have wood, brick, stone or siding.

Brick wall

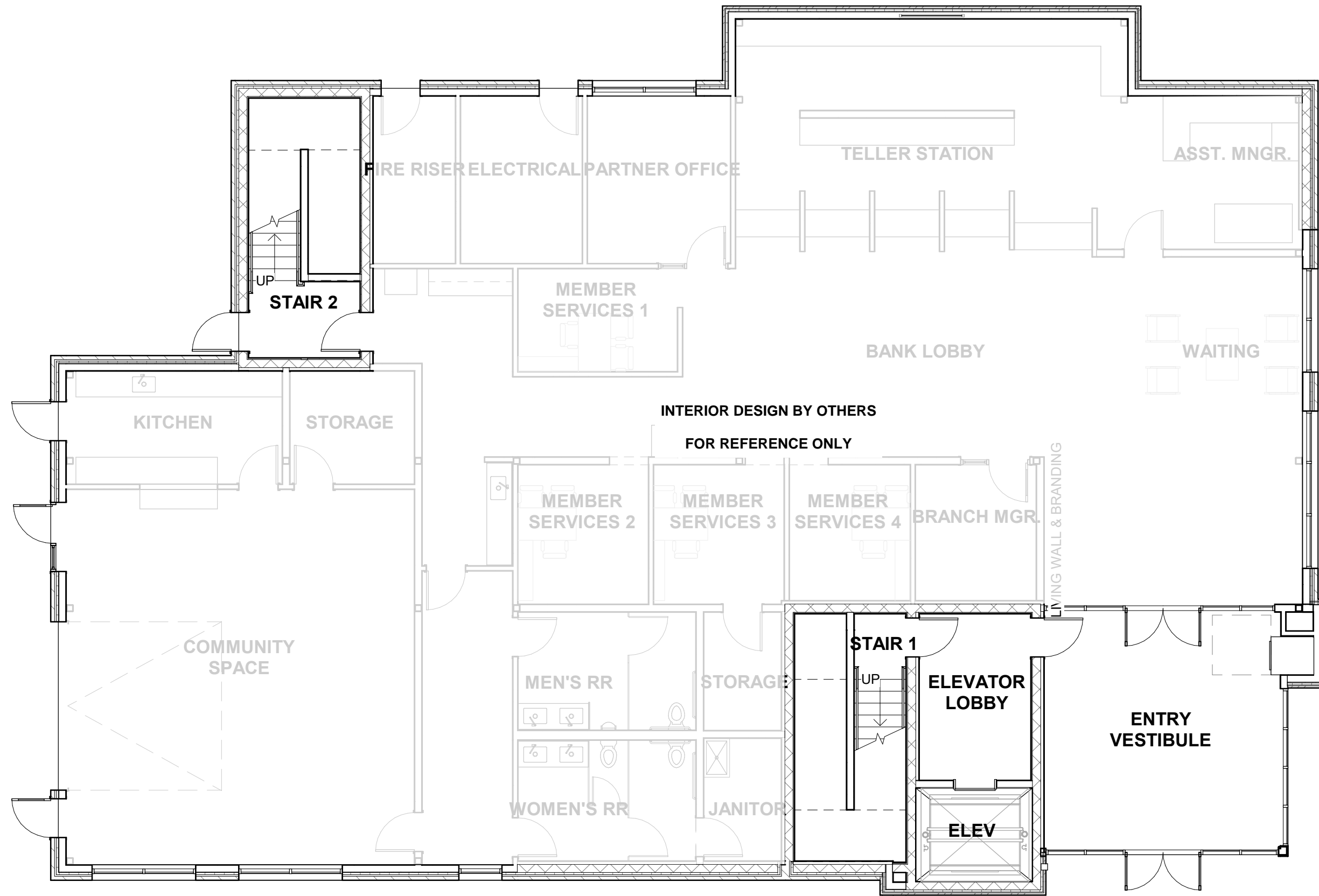
Metal Siding

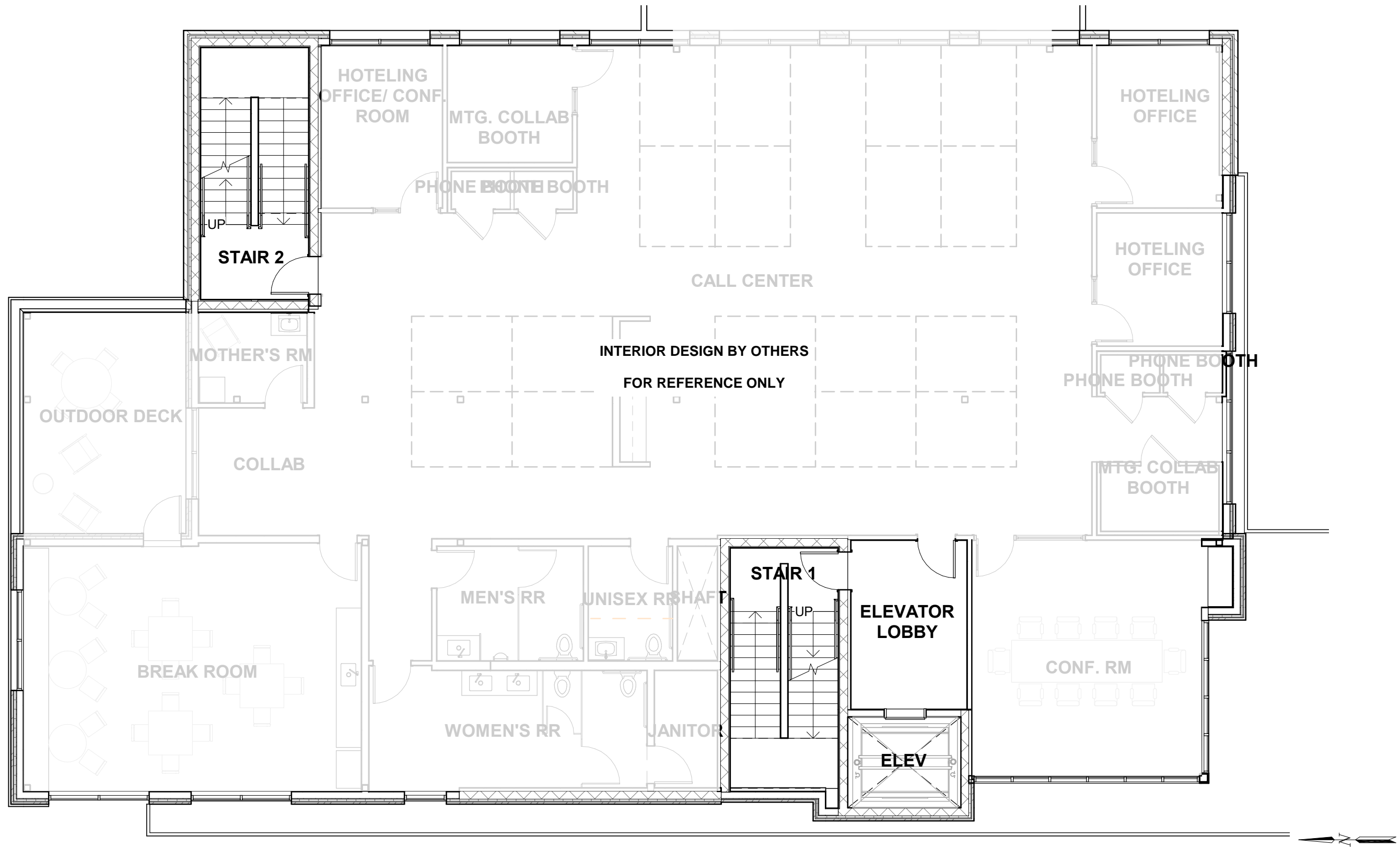
Aluminum Siding (Wood Grain and Texture) <https://www.dizal.com/photo-gallery/>

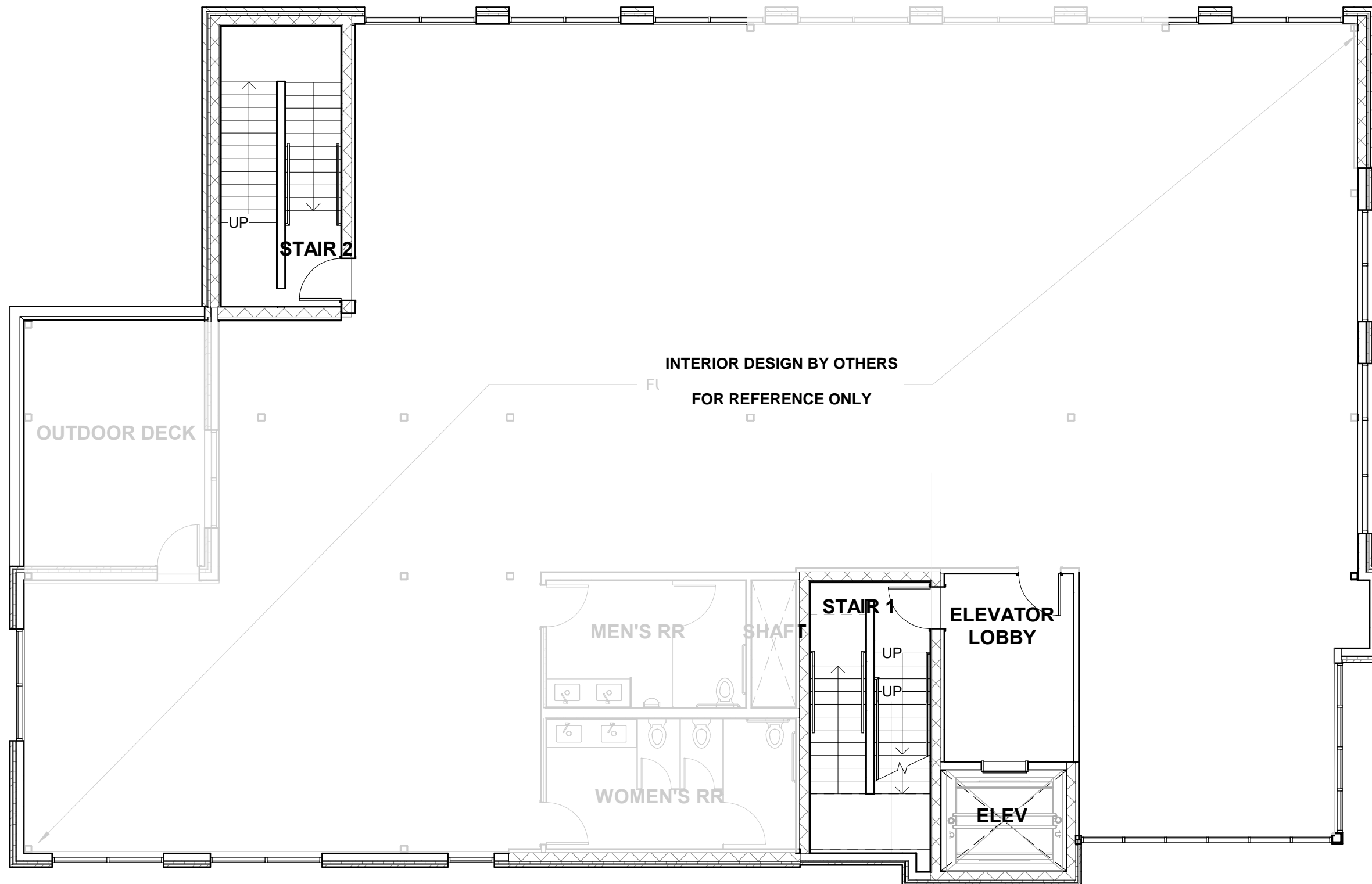
MIN. 30% Glazing

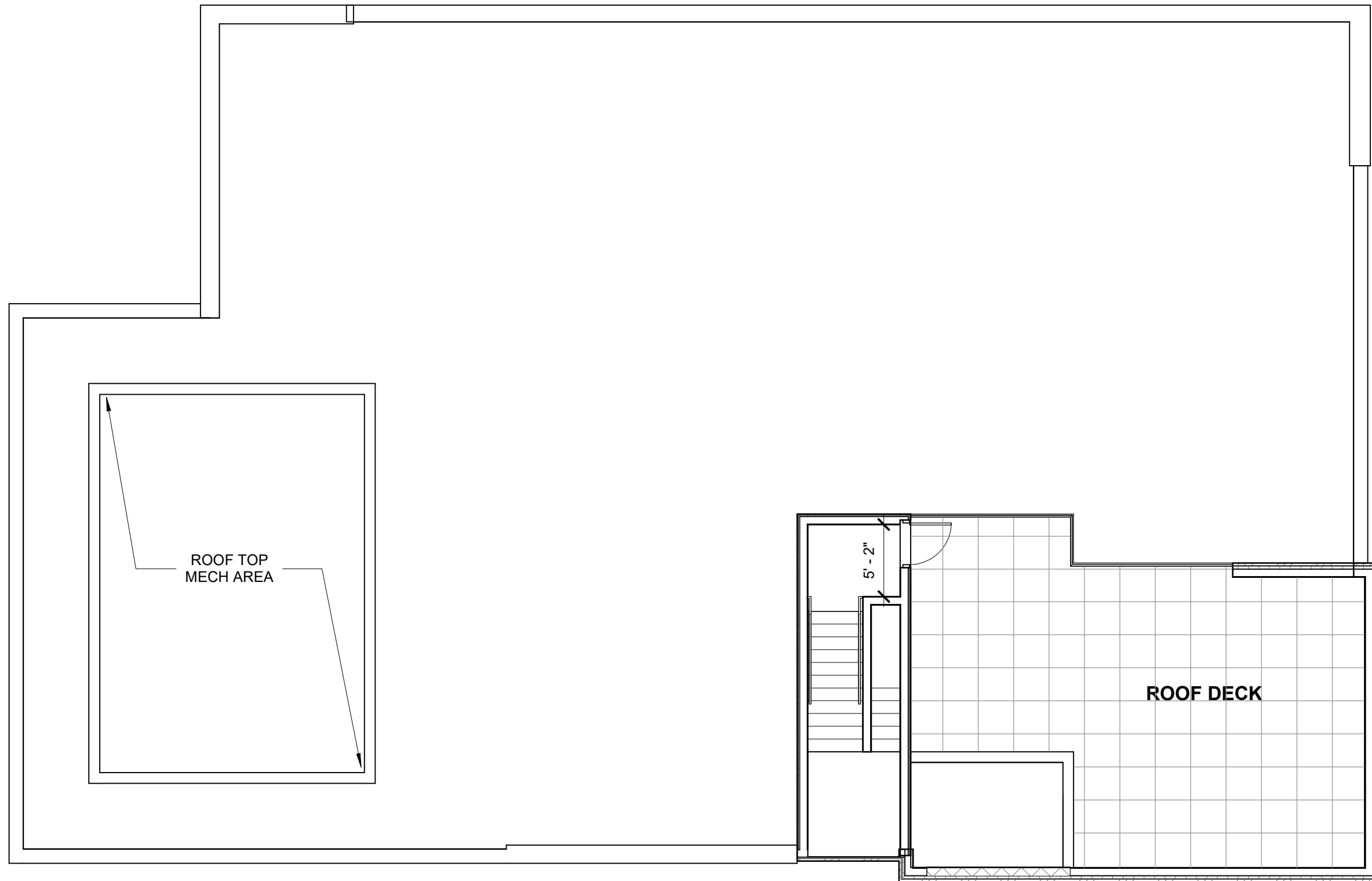
Covered Bike Parking and Visual Screen

Monument Sign







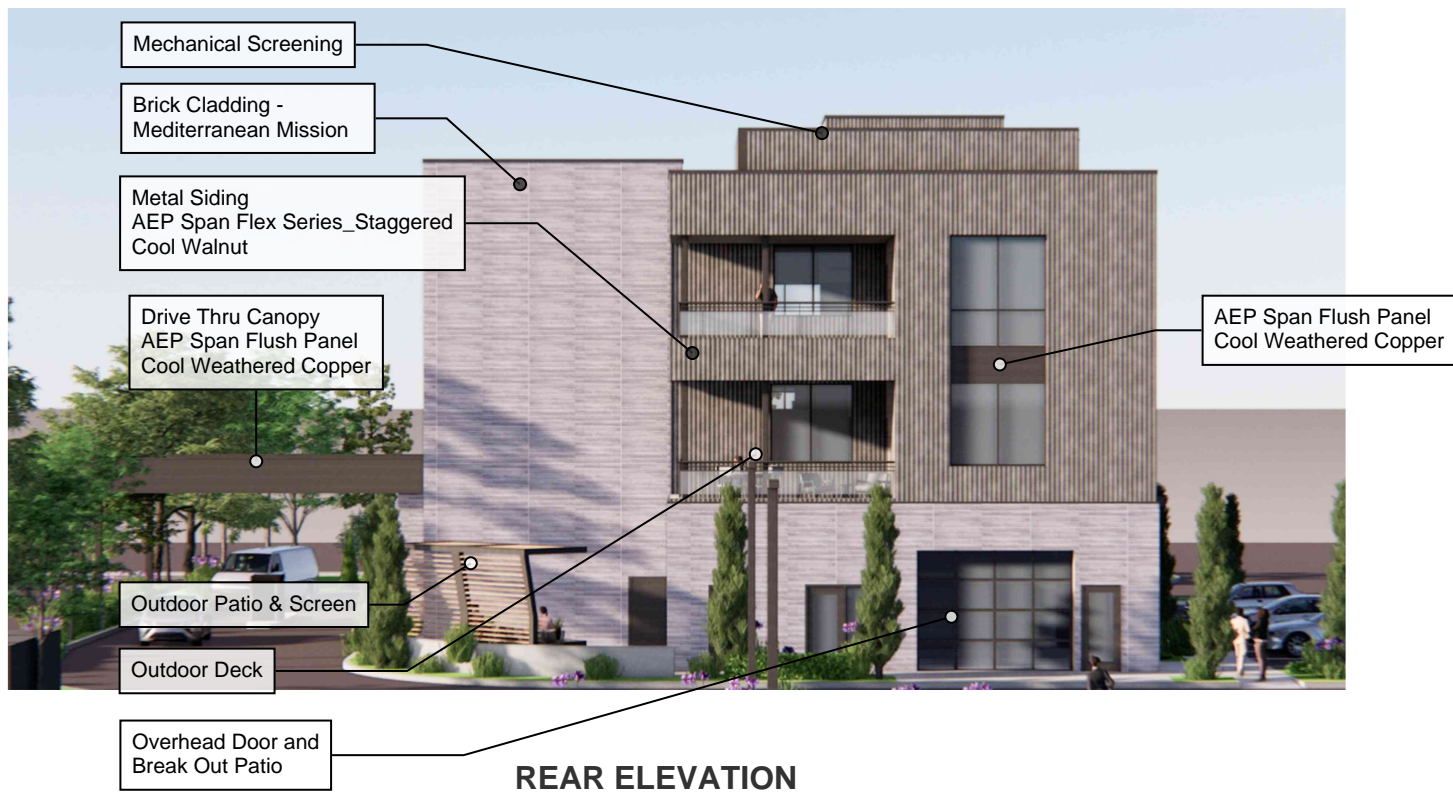




FRONT ELEVATION



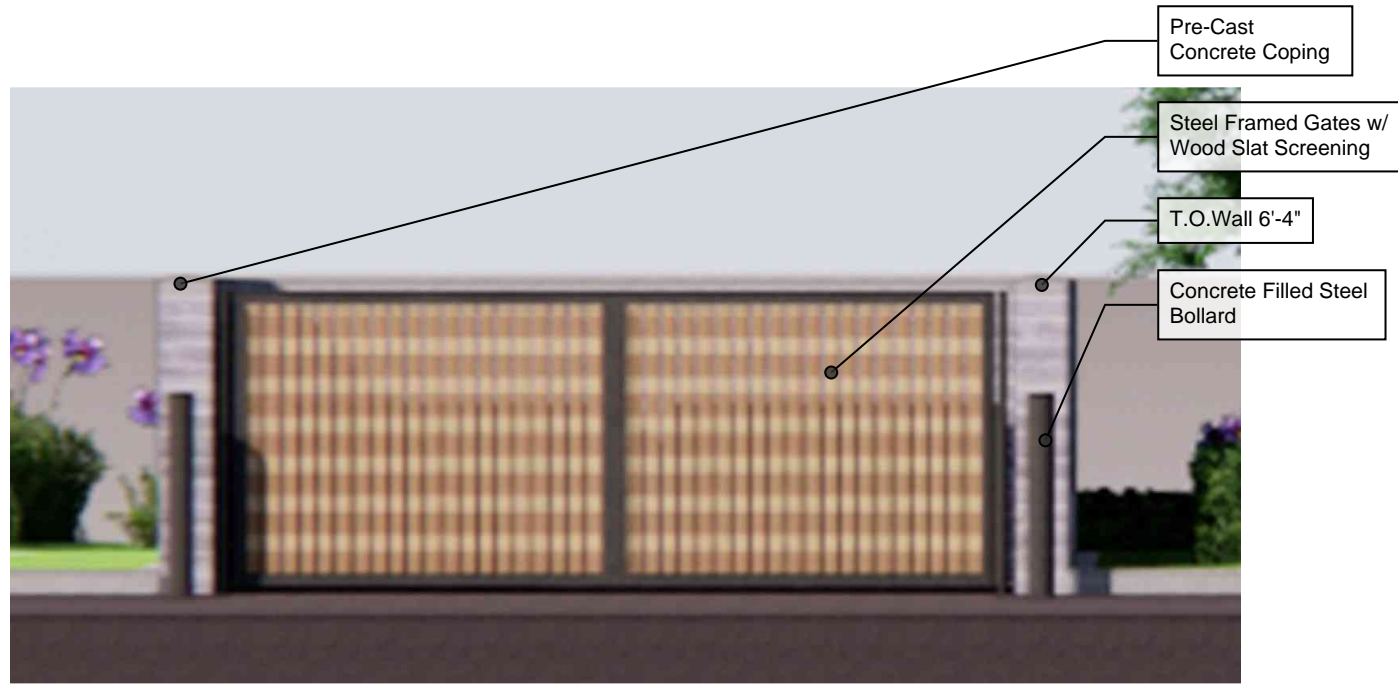
SIDE ELEVATION



REAR ELEVATION



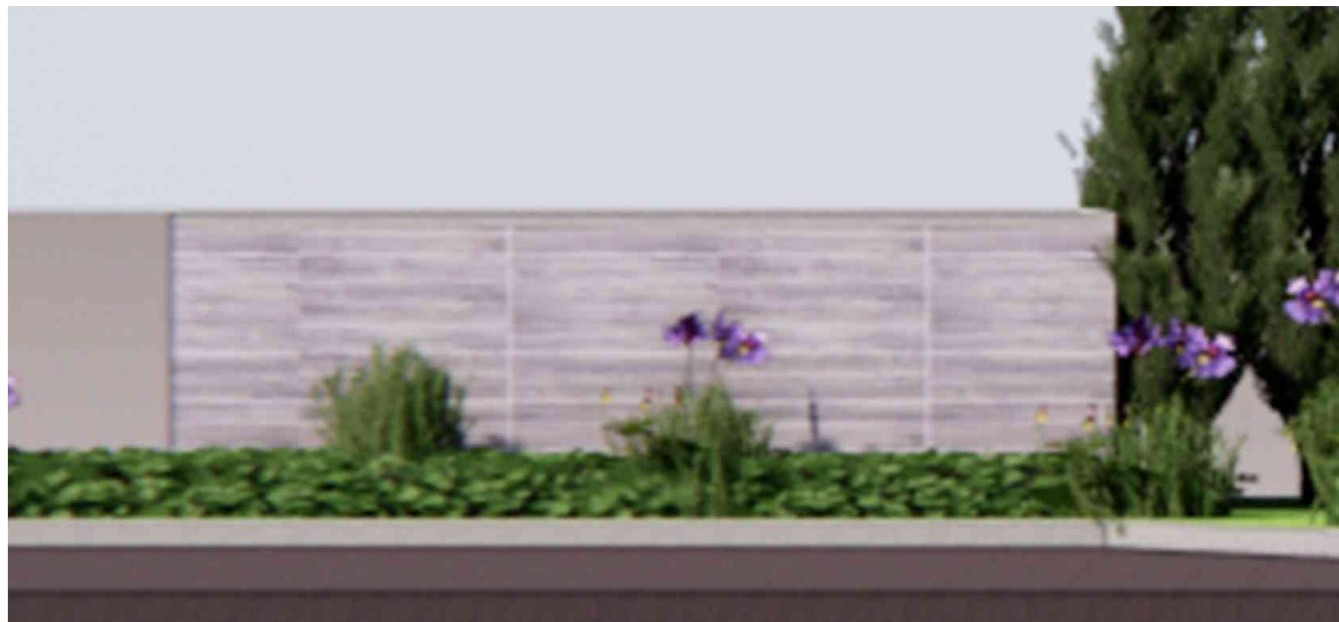
SIDE ELEVATION



FRONT ELEVATION



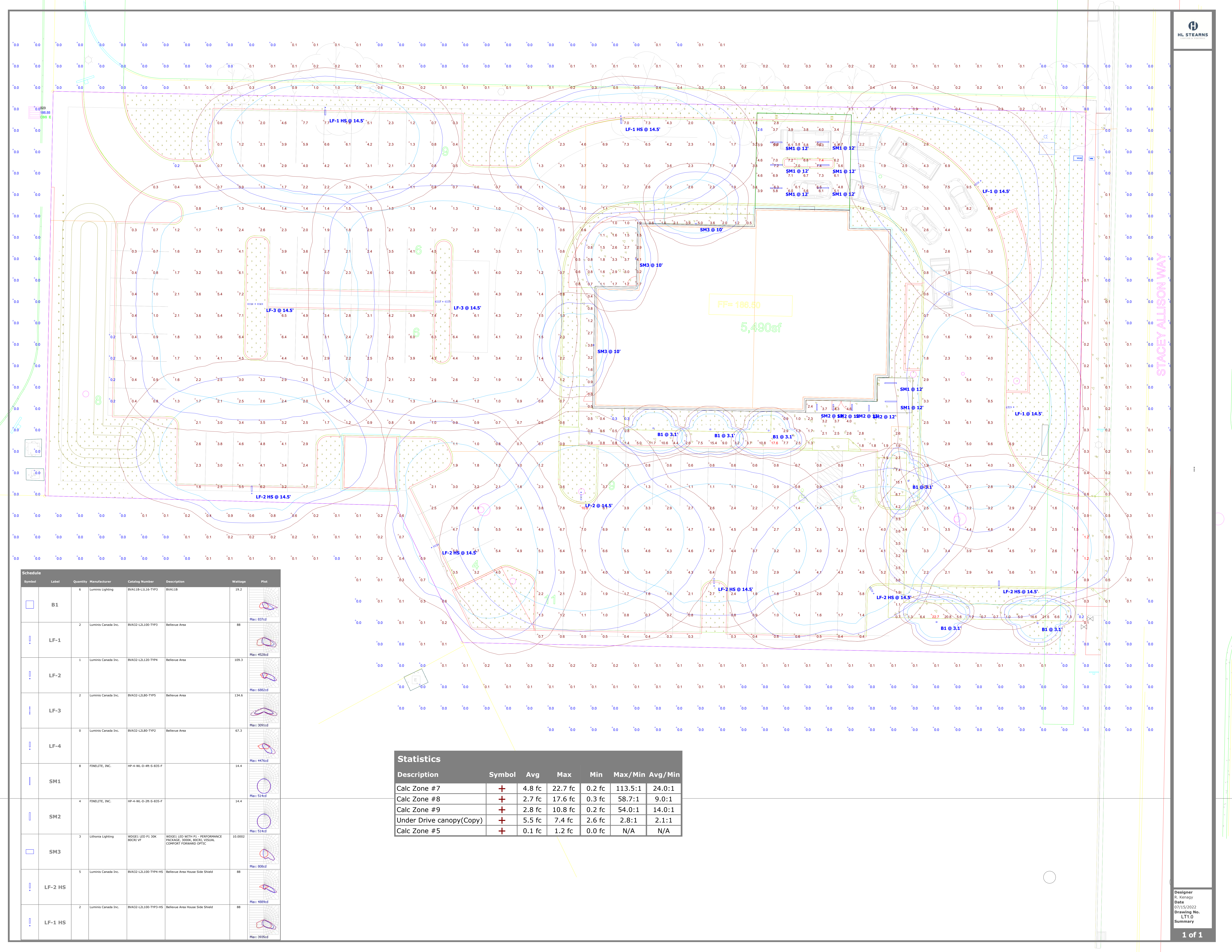
SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Wattage	Plot
□	B1	6	Luminis Lighting	BVA31B-L1L16-TYP3	BVA11B	19.2	
□	LF-1	2	Luminis Canada Inc.	BVA32-L2L100-TYP3	Believe Area	88	
□	LF-2	1	Luminis Canada Inc.	BVA32-L2L120-TYP4	Believe Area	109.3	
□	LF-3	2	Luminis Canada Inc.	BVA32-L2L80-TYP5	Believe Area	134.6	
□	LF-4	0	Luminis Canada Inc.	BVA32-L2L80-TYP2	Believe Area	67.3	
□	SM1	8	FINELITE, INC.	HP-4-WL-D-4R-S-835-F		14.4	
□	SM2	4	FINELITE, INC.	HP-4-WL-D-2R-S-835-F		14.4	
□	SM3	3	Lithonia Lighting	WEDGE LED P1 30K 90CRI VF	WEDGE LED WITH P1 - PERFORMANCE PACKAGE 3000K 90CRI VISUAL COMFORT FORWARD OPTIC	10.0002	
□	LF-2 HS	5	Luminis Canada Inc.	BVA32-L2L100-TYP4-HS	Believe Area House Side Shield	88	
□	LF-1 HS	2	Luminis Canada Inc.	BVA32-L2L100-TYP3-HS	Believe Area House Side Shield	88	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #7	+	4.8 fc	22.7 fc	0.2 fc	113.5:1	24.0:1
Calc Zone #8	+	2.7 fc	17.6 fc	0.3 fc	58.7:1	9.0:1
Calc Zone #9	+	2.8 fc	10.8 fc	0.2 fc	54.0:1	14.0:1
Under Drive canopy(Copy)	+	5.5 fc	7.4 fc	2.6 fc	2.8:1	2.1:1
Calc Zone #5	+	0.1 fc	1.2 fc	0.0 fc	N/A	N/A

STACEY ALLISON WAY