



Final Decision

Planning Commission

File number(s): DR 22-18, MOC 22-02, & VAR 22-16

Project name: Boones Crossing Phase 6

Date of decision: June 8, 2023

Date of mailing: June 9, 2023

Applicant: Eugene Labunsky, West Coast Home Solutions, LLC

Landowner: West Coast Home Solutions, LLC

Site location: Tax Lot 051W18C001405 (no assigned address, near the intersection of Iris Street at Boones Ferry Road)

Decision: **Approved with Conditions**

Public Hearing Summary

On April 27, 2023, the Planning Commission held a public hearing for this Type III Design Review (DR), Modification of Conditions (MOC), and Variance (VAR) application package. Two Commissioners were absent. After closure of the record, the Commission voted 3-2 to tentatively deny the project. Commissioners unanimously passed a subsequent vote for staff to prepare findings and a final decision for review at the next meeting.

At the May 11, 2023 meeting, the applicant submitted a letter to the Commission requesting to reopen the record to allow submittal and consideration of site plan revisions that address comments and concerns that were brought up at the April 27 meeting. The Commission voted 6-0 to reopen the record, schedule an additional public hearing for June 8, 2023, and provide mailed notice to all individuals with standing.

An additional public hearing was held on June 8, 2023.

No testimony was received in support of the project. Testimony in opposition to the project was received from the following individuals:

- Gilberto Villanueva, 1596 Iris Street

- Larry & Jonnetta Chambers, 1488 Iris Street
- Sydni Vandal Avila, 1447 Sunflower Street
- Michael Mansur, 1472 Iris Street
- Michael Robertson, 1426 Iris Street
- Rudy Perez Delgado, 1456 Iris Street
- Kathryn Pettit, 1410 Iris Street
- Hal & Dorothy Lokken, 1355 Autumn Boulevard

Proposed Development

The subject property is an undeveloped 8.41-acre property in the Single-Family Residential (RS) zoning district and encompasses a portion of land within Phase 6 of the Boones Crossing Planned Unit Development (PUD), a development originally approved in 1999 via Ordinance No. 2246. Numerous modifications and approvals occurred in the years following the original approval that, coupled with the passage of time and changes in ownership, created uncertainty about the project and ultimately led to the execution of a Statutory Development Agreement (SDA) in 2016 between the City and four separate owners of the remaining undeveloped phases of the PUD property. Contained within the original PUD approval and the SDA, Phase 6 was specified to include a medium density residential development of up to 94 multi-family dwelling units, a neighborhood commercial development of 1.35 acres, and a 3-acre public park. Since the execution of the SDA, the 3-acre park area was dedicated to the City by the Phase 6 property owner via Partition Plat 2018-057.

The proposal before the Planning Commission was a Design Review application to construct a multifamily residential development of 94 townhouse-style dwelling units across 22 buildings. The applicant included a Modification of Conditions application with a request to remove the neighborhood commercial component within Phase 6, as well as a Variance application requesting to have one of the drive aisles encroach into a setback.

Final Decision

The Commission voted unanimously to approve the project as revised in the Staff Report Addendum published June 1, 2023 with the conditions recommended by staff.

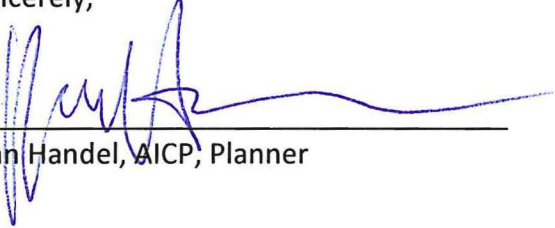
Appeals

Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO 4.02.01. The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street,

Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or planning@ci.woodburn.or.us.

Sincerely,



Dan Handel, AICP, Planner

6/9/2023

Date

Affirmed,



Charlie Piper, Chair, Planning Commission

6-8-23

Date

Conditions of Approval

Section references throughout the conditions are to the Woodburn Development Ordinance (WDO).

1. Substantial Conformance: The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
 - a. Revised parking: Prior to building permit issuance, revise the plans to remove the individual visitor parking stalls circled in red in the image below. These areas shall instead be landscaped common area.



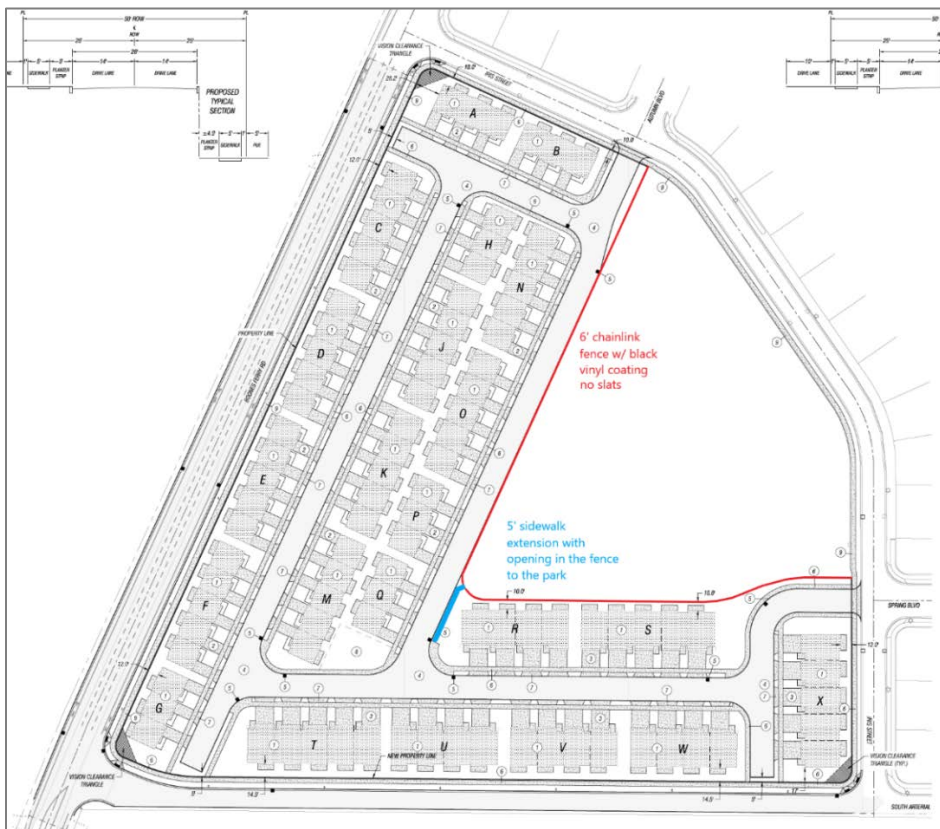
Revised site plan with parking stalls to remove and replace with landscaping circled in red.

2. Grading Permit: Prior to beginning any grading work on-site, the applicant shall apply for and obtain a Grading Permit per 5.01.04.
3. Fencing Permit: To demonstrate conformance with 2.06.02 and 5.01.03, submit application for and obtain approval of a Fence Permit for any fencing.
4. Sign Permit: To demonstrate conformance with 3.10 and 5.01.10, submit application for and obtain approval of a Sign Permit for any new signage.
5. S. Boones Ferry Road improvements: Right-of-way (ROW) improvements to S. Boones Ferry Road along the frontage of the subject property shall conform to Figure 3.01C. Complete the following items prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 3.01.02E and 4.02.08.
 - a. ROW: Dedicate ROW to achieve 37 feet of width from centerline.
 - b. Curb-to-curb: Construct 6-inch curbs on each side and pavement in between to provide for a 6-foot bike lane in each direction, a 12-foot travel lane in each direction, and a 12-foot center turn lane.
 - c. Sidewalk: Construct a 6-foot wide sidewalk along the frontage, with a 1-foot buffer between the widened ROW boundary.
 - d. Landscape strip: Construct a 6-foot wide landscape planter strip between sidewalk and curb (width measurement includes 6-inch curb). To meet 3.01.04B and 3.06.03A, the landscape strip shall be planted with at least 25 large size street trees and lawn grass or other species of groundcover. Large size trees are defined in Table 3.06B as having a height of 60-120 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.
6. South Arterial improvements: Half-street right-of-way (ROW) improvements to the South Arterial along the frontage of the subject property shall conform to the cross-section illustrated on Sheet PP-4. Complete the following items prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 3.01.02E and 4.02.08.
 - a. ROW: Dedicate ROW as illustrated on Sheet RD-1. The width is 38 feet, except near the intersections with S. Boones Ferry Road and Iris Street where it increases.
 - b. Curb-to-curb: Construct 6-inch curbs on each side and 21 feet of roadway pavement.
 - c. Sidewalk: Construct a 5-foot wide sidewalk along the frontage, with a 1-foot buffer between the ROW boundary.
 - d. Landscape strip: Construct a 7-foot wide landscape planter strip between sidewalk and curb (width measurement includes 6-inch curb). To meet 3.01.04B and 3.06.03A, the landscape strip shall be planted with at least 23 large size street trees and lawn grass or other species of groundcover. Large size trees are defined in Table 3.06B as having a height of 60-120 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.

7. Iris Street improvements: Construct the following right-of-way (ROW) improvements to Iris Street along the frontage of the subject property. Pursuant to Figure 3.01A, the improvement requirements also apply to the frontage along the adjacent public park property (Tax Lot 051W18C001406). Complete the following items prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 3.01.02E and 4.02.08.
 - a. Sidewalk: Construct a 5-foot wide sidewalk along the subject property frontage, with a 1-foot buffer between the ROW boundary. Construct a 6-foot wide sidewalk along the adjacent park frontage.
 - b. Landscape strip: Construct a 4.5-foot landscape planter strip between sidewalk and existing curb along the frontage of the subject property, and a 5.5-foot landscape strip between sidewalk and existing curb along the frontage of the adjacent park property. To meet 3.01.04B and 3.06.03A, the landscape strips shall be planted with at least 36 small size street trees and lawn grass or other species of groundcover. Small size trees are defined in Table 3.06B as having a height of 18-40 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.
 - c. For the improvements along the adjacent park property frontage, the applicant may instead pay a fee-in-lieu. To determine the fee, the applicant shall submit a cost estimate for the improvements prepared by a licensed civil engineer. The cost estimate shall be vetted by the Public Works Director prior to acceptance.
8. Bus transit: To encourage transit ridership for residents of the development as a method of transportation demand management, the developer shall either install a shelter structure at the Parr Road / Settlemier Avenue / Front Street / S. Boones Ferry Road intersection to the specs specified by the Assistant City Administrator or designee, or pay a fee-in-lieu of \$15,000. If opting to pay the fee, payment is due prior to building permit issuance for the first building.
9. Easements: Grant the following easements. A draft copy of each easement shall be provided to the City for review prior to recordation with Marion County. Proof of recordation shall be submitted prior to building permit issuance for the first building.
 - a. S. Boones Ferry Road streetside PUE: A 5-foot wide public utility easement (PUE) along the widened ROW, pursuant to Figure 3.01C and 3.02.01B. Maximum width of this easement is 8 feet per 3.02.01F2a.
 - b. South Arterial streetside PUE: A 5-foot wide minimum PUE along the ROW, pursuant to Figure 3.01C and 3.02.01B. Maximum width of this easement is 8 feet per 3.02.01F2a.
 - c. Iris Street streetside PUE: A 5-foot wide minimum PUE along the ROW, pursuant to Figure 3.01G and 3.02.01B. Maximum width of this easement is 8 feet per 3.02.01F2a.
 - d. Public water easement: A 16-foot wide PUE centered along the public water line running through the site, pursuant to 3.02.01A & C.

10. Street lighting: Pursuant to 3.02.03A, adjacent street lighting shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works Department indicating that existing illumination complies with the standards or install new lighting to conform. This is due prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 4.02.08.
11. Underground utilities: Pursuant to 3.02.04, all utility services to and within the development shall be underground.
12. Traffic safety mitigation: The following safety mitigations are due prior to building permit issuance for the first building.
 - a. I-5 northbound off-ramp: To mitigate current and future safety issues at the I-5 northbound off-ramp intersection with OR 214, the developer shall pay to the City a \$5,000 proportionate share mitigation fee (TSP Roadway Plan Project R9).
 - b. Parr Road / S. Front Street / Settlemier Avenue / S. Boones Ferry Road intersection: To fund a safety study of this intersection and determine appropriate improvements, the developer shall pay to the City a \$5,000 proportionate share mitigation fee.
 - c. Existing mailbox: The developer shall relocate the existing mail gangbox along Iris Street at the intersection with Autumn Boulevard to a location acceptable to the Public Works Director and USPS.
 - d. Speed tables: The developer shall revise plans to add speed tables to drive aisles throughout the site as a traffic safety measure to limit vehicle speed through the site. Design and location of speed tables shall be to the satisfaction of the Community Development Director and Woodburn Fire Marshal.
13. Private walkways: Each dwelling shall have a private walkway connection between the front door and on-site walkway system in conformance with 3.04.06C.
14. Walkway crossings: Pursuant to 3.04.06D2, each internal walkway crossing of a drive aisle shall be an extension of walkway concrete or in the form of a speed table.
15. Guest parking: Regarding the two groups of six guest parking stalls:
 - a. To meet 3.05.02H and Table 3.05B, complete one of the following:
 - i. Revise stall dimensions for each stall to be at least 18 feet long;
 - ii. Revise the width of the adjacent concrete walkways to be at least 5.5 feet;or
 - iii. Stripe each stall as a compact parking stall.
 - b. To meet 3.05.02K, stalls shall be delineated with double parallel line striping.

16. Bicycle parking: Pursuant to Table 3.05D and 3.05.06, each 1-car garage dwelling shall have at least one wall-mounted bicycle parking facility and each 2-car garage dwelling shall have at least two wall-mounted bicycle parking facilities.
17. Electric vehicle parking: Pursuant to Table 3.05E and 3.05.031, level 2 electric vehicle charging equipment shall be installed in the garage for at least 10 of the dwellings.
18. Interface with the adjacent park property (Tax Lot 051W18C001406): The following items are due prior to building permit issuance for the first building.
 - a. Screening: The developer shall install 6-foot tall chainlink fencing with black vinyl coating along the shared property line with the adjacent public park property (Tax Lot to function as screening between the two properties. Fencing shall incorporate at least one gate, entrance, or opening at the southwest corner of the park property to allow pedestrian access between the centrally-located common area and the park. Final location and design of the fence shall be acceptable to the Assistant City Administrator and Community Development Director. Alternatively, the applicant may pay a fee-in-lieu of \$37,200.
 - b. Walkway: The developer shall construct a 5-foot wide walkway extension between the on-site walkway system and the southwest corner of the adjacent public park property.



A conceptual illustration of the fencing and walkway required by Condition 18.

19. Exterior lighting: To demonstrate conformance with the exterior lighting provisions in 3.11.02, the developer shall provide an exterior lighting plan as part of the review of on-site civil plans.

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Records: Staff recommends that the applicant retain a copy of the subject approval.
3. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
4. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
5. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
6. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
7. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need

to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.

8. Public Works Review: Staff performs final review of the civil plans (within City right-of-way jurisdiction) during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions. All improvements/work within the right-of-way shall be completed prior to final building inspection.
9. ODOT review: Applicant is required to obtain a permit from ODOT for all work within ODOT jurisdiction. Applicant to provide a copy of the ODOT permit approval prior to building permit issuance.
10. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
11. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
12. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
13. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
14. SDCs: The developer pays System Development Charges prior to building permit issuance.



**Public Works Comments
DR 22-18, MOC 22-02, &
VAR 22-16
Boones Crossing Phase 6
Tax lots 051W18C001405
April 20, 2023
CONDITIONS OF LAND USE APPROVAL**

A. General

1. The Applicant, not the City, is responsible for obtaining any necessary permits from the State, Marion County, Oregon Division of State Lands, US Army Corps of Engineering and/or federal agencies that may require such permit or approval for the construction of this development.
2. Applicant to provide a final Engineer stamped storm drainage hydraulic analysis report for detention, conveyance system and a final 100-year floodway, floodplain, and wetland delineation for this development if applicable. The storm drainage hydraulic analysis shall comply with, Oregon Division of State Lands, US Army Corps of Engineering and City's requirements, as applicable. Applicant is responsible for correcting/upgrading any existing storm drainage capacity deficiencies, including upgrading private and public storm drainage systems or installing a new drainage system as per City's and Marion County's requirements and per approved Storm Drainage Hydraulic Analysis Report.
3. Applicant is responsible for correcting/upgrading any storm drainage capacity deficiencies, including upgrading private storm drainage systems or installing a new public drainage system as per City's requirements and per approved Storm Drainage Hydraulic Analysis Report.
4. The applicant is required to upgrade the existing cross-section of S Boones Ferry Road to the City's minimum cross-section standards for a minor arterial, as applicable.
5. On-site existing water wells and subsurface sewage disposal systems shall be abandoned by the applicant in accordance with all state regulations and requirements, if applicable.
6. All sanitary sewer and storm drainage laterals serving the proposed developments are private up to the main public line.
7. The Applicant, by this Development, shall not cause storm water runoff to be impounded on adjacent properties.

B. CONDITIONS TO BE COMPLETED PRIOR TO CIVIL PLANS APPROVAL:

1. Applicant to provide a copy of approved permit(s) from the Oregon Division of State Lands and US Army Corps of Engineering and Marion County, as applicable.

2. If required, a Permit from the Oregon Division of State Lands and US Army Corps of Engineering will need to be obtained to mitigate/delineated wetlands. This shall be obtained prior to the city issuance of permit. The applicant, as applicable, shall also obtain other required regulatory permits.
3. Department of Environmental Quality Erosion Control 1200C permit will need to be obtained for this development prior to City issuing approval of civil plans.
4. Applicant to provide for the installation of all franchise utilities and shall provide any required easements for these facilities. All permanent utility services to the development shall be underground.
5. Applicant to provide/install street lighting along all public streets in accordance with street lighting plan approved by the City and conforming to Portland General Electric installation under option B.
6. Applicant to construct private storm sewer systems, including detention facilities in accordance with approved plans and drainage reports. All required on-site and off-site detention area(s) for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The property owner shall maintain all on-site detention areas in perpetuity.
7. All public sewer mains are a gravity system and the termini of sewer lines locations, depths, and sizes shall be such that it is suited for future extensions to adjoining areas.
8. All City-maintained facilities located on private property shall require a minimum of 16-foot wide utility easement conveyed to the City by the property owner. This is the applicant's responsibility to provide, not the City's. Utilities of unusual depth, size or location may require a larger width.
9. The applicant in accordance with all state regulations and requirements shall abandon on-site existing water wells and subsurface sewage disposal systems.
10. Applicant to provide a flexible pavement structured designed, for all new public streets, by a registered professional engineer using subgrade reaction appropriate for the site, traffic index, and a 20-year design life for pavement system. Structure thicknesses shall not be less than values form table on City of Woodburn Standard Detail No. 42001 (Typical Pavement Structure).
11. The owner/applicant shall be required to enter into an improvement agreement.
12. Applicant to pay all public improvements (right-of-way) fees for all public improvements that are to be maintained by the city as per Ordinance #1795.
13. Final review of the Civil Plans will be done during the Subdivision/Improvements Application for Construction. Public infrastructure will be designed and constructed in accordance with plans approved by public works and complying with City, Marion County, State and Federal requirements/guidelines current at the time of the subdivision/improvement's application.
14. Provide and record the required right-of-way dedications and public utility easements, at time of final plat recordation.
15. All public improvements shall be deemed complete prior to final plat recordation.
16. System Development charges shall be paid prior to building permit issuance.

Engineering & Project Delivery

190 Garfield Street • Woodburn, Oregon 97071
Ph. 5030-982-5240 • Fax 503-982-5242

17. All onsite private storm systems and sewer lateral lines shall comply with Marion County plumbing permit and requirements.

SITE PLAN LEGEND

OBJECT/PATTERN	DESCRIPTION(S)
---	- PROPERTY LINE
---	- SETBACK LINES
[Orange Box]	- BUILDING FOOTPRINT
[Grey Box]	- ASPHALT
[Light Grey Box]	- CONCRETE
[Green Box]	- GRASS
[North Arrow]	- PROPERTY DATUM POINT

PROJECT INFORMATION

ZONING: RESIDENTIAL SINGLE FAMILY (RS)
BOONES CROSSING PUD

SITE: 359,888 S.F.
8.41 ACRES

BUILDING AREA: PROVIDED
GROSS AREA: 98,382 SF 27%

PAVING AREA: PROVIDED
GROSS AREA: 121,161 SF 34%
PRIVATE PATIOS: 15,259 SF
DRIVEWAYS: 38,286 SF
DRIVE ISLE: 67,616 SF

COMMON OPEN SPACE: REQUIRED 30% OF TOTAL AREA
PROVIDED 30%
GROSS AREA: 110,134 SF
COMMON
OPEN SPACE: 106,290 SF
*IMPROVED
COMMON AREA: 5,465 SF

PRIVATE OPEN SPACE: REQUIRED 9% SF PER UNIT = 8,640 SF
PROVIDED
PATIOS: 13,294 SF

RIGHT OF WAY: PROVIDED 32,426 SF 9%

MAX HEIGHT: PROPOSED 27'-0" APPROXIMATELY MAX.
35'-0" ALLOWED

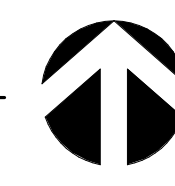
PARKING: REQUIRED: 188
PROVIDED: 269
GARAGE STALLS: 125
DRIVEWAY STALLS: 125
GUEST STALLS: 19

WCHS BOONE'S FERRY DEVELOPMENT CALCULATIONS

DISCRPTION:	RESIDENTIAL (SF):			PARKING:			
	BUILDING:	UNIT TYPE:	# OF UNITS:	UNIT:	BUILDING:	GARAGE SF/UNIT:	GARAGE SPACES:
S, T, X	A	5	1,937	9,685	438	2	2
R, U, V, W	A	4	1,937	7,748	438	2	2
C, D, E, F, J, K, M, N, O	B	5	1,563	7,815	252	1	1
A, B, G, H, P, Q	B	3	1,563	4,689	252	1	1
TOTAL A		31	-	60,047	13,733	62	62
TOTAL B		63	-	98,469	15,882	63	63
TOTAL		94	-	149,138	29,615	125	125



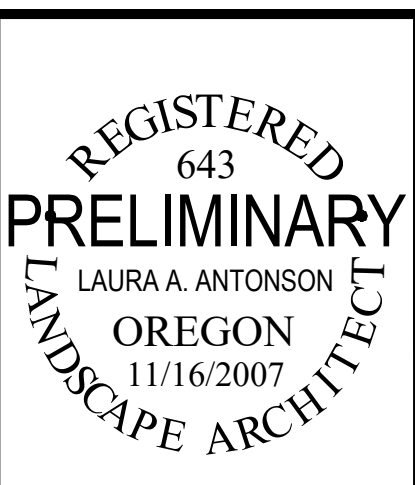
1 SITE PLAN
SCALE: 1" = 50'-0"



	CLIENT: 	PROJECT/LOCATION: <h2 style="margin: 0;">WCHS BOONE'S FERRY TOWNHOMES</h2> <p style="margin: 0;">WOODBURN, OREGON 97071</p>	TITLE: <h1 style="margin: 0;">LU.01</h1> ENLARGED SITE PLAN DATE: 05/23/23
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WEST COAST HOME SOLUTIONS: WOODBURN

SOUTH BOONES FERRY ROAD
WOODBURN, OREGON



CBTWO ARCHITECTS LLC
500 Liberty Street SE, Suite 100 / Salem, Oregon 97302
Ph: 503.480.8700 / Fx: 503.480.8701

OWNER
WEST COAST HOME SOLUTIONS
PH: 503.509.5916

CONTRACTOR
Company name
PH:

CIVIL ENGINEER
LEI ENGINEERING & SURVEYING OF OREGON, LLC
PH: 503.399.3828

STRUCTURAL ENGINEER
MSC ENGINEERS INC.
PH: 503.399.1399

LANDSCAPE ARCHITECT
LAURUS DESIGNS, LLC
PH: 503.784.6494

JURISDICTION
CITY OF WOODBURN
PH: 503.982.5250

DRAWINGS FOR:

CBTWO ARCHITECTS, LLC
500 LIBERTY STREET SE, STE 100
SALEM, OREGON
503 . 408 . 8700

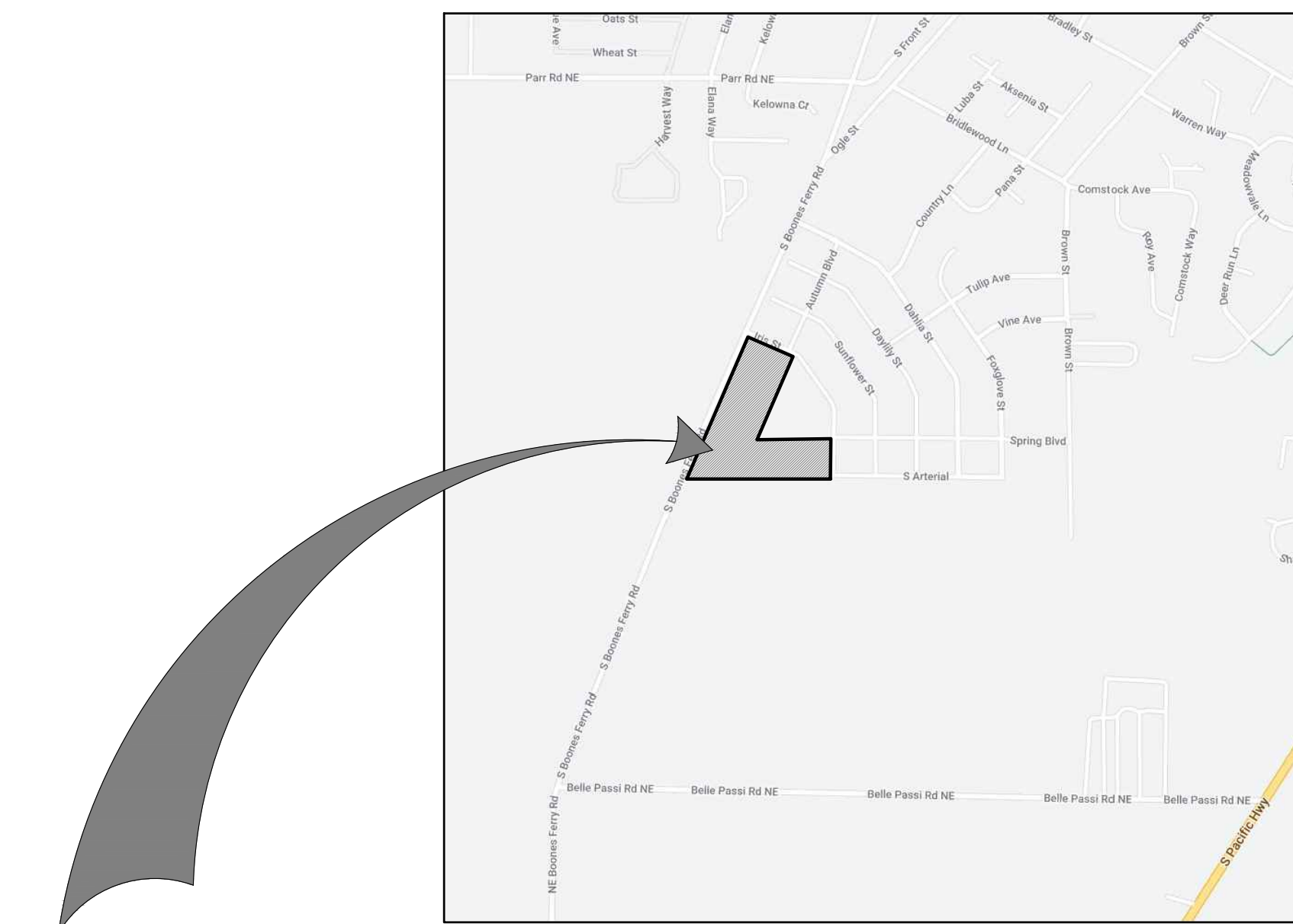
LANDSCAPE ARCHITECT:

LAURUS DESIGNS, LLC
LAURA ANTONSON, RLA, ASLA
1012 PINE STREET
SILVERTON, OREGON 97381
503 . 784 . 6494
LAURA@LAURUSDESIGNS.COM

SHEET INDEX:

- LO.0 COVER SHEET
- L1.1 PLANTING PLAN
- L1.2 PLANTING PLAN
- L1.3 PLANTING PLAN AND SCHEDULE
- L1.4 PLANTING NOTES AND DETAILS

VICINITY MAP:



PROJECT SITE

MAP COURTESY OF GOOGLE

CALL BEFORE YOU DIG:
1.800.332.2344
www.callbeforeyoudig.org

WEST COAST HOME SOLUTIONS
BOONES FERRY ROAD
WOODBURN, OREGON

Issue:		
Date:		May 12th, 2023
Rev:	Description:	Date:

COVER SHEET

L0.0

Issue:		May 12th, 2023
Date:		
Rev:	Description:	Date:

PLANTING PLAN

L1.1

Site Information

TOTAL SITE AREA (SF) = 359,888 SF (8.26 ACRES)
 TOTAL LANDSCAPE AREA = 112,860 SF (31% OF SITE)


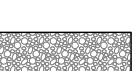

Landscape Requirements

STREET SETBACK = 1 PLANT UNIT (PU) PER 15 SF
 BUFFER = 1 PLANT UNIT (PU) PER 20 SF
 OTHER YARDS = 1 PLANT UNIT (PU) PER 50 SF
 COMMON OPEN SPACE = 3 PLANT UNIT (PU) PER 50 SF

Plant Units

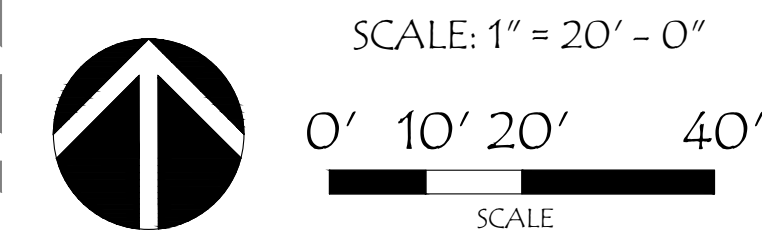
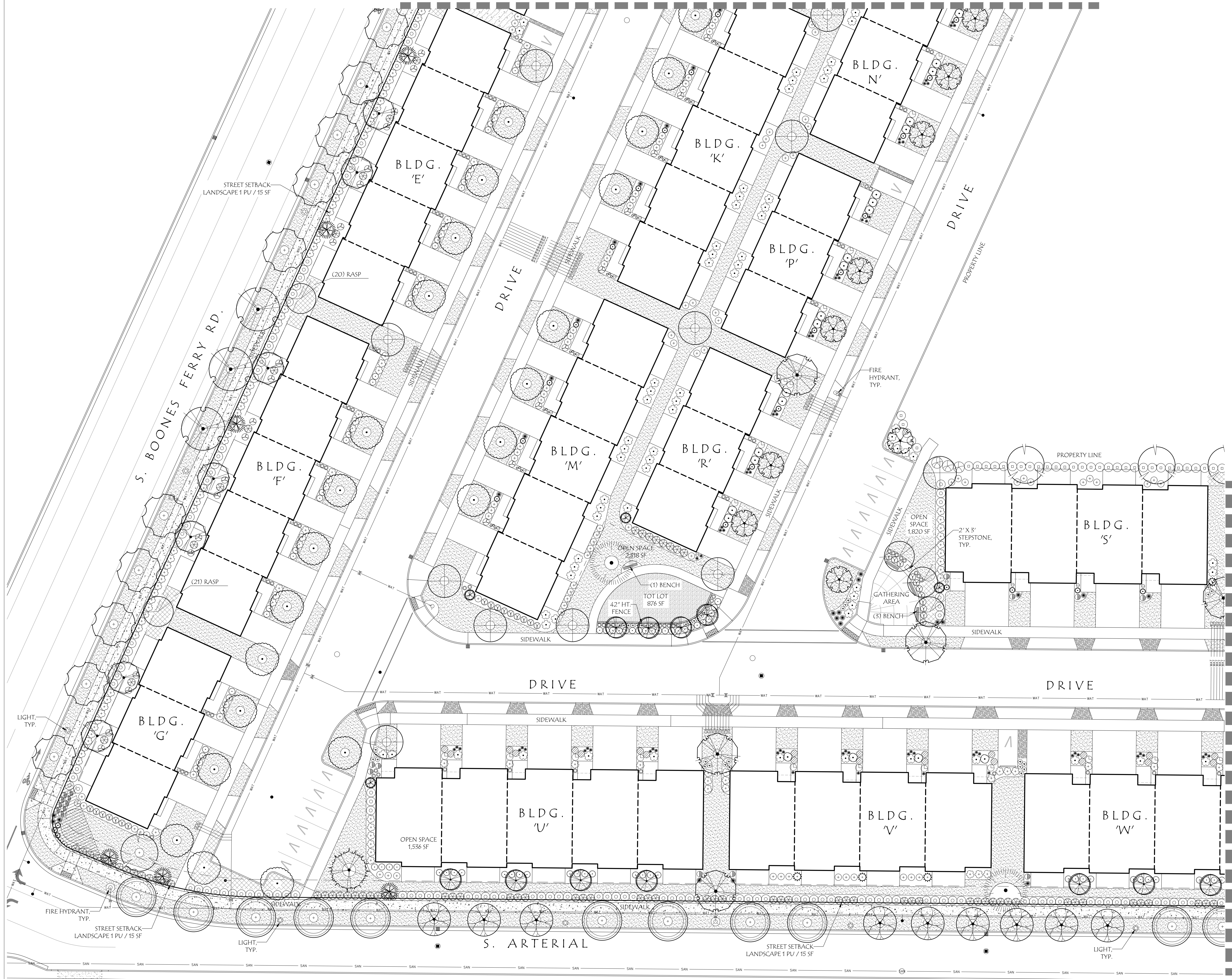
SIGNIFICANT TREE = 15 PU
 LARGE TREE = 10 PU
 MEDIUM TREE = 8 PU
 SMALL TREE = 4 PU
 LARGE SHRUB = 2 PU
 SMALL/MEDIUM SHRUB = 1 PU
 LAWN/GROUND COVER = 1 PU / 50 SF
 BENCH = 5 PU / LF

Legend:

-  ENGINEERED WOODCHIP SURFACE, 12" MIN. DEPTH, SEE NOTES THIS SHEET FOR SAFETY INFORMATION.
-  ROUND ROCK, 2"-3" DIAMETER, 4"-6" DEEP, GRAY
-  BENCH WITH BACK, 6' LONG

General Notes:

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
3. SEE CIVIL DRAWINGS FOR GRADING, AND UTILITIES.
4. STREET TREES SELECTED FROM CITY OF WOODBURN STREET TREE LIST.
5. PLANT SCHEDULE SEE SHEET L1.3.
6. PLANTING NOTES AND DETAILS SEE SHEET L1.4.
7. CHILDREN'S PLAY AREA AND WOODCHIP PLAY SURFACE TO CONFORM TO CPSC AND ASTM PLAYGROUND STANDARDS AND GUIDELINES. EQUIPMENT TO BE SELECTED. PLAY EQUIPMENT TO BE SELECTED BY OWNER.
8. AUTOMATIC IRRIGATION SYSTEM TO BE DESIGNED BY THE LANDSCAPE ARCHITECT.





Legend:

- ENGINEERED WOODCHIP SURFACE, 12" MIN. DEPTH, SEE NOTES THIS SHEET FOR SAFETY INFORMATION.
- ROUND ROCK, 2"-3" DIAMETER, 4"-6" DEEP, GRAY
- BENCH WITH BACK, 6' LONG

General Notes:

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
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6. PLANTING NOTES AND DETAILS SEE SHEET L1.4.
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8. AUTOMATIC IRRIGATION SYSTEM TO BE DESIGNED BY THE LANDSCAPE ARCHITECT.

Plant Units

- SIGNIFICANT TREE = 15 PU
- LARGE TREE = 10 PU
- MEDIUM TREE = 8 PU
- SMALL TREE = 4 PU
- LARGE SHRUB = 2 PU
- SMALL/MEDIUM SHRUB = 1 PU
- LAWN/GROUND COVER = 1 PU / 50 SF
- BENCH = 5 PU / LF

**Landscape Planting Requirements:
Street Setback: Iris Street**

REQUIRED PLANTS:	1 PLANT UNIT (PU) / 15 SF	
LANDSCAPE SQUARE FOOTAGE =	1908 SF	
NUMBER OF PLANT UNITS =	127 PU	
Plants	# of Plants	Plant Units
Large Tree	0	0
Medium Tree	0	0
Small Tree	0	0
Large Shrub	58	116
Small / Medium Shrub	49	49
Lawn / Groundcover	166 sf	3
Total Plant Units		168

**Landscape Planting Requirements:
Street Setback: S. Boones Ferry**

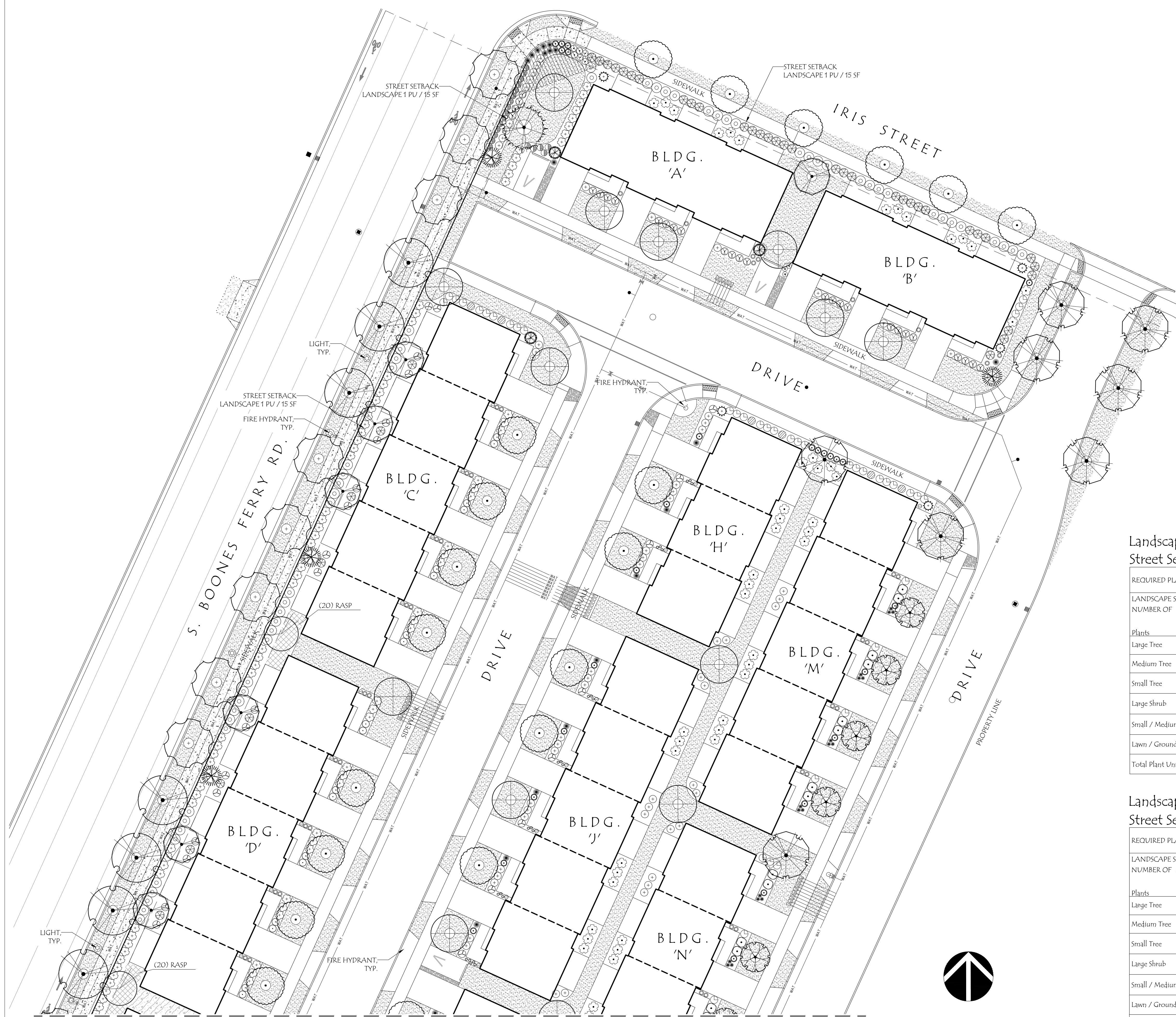
REQUIRED PLANTS:	1 PLANT UNIT (PU) / 15 SF	
LANDSCAPE SQUARE FOOTAGE =	4733 SF	
NUMBER OF PLANT UNITS =	316 PU	
Plants	# of Plants	Plant Units
Large Tree	0	0
Medium Tree	19	152
Small Tree	6	24
Large Shrub	0	0
Small / Medium Shrub	181	181
Lawn / Groundcover	413 sf	8
Total Plant Units		365

**Landscape Planting Requirements:
Street Setback: S. Arterial**

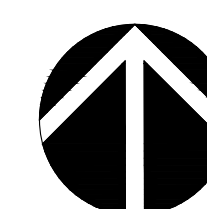
REQUIRED PLANTS:	1 PLANT UNIT (PU) / 15 SF	
LANDSCAPE SQUARE FOOTAGE =	4749 SF	
NUMBER OF PLANT UNITS =	317 PU	
Plants	# of Plants	Plant Units
Large Tree	0	0
Medium Tree	9	72
Small Tree	7	28
Large Shrub	100	200
Small / Medium Shrub	119	119
Lawn / Groundcover	1294 sf	26
Total Plant Units		445

**Landscape Planting Requirements:
Common Areas**

REQUIRED PLANTS:	3 PLANT UNITS (PU) / 50 SF	
LANDSCAPE SQUARE FOOTAGE =	15,301 SF	
NUMBER OF PLANT UNITS =	918 PU	
Plants	# of Plants	Plant Units
Significant Tree	0	0
Large Tree	3	30
Medium Tree	20	160
Small Tree	6	24
Large Shrub	132	264
Small / Medium Shrub	158	158
Lawn / Groundcover	13,206 sf	264
Bench	36 lf	18
Total Plant Units		918



MATCHLINE 'A': SEE SHEET L1.1



SCALE: 1" = 20' - 0"



Plant Schedule

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE
	15	Acer platanoides 'Globosum' / Globe Norway Maple	2" Cal., B&B	Small (Street Tree)
	30	Acer rubrum 'Bowhall' / Bowhall Red Maple	2" Cal., B&B	Medium
	2	Acer rubrum 'October Glory' / October Glory Red Maple	2" Cal., B&B	Large (Street Tree)
	16	Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam	2" Cal., B&B	Small (Street Tree)
	12	Chamaecyparis nootkatensis 'Pendula' / Weeping Nootka Cypress	10' Ht. Min., B&B	Medium
	7	Chamaecyparis obtusa 'Compacta' / Compact Hinoki False Cypress	10' Ht. Min., B&B	Small
	7	Cornus florida / Flowering Dogwood	2" Cal., B&B	Small
	10	Fagus sylvatica / European Beech	2" Cal., B&B	Large (Street Tree)
	11	Fagus sylvatica 'Dawyck Purple' / Dawyck Purple European Beech	2" Cal., B&B	Medium
	16	Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper	4-6" Ht., B&B	Small
	15	Lagerstroemia indica / Crape Myrtle	2" Cal., B&B	Small (Street Tree)
	7	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	2" Cal., B&B	Medium
	18	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	2" Cal., B&B	Large (Street Tree)
	48	Parrotia persica 'Vanessa' / Vanessa Persian Parrotia	2" Cal., B&B	Small
	3	Thuja plicata / Western Red Cedar	10' Ht. Min., B&B	Large
	2	Tsuga heterophylla / Western Hemlock	10' Ht. Min., B&B	Large
	16	Zelkova serrata 'Green Vase' / Green Vase Sawleaf Zelkova	2" Cal., B&B	Medium
	14	Zelkova serrata 'JFS-KW1' TM / City Sprite Zelkova	2" Cal., B&B	Small

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	61	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Glossy Abelia	1 Gal.
	195	Abelia x grandiflora 'Sherwoodii' / Sherwood Glossy Abelia	2 Gal.
	47	Azalea x 'Mother's Day' / Mother's Day Azalea	2 Gal.
	9	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Japanese Barberry	2 Gal.
	12	Euonymus alatus 'Compactus' / Compact Burning Bush	3 Gal.
	72	Euonymus japonicus / Japanese Euonymus	3 Gal.
	49	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	24"-30" Ht.
	110	Ilex crenata 'Soft Touch' / Soft Touch Japanese Holly	2 Gal.
	68	Lonicera pileata / Privet Honeysuckle	2 Gal.
	66	Nandina domestica 'Gulf Stream' TM / Gulf Stream Heavenly Bamboo	1 Gal.
	124	Prunus laurocerasus 'Mount Vernon' / Mount Vernon English Laurel	1 Gal.
	248	Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	3 Gal.
	175	Raphiolepis indica 'Dwarf Pink' / Dwarf Pink Indian Hawthorn	3 Gal.
	257	Raphiolepis umbellata 'Snow White' / Yedda Hawthorn	3 Gal.
	65	Rosa x 'KO Double' / Pink Double Knockout Rose	2 Gal.
	79	Sarcococca confusa / Sweetbox	2 Gal.
	55	Spiraea japonica 'Goldmound' / Goldmound Japanese Spirea	2 Gal.
	5	Weigela florida 'Alexandra' TM / Wine and Rose Weigela	3 Gal.

GRASSES / PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	131	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 Gal.
	44	Hemerocallis Spp. / Daylily	1 Gal.
	107	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 Gal.
	50	Pennisetum alopecuroides 'Burgundy Bunny' / Burgundy Bunny Dwarf Fountain Grass	1 Gal.
	66	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	1 Gal.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	RASP 131 (1,261 sf)	Rubus calycinoides 'Emerald Carpet' / Emerald Carpet Creeping Bramble	1 Gal.	36" o.c.
	SPRG 148 (282 sf)	Pachysandra terminalis / Japanese Pachysandra	1 Gal.	18" o.c.
	LAWN 55,918 sf	ProTime 301 Water Smarter Fescue or Approved Equal	Seed @ Rate of 350 lbs per Acre	

Legend:

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- ROUND ROCK, 2"-3" DIAMETER, 4"-6" DEEP, GRAY
- BENCH WITH BACK, 6' LONG

- General Notes:**
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 - SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
 - SEE CIVIL DRAWINGS FOR GRADING, AND UTILITIES.
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 - PLANT SCHEDULE SEE THIS SHEET.
 - PLANTING NOTES AND DETAILS SEE SHEET L1.4.
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 - AUTOMATIC IRRIGATION SYSTEM TO BE DESIGNED BY THE LANDSCAPE ARCHITECT.

Laurus Designs, LLC

 1012 Pine Street
 Silverton, Oregon
 Project #: 1477R

REGISTERED
 643

 LAURA A. ANTONSON
 OREGON
 11/16/2007
 LANDSCAPE ARCHITECT

CBTWO ARCHITECTS
 500 Liberty Street SE, Suite 100 / Salem, Oregon 97302
 Ph: 503.480.0700 / Fx: 503.480.0701

OWNER
 WEST COAST HOME SOLUTIONS
 PH: 503.509.5916

CONTRACTOR
 Company name
 PH:

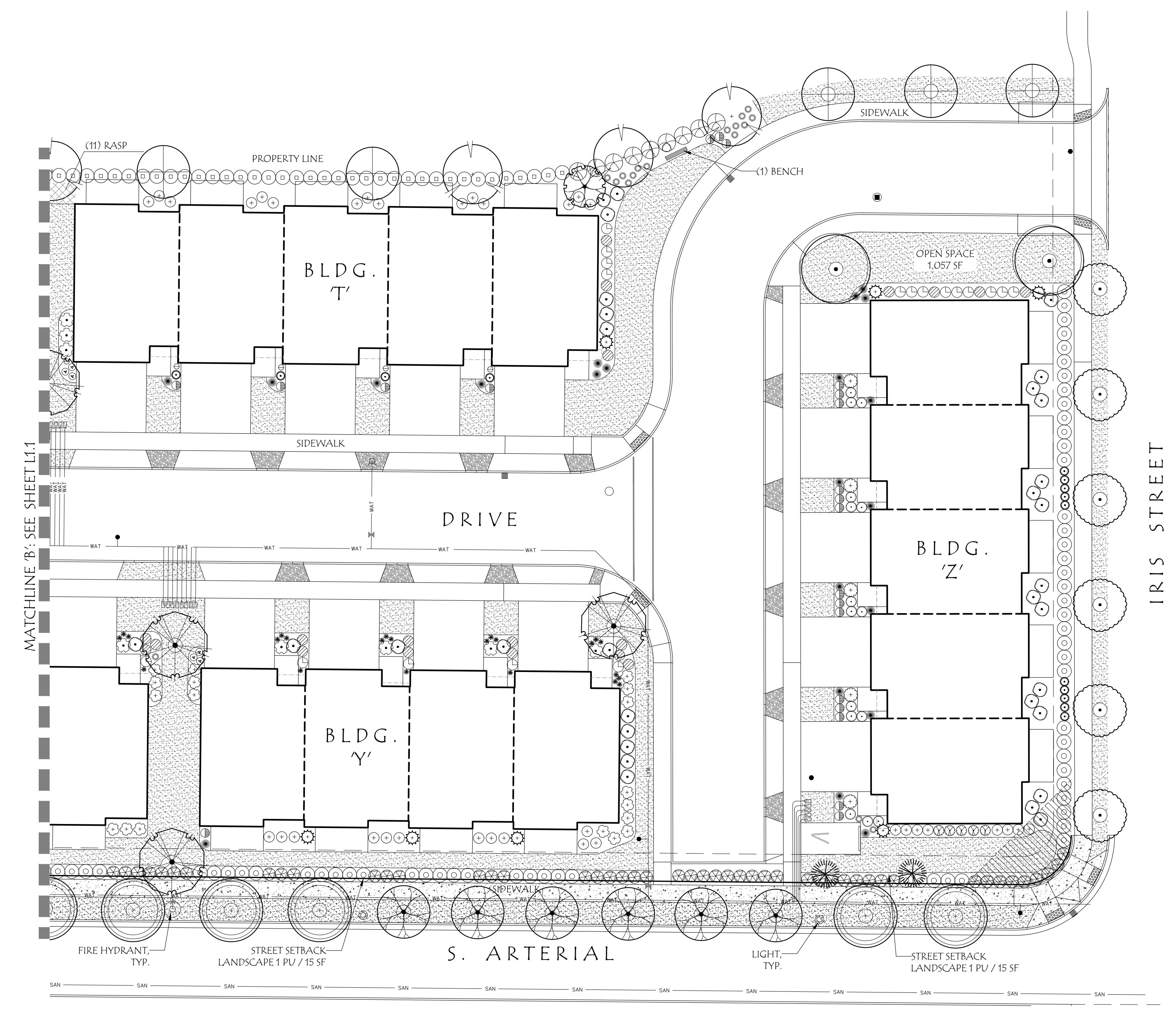
CIVIL ENGINEER
 LEI ENGINEERING & SURVEYING OF OREGON, LLC
 PH: 503.399.3828

STRUCTURAL ENGINEER
 MSC ENGINEERS INC.
 PH: 503.399.1399

LANDSCAPE ARCHITECT
 LAURUS DESIGNS, LLC
 PH: 503.784.6494

JURISDICTION
 CITY OF WOODBURN
 PH: 503.982.5250

WEST COAST HOME SOLUTIONS
 BOONES FERRY ROAD
 WOODBURN, OREGON



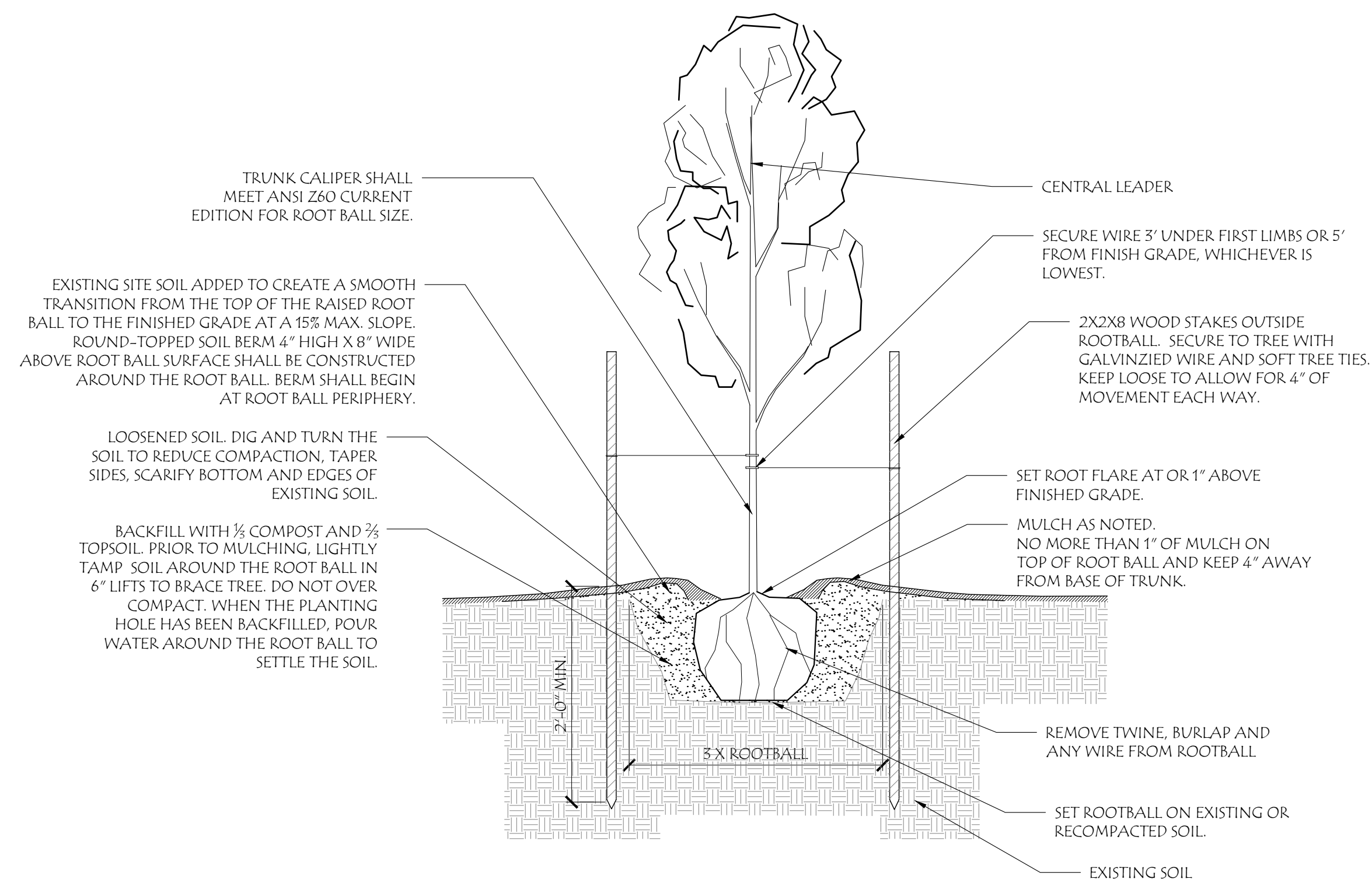
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 SCALE

Issue:

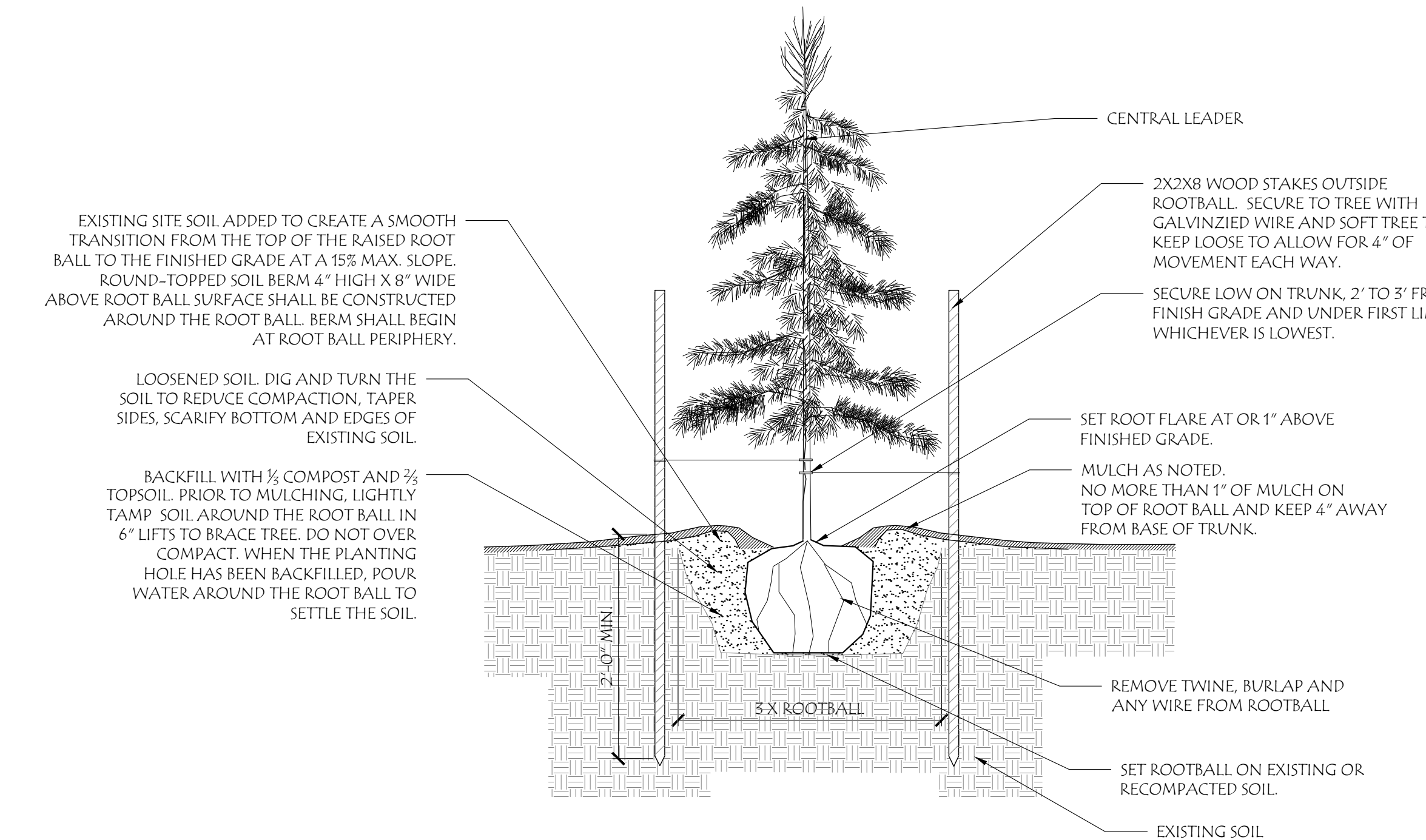
Date:	May 12th, 2023
Rev:	Description: Date

PLANTING PLAN AND SCHEDULE

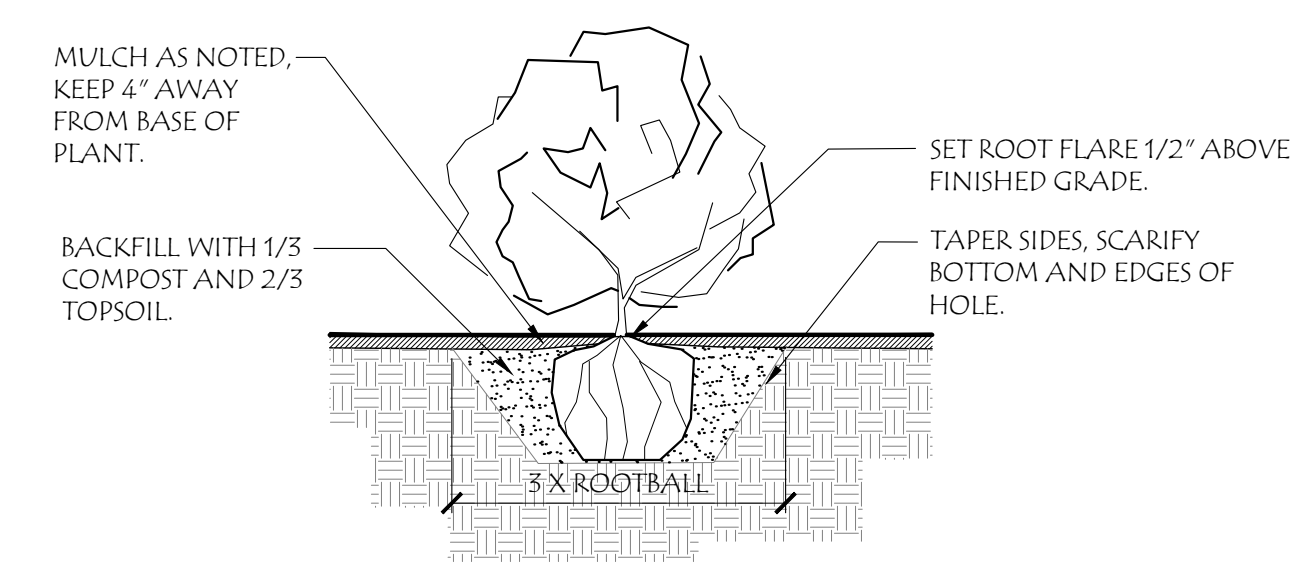
L1.3



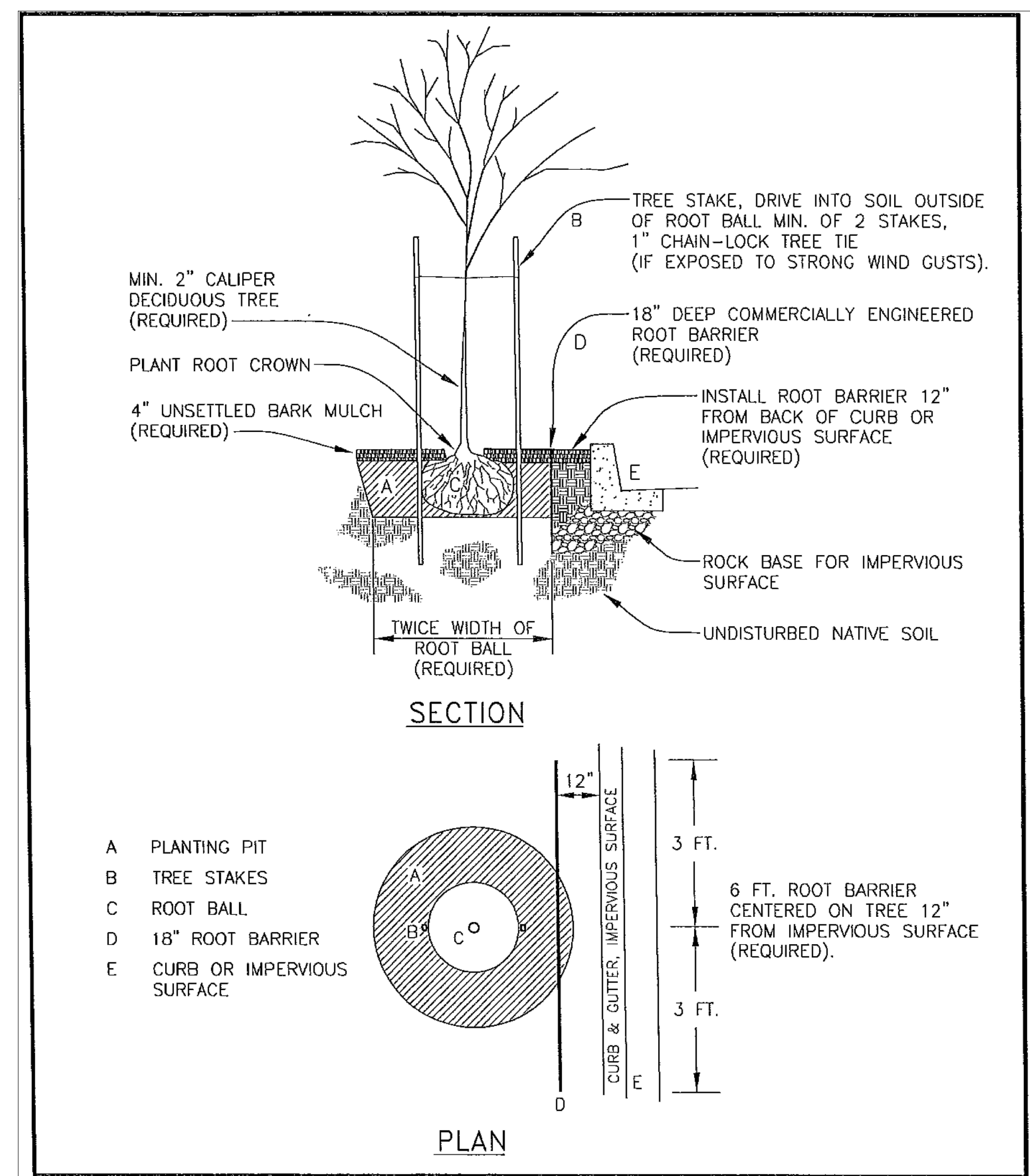
1 TREE PLANTING DETAIL
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L1.4



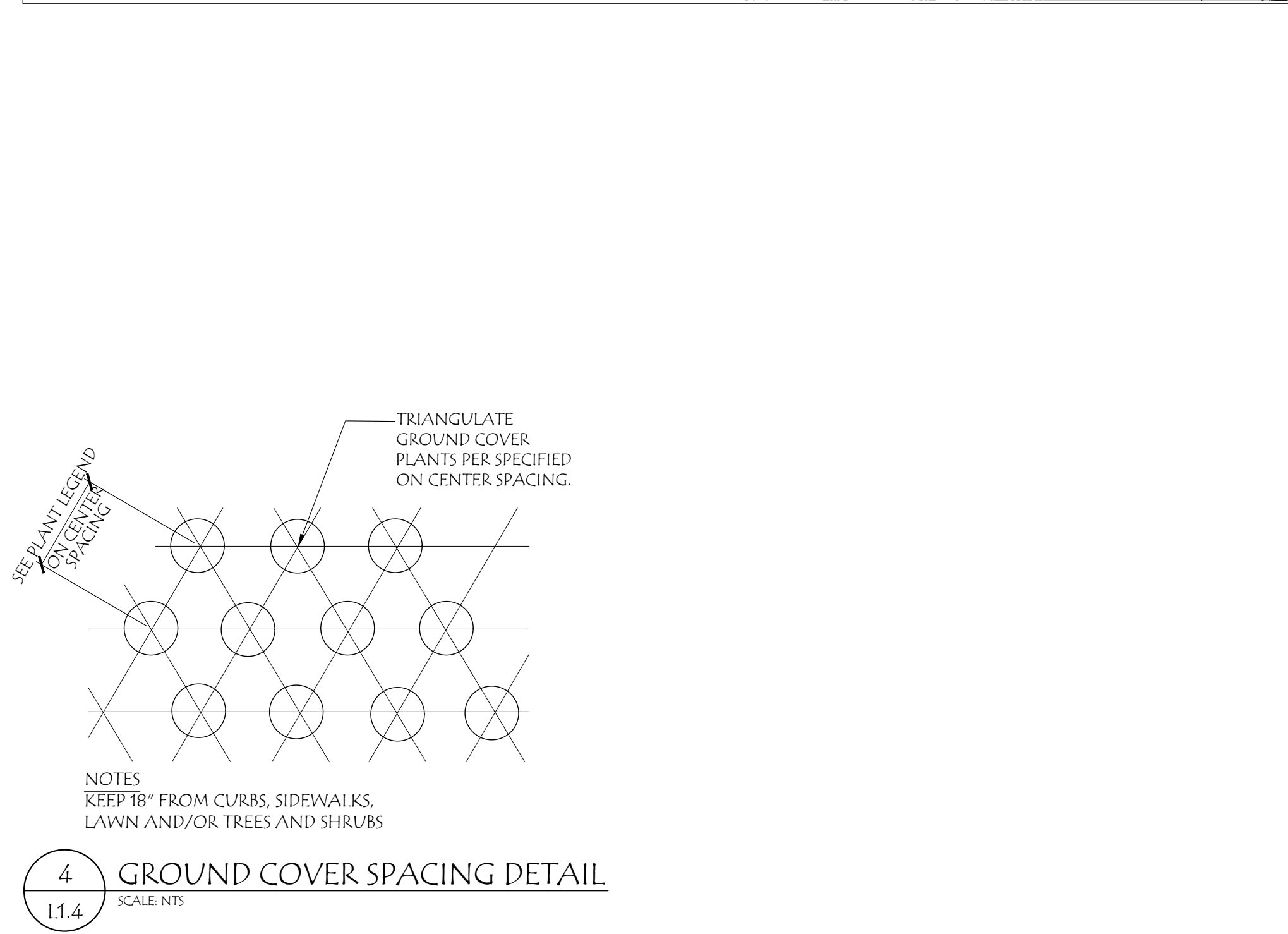
2 CONIFER PLANTING DETAIL
SCALE: NTS
L1.4



3 SHRUB AND GROUND COVER PLANTING DETAIL
SCALE: NTS
L1.4



<p>WOODBURN OREGON Incorporated 1889 PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION</p>	<p>STREET TREE PLANTING NEW CONSTRUCTION</p>	REV: OCT. 2007
		SCALE: NTS
DWG No.		1



4 GROUND COVER SPACING DETAIL
SCALE: NTS
L1.4

General Notes:

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. PLANTING PLAN SEE SHEETS L1.1 TO L1.3.
3. PLANTING SCHEDULE SEE SHEET L1.3.

General Planting Notes:

1. THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY REVIEW THE SITE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS THE LANDSCAPE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED.
2. IF THE LANDSCAPE CONTRACTOR STARTS WORK BEFORE SITE CONDITIONS ARE READY, THEY WILL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS RELATING TO THE CONDITION.
3. PLANT MATERIALS SHALL BE FREE OF DISEASE, INJURY, AND INSECT INFESTATION. UNHEALTHY OR DAMAGED PLANTS SHALL BE REPLACED BY LANDSCAPE CONTRACTOR. ALL PLANT MATERIAL SHALL FOLLOW THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLICATIONS INCLUDING ANSI A500 AND ANSI Z60.
4. PLANTER BEDS: ALL PLANTER BEDS SHALL HAVE A MINIMUM DEPTH OF 8" WORKABLE TOPSOIL, COMPACTED AT A MAXIMUM OF 85% STANDARD PROCTOR MAXIMUM DRY DENSITY. TOPSOIL SHALL BE OVER ROCK-FREE SUBGRADE. SUBGRADE TO BE RIPPED AND TILLED TO 6" DEPTH AND REMOVE ALL DEBRIS 2" OR LARGER. SMALL PLANTER AREAS MAY REQUIRE REMOVAL OF COMPACTED SOIL, ROCK, GRAVEL TO AT LEAST 18" DEEP. LOOSEN AND AMEND SOIL BEFORE REPLACING IN 6" LIFTS TO FINISH GRADE.
5. TOPSOIL MIX: AMEND EXISTING SOIL IN-SITU OR STOCK PILE. SOIL ON SITE. IMPORT TOPSOIL ONLY AS NECESSARY. CONDUCT A SOIL SAMPLE FOR EACH TYPE OF PLANTER AREA. SEND SAMPLES TO AN INDEPENDENT LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE AND SPECIALIZING IN AGRONOMIC SOIL ANALYSIS FOR TESTING AND AMENDMENT RECOMMENDATIONS.
 - 25 LBS GYPSUM
 - 75 LBS LIME
 - 8 LBS SUPERPHOSPHATE
 - 3 LBS AMMONIUM NITRATE
 - 4 OZS ZINC SULFATE
 - 8 OZS MANGANESE SULFATE
6. SOIL AMENDMENTS: ADD A MINIMUM OF 3" CLEAN, MATURE COMPOST TO TOPSOIL, TILL IN, FOR ALL PLANTER BEDS. FOR RIDDING PURPOSES, ASSUME GENERAL SOIL AMENDMENTS AS FOLLOWS PER 1000 SF AT 6" LIFTS UNTIL SOIL ANALYSIS RECOMMENDATION IS COMPLETE. SEE ABOVE FOR COMPOST:
 - 2" CAL. B&B TREE: 3 TEASPOONS
 - 5 GALLON: 2 TEASPOONS
 - 1-3 GALLON PLANT: 1 TEASPOON
 - 4" POT: 1/4 TEASPOON
 - SEED/TURF: 1 LB PER 2000 SF
 DO NOT USE ON RHODODENDRON/AZALEA, HUCKLEBERRY, SEDGE, RUSH, HEATH.
7. MYCORRHIZAL FUNGI INOCULATE: USE A COMBINED ENDO AND ECTO MYCORRHIZAL FUNGI INOCULATE SUCH AS BIO-ORGANICS OR EQUAL AT A RATE OF:
 - 2" CAL. B&B TREE: 3 TEASPOONS
 - 5 GALLON: 2 TEASPOONS
 - 1-3 GALLON PLANT: 1 TEASPOON
 - 4" POT: 1/4 TEASPOON
 - SEED/TURF: 1 LB PER 2000 SF
 DO NOT USE ON RHODODENDRON/AZALEA, HUCKLEBERRY, SEDGE, RUSH, HEATH.
8. PLANTING: VERIFY SOIL IS APPROPRIATELY DRY FOR DIGGING. SEE DETAILS THIS SHEET FOR HOLE DEPTH, WIDTH AND BACKFILL. DEEP WATER IMMEDIATELY AFTER PLANTING.
9. MOUND PLANTING BED AREAS 3% FOR POSITIVE DRAINAGE AND AESTHETICS. SLOPE AWAY FROM BUILDINGS.
10. BARK MULCH: SPREAD 2" MAX. DEPTH AGED FIR MULCH IN ALL PLANTER BEDS. KEEP MULCH AWAY FROM PLANT BASE.
11. FERTILIZER: DO NOT USE ADDITIONAL FERTILIZERS ON NEWLY PLANTED TREES FOR FIRST YEAR.
12. TREES: TREE STAKES TO BE REMOVED AFTER 6 MONTHS.
13. LAWN: PROVIDE 48" DIAMETER LAWN CUT-OUTS AROUND ALL TREES. MULCH CUT-OUTS, KEEP MULCH AT LEAST 4" AWAY FROM BASE OF TREE. KEEP LAWN 12" FROM FENCES AND BUILDINGS. MULCH AREAS AT FENCE AND BUILDING.
14. SEED: HYDROSEED IN SPRING AFTER MARCH 15TH OR FALL BEFORE OCTOBER 15TH.
15. PLANT QUANTITIES SHOWN ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES AND SYMBOLS SHOWN, USE THE LARGER OF THE TWO AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES.
16. NOTIFY LANDSCAPE ARCHITECT OF SUBSTITUTIONS.

Laurus Designs, LLC
1012 Pine Street
Silverton, Oregon
Project #: 1477R

REGISTERED
643
LANDSCAPE ARCHITECT
LAURA A. ANTONSON
OREGON
11/16/2007

CBTWO
ARCHITECTS
500 Liberty Street SE, Suite 100 / Salem, Oregon 97302
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CONTRACTOR
Company name
PH:

CIVIL ENGINEER
LET ENGINEERING &
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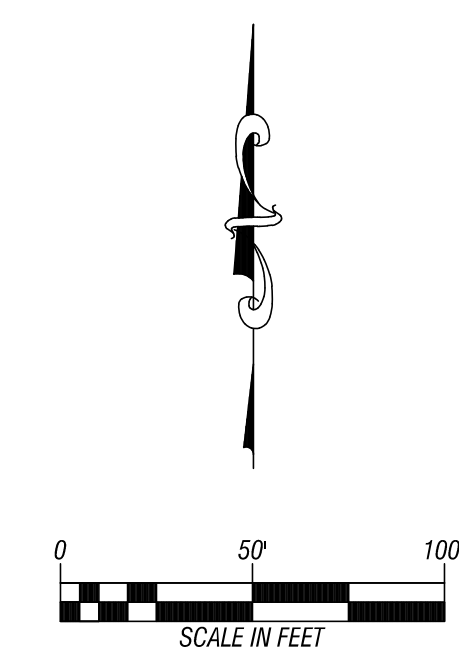
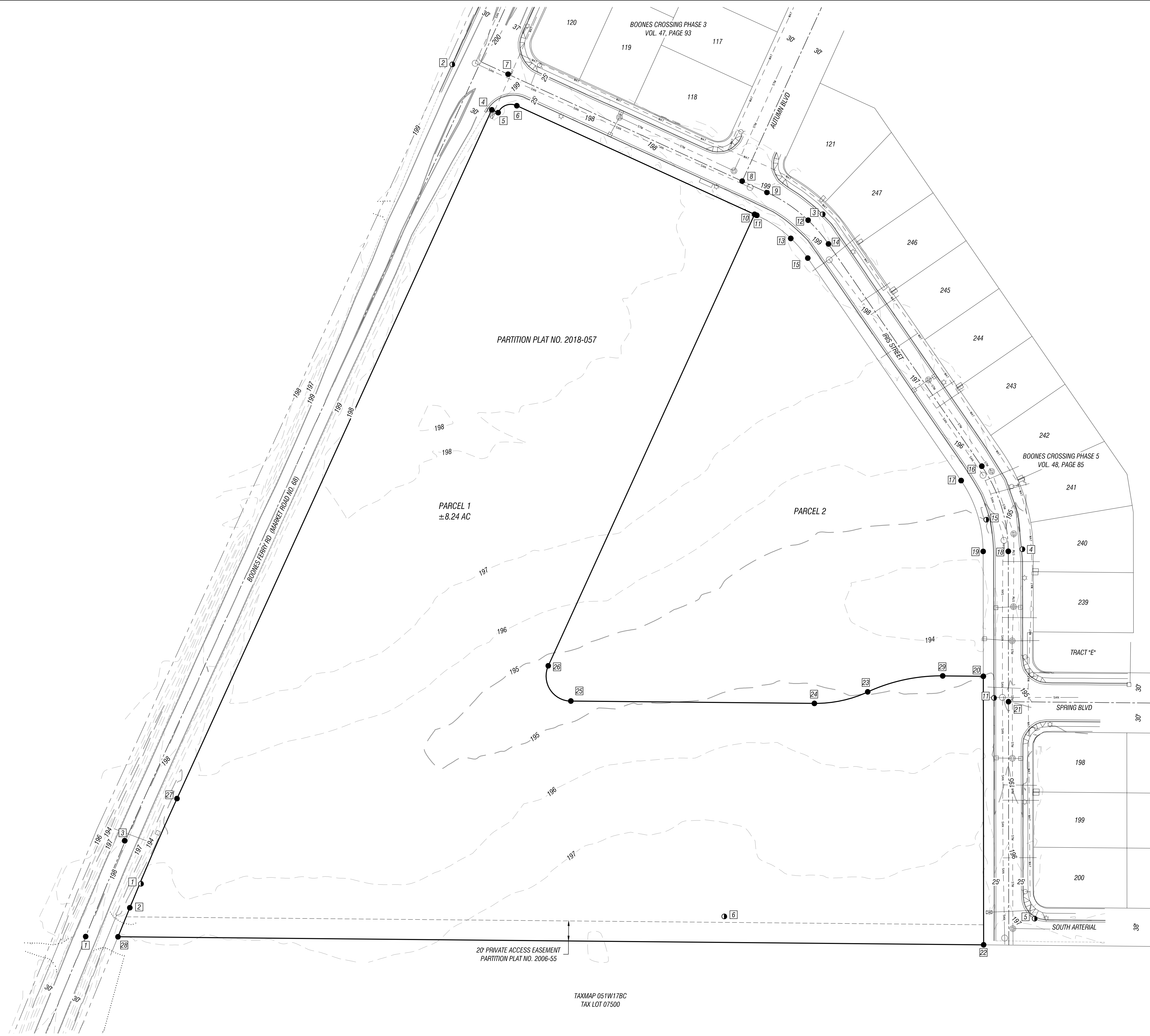
WEST COAST HOME SOLUTIONS
BOONES FERRY ROAD
WOODBURN, OREGON

Issue:		May 12th, 2023
Date:		
Rev:	Description:	Date:

PLANTING NOTES AND DETAILS

L1.4

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#	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	4159.9465	4747.2174	196.164	1/2" IR WITH RPC
2	4978.0358	5057.9299	200	PK IN CURB
3	4828.4099	5427.6993	199.303	PK IN CURB
4	4493.9826	5627.0195	194.787	PK IN CURB
5	4125.1353	5639.1972	196.76	PK IN GUTTER
6	4127.3644	5329.4082	197.612	1/2" IR WITH RPC
11	4345.5258	5598.0643	195.248	PK IN CURB
15	4523.4593	5590.9449	194.566	HUB AND TACK

#	DESCRIPTION
1	FOUND 3/4" IRON PIPE, DOWN 0.5', SHOWN IN PP 2018-057
2	FOUND 5/8" IRON ROD WITH YPC, "ALPHA ENG. INC.", FLUSH, SET MCSR 35318
3	FOUND 3" MARION COUNTY BRASS DISC IN MON. BOX, SHOWN IN PP 2018-057
4	FOUND 5/8" IRON ROD WITH YPC, "AKS ENGR.", DOWN 0.3', SET PP 2005-29
5	FOUND 5/8" IRON ROD WITH YPC, "AKS ENGR.", DOWN 0.4', SET PP 2005-29
6	FOUND 5/8" IRON ROD WITH YPC, "AKS ENGR.", DOWN 0.4', SET PP 2005-29
7	FOUND 5/8" IRON ROD WITH YPC IN MON. BOX, "AKS ENGR.", SET BP3
8	FOUND 5/8" IRON ROD WITH YPC IN MON. BOX, "AKS ENGR.", SET BP3
9	FOUND 5/8" IRON ROD WITH YPC IN MON. BOX, "AKS ENGR.", SET BP3
10	FOUND 5/8" IRON ROD WITH YPC, "HOWELL LS 91569", FLUSH, SET PP 2018-057
11	FOUND 5/8" IRON ROD WITH YPC, "AKS ENGR.", FLUSH, SET PP 2005-29
12	FOUND 5/8" IRON ROD WITH ALC, ILLEGIBLE, FLUSH, SET BPS
13	FOUND 5/8" IRON ROD WITH YPC, "AKS ENGR.", DOWN 0.2', SET BP3, FALLS N43° 30' 09"E - 0.10'
14	FOUND 5/8" IRON ROD WITH ALC, ILLEGIBLE, FLUSH, SET BPS, FALLS S63° 10' 15"E - 0.10'
15	FOUND 5/8" IRON ROD WITH YPC, "HOWELL LS 91569", DOWN 0.2', SET PP 2018-057
16	FOUND 5/8" IRON ROD WITH ALC, ILLEGIBLE, FLUSH, SET BPS
17	FOUND 5/8" IRON ROD WITH YPC, "HOWELL LS 91569", FLUSH, SET PP 2018-057, FALLS S34° 34' 54"E - 0.18'
18	FOUND 5/8" IRON ROD WITH ALC, ILLEGIBLE, FLUSH, SET BPS, FALLS S0° 04' 27"E - 0.17'
19	FOUND 5/8" IRON ROD WITH RPC, "CENTERLINE CONCEPTS", FLUSH, SET BPS
20	FOUND 5/8" IRON ROD WITH YPC, "HOWELL LS 91569", DOWN 0.2', SET PP 2018-057
21	FOUND 5/8" IRON ROD WITH ALC, "CENTERLINE CONCEPTS LAND SURVEYING", FLUSH, SET BPS
22	FOUND 5/8" IRON ROD WITH RPC, "CENTERLINE CONCEPTS", FLUSH, BPS
23	FOUND 5/8" IRON ROD, DOWN 0.2', SET PP 2018-057, FALLS N68° 11' 24"W - 0.18'
24	FOUND 5/8" IRON ROD, DOWN 0.2', SET PP 2018-057
25	FOUND 5/8" IRON ROD, DOWN 0.4', SET PP 2018-057
26	FOUND 5/8" IRON ROD, DOWN 0.4', SET PP 2018-057, FALLS S24° 33' 18"W - 0.17'
27	FOUND 5/8" IRON ROD WITH NO CAP, FLUSH, SET MCSR 35318, FALLS S7° 52' 18"W - 0.12'
28	FOUND 5/8" IRON ROD WITH BPC, "LEI OF OREGON", FLUSH, SET MCSR 39656
29	FOUND 5/8" IRON ROD WITH BPC, "LEI OF OREGON", FLUSH, SET MCSR 39656

GENERAL NOTES:

- THE LOCATION OF UTILITIES SERVING THE PROPERTY HAVE BEEN DETERMINED BY OBSERVED EVIDENCE, TOGETHER WITH MARKINGS PROVIDED BY UTILITY COMPANIES, 811 OREGON UTILITY NOTIFICATION CENTER. THE LOCATION OF THE UTILITIES, SHOWN HEREON, DETERMINED BY ABOVE GROUND EVIDENCE AND ILLUSTRATED WITH HELP FROM CITY MAPS, IS APPROXIMATE. NO AS-BUILT SURVEYS HAVE BEEN PROVIDED OR REVIEWED AT THIS TIME. LEI MAKES NO WARRANTIES TO THE LOCATION OF THE UTILITIES. THE CONTRACTOR SHALL CALL FOR PRIVATE UTILITY LOCATES AND FIELD VERIFY ALL UTILITIES BEFORE CONSTRUCTION ACTIVITIES.
- THE BOUNDARY SHOWN ON THIS MAP IS FOR ENGINEERING PURPOSES ONLY. NO MONUMENTATION SHALL BE SET AND THIS MAP SHALL NOT BE FILED WITH THE COUNTY AS RECORD.

LEGEND:

CONTROL POINT. REFERENCE SITE CONTROL TABLE FOR DESCRIPTIONS.	RPC = RED PLASTIC CAP
FOUND MONUMENT. REFERENCE MONUMENT TABLE FOR DESCRIPTION.	YPC = YELLOW PLASTIC CAP
● CALCULATED POINT.	ALC = ALUMINUM CAP
	BPC = BLUE PLASTIC CAP

REGISTERED PROFESSIONAL ENGINEER
 STATE OF OREGON
 NO. 556
 GREG J. ZARTMAN
 EXPIRES: 6-30-2024

BOONES CROSSING PHASE 6

WEST COAST HOME SOLUTIONS, LLC

2564 19TH STREET SE
 Seaside, Oregon 97132
 (503) 999-3828
 www.leiengineering.com

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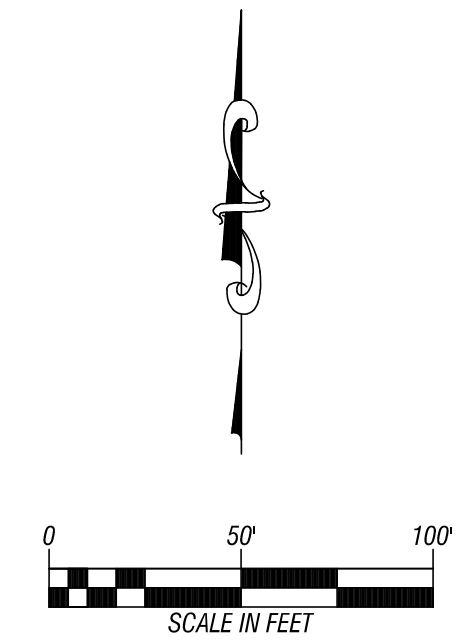
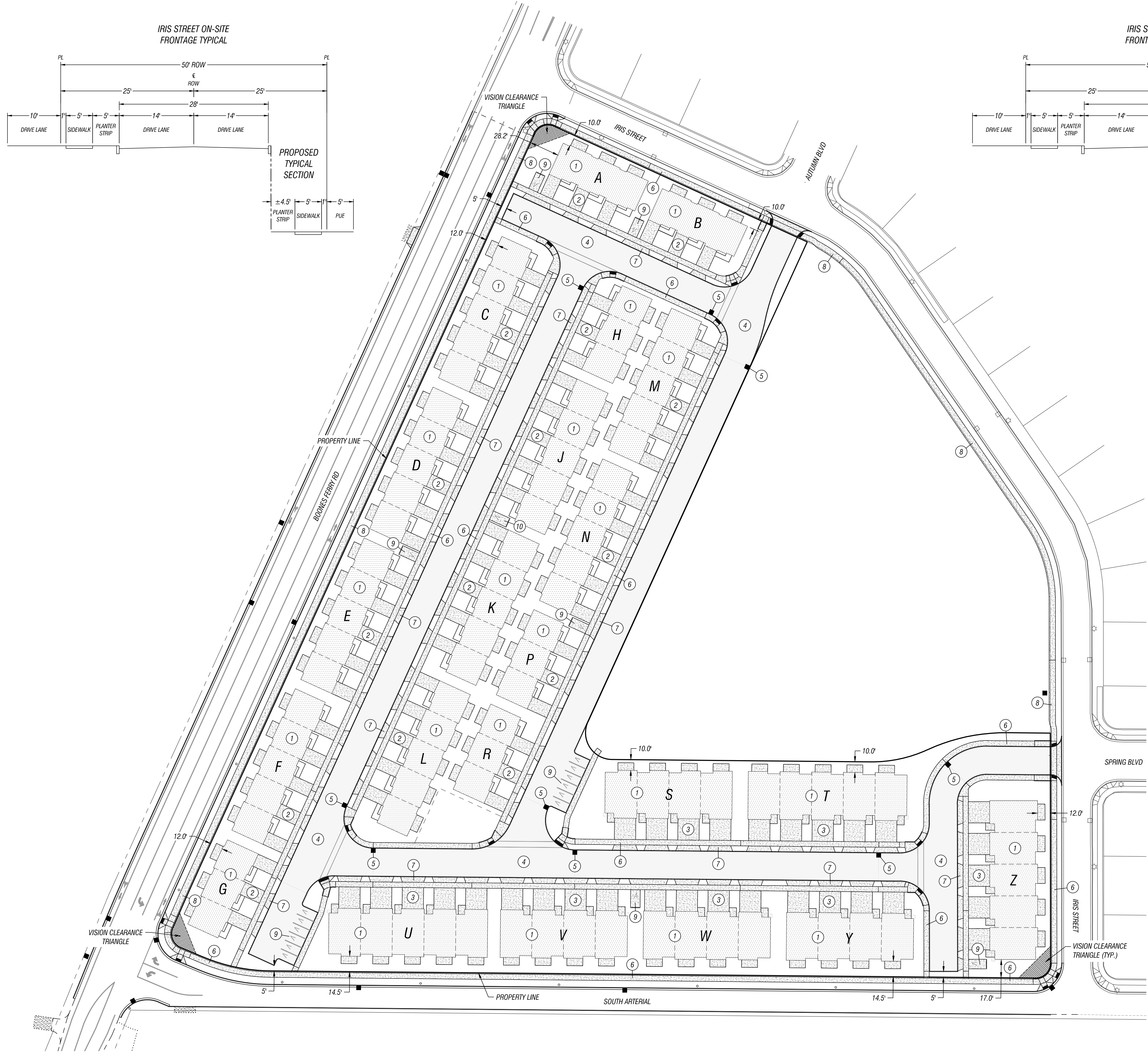
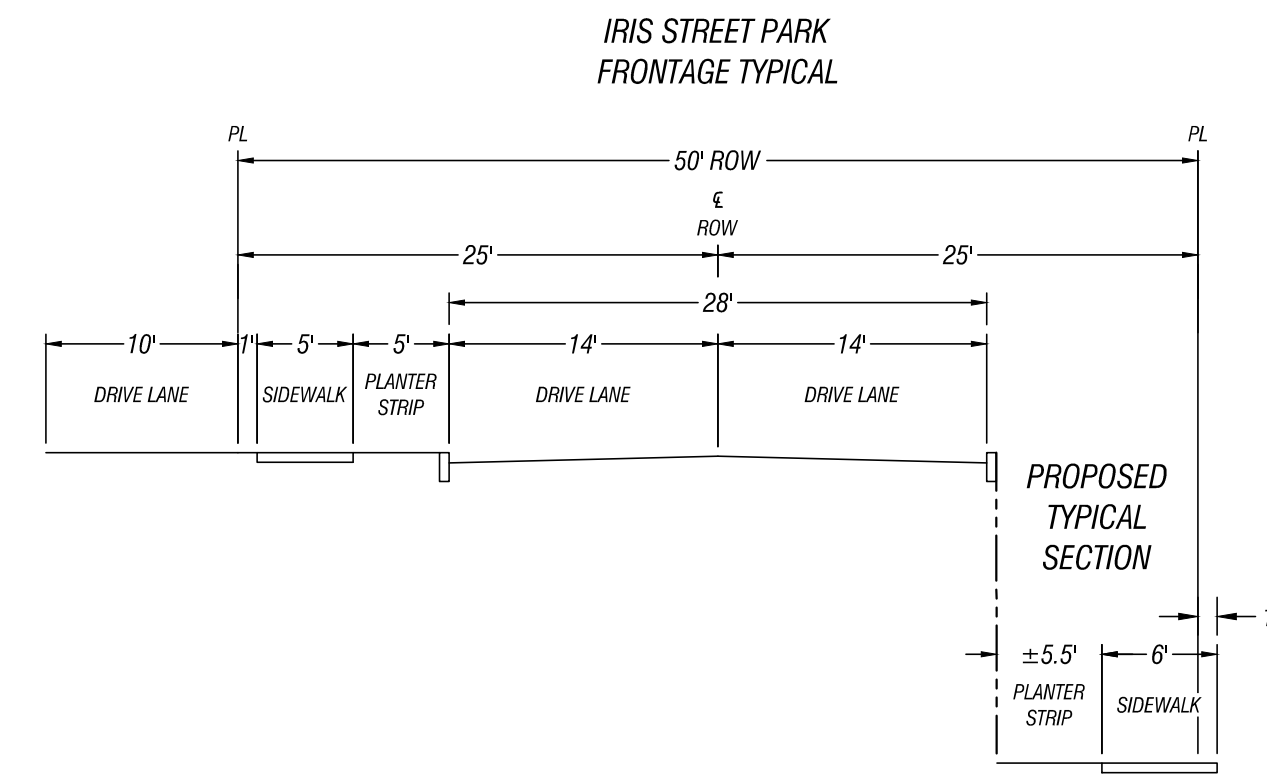
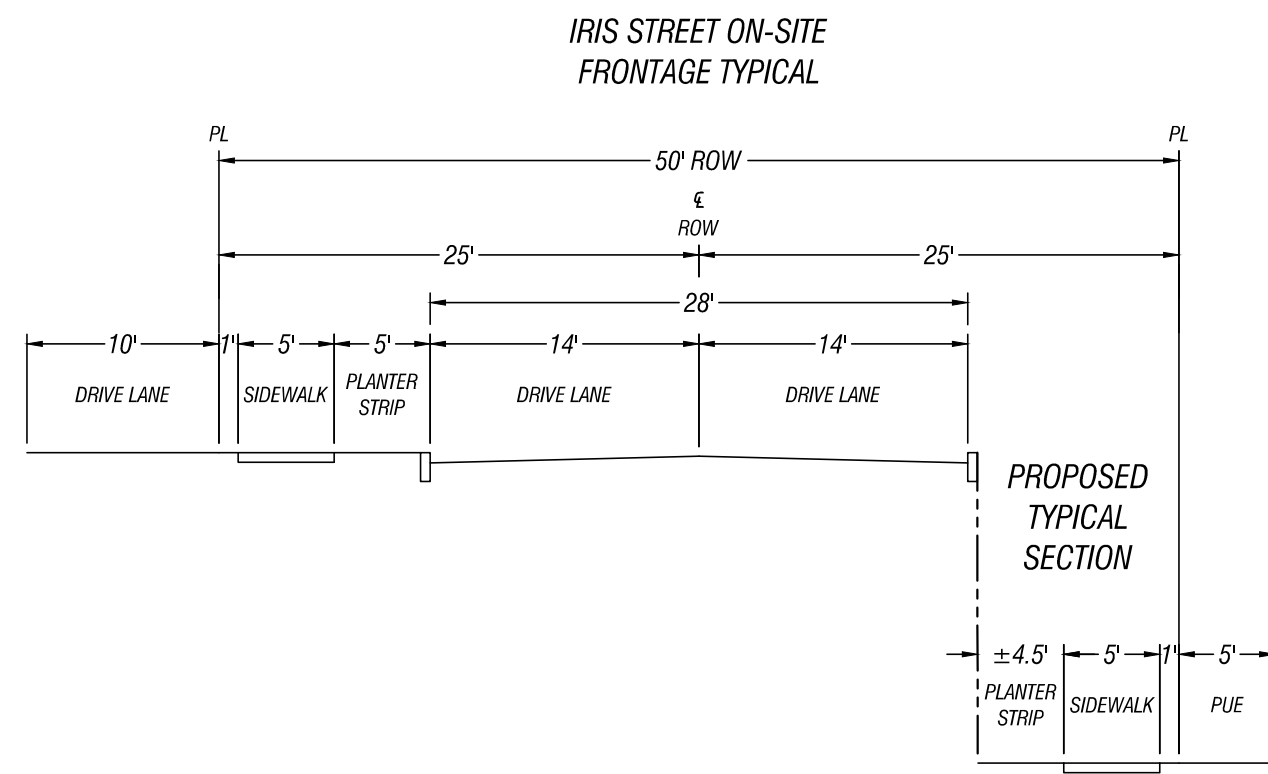
EXISTING CONDITIONS

SCALE: 1" = 50'

PROJECT NO: 60-19

SHEET: 02 OF 20

EX-1



- CONSTRUCTION NOTES:**
- 1 PROPOSED TOWNHOMES (94 UNITS)
 - 2 PROPOSED PARKING AREA, TYP. DIM. 20' X 13'
 - 3 PROPOSED PARKING AREA, TYP. DIM. 20' X 25'
 - 4 PROPOSED ASPHALT SURFACING
 - 5 PROPOSED CATCH BASIN LOCATION, TYP.
 - 6 PROPOSED 5' CONCRETE WALK
 - 7 PROPOSED DRIVEWAY APPROACH
 - 8 PROPOSED 6' CONCRETE WALK
 - 9 PROPOSED VISITOR PARKING AREA, TYP. DIM. 9' X 17'
- NOTES:**
- REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS PERTAINING TO SITE LAYOUT AND BUILDING DETAILS.



NO.	DATE	REVISION

BOONES CROSSING PHASE 6

PREPARED FOR: **WEST COAST HOME SOLUTIONS, LLC**

2564 19TH STREET SE
 Seaside, Oregon 97132
 (503) 999-3828
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LEI

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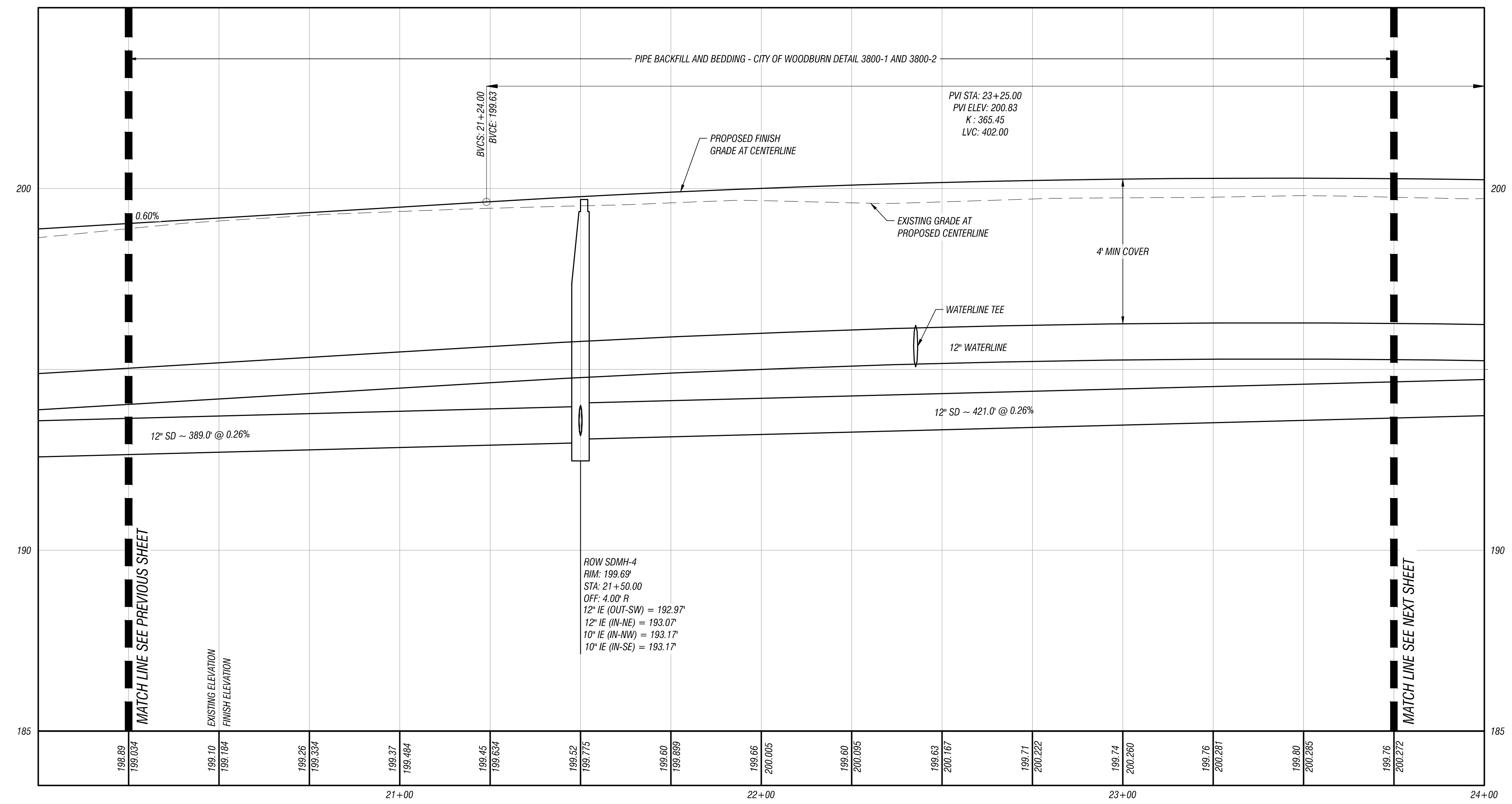
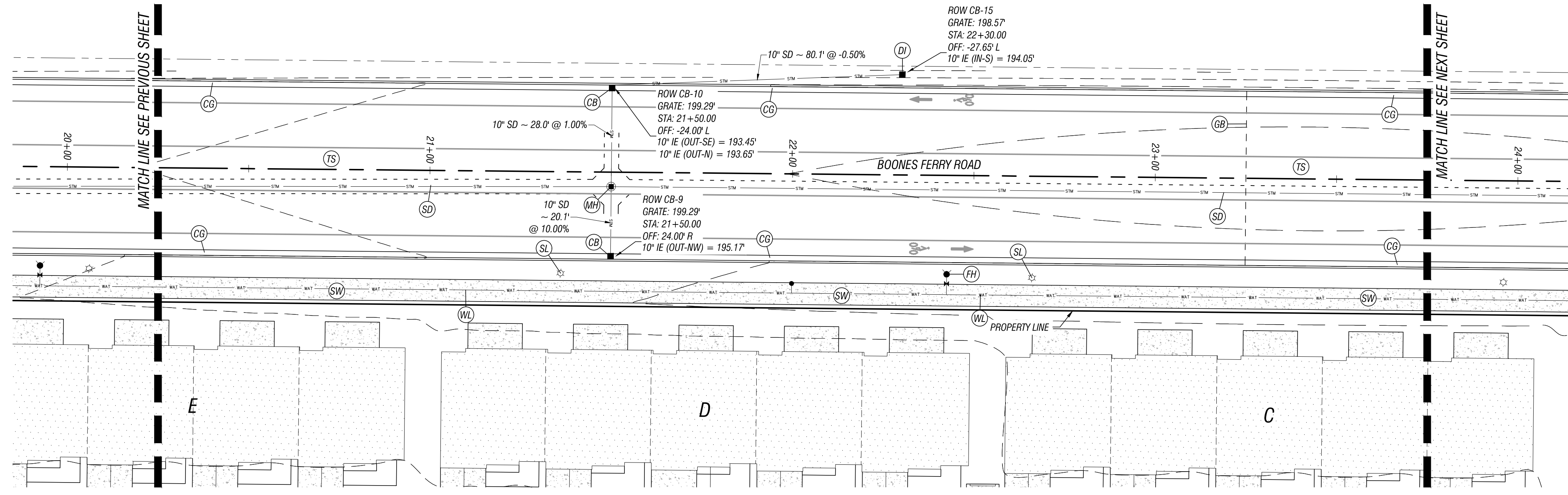
SITE PLAN

SCALE: 1" = 50'
 PROJECT NO: 60-19
 SHEET: 04 OF 20

SP-1

2025.05.20 10:00 AM DATE PLOTTED: 2025.05.20 10:00 AM
 SP-1 (ISSUE) 1/1 (SHEET) 1/1 (TOTAL SHEETS)
 2025.05.20 10:00 AM DATE PLOTTED: 2025.05.20 10:00 AM
 SP-1 (ISSUE) 1/1 (SHEET) 1/1 (TOTAL SHEETS)

REG. OF DOCUMENTS: THIS DOCUMENT, AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF LEI ENGINEERING AND SURVEYING OF OREGON, LLC AND IS NOT TO BE REPRODUCED, COPIED, OR IN ANY MANNER FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF LEI ENGINEERING. © LEI ENGINEERING



REGISTERED PROFESSIONAL ENGINEER
 STATE OF OREGON
 No. 555
 REG. J. ZARTMAN
 EXPIRES: 6-30-2024

- CONSTRUCTION NOTES:**
- (SD) **STORM SEWER NOTES:**
 CONTRACTOR SHALL INSTALL 3034 PVC SDR-35 PIPE, AS SHOWN, AND SHALL BACKFILL AND BED IN ACCORDANCE WITH CITY OF WOODBURN STANDARD DETAILS 3800-1 AND 3800-2. PIPE SIZES INDICATED HEREON.
 - (CB) CONTRACTOR SHALL INSTALL INLET, AS SHOWN, PURSUANT TO ODOT STANDARD DETAIL RD364.
 - (MH) CONTRACTOR SHALL INSTALL STANDARD STORM SEWER MANHOLE, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DRAWING 7500-1.
 - (DI) CONTRACTOR SHALL INSTALL DITCH INLET, AS SHOWN, PURSUANT TO ODOT STANDARD DETAIL RD370.
 - ROAD NOTES:**
 (SL) CONTRACTOR SHALL INSTALL STREET LIGHT, AS SHOWN. CONTRACTOR SHALL COORDINATE WITH THE UTILITY PROVIDER AND CONNECT ELECTRICAL SERVICE TO STREET LIGHT. LIGHT POLE AND LIGHT FIXTURE SHALL MEET CITY STANDARD AND SHALL NOT BE INSTALLED PRIOR TO PUBLIC WORKS APPROVAL.
 - (SW) CONTRACTOR SHALL CONSTRUCT SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL 4150-8, AND SHALL MATCH GRADES AT THE TIES TO EXISTING SIDEWALK.
 - (CG) CONTRACTOR SHALL CONSTRUCT STANDARD TYPE 'A' CURB AND GUTTER PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-1.
 - (TS) CONTRACTOR SHALL CONSTRUCT STREET TYPICAL SECTION, AS SHOWN, AND SHALL CONFORM TO STREET TYPICAL SECTION.
 - (GB) CONTRACTOR SHALL SET GRADE BREAK AS SHOWN.
 - WATERLINE NOTES:**
 (WL) CONTRACTOR SHALL INSTALL 12" DUCTILE IRON PIPE FOR PUBLIC CITY WATER MAIN, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1. CONTRACTOR SHALL INSTALL THRUST BLOCKING IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 5000-1.
 - (FH) CONTRACTOR SHALL INSTALL FIRE HYDRANT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 5070-1.

GENERAL NOTES:

- MINIMUM WATERLINE DEPTH OF 4.0' SHALL BE MAINTAINED.

BOONES FERRY PLAN AND PROFILE

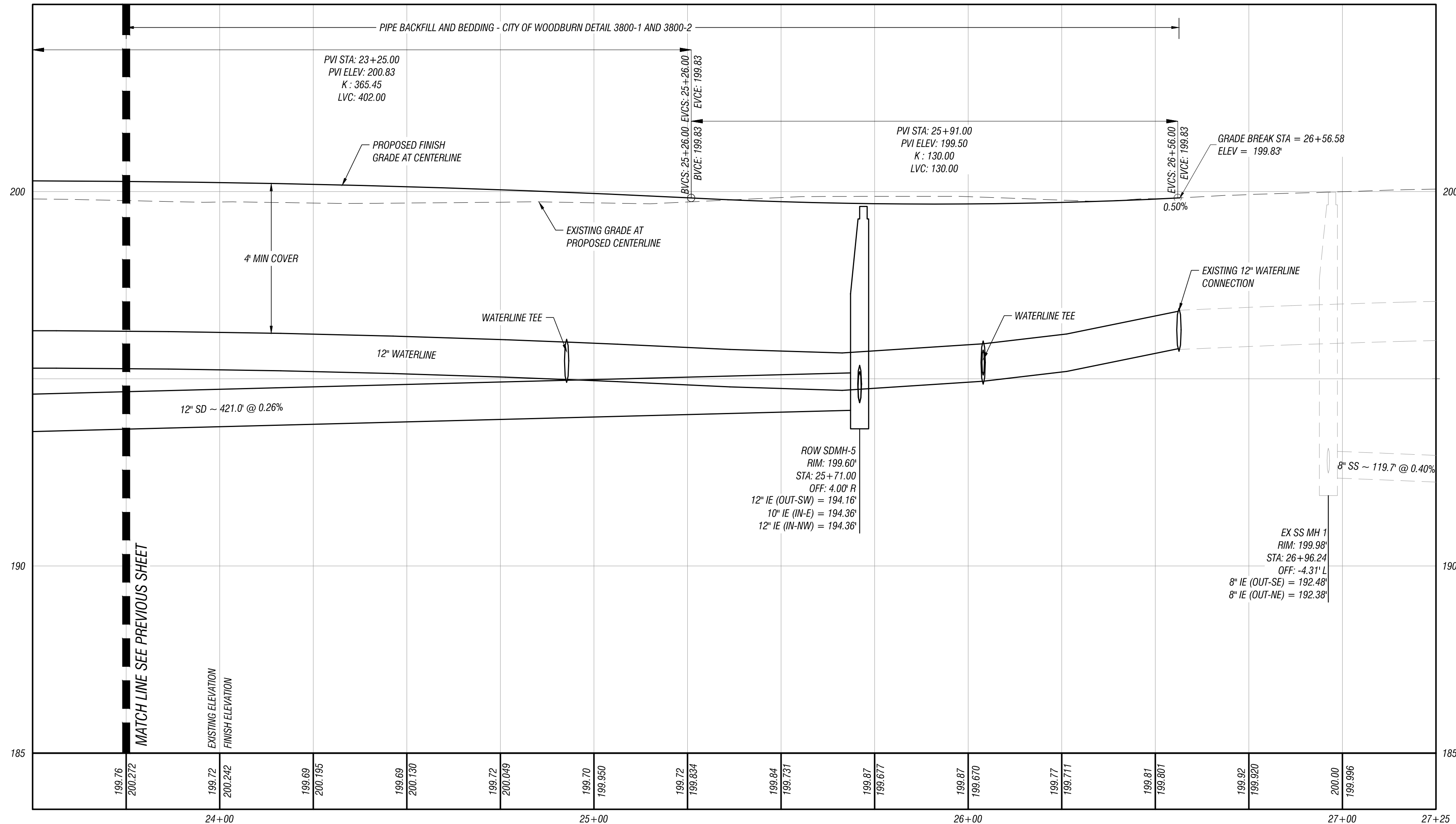
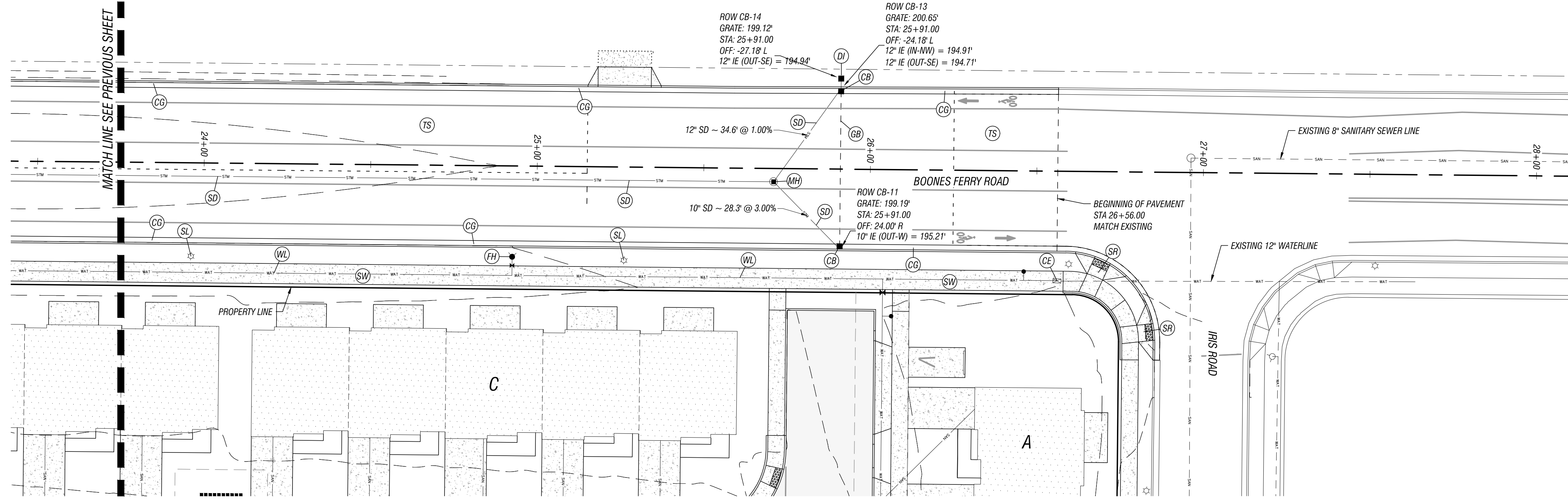
SCALE: 1" = 20'
 PROJECT NO: 60-19
 SHEET: 06 OF 20

G. ZARTMAN, P.E. REGISTERED PROFESSIONAL ENGINEER, STATE OF OREGON, No. 555, REG. J. ZARTMAN, EXPIRES: 6-30-2024
 PREPARED FOR: WEST COAST HOME SOLUTIONS, LLC
 PROJECT NO: 60-19
 SHEET: 06 OF 20

BOONES CROSSING PHASE 6
 WEST COAST HOME SOLUTIONS, LLC

LEI ENGINEERING & SURVEYING OF OREGON
 2564 19TH STREET SE
 Seaside, Oregon 97132
 (503) 399-3828
 www.leiengineering.com

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SCALE IN FEET

BY	DATE	REVISION

CONSTRUCTION NOTES:

- (SD) **STORM SEWER NOTES:**
CONTRACTOR SHALL INSTALL 3034 PVC SDR-35 PIPE, AS SHOWN, AND SHALL BACKFILL AND BED IN ACCORDANCE WITH CITY OF WOODBURN STANDARD DETAILS 3800-1 AND 3800-2. PIPE SIZES INDICATED HEREON.
- (CB) CONTRACTOR SHALL INSTALL INLET, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 7100-4.
- (MH) CONTRACTOR SHALL INSTALL STANDARD STORM SEWER MANHOLE, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DRAWING 7500-1.
- (DI) CONTRACTOR SHALL INSTALL DITCH INLET, AS SHOWN, PURSUANT TO ODOT STANDARD DETAIL RD370.
- (SW) **ROAD NOTES:**
CONTRACTOR SHALL CONSTRUCT SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL 4150-8, AND SHALL MATCH GRADES AT THE TIES TO EXISTING SIDEWALK.
- (CG) CONTRACTOR SHALL CONSTRUCT STANDARD TYPE 'A' CURB AND GUTTER PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-1.
- (TS) CONTRACTOR SHALL CONSTRUCT STREET TYPICAL SECTION, AS SHOWN, AND SHALL CONFORM TO STREET TYPICAL SECTION.
- (SR) CONTRACTOR SHALL CONSTRUCT SIDEWALK RAMPS, AS SHOWN, WITH TRUNCATED DOMES INSTALLED PURSUANT TO ODOT STANDARD DETAIL RD905. SIDEWALK RAMPS SHALL NOT EXCEED 8.33% LONGITUDINAL SLOPE AND 2.0% CROSS SLOPE.
- (SL) CONTRACTOR SHALL INSTALL STREET LIGHT, AS SHOWN. CONTRACTOR SHALL COORDINATE WITH THE UTILITY PROVIDER AND CONNECT ELECTRICAL SERVICE TO STREET LIGHT. LIGHT POLE AND LIGHT FIXTURE SHALL MEET CITY STANDARD AND SHALL NOT BE INSTALLED PRIOR TO PUBLIC WORKS APPROVAL.
- (GB) CONTRACTOR SHALL SET GRADE BREAK AS SHOWN.
- (WL) **WATERLINE NOTES:**
CONTRACTOR SHALL INSTALL 12" DUCTILE IRON PIPE FOR PUBLIC CITY WATER MAIN, AS SHOWN, BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1. CONTRACTOR SHALL INSTALL THRUST BLOCKING IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 5000-1.
- (FH) CONTRACTOR SHALL INSTALL FIRE HYDRANT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 5070-1.
- (CE) CONTRACTOR SHALL CONNECT TO EXISTING WATER MAIN LINE.

GENERAL NOTES:

- MINIMUM WATERLINE DEPTH OF 4.0' SHALL BE MAINTAINED.

BOONES CROSSING PHASE 6

WEST COAST HOME SOLUTIONS, LLC

PREPARED FOR:

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Salem, Oregon 97302
(503) 399-3828
www.leiengineering.com

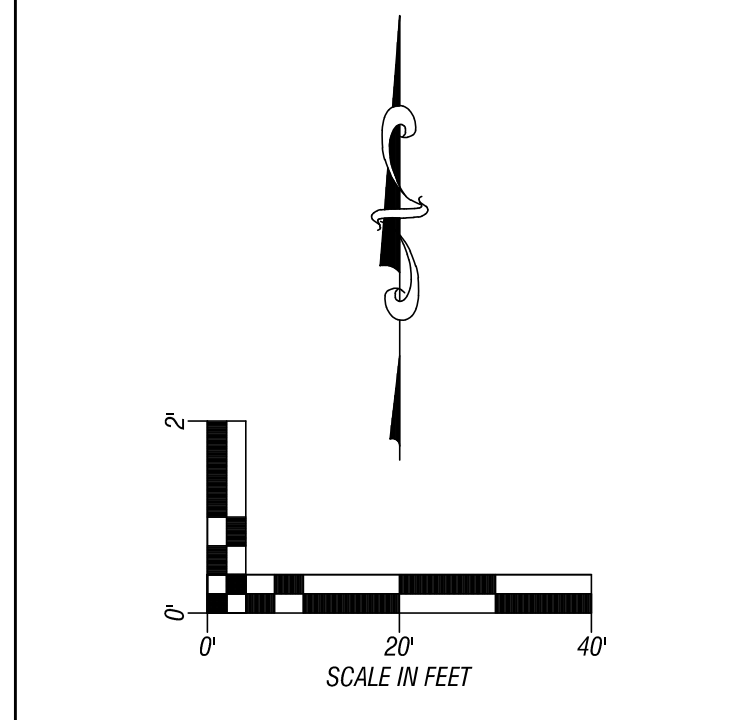
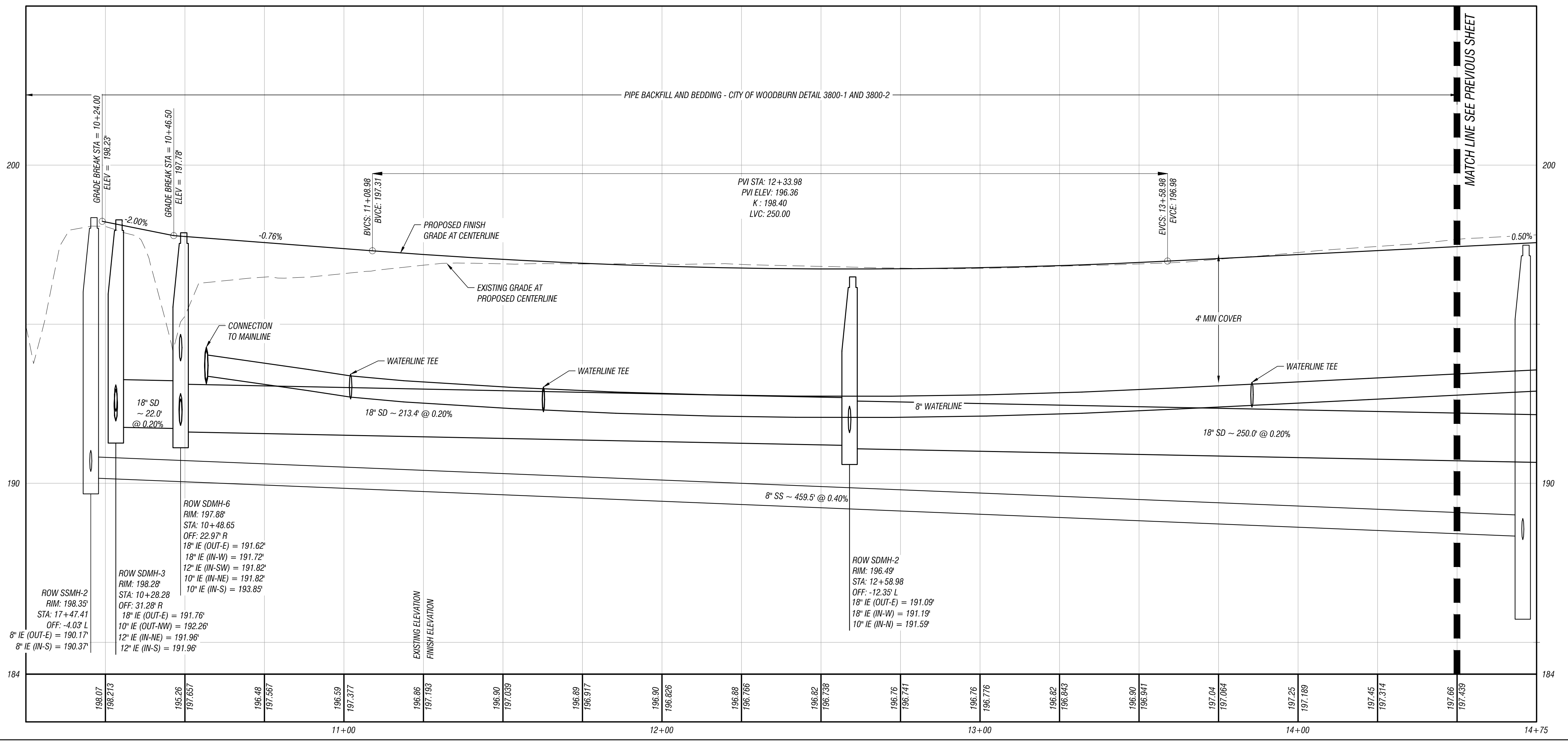
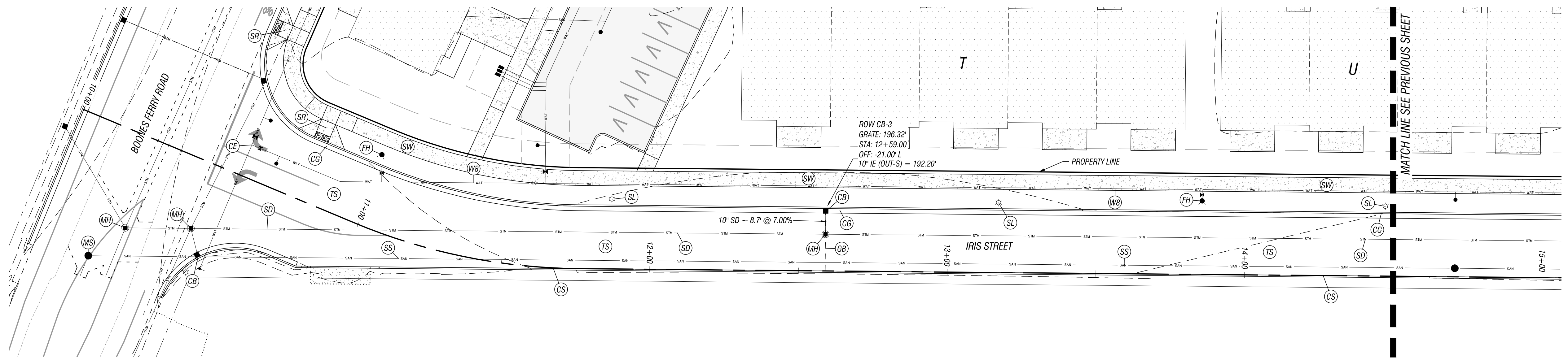
LEI ENGINEERING & SURVEYING

OF OREGON

BOONES FERRY
PLAN AND
PROFILE

SCALE	1" = 20'
PROJECT NO.	60-19
SHEET	PP-3
	07 OF 20

G. ZARTMAN
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CONSTRUCTION NOTES:

- SD** STORM SEWER NOTES:
CONTRACTOR SHALL INSTALL ADS N-12 PIPE, AS SHOWN, AND SHALL BACKFILL AND BED IN ACCORDANCE WITH CITY OF WOODBURN STANDARD DETAILS 3800-1 AND 3800-2. PIPE SIZES INDICATED HEREON.
- CB** CONTRACTOR SHALL INSTALL INLET, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL 7100-4.
- MH** CONTRACTOR SHALL INSTALL STANDARD STORM SEWER MANHOLE, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DRAWING 7500-1.
- ROAD NOTES:**
- SW** CONTRACTOR SHALL CONSTRUCT SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL 4150-8 ON SHEET DT-1, AND SHALL MATCH GRADES AT THE TIES TO EXISTING SIDEWALK.
- CG** CONTRACTOR SHALL CONSTRUCT STANDARD TYPE 'A' CURB AND GUTTER PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-1.
- CS** CONTRACTOR SHALL CONSTRUCT STANDARD TYPE 'C' CURB, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2.
- TS** CONTRACTOR SHALL CONSTRUCT STREET TYPICAL SECTION, AS SHOWN, AND SHALL CONFORM TO STREET TYPICAL SECTION.
- SR** CONTRACTOR SHALL CONSTRUCT SIDEWALK RAMPS, AS SHOWN, WITH TRUNCATED DOMES INSTALLED PURSUANT TO ODOT STANDARD DETAIL RD905. SIDEWALK RAMPS SHALL NOT EXCEED 8.33% LONGITUDINAL SLOPE AND 2.0% CROSS SLOPE.
- SL** CONTRACTOR SHALL INSTALL STREET LIGHT, AS SHOWN. CONTRACTOR SHALL COORDINATE WITH THE UTILITY PROVIDER AND CONNECT ELECTRICAL SERVICE TO STREET LIGHT. LIGHT POLE AND LIGHT FIXTURE SHALL MEET CITY STANDARD AND SHALL NOT BE INSTALLED PRIOR TO PUBLIC WORKS APPROVAL.
- GB** CONTRACTOR SHALL SET GRADE BREAK AS SHOWN.
- SANITARY SEWER NOTES:**
- MS** CONTRACTOR SHALL INSTALL STANDARD SANITARY SEWER MANHOLE, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DRAWING 7500-1.
- SS** CONTRACTOR SHALL INSTALL 3034 PVC SDR-35 PIPE, AS SHOWN, AND SHALL BACKFILL AND BED IN ACCORDANCE WITH CITY OF WOODBURN STANDARD DETAILS 3800-1 AND 3800-2. PIPE SIZES INDICATED HEREON.
- WATERLINE NOTES:**
- WB** CONTRACTOR SHALL INSTALL 8" DUCTILE IRON PIPE FOR PUBLIC CITY WATER MAIN, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1. CONTRACTOR SHALL INSTALL THRUST BLOCKING IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 5000-1.
- FH** CONTRACTOR SHALL INSTALL FIRE HYDRANT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 5070-1.
- CE** CONTRACTOR SHALL CONNECT TO CITY MAINLINE.

GENERAL NOTES:

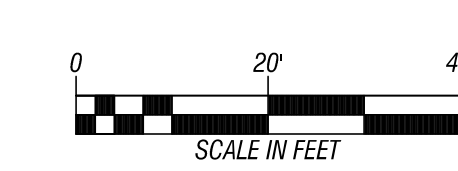
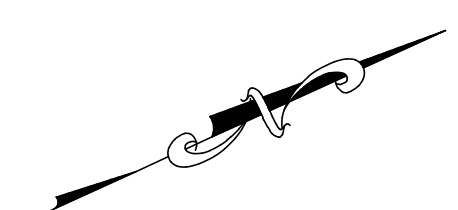
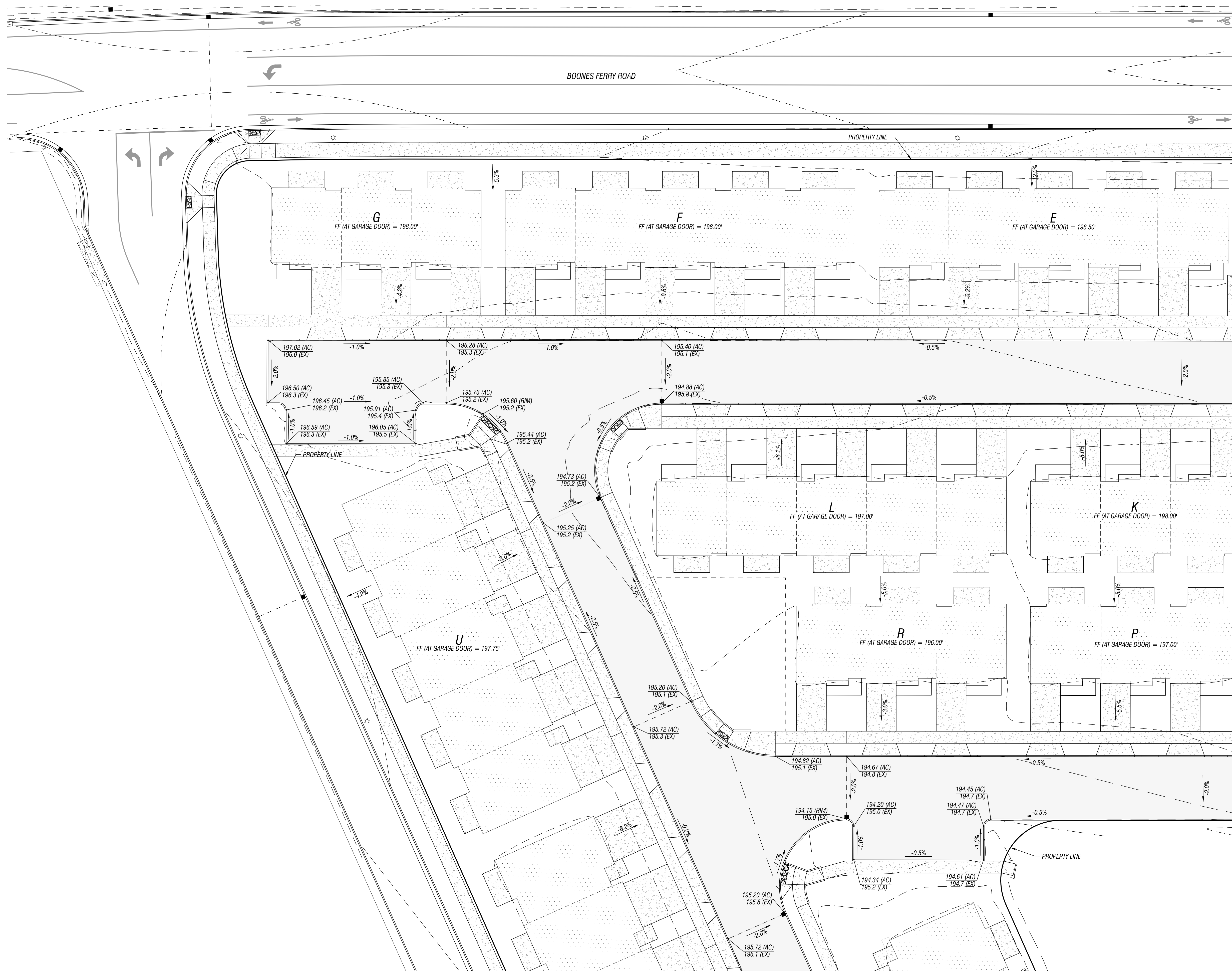
- MINIMUM WATERLINE DEPTH OF 4.0' SHALL BE MAINTAINED.

REGISTERED PROFESSIONAL ENGINEER
 GREG J. ZARTMAN
 LICENSE NO. 558
 EXPIRES: 6-30-2024

BOONES CROSSING PHASE 6
 PREPARED FOR:
WEST COAST HOME SOLUTIONS, LLC

LEI ENGINEERING & SURVEYING OF OREGON
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 (503) 399-3828
 www.leiengineering.com

SOUTH ARTERIAL
 PLAN AND PROFILE
 SCALE: 1" = 20'
 PROJECT NO.: 60-19
 SHEET: 09 OF 20
 PP-5



CONSTRUCTION NOTES:

$\begin{matrix} \text{XXXX.XX (AC)} \\ \text{XXXX.XX (EX)} \end{matrix}$ PROPOSED SPOT ELEVATION
 EXISTING GROUND SPOT ELEVATION
 AC = ASPHALT CONCRETE
 BOW = FRONT OF WALK
 FF = FINISH FLOOR ELEVATION
 RIM = RIM ELEVATION

$\begin{matrix} \text{X.XX\%} \\ \text{X.XX\%} \end{matrix}$ PROPOSED PERCENT SLOPE

REGISTERED PROFESSIONAL ENGINEER
 STATE OF OREGON
 REG. NO. 12,188
 REG. J. ZARTMAN
 EXPIRES: 6-30-2024

NO.	DATE	REVISION

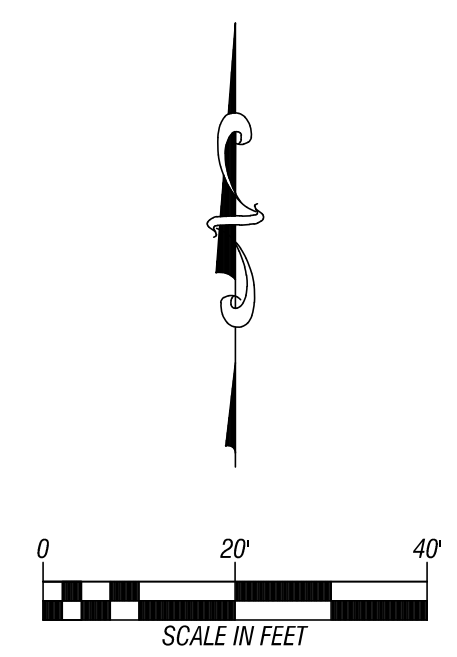
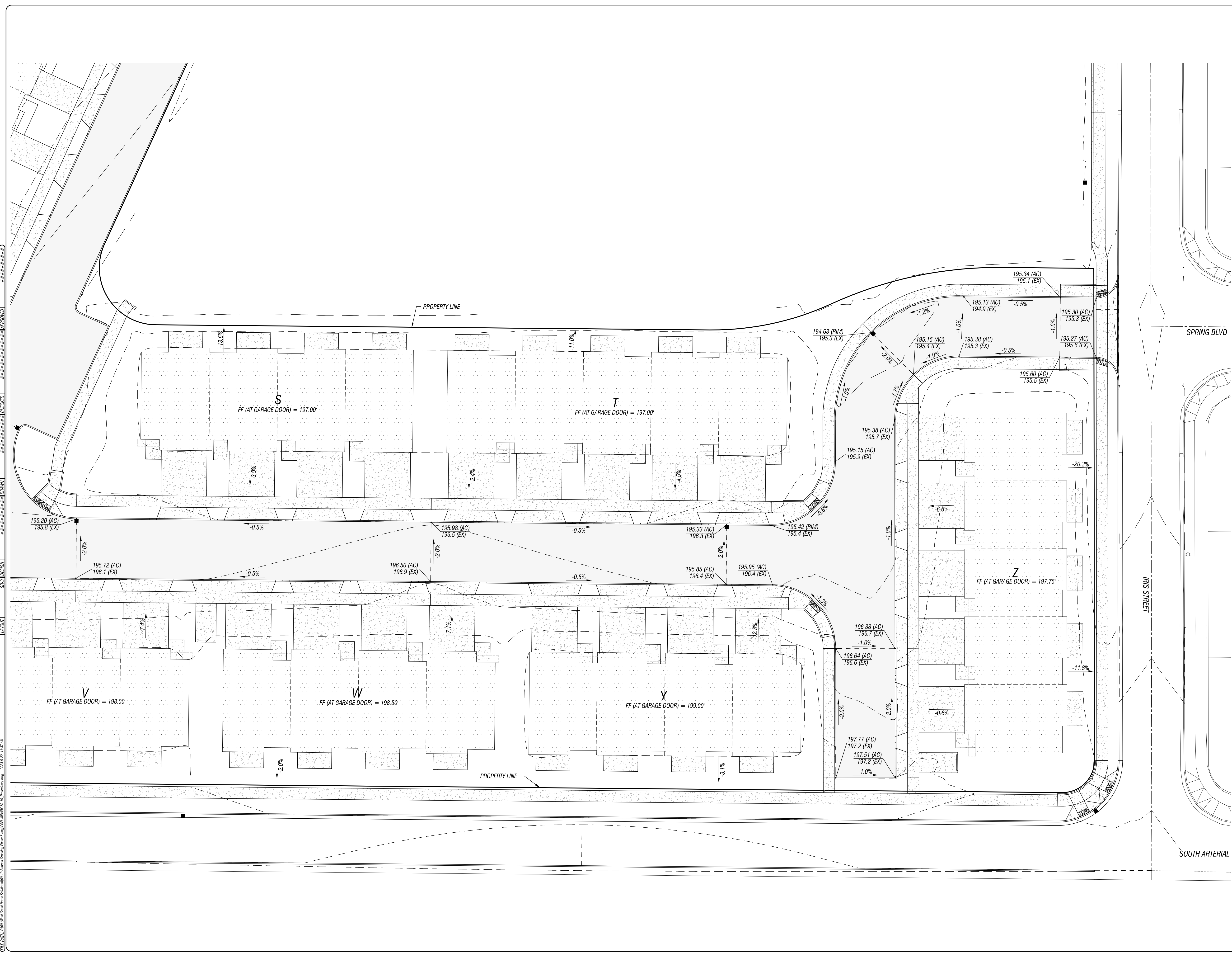
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OF OREGON

GRADING
 SCALE: 1" = 20'
 PROJECT NO: 60-19
 SHEET: 11 OF 20
 GR-2

GR-2 (ISSUED) 2024.05.15 11:27 AM



CONSTRUCTION NOTES:

XXX.XX (AC)
 XXX.X EX
 PROPOSED SPOT ELEVATION
 EXISTING GROUND SPOT ELEVATION
 AC = ASPHALT CONCRETE
 BOW = FRONT OF WALK
 FF = FINISH FLOOR ELEVATION
 RIM = RIM ELEVATION

X.XX%
 X.XX%
 PROPOSED PERCENT SLOPE

REGISTERED PROFESSIONAL ENGINEER
 555
 BOONEN
 FEBRUARY 12, 1988
 REG. J. ZARTMAN
 EXPIRES: 6-30-2024

NO.	DATE	REVISION	BY

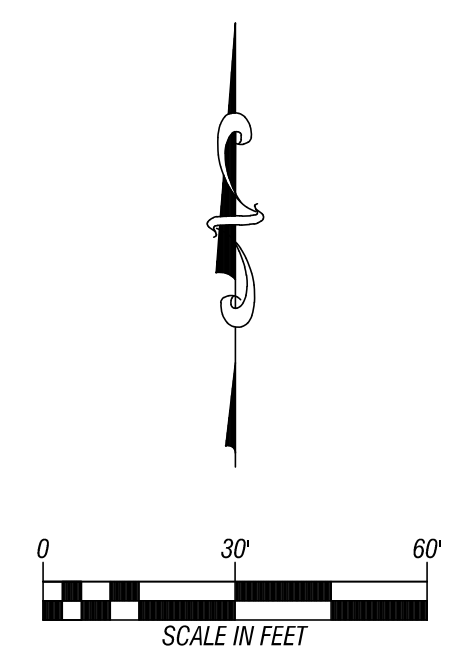
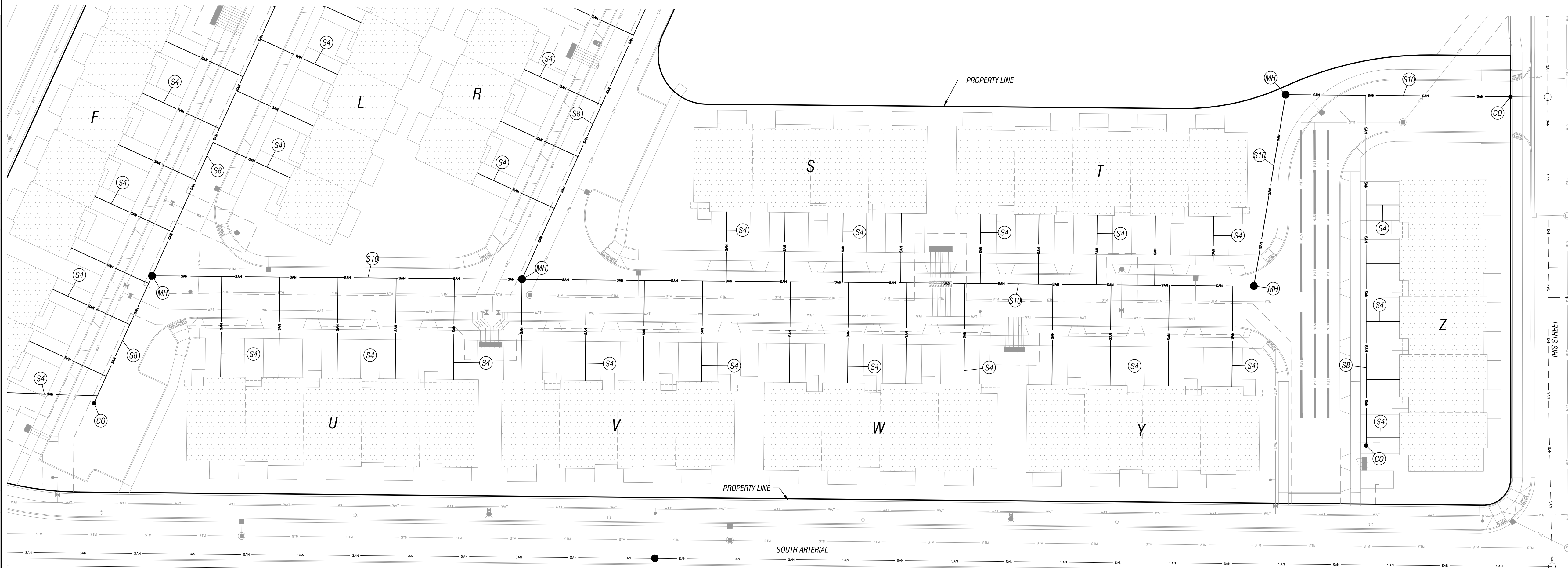
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GRADING
 SCALE: 1" = 20'
 PROJECT NO: 60-19
 SHEET: 12 OF 20
 GR-3

GR-3 (ISSUED) 12/20/2024 11:52 AM 2024.12.20 11:52 AM 2024.12.20 11:52 AM

6/15/2019 10:00 AM C:\Users\jzartman\OneDrive\Documents\60-19\Sanitary Sewer\60-19-SS-2.dwg 2023-05-27 17:52:28
 LAYOUT SS-2 (SHEET) BOONES CROSSING PHASE 6 BOONES CROSSING PHASE 6



- CONSTRUCTION NOTES:**
- (S10) CONTRACTOR SHALL CONSTRUCT 10" 3034 PVC SDR-35 PIPE AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (S8) CONTRACTOR SHALL CONSTRUCT 8" 3034 PVC SDR-35 PIPE AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (MH) CONTRACTOR SHALL INSTALL MANHOLE, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAILS 6510-3 AND 7500-1.
 - (S4) CONTRACTOR SHALL CONSTRUCT 4" 3034 PVC SDR-35 SEWER LATERAL PIPE AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (CO) CONTRACTOR SHALL INSTALL CLEANOUT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 6200-1.

REGISTERED PROFESSIONAL ENGINEER
 555
PRELIMINARY
 12 1988
 REG. J. ZARTMAN
 EXPIRES: 6-30-2024

NO.	DATE	BY	REVISION	

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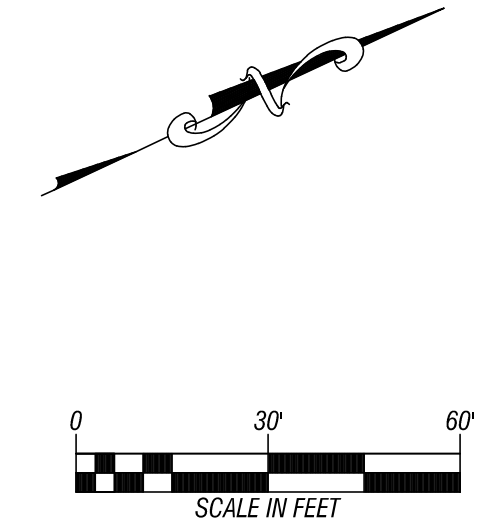
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SANITARY SEWER SITE PLAN

SCALE: 1" = 30'	SS-2
PROJECT NO: 60-19	
SHEET: 15 OF 20	

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60-19-SD-1 PREPARED FOR WEST COAST HOME SOLUTIONS, LLC BY LEI ENGINEERING & SURVEYING OF OREGON DATE 05/20/24



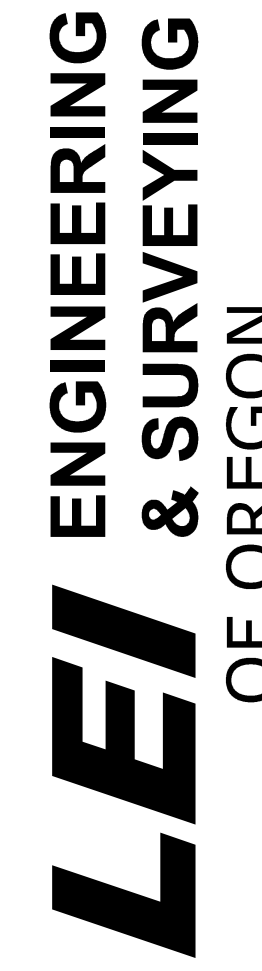
- CONSTRUCTION NOTES:**
- (MH) CONTRACTOR SHALL INSTALL MANHOLE, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAILS 6510-3 AND 7500-1.
 - (CB) CONTRACTOR SHALL INSTALL GIBSON STEEL CATCH BASIN, AS SHOWN, PURSUANT TO MANUFACTURERS DETAIL.
 - (S8) CONTRACTOR SHALL CONSTRUCT 8" ADS N-12 PIPE AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (S24) CONTRACTOR SHALL CONSTRUCT 24" ADS N-12 PIPE AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (CO) CONTRACTOR SHALL INSTALL CLEANOUT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 6200-1.



NO.	DATE	REVISION	BY

BOONES CROSSING PHASE 6
 PREPARED FOR WEST COAST HOME SOLUTIONS, LLC

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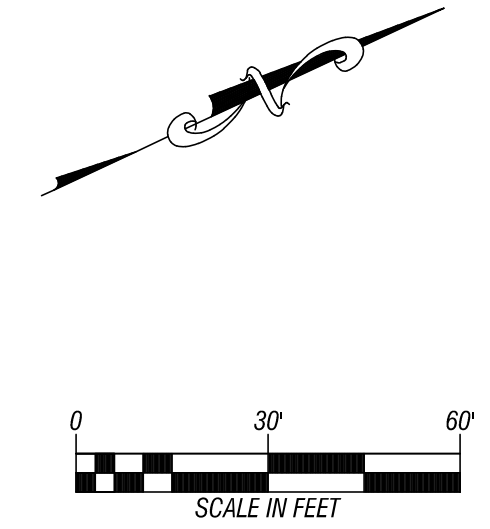
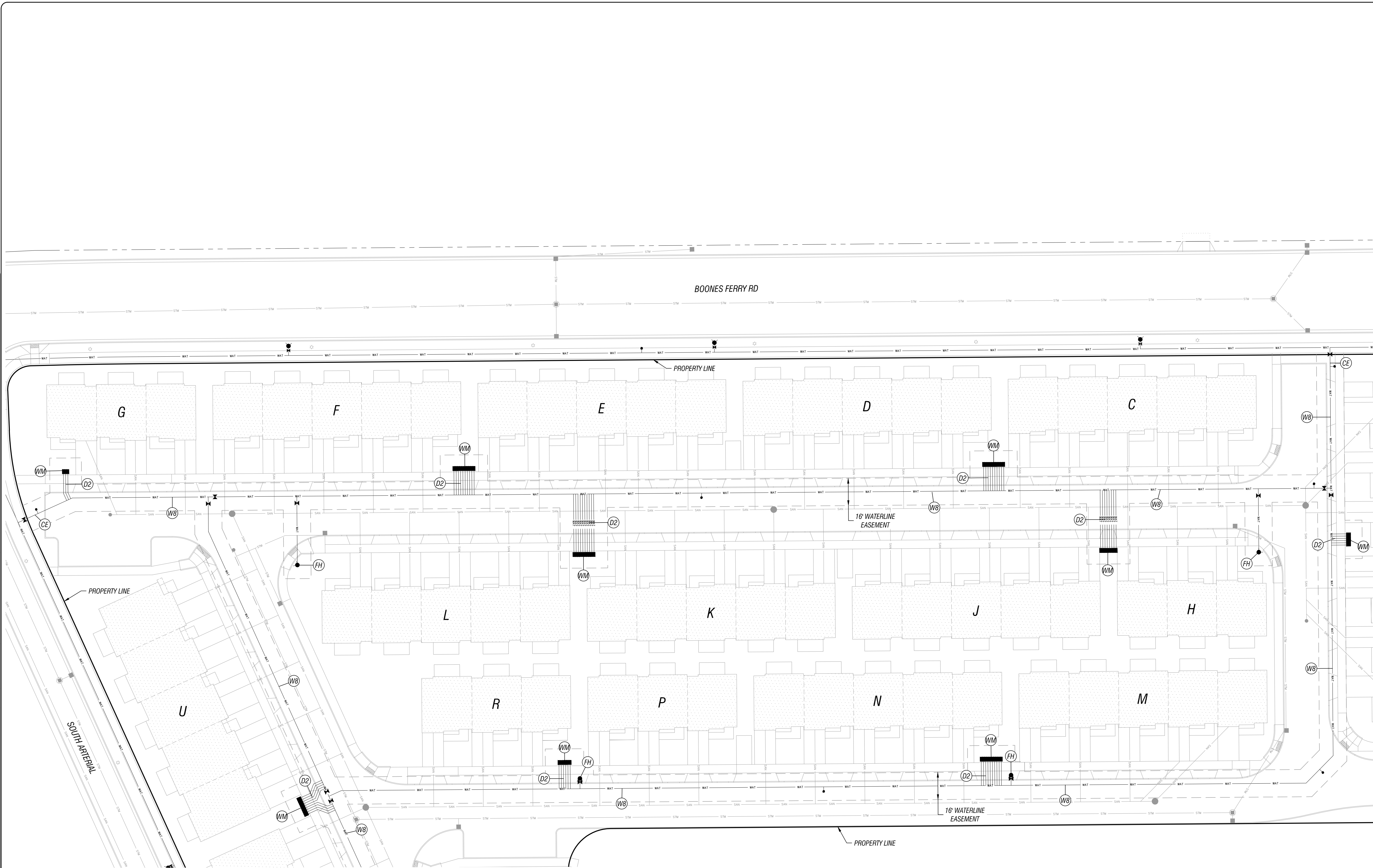


STORM SEWER SITE PLAN

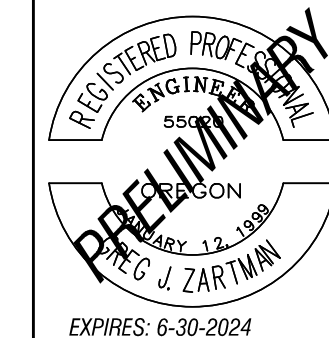
SCALE	1" = 30'
PROJECT NO.	60-19
SHEET	SD-1
	16 OF 20

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60-19-18 PREPARED FOR: WEST COAST HOME SOLUTIONS, LLC
 DATE: 05/14/2024
 PROJECT NO: 60-19
 SHEET: WL-1
 SCALE: 1" = 30'
 PROJECT: 60-19
 SHEET: 18 OF 20



- CONSTRUCTION NOTES:**
- (WB) CONTRACTOR SHALL INSTALL 8" DUCTILE IRON PIPE FOR PUBLIC CITY WATER MAIN, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1. CONTRACTOR SHALL INSTALL THRUST BLOCKING IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 5000-1.
 - (D2) CONTRACTOR SHALL INSTALL 1" SOFT COPPER FOR DOMESTIC SERVICE LINE, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (WM) CITY FORCES SHALL INSTALL 1" WATER METER CLUSTER, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (FH) CONTRACTOR SHALL INSTALL FIRE HYDRANT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 5070-1.
 - (CE) CONTRACTOR SHALL CONNECT TO WATER MAIN LINE.



NO.	DATE	REVISION	BY

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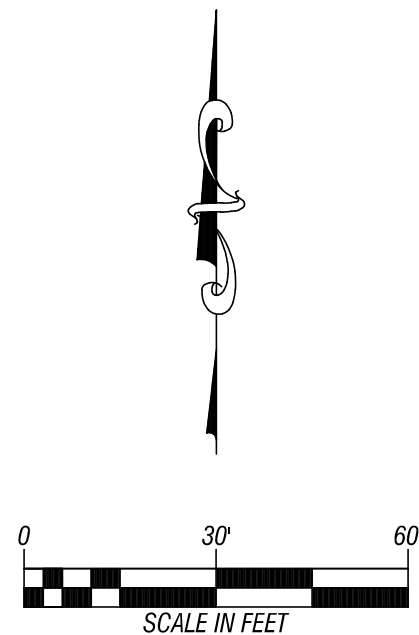
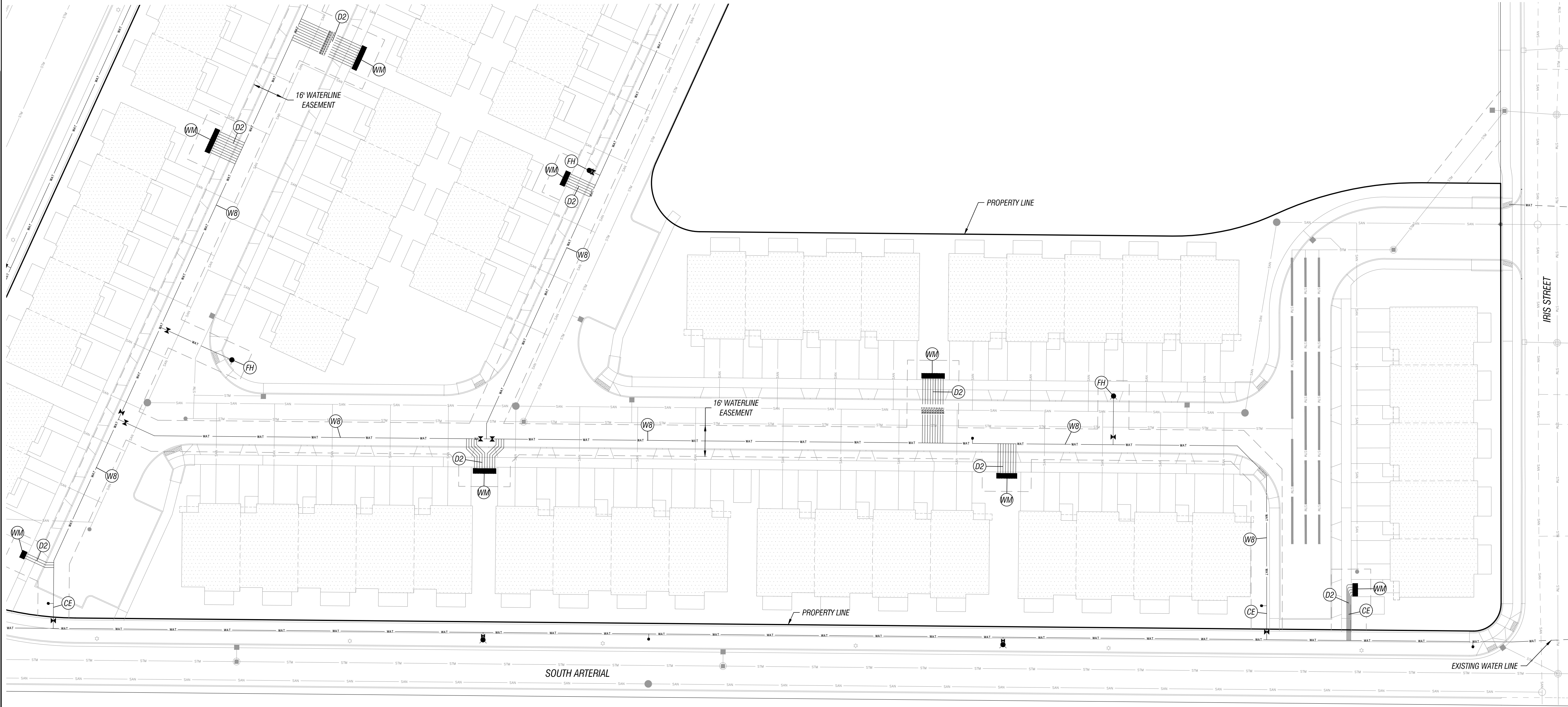
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 OF OREGON

WATERLINE SITE PLAN
 SCALE: 1" = 30'
 PROJECT NO: 60-19
 SHEET: 18 OF 20
 WL-1

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 PREPARED FOR BOONES CROSSING PHASE 6 WEST COAST HOME SOLUTIONS, LLC
 DATE 06/12/24 BY JZ/MS/STP
 PROJECT NO. 60-19
 SHEET 19 OF 20



NO.	DATE	REVISION	BY

- CONSTRUCTION NOTES:**
- (WB) CONTRACTOR SHALL INSTALL 8" DUCTILE IRON PIPE FOR PUBLIC CITY WATER MAIN, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1. CONTRACTOR SHALL INSTALL THRUST BLOCKING IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 5000-1.
 - (D2) CONTRACTOR SHALL INSTALL 2" SOFT COPPER FOR DOMESTIC SERVICE LINE, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (WM) CITY FORCES SHALL INSTALL 1" WATER METER, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
 - (FH) CONTRACTOR SHALL INSTALL FIRE HYDRANT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 5070-1.
 - (CE) CONTRACTOR SHALL CONNECT TO EXISTING WATER LINE.

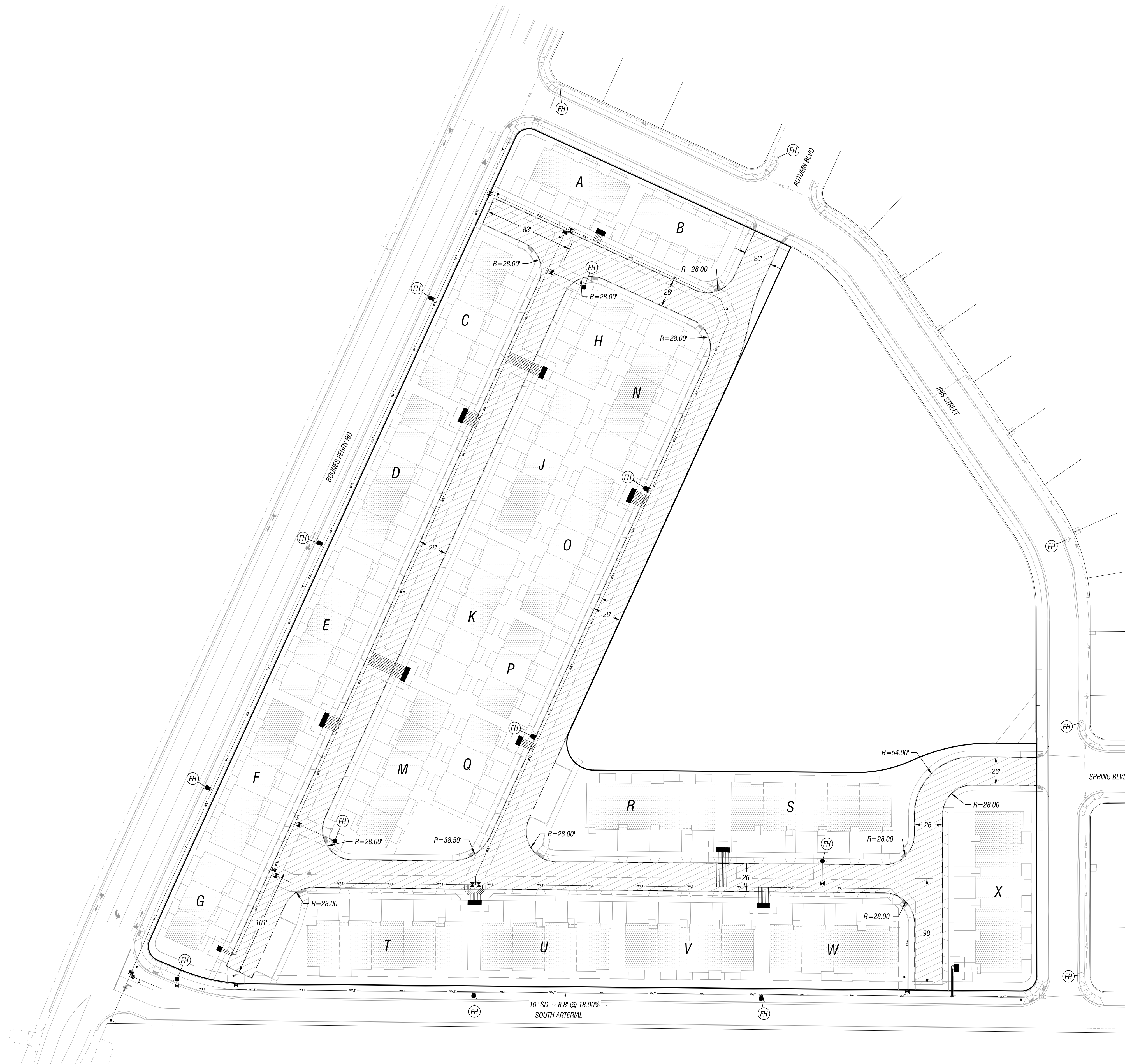
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WATERLINE SITE PLAN
 SCALE: 1" = 30'
 PROJECT NO: 60-19
 SHEET: 19 OF 20
 WL-2

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CHECKED: [] DRAWN: [] DATE: [] DESIGNED: [] PROJECT: []

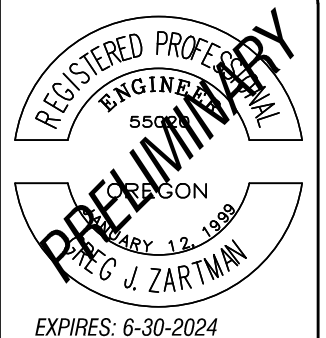
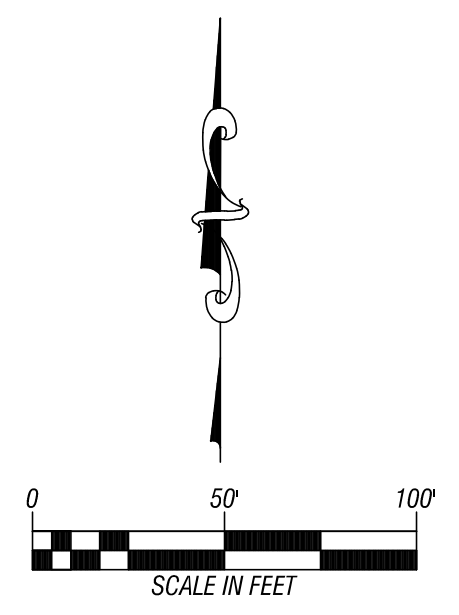


NOTES:

(FH) FIRE HYDRANT

GENERAL NOTES:

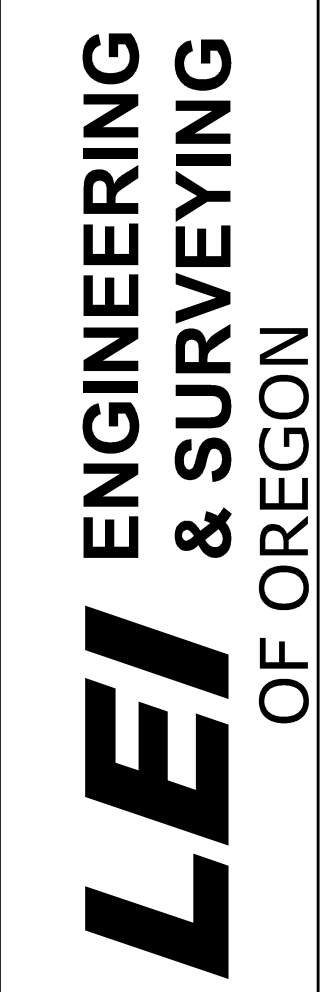
NO OVERHEAD HEIGHT RESTRICTIONS ARE PRESENT WITH PROPOSED FIRE ACCESS PLAN.
 ALL FIRST FLOOR BUILDING FACES ARE LESS THAN 150' FROM THE FIRE ACCESS DRIVE AISLES.



BY	DATE
REVISION	

BOONES CROSSING PHASE 6
 PREPARED FOR: WEST COAST HOME SOLUTIONS, LLC

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 Seaside, Oregon 97132
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FIRE ACCESS PLAN

SCALE	1" = 50'
PROJECT NO.	60-19
SHEET	20 OF 20

FA-1

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