

Final Decision

Planning Commission

File number(s):

DR 22-24 & EXCP 22-13

Project name:

Fleet Sales West Shop Building

Date of decision:

April 13, 2023

Date of mailing:

April 25, 2023

Applicant:

Fleet Sales West

Landowner:

Walsh Enterprises & Holdings LLC

Site location:

2175 N. Pacific Hwy (Tax Lot 051W08A001800)

Summary:

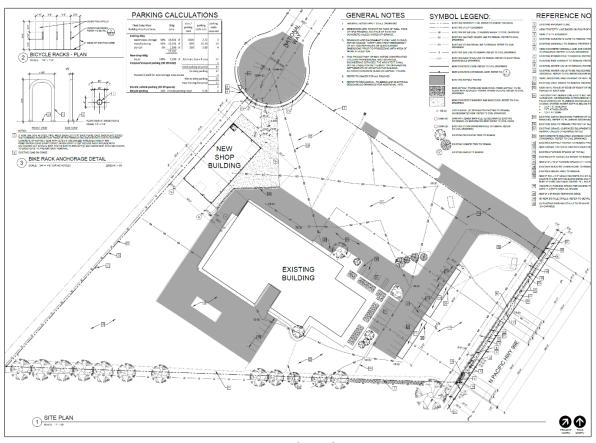
The Planning Commission held a public hearing on April 13, 2023 and unanimously approved the Design Review (DR) and Variance (VAR) application package with the conditions recommended by staff through the staff report published April 6. No testimony was received by proponents or opponents.

The subject property is 2175 N. Pacific Hwy, a 5.57-acre property in the Commercial General (CG) zoning district that is developed with an industrial manufacturing building and occupied by Fleet Sales West. The company manufactures and sells fleet vehicles (tow trucks, auto loader wreckers, flatbed carriers) to other businesses.

The Planning Commission approved a 7,200 square foot shop building on the property to increase the company's manufacturing output capacity. The Commission also approved the applicant's Variance request to modify the required upgrades to nonconforming site aspects that are associated with the expansion of the existing development.



Aerial view of the subject property



Proposed site plan

Conditions of Approval

Section references are to the Woodburn Development Ordinance (WDO).

- 1. Substantial Conformance: The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
- 2. N. Pacific Highway improvements: Half-street right-of-way (ROW) improvements to N. Pacific Highway along the frontage of the subject property shall conform to Figure 3.01B. Complete the following items prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 3.01.02E and 4.02.08.
 - a. ROW: Dedicate ROW to achieve 50 feet of width from centerline.
 - b. Sidewalk: Construct a 6-foot wide sidewalk along the frontage, with a 1-foot buffer between the widened ROW boundary. The sidewalk may meander around existing power poles and shall transition back into the existing sidewalk to the north and south in a manner acceptable to the Public Works Director.
 - c. Landscape strip: Construct a 6-foot wide landscape planter strip between sidewalk and curb (width measurement includes 6-inch curb). To meet 3.01.04B and 3.06.03A, the landscape strip shall be planted with at least 8 large size street trees and lawn grass or other species of groundcover. Large size trees are defined in Table 3.06B as having a height of 60-120 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.
- 3. National Way improvements: Half-street right-of-way (ROW) improvements to National Way along the frontage of the subject property shall conform to Figure 3.01F. Complete the following items prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 3.01.02E and 4.02.08.
 - a. ROW: Dedicate ROW to ensure the improvements in subsections b. and c. are within ROW boundaries.
 - b. Sidewalk: Construct a 6-foot wide sidewalk along the frontage, with a 1-foot buffer between the widened ROW boundary. The sidewalk may meander around existing power poles and shall transition back into the existing sidewalk to the north and south in a manner acceptable to the Public Works Director.
 - c. Landscape strip: Construct a 6-foot wide landscape planter strip between sidewalk and existing curb (width measurement includes 6-inch curb). To meet 3.01.04B and 3.06.03A, the landscape strip shall be planted with at least 3 small size street trees and lawn grass or other species of groundcover. Small size trees

are defined in Table 3.06B as having a height of 18-40 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.

- 4. Easements: Grant the following easements. A draft copy of each easement shall be provided to the City for review prior to recordation with Marion County. Proof of recordation shall be submitted prior to building permit issuance.
 - a. N. Pacific Hwy streetside PUE: A 10-foot wide public utility easement (PUE) along the widened ROW of N. Pacific Hwy, pursuant to Figure 3.01B and 3.02.01B.
 - b. National Way streetside PUE: A 5-foot wide minimum PUE along the widened ROW of National Way, pursuant to Figure 3.01F and 3.02.01B. Maximum width of this easement is 8 feet per 3.02.01F2a.
 - c. Public sanitary sewer easement: A 16-foot wide PUE centered along the public sanitary sewer line running through the site parallel to N. Pacific Hwy, pursuant to 3.02.01A & C. Alternatively, the N. Pacific Hwy streetside PUE could be widened to accommodate this easement.
- 5. Street lighting: Pursuant to 3.02.03A, adjacent street lighting for N. Pacific Hwy and National Way shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works Department indicating that existing illumination complies with the standards or install new lighting to conform. This is due prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 4.02.08.
- 6. Power line burial: To meet 3.02.04B, the applicant shall either bury the existing power lines along the N. Pacific Hwy frontage of the property or pay a fee-in-lieu of \$142,000 to the City. This condition is due prior to building permit issuance.
- 7. Underground utilities: Pursuant to 3.02.04, all utility services to and within the development shall be underground.
- 8. Shared access: To meet 3.04.03C & D2:
 - a. Grant a shared access easement at least 20 feet wide benefiting Tax Lots 051W08A001700, 5400, & 5600 that allows access to N. Pacific Hwy. Pursuant to 3.04.01A2, a draft copy of the easement shall be provided to the City for review prior to recordation with Marion County. Proof of recordation shall be submitted prior to building permit issuance.
 - b. Construct paved drive aisle improvements up to the property boundaries within this easement.

9. Parking:

a. Accessible parking: Pursuant to 3.05.03B, site plans shall provide accessible parking stalls to meet ORS 447.233.

- b. Carpool/vanpool stalls: Pursuant to Table 3.05C, illustrate and note on plans at least two carpool/vanpool parking stalls that meet the standards in 3.05.03H.
- c. Electric vehicle stalls: Pursuant to Table 3.05E, illustrate and note on plans at least two electric vehicle parking stalls that meet the standards in 3.05.03I. Charging stations shall provide Level 2 charging per 3.05.03I2. Provide striping and signage for each electric vehicle stall to meet 3.05.03I3 & 4.
- d. Bicycle parking: To meet 3.05.06C6, revise plans to cover/shelter at least half of the required bicycle parking stalls.
- e. Parking striping: To meet 3.05.02K and Figure 3.05C, all parking spaces shall be delineated by double parallel lines.
- 10. Sign Permit: To demonstrate conformance with 3.10 and 5.01.10, submit application for and obtain approval of a Sign Permit for any new signage.
- 11. Fence Permit: To demonstrate conformance with 2.06.02 and 5.01.03, submit application for and obtain approval of a Fence Permit for any new fencing.
- 12. Landscaping: Pursuant to 3.05.02D4, 3.05.02E1, Table 3.06A, and 3.06.05B, revise plans to illustrate landscaping within the setback abutting a street for both N. Pacific Hwy and National Way. Per Table 2.03C, this setback is noted to be a minimum of 5 feet. Landscape planting shall be a density of at least 1 Plant Unit per 15 square feet of setback area (excluding driveway area). As part of the revisions to meet this condition, the proposed landscaping screening parking stalls from N. Pacific Hwy may shift to be along the property line.
- 13. Variance vesting: The subject Variance approval is vested only for the scope of development work approved through this Design Review. Any future development or redevelopment of the property would be required to meet the applicable requirements at that time.

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

- 1. Permits: Permits are applied for using the <u>Oregon ePermitting</u> online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
- 2. Demolition Permits: Demolition of any existing structures may require <u>Demolition Permit</u> approval through the Building Division.
- 3. Records: Staff recommends that the applicant retain a copy of the subject approval.
- 4. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
- 5. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
- 6. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
- 7. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
- 8. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the

development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.

- 9. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.
- 10. ODOT review: Applicant is required to obtain a permit from ODOT for all work within ODOT jurisdiction. Applicant to provide a copy of the ODOT permit approval prior to building permit issuance.
- 11. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
- 12. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
- 13. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
- 14. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
- 15. SDCs: The developer pays System Development Charges prior to building permit issuance.

Expiration

Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

- 1. A building permit to exercise the right granted by the decision has been issued;
- 2. The activity approved in the decision has commenced; or
- 3. A time extension, pursuant to Section 4.02.05, has been approved.

Appeals

Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO $\underline{4.02.01}$. The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or planning@ci.woodburn.or.us.

Sincerely,

Dan Handel, AICR Planner

Date

Affirmed,

Charlie Piper, Chair, Planning Commission

Date

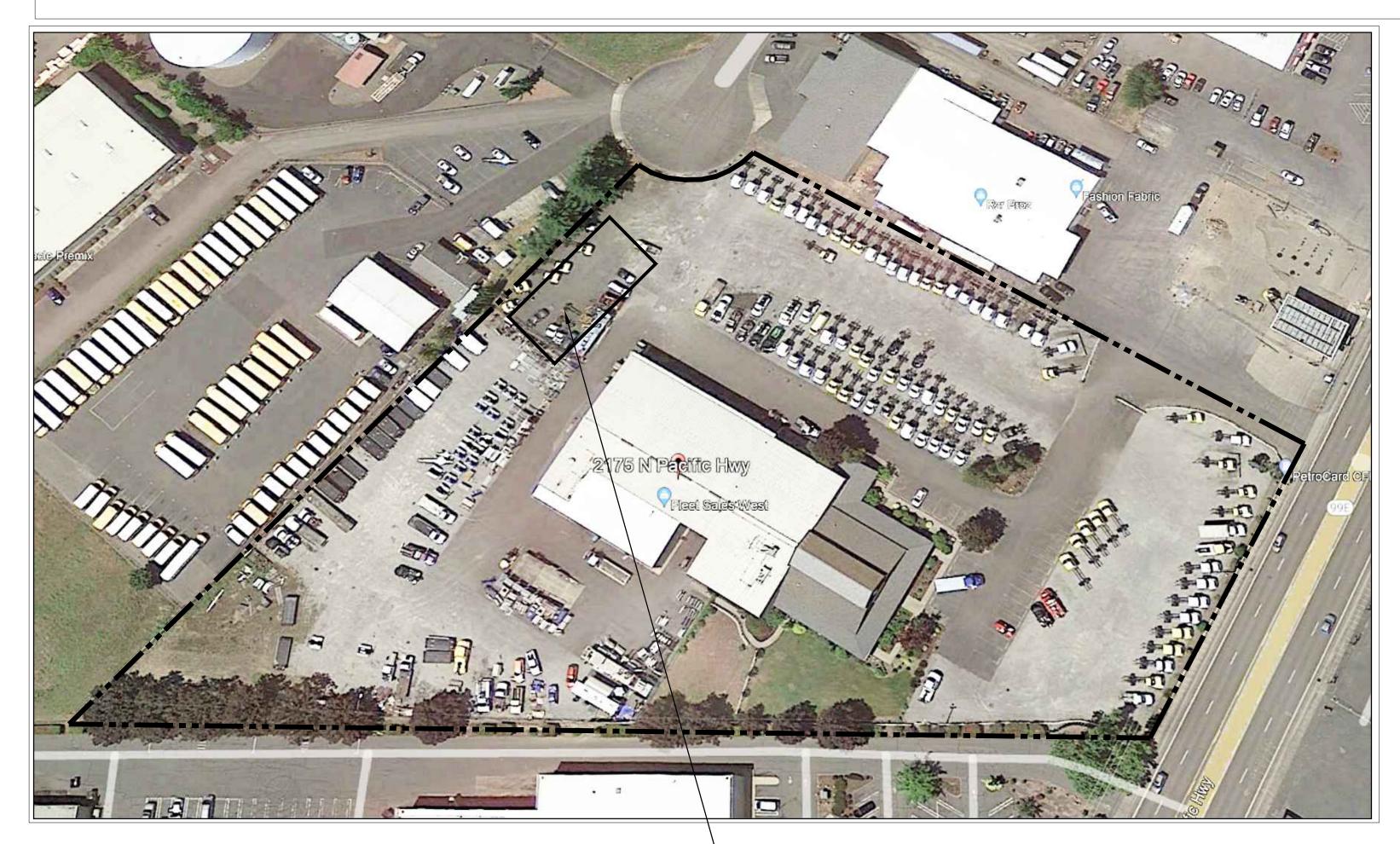
attachments:

1. Site Plans (Planning Commission Staff Report Attachment 107)

FLEET SALES WEST - SHOP BUILDING

2175 N PACIFIC HWY WOODBURN, OREGON 97071

ARCHITECTURAL PLANS



NEW SHOP BUILDING

AERIAL VIEW - SITE PLAN



DESIGN TEAM

BUILDING OWNER & GENERAL CONTRACTOR: WALSH ENTERPRISES & HOLDINGS, INC 2175 N PACIFIC HWY WOODBURN, OR 97071 JAMES WALSH, OWNER

MERLE WOOD, MANAGER mwood@fleetsaleswest.com 971-563-1549

ARCHITECT
A C + CO ARCHITECTS 1100 LIBERTY STREET SE, SUITE 200 SALEM, OR 97302 BLAKE BURAL bbural@accoac.com

LANDSCAPE ARCHITECT LAURUS DESIGNS, LLC SILVERTON, OR 97381

LAURA ANTONSON, RLA

SURVEYOR UDELL ENGINEERING AND LAND SURVEYING, LLC 61 EAST ASH ST.

LEBANON, OR 97355 KYLE W. LATIMER, PLS 542-451-5125

PLANNING CASCADIA PLANNING & DEVELOPMENT SERVICES BOX 1920

SILVERTON, OR 97381 STEVE KAY, AICP 503-804-1089

503-585-3986

CIVIL ENGINEERS WESTECH ENGINEERING, INC. 3841 FAIRVIEW INDUSTRIAL DRIVE. SE SALEM, OR 97302 JOSH WELLS, PE jwells@westech-eng.com

STRUCTURAL ENGINEER (SLAB & FOUNDATION) MOUNTAIN VIEW ENGINEERING INC

345 NORTH MAIN STREET, SUITE A BRIGHAM CITY, UT 84302 BRAD WALLACE, SE 435-734-9700

PRE-ENGINEERED METAL BLDG MFGR

PACIFIC BUILDING SYSTEMS 2100 N PACIFIC HWY WOODBURN, OR 97071 www.pbsbuildings.com 503-981-9581

DRAWINGS

ARCHITECTURAL

PROJECT INFO, CODE COMPLIANCE SITE PLAN - DEMO SITE PLAN - NEW CONSTRUCTION **BUILDING PLANS & ELEVATIONS ENLARGED PLAN & ELEVATIONS - RESTROOM**

STRUCTURAL (SLAB & FOUNDATIONS)

FOUNDATION DETAILS

STRUCTURAL (PRE-ENGINEERED METAL BUILDING)

ANCHOR BOLT PLAN ANCHOR BOLT REACTIONS ANCHOR BOLT REACTIONS **ROOF SHEATHING ROOF INSULATION**

DETAIL DRAWINGS

SIDEWALL FRAMING **ENDWALL FRAMING ENDWALL FRAMING** WALL INSULATION RIGID FRAME ELEVATION RIGID FRAME ELEVATION

DETAIL DRAWINGS DETAIL DRAWINGS DETAIL DRAWINGS DETAIL DRAWINGS

SEPARATE PERMITS

1 ELECTRICAL DESIGN-BUILD DRAWINGS & SPECS

2 MECHANICAL DESIGN-BUILD DRAWINGS & SPECS

GENERAL NOTES

- 1. GENERAL NOTES APPLY TO ALL DRAWINGS
- 2. DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
- 3. DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF WORK IN QUESTION.
- 4. THIS PROJECT MAY OR MAY NOT BE CONSTRUCTED UTILIZING PROFESSIONAL GEO-TECHNICAL ENGINEERING SERVICES. THE ARCHITECT SHALL NOT BE LIABLE FOR SETTLEMENT OR DIFFERENTIAL SETTLEMENTS OF OR WITHIN THE BUILDING, EXTERIOR CONCRETE SLABS OR ASPHALT PAVING.
- 5. REFER TO OWNER FOR ALL FINISHES
- 6. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFO.

DESIGN DEVELOPMENT

In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any

sealed documents shall govern.

electronically or otherwise, the original signed and

2022.0062

SEPT 29, 2022

DRAWN:

REVISIONS:

CODE COMPLIANCE NOTE: REFER TO (1/42.1) FOR ADDITIONAL CODE COMPLIANCE INFORMATION

GENERAL INFORMATION

PROJECT:

FLEET SALESINC. - SHOP BUILDING

TOURS HWY WOODBURN. 2175 N. PACIFIC HWY, WOODBURN, OR 97071 CONSTRUCT (1) PRE-ENGINEERED METAL BUILDING FOR REPAIR OF TOW-TRUCKS PROJECT NO.: 2022.0062

2019 OREGON STRUCTURAL SPECIALTY CODE BASED ON 2018 IBC 2019 OREGON FIRE CODE 2019 OREGON ENERGY CODE

USE & OCCUPANCY - CHAPTER 3

TOW-TRUCK REPAIR S-1 OCC (MODERATE-HAZARD STORAGE) SECT 311.2 (MOTOR-VEHICLE REPAIR GARAGES)

GENERAL BUILDING HEIGHTS & AREAS - CHAPTER 5

CONSTRUCTION TYPE: **BUILDING HEIGHT: BUILDING AREA / FLOOR:**

II-B - NON-SPRINKLERED 20 FT < 55 FT ALLOWED (COMPLIES) TABLE 504.3 1 STORY = 1 STORY ALLOWED (COMPLIES) TABLE 504.4 7,200 SQ FT <17,500 SQ FT BASE ALLOWED **TABLE 506.2** (COMPLIES)

CONSTRUCTION TYPES - CHAPTER 6

EXISTING BUILDING CONSTRUCTION TYPE: II-B - NON-SPRINKLERED **BUILDING ELEMENTS:** PRIMARY STRUCTURAL FRAME: EXTERIOR BEARING WALLS: INTERIOR BEARING WALLS: EXTERIOR NONBEARING WALLS: INTERIOR NONBEARING WALLS: FLOOR & ROOF CONSTRUCTION: (

EXTERIOR WALL FIRE RATING REQUIRED BASED ON SEPARATION DISTANCE SEPARATION DISTANCE, TYPE II-B CONSTRUCTION, S-1 OCCUPANCY: 10 FT < X < 30 FT: 0-HR ALLOWED X > 30 FT: 0-HR ALLOWED

NEW BLDG - P/L WEST: **NEW BLDG -EXIST. BLDG EAST:** NEW BLDG - NORTH & SOUTH:

THEREFORE, 0-HR RATING REQUIRED (COMPLIES) 40'-0" SEPARATION THEREFORE, 0-HR RATING REQUIRED (COMPLIES) SEPARATION > 30 FT THEREFORE, 0-HR RATING REQUIRED (COMPLIES)

FIRE & SMOKE PROTECTION - CHAPTER 7

EXTERIOR WALLS - OPENINGS:

MAX. AREA OF WALL OPGS BASED ON FIRE SEP. DISTANCE & OPENING PROTECTION TABLE 705.8 DOORS & WINDOWS - UNPROTECTED OPENINGS, NON-SPRINKLERED: EAST WALL - EXISTING BLDG AT EAST = 40 FT SEPARATION;

20 FT FIRE SEPARATION, OPENINGS 45% OF WALL AREA WALL AREA = 20' x 120' = 2,400 SQ FT OPENINGS = 4 x 14' x 14' = 784 SQ FT = 32.7 % < 45% (COMPLIES)

FIRE PROTECTION FEATURES - CHAPTER 9

FIRE EXTINGUISHERS: (1) LOCATED AT EACH EXIT + (1) AT BLDG €, EAST WALL

MEANS OF EGRESS - CHAPTER 10 OCCUPANT LOAD:

COMMON PATH OF TRAVEL, OL> 30:

NUMBER OF EXITS:

EXIT DISTANCE:

EXIT SEPARATION DISTANCE

TABLE 602

TABLE 1004.5 SHOP (PER FABRICATION AND MANUFACTURING AREAS): 200 SF / OCCUPANT 7,200 SF @ 200 SF / OCC = 36 OCCUPANTS

120+ FT PROVIDED, THEREFORE, (2) EXITS REQUIRED (2) EXITS PROVIDED (COMPLIES)

OF AREA SERVED

75 FT MAX ALLOWED

DIAGONAL DIMENSION = 132'-0" EXIT SEPARATION = 120 FT > $\frac{1}{2}$ x 132'-0" (COMPLIES)

SEPARATION REQD > 1/2 MAX DIAG. DIMENSION SECT 1007.1.1

EXIT SIGNS: REQUIRED SECT 1013.1

> TABLE 1017.2 200 FT MAX ALLOWED, S-1 OCC, UNSPRINKLERED 100'-0" PROVIDED < 200 FT (COMPLIES)

PLUMBING - CHAPTER 29

SECT 1006.2.1

TOILET FACILITIES: SEPARATE FACILITIES NOT REQUIRED IN SECT 2902.2 EX 4 BUSINESS OCCUPANCIES OF 50 OR FEWER

ENERGY CODE - BUILDING ENVELOPE - CHAPTER 5

CLIMATE ZONE, ASHRAE STANDARD 169:

BUILDING ENVELOPE REQUIREMENTS FOR CLIMATE ZONE 4C: METAL BUILDING, SEMI-HEATED SPACE R-19

WALLS (ABOVE GRADE): SLAB-ON-GRADE FLOOR, UNHEATED: NOT REQUIRED OPAQUE DOORS, SWINGING: U-0.370 (R = 2.70) OPAQUE DOORS, NON-SWINGING:

U-0.360 (R = 2.78)SKYLIGHT (TO 3% OF ROOF, MAX) NOT REQUIRED

FLEET SALES WEST SHOP BUILDING 2175 N PACIFIC HWY WOODBURN, OREGON 97071

Salem, OR 97302 P: 503.581.4114

www.accoac.com

ARCHITECTURE

COMMUNITY

1100 Liberty Street SE, Suite 200

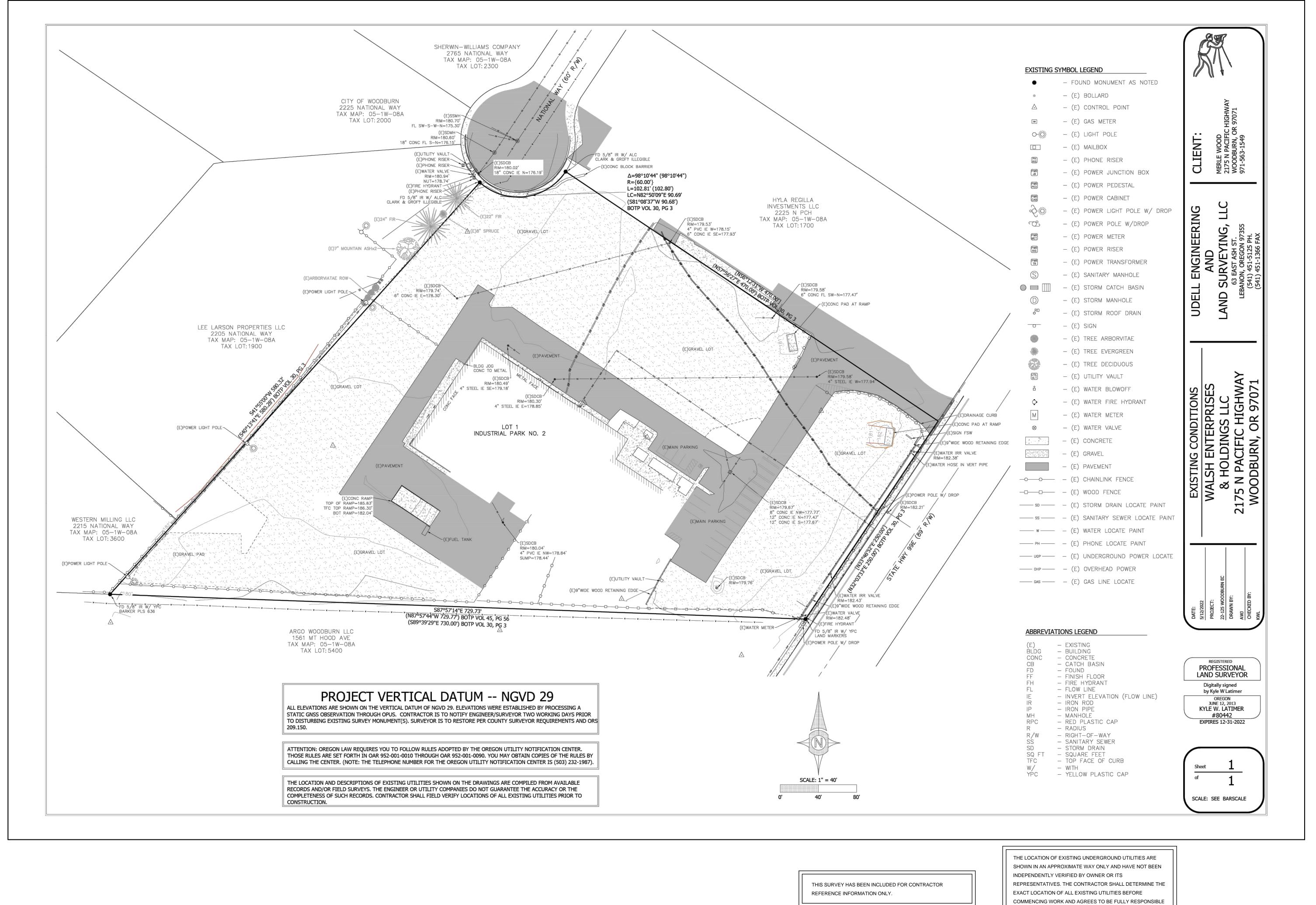
COVER SHEET -PROJECT INFORMATION, CODE COMPLIANCE

SHEET

ATTACHMENT 107

TABLE B-1

TABLE 5.5-4



FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASSIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION AC+Co ARCHITECTURE | COMMUNITY JANUARY 21, 2022

original signed and sealed documents prepared by he Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2022.0062

DATE: SEPT 29, 2022

DRAWN:

REVISIONS:

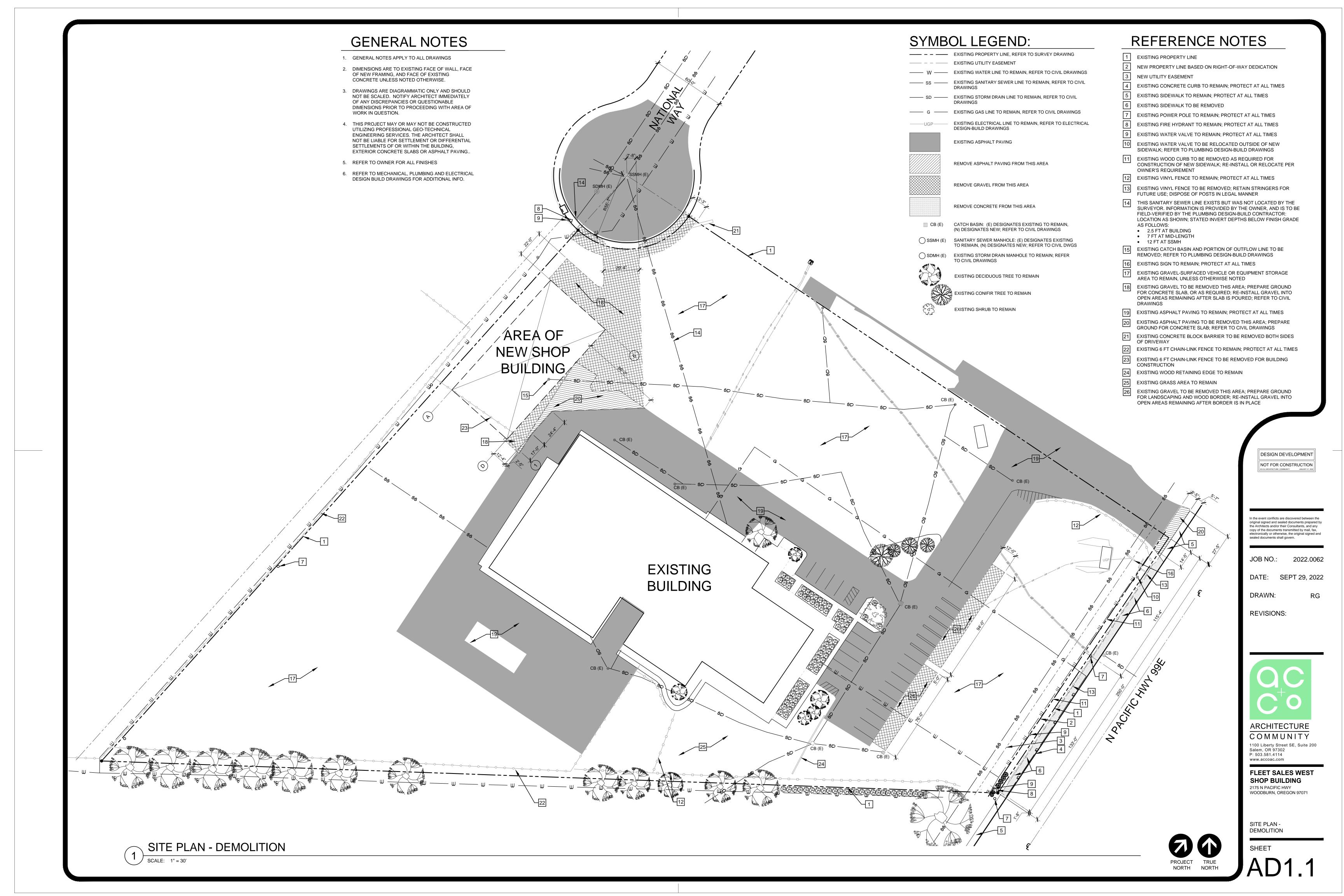
ARCHITECTURE COMMUNITY 1100 Liberty Street SE, Suite 200 Salem, OR 97302 P: 503 581 4114

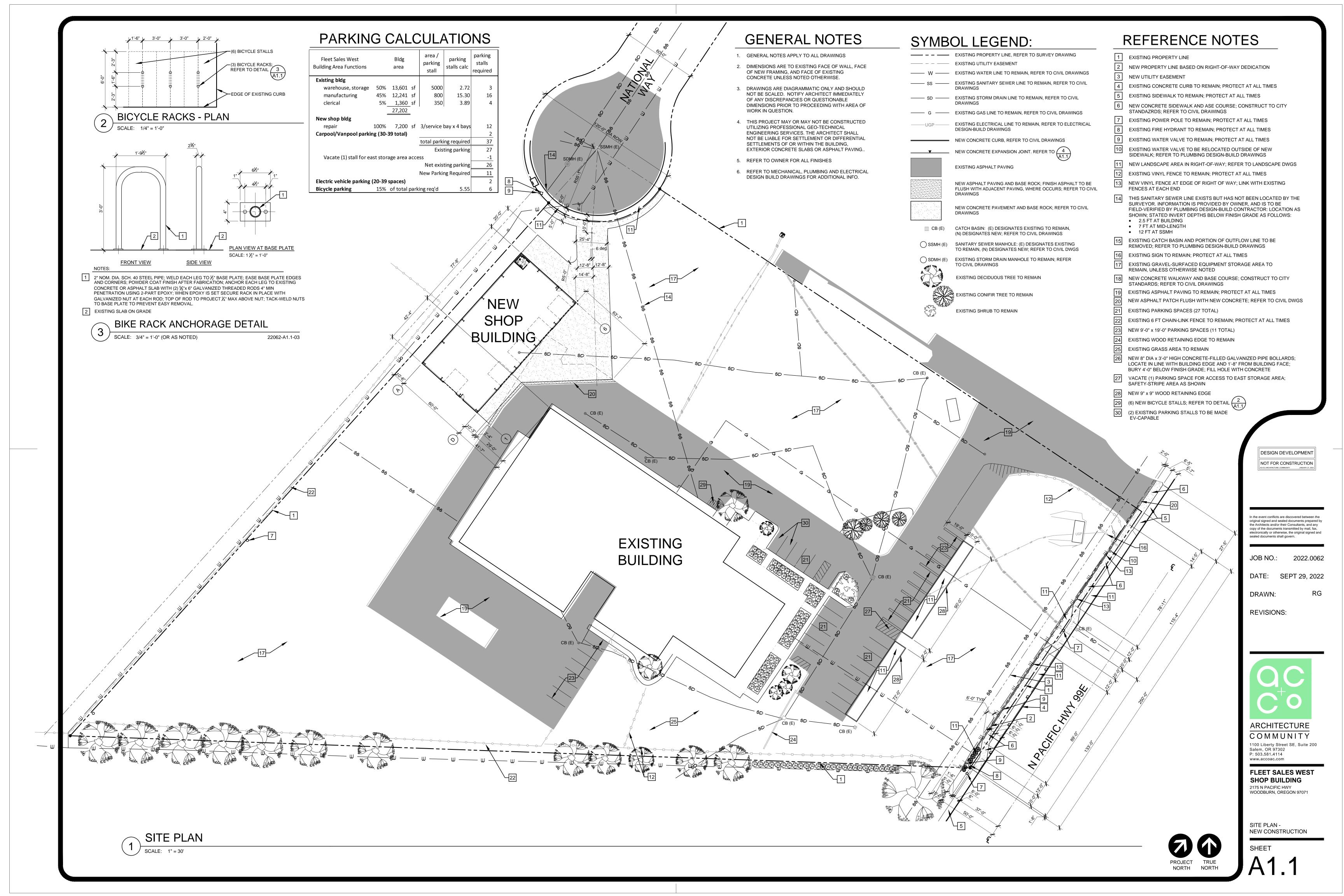
FLEET SALES WEST SHOP BUILDING 2175 N PACIFIC HWY WOODBURN, OREGON 97071

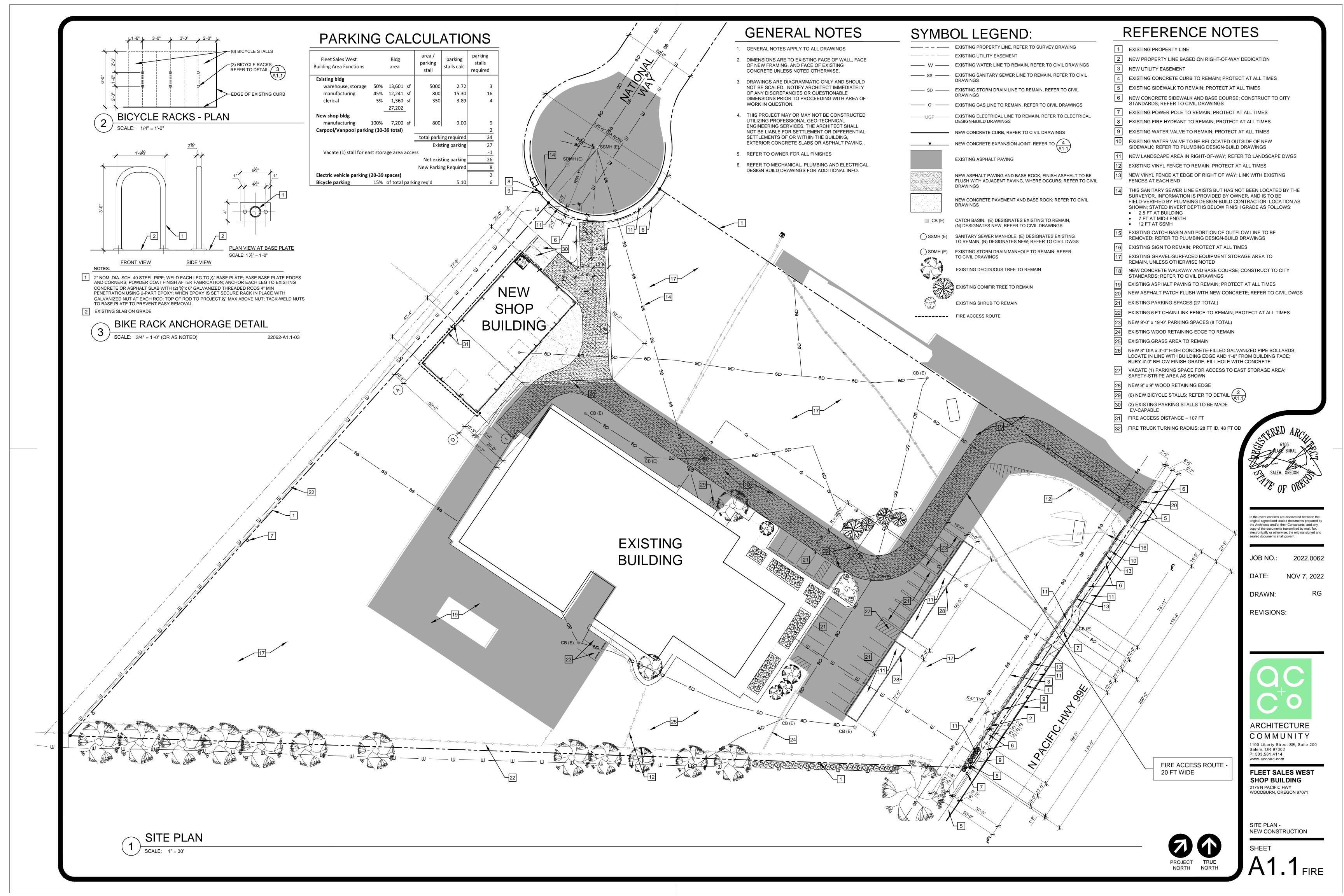
www.accoac.com

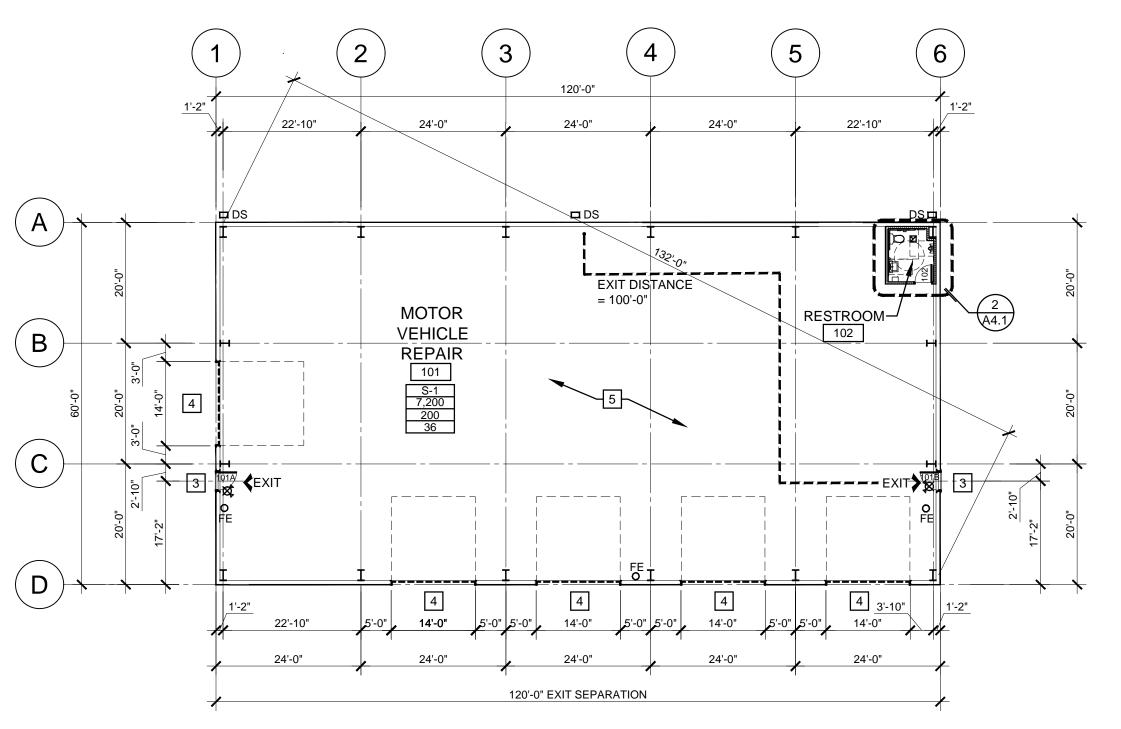
SURVEY

SHEET



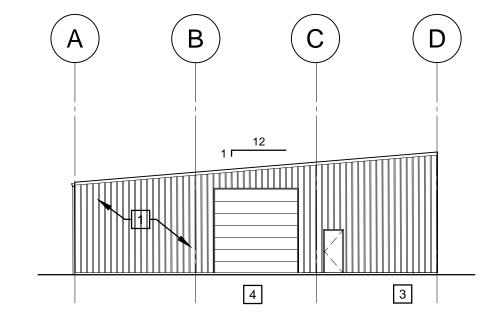




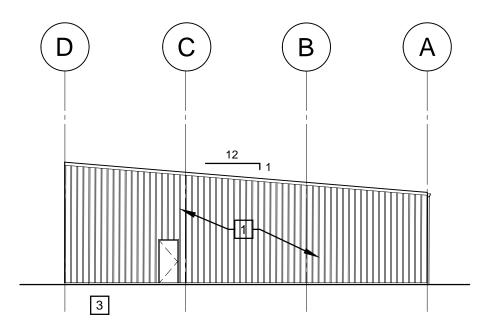




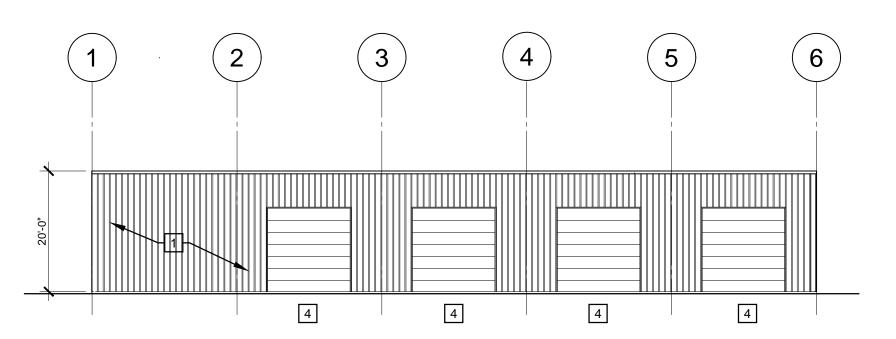




ELEVATION - SOUTH WALL (GRID LINE1)

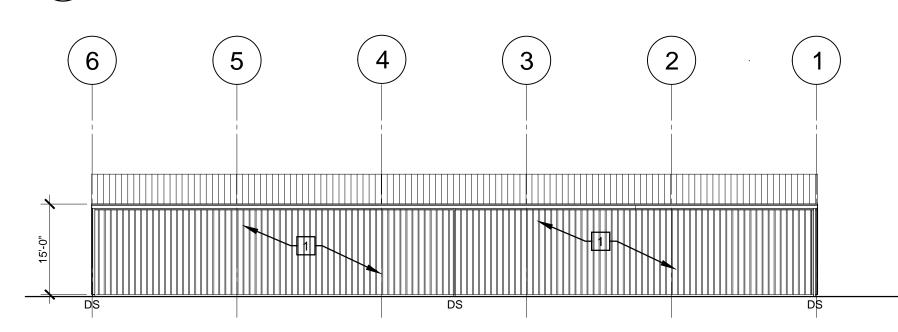


ELEVATION - NORTH WALL (GRID LINE 6)



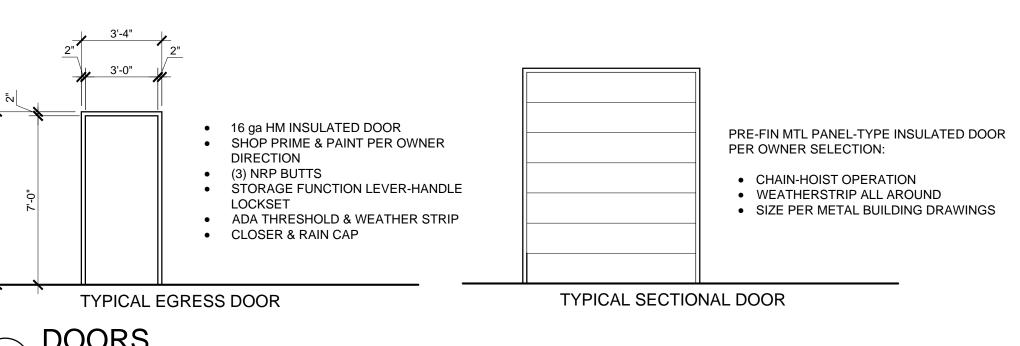
3 ELEVATION - EAST WALL (GRID LINE D)

SCALE: 1/16" = 1'-0"



ELEVATION - WEST WALL (GRID LINE A)

SCALE: 1/16" = 1'-0"



6 DOORS

SCALE: 1/4" = 1'-0"

REFERENCE NOTES

BUILDING FRAMING, SIDING, ROOFING, GUTTERS, DOWNSPOUTS AND RELATED REQUIRED BUILDING MATERIALS PER PEMB BUILDING MFGR - TYP; REFER, ALSO TO 7

2 NOT USED

3'-0" x 7'-0" MAN-DOOR; HEAD, JAMB AND THRESHOLD DETAILS AND INSTALLATON PER BUILDING MFGR.; HARDWARE PER OWNER'S REQUIREMENT; WEATHERSTRIP ALL EDGES; REFER TO 6 A2.1

14' x 14' SECTIONAL OVERHEAD DOOR; WEATHERSTRIP ALL EDGES; REFER TO 6 A2.1

5 CONCRETE SLAB BY OTHERS; REFER TO CIVIL DRAWINGS FOR FINISH FLOOR ELEVATION

LEGEND

□ DS

XXXXX

ROOM NAME / FUNCTION
OCCUPANCY CLASSIFICATION
FLOOR AREA, SQ FT
OCCUPANT LOAD FACTOR
OCCUPANTS

EXIT

EXIT SIGN WITH EMERGENCY
LIGHTING AND BATTERY BACKUP

O FE
FIRE EXTINGUISHER

MAN DOOR (EXISTING)

MAN DOOR (NEW)

---- OVERHEAD SECTIONAL DOOR

DOWNSPOUT

GENERAL NOTES

1. GENERAL NOTES APPLY TO ALL DRAWINGS

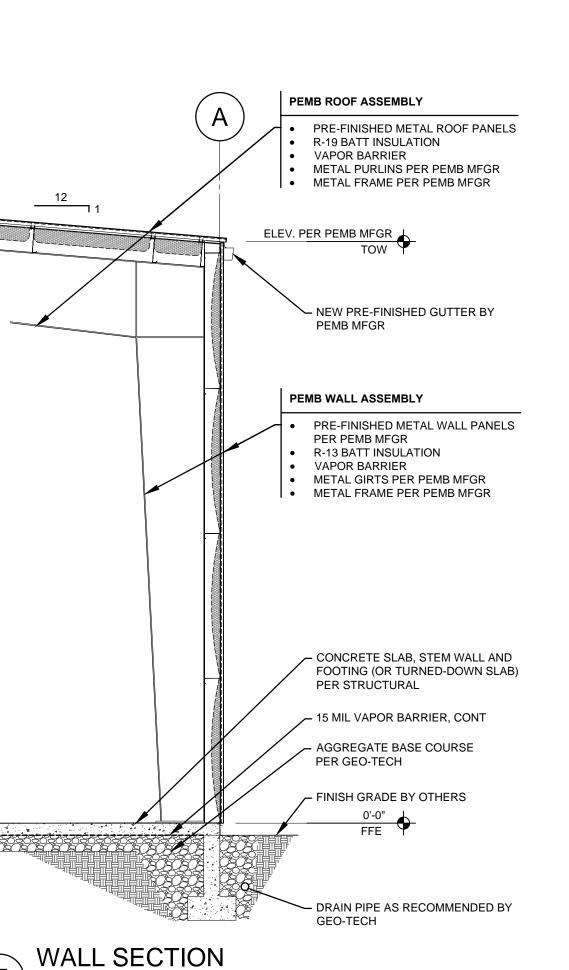
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3. DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF WORK IN QUESTION.

4. THIS PROJECT MAY OR MAY NOT BE CONSTRUCTED UTILIZING PROFESSIONAL GEO-TECHNICAL ENGINEERING SERVICES. THE ARCHITECT SHALL NOT BE LIABLE FOR SETTLEMENT OR DIFFERENTIAL SETTLEMENTS OF OR WITHIN THE BUILDING, EXTERIOR CONCRETE SLABS OR ASPHALT PAVING..

5. REFER TO OWNER FOR ALL FINISHES

6. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFO.



SCALE: NTS

DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION

AC+CO ARCHITECTURE | COMMUNITY JANUARY 21, 2022

In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2022.0062

DATE: SEPT 29, 2022

REVISIONS:

DRAWN:

ARCHITECTURE

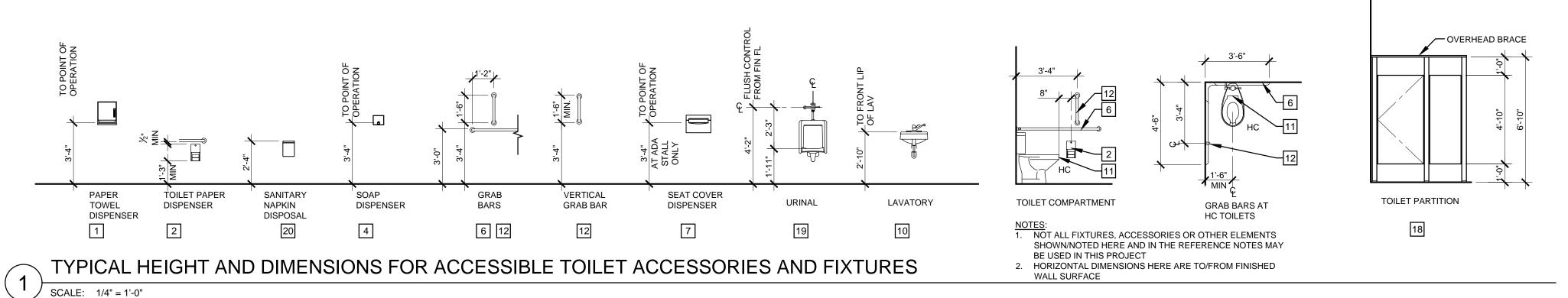
COMMUNITY

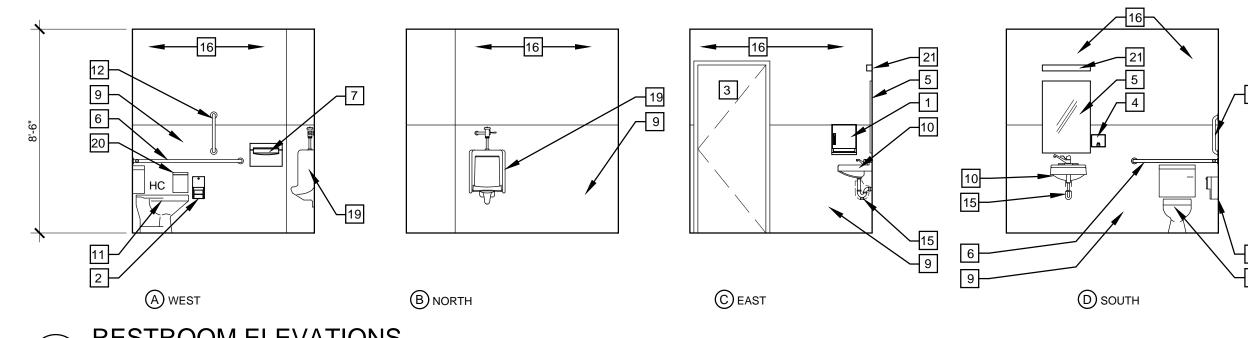
1100 Liberty Street SE, Suite 200
Salem, OR 97302
P: 503.581.4114
www.accoac.com

FLEET SALES WEST SHOP BUILDING 2175 N PACIFIC HWY WOODBURN, OREGON 97071

NEW SHOP BUILDING PLAN & ELEVATIONS

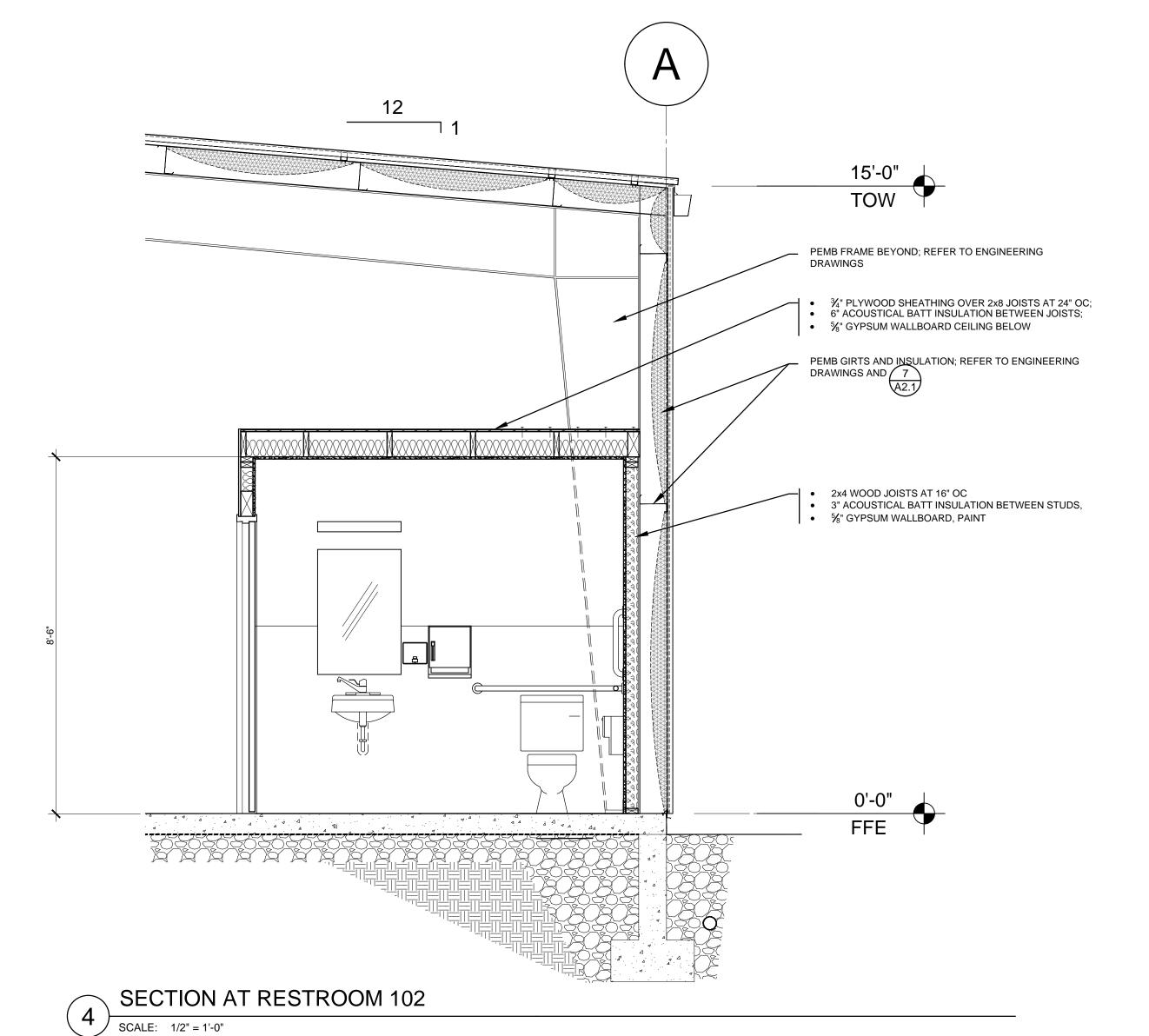
SHEET 1





RESTROOM ELEVATIONS

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS

 DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.

3. DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF WORK IN QUESTION.

4. THIS PROJECT MAY OR MAY NOT BE CONSTRUCTED UTILIZING PROFESSIONAL GEO-TECHNICAL ENGINEERING SERVICES. THE ARCHITECT SHALL NOT BE LIABLE FOR SETTLEMENT OR DIFFERENTIAL SETTLEMENTS OF OR WITHIN THE BUILDING, EXTERIOR CONCRETE SLABS OR ASPHALT PAVING..

5. REFER TO OWNER FOR ALL FINISHES

6. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFO.

RESTROOM REFERENCE NOTES:

1 PAPER TOWEL DISPENSER

2 TOILET PAPER HOLDER

3 NOT USED

4 SOAP DISPENSER

5 MIRROR

6 ONE PIECE GRAB BAR

7 TOILET SEAT COVER DISPENSER

8 NOT USED

9 FRP WAINSCOTING TO 4'-6" AFF, TYP ALL RESTROOM WALLS

10 LAVATORY, REFER TO DESIGN/BUILD PLUMBING DRAWINGS

WATER CLOSET, HANDICAP ACCESSIBLE AS INDICATED (HC), REFER TO DESIGN/BUILD PLUMBING DRAWINGS

12 VERTICAL GRAB BAR

13 FLOOR DRAIN, REFER TO DESIGN/BUILD PLUMBING DRAWINGS

ROOM SIGN; CONFIGURATION, LETTERING, MOUNTING HEIGHT PER ADA REQUIREMENTS

15 ADA COMPLIANT UNDERSINK PROTECTION

16 PAINT, REFER TO FINISH SCHEDULE

17 CEILING-MOUNTED EXHAUST FAN; REFER TO MECHANICAL DESIGN-BUILD DRAWINGS

18 NOT USED

NOTE: THIS SHEET NEEDS

STRUCTURAL NOTES

19 URINAL

20 SANITARY NAPKIN DISPOSAL,

21 WALL MOUNT LIGHT FIXTURE

NOT FOR CONSTRUCTION

AC-60 ARCHITECTURE | COMMAINITY JANUARY 21, 2022

DESIGN DEVELOPMENT

In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2022.0062

DATE: SEPT 29, 2022

DRAWN:

REVISIONS:



ARCHITECTURE
COMMUNITY

1100 Liberty Street SE, Suite 200
Salem, OR 97302
P: 503.581.4114

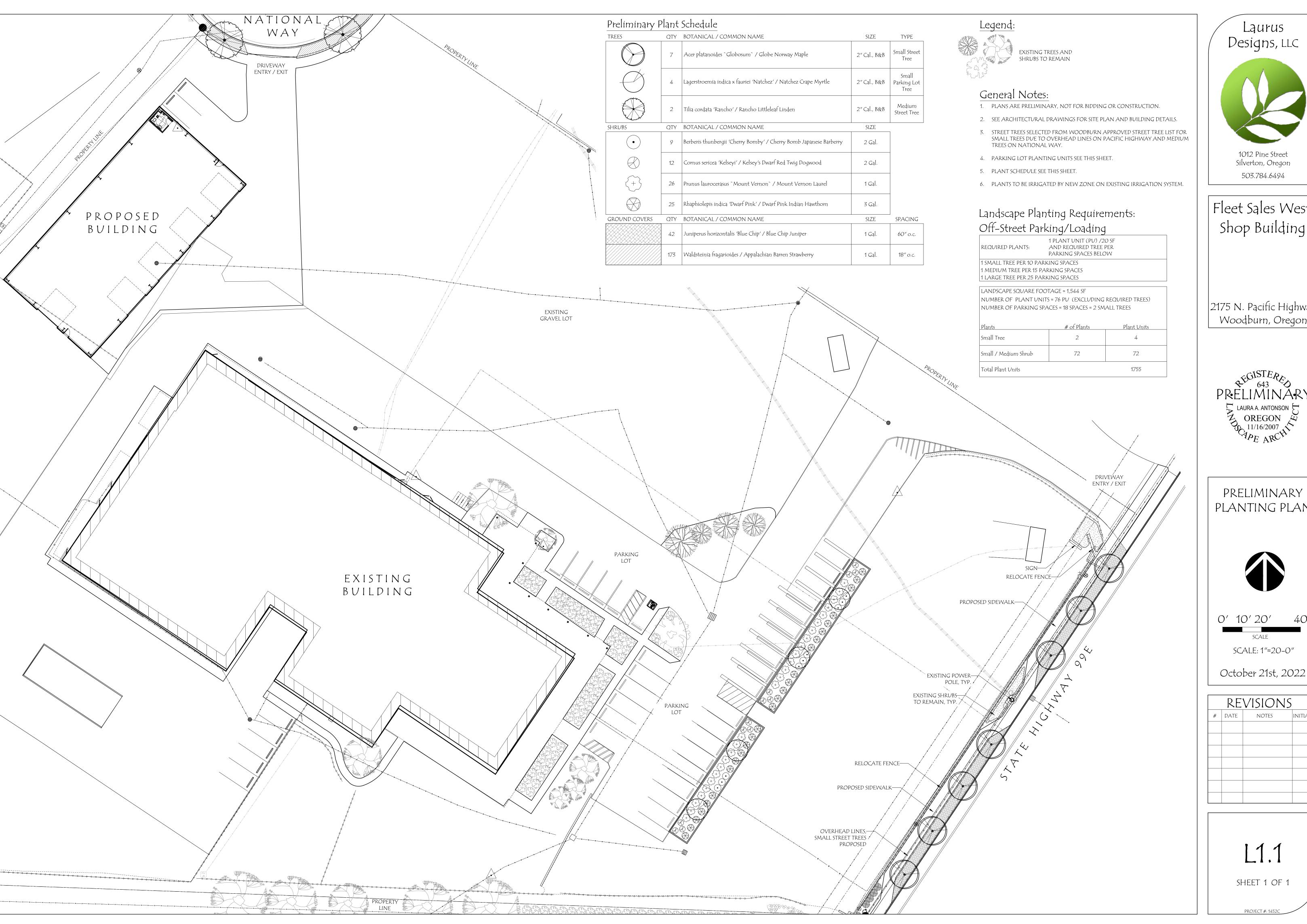
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FLEET SALES WEST SHOP BUILDING 2175 N PACIFIC HWY WOODBURN, OREGON 97071

ENLARGED FLOOR PLANS, INTERIOR ELEVATIONS & DETAILS

SHEET

A4.1



Laurus Designs, LLC



1012 Pine Street Silverton, Oregon 503.784.6494

Fleet Sales West Shop Building

2175 N. Pacific Highway Woodburn, Oregon



PRELIMINARY PLANTING PLAN



SCALE: 1"=20-0"

revisions									
#									

SHEET 1 OF 1

DRAWINGS FOR:

FLEET SALES WEST - WOODBURN

FOR:

AC + CO ARCHITECTURAL COMMUNITY 363 STATE STREET SE, SALEM, OR 97301

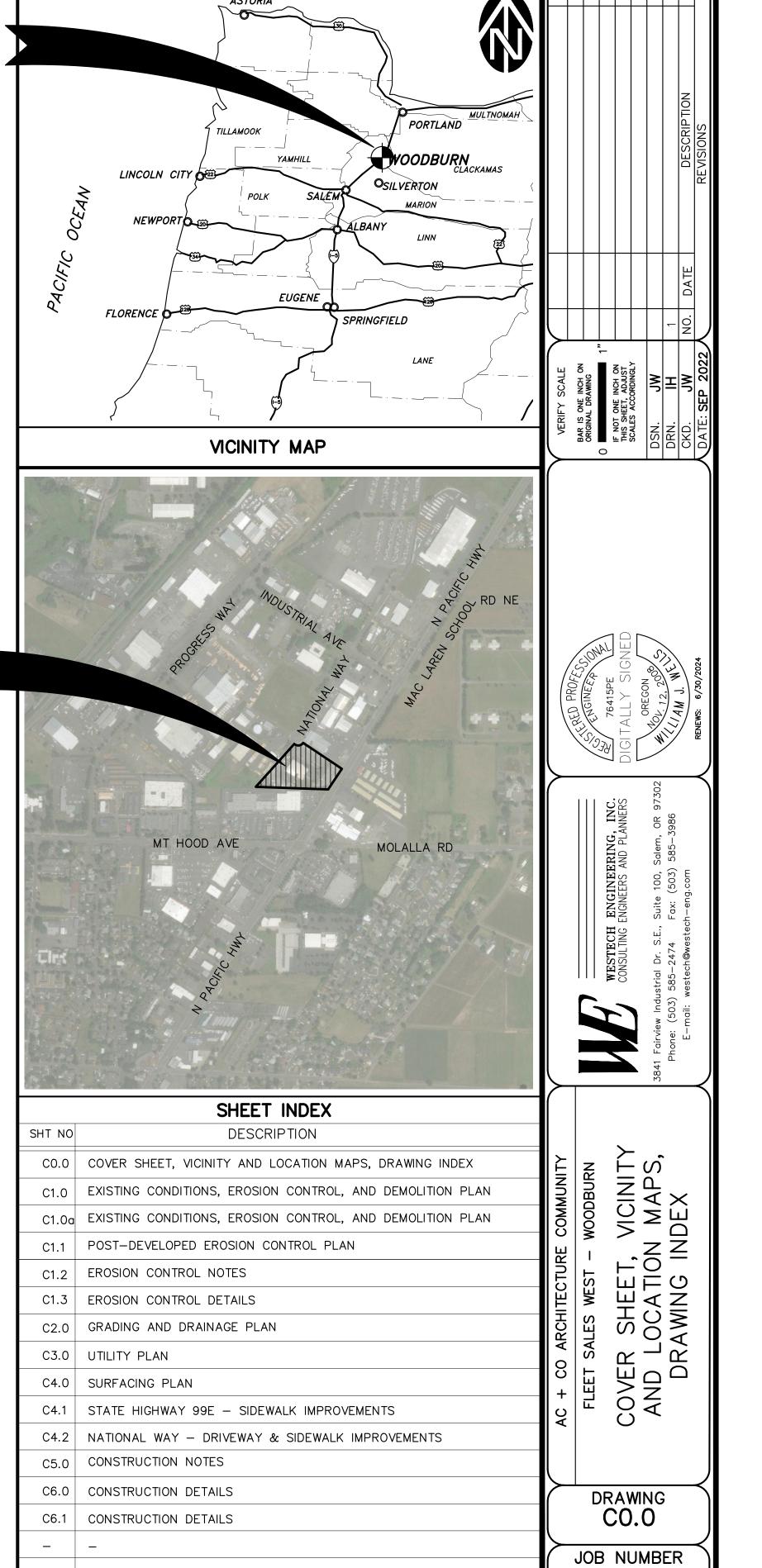


PROJECT

LOCATION

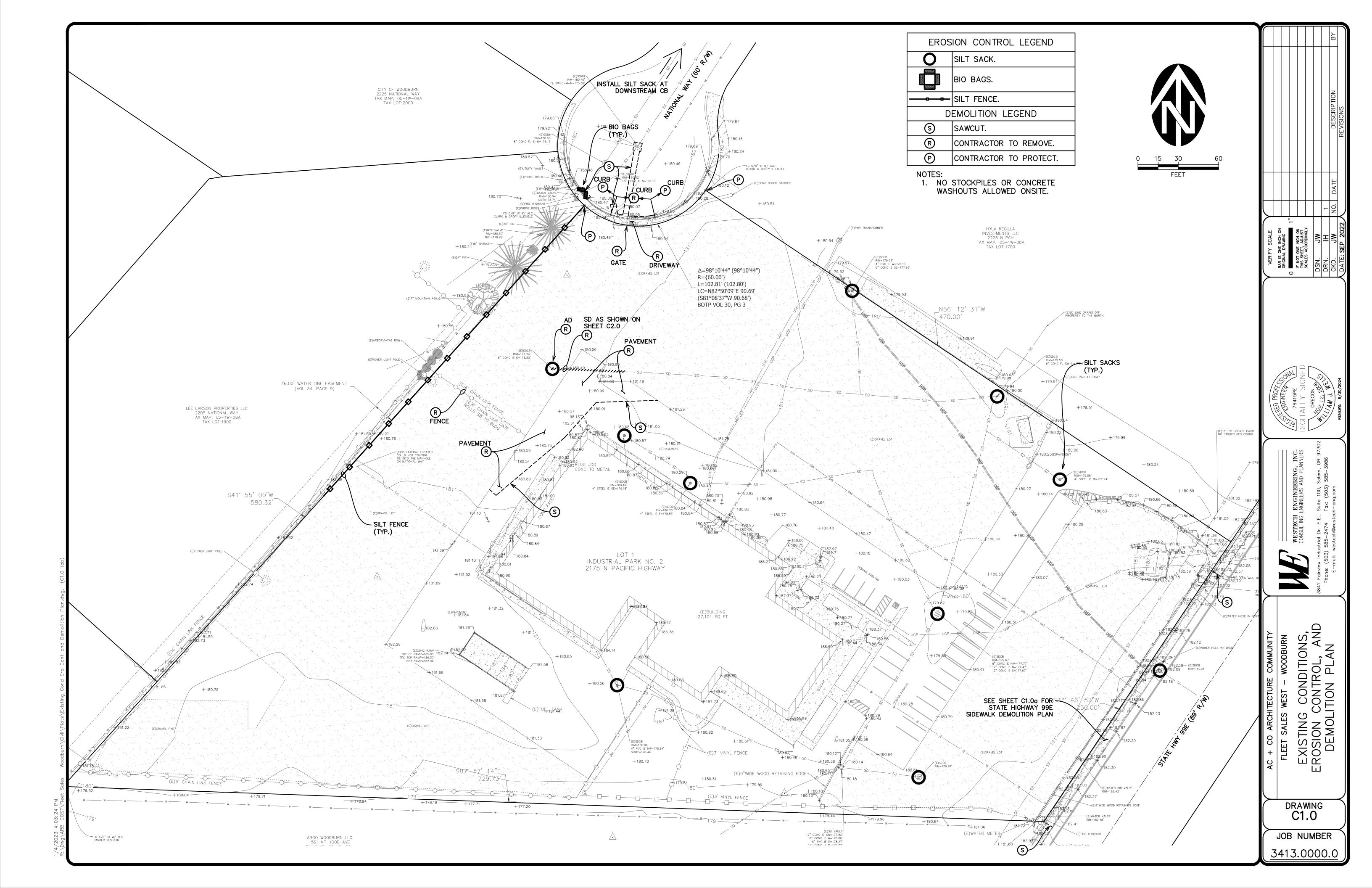
PROJECT VERTICAL DATUM —— NGVD 29 ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. ELEVATIONS WERE ESTABLISHED BY PROCESSING A STATIC GNSS OBSERVATION THROUGH OPUS. CONTRACTOR IS TO NOTIFY ENGINEER/SURVEYOR TWO WORKING DAYS PRIOR TO DISTURBING EXISTING SURVEY MONUMENT(S). SURVEYOR IS TO RESTORE PER COUNTY SURVEYOR REQUIREMENTS AND ORS 209.150.

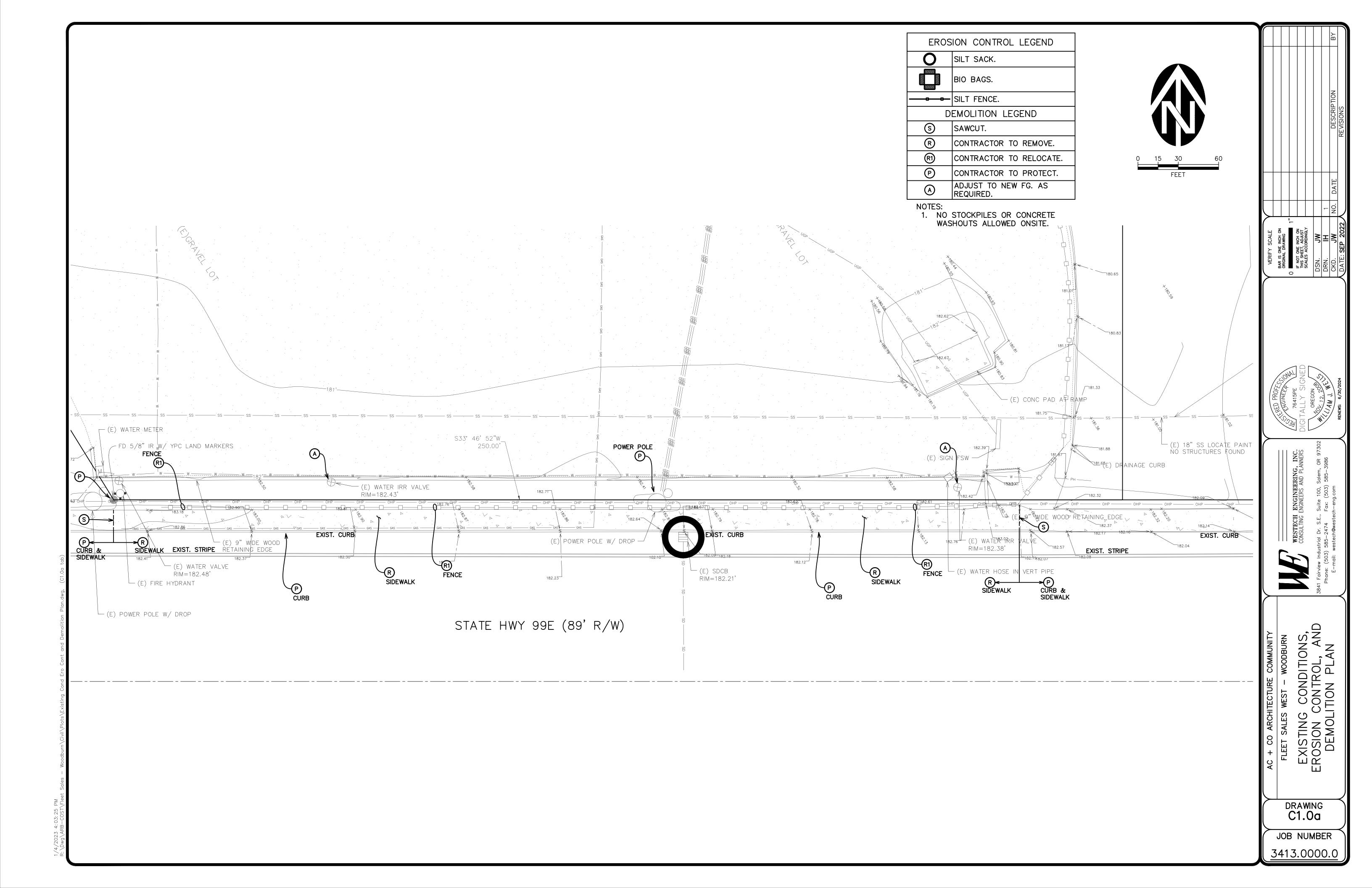


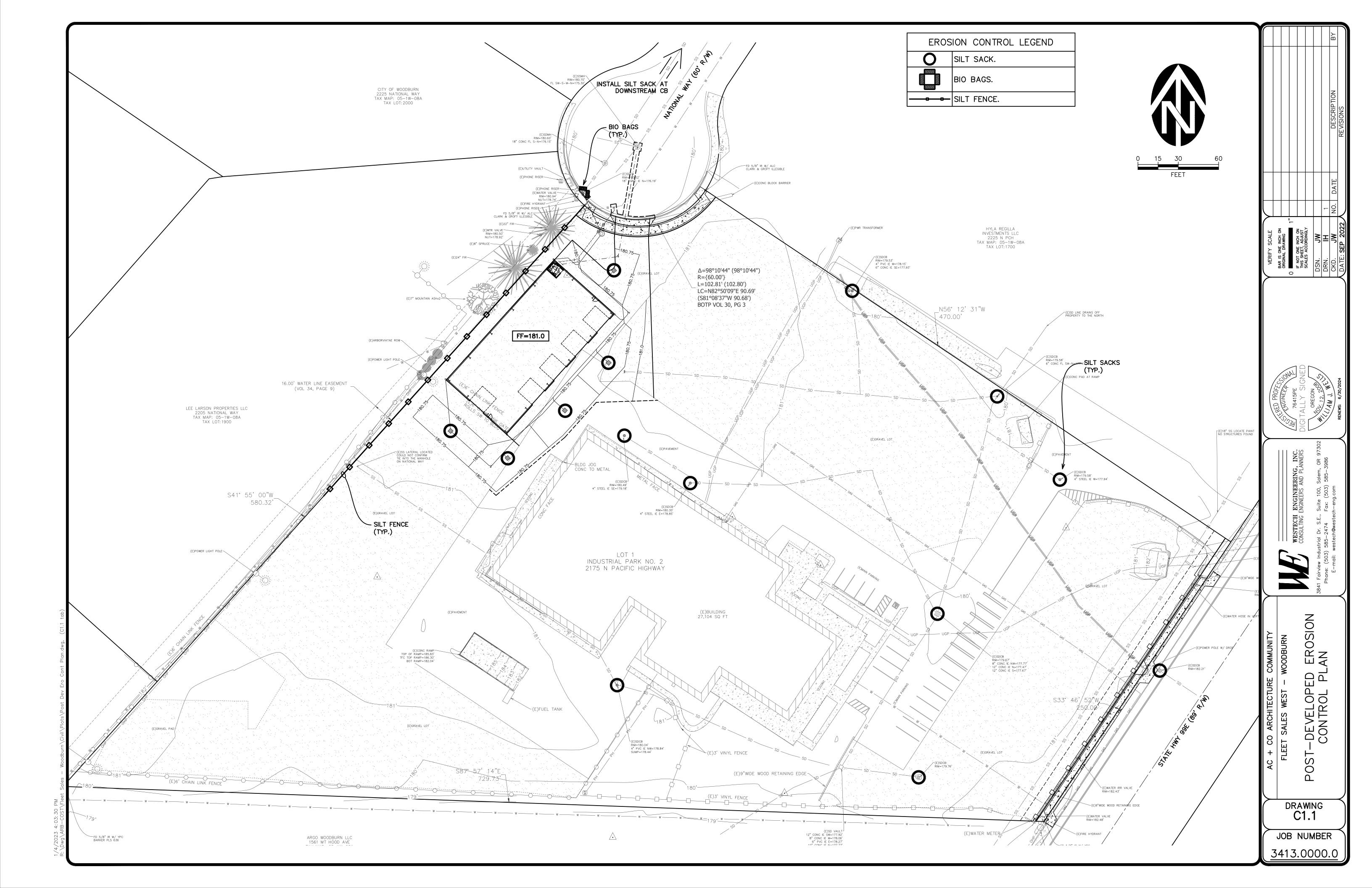


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-COST\Fleet Sales — Woodburn\Civil\Plots\Cover Sheet.dwg, (CO.0 tab)







- 1. Hold a pre—construction meeting of project construction personnel that includes the inspector to discuss erosion and sediment control measures and construction limits. (Schedule A.8.c.i.(3))
- 2. All inspections must be made in accordance with DEQ 1200—C permit requirements. (Schedule A.12.b and Schedule
- 3. Inspection logs must be kept in accordance with DEQ's 1200—C permit requirements. (Schedule B.1.c and B.2)
- 4. Retain a copy of the ESCP and all revisions on site and make it available on request to DEQ, Agent, or the local municipality. During inactive periods of greater than seven (7) consecutive calendar days, the above records must be retained by the permit registrant but do not need to be at the construction site. (Schedule B.2.c)
- 5. All permit registrants must implement the ESCP. Failure to implement any of the control measures or practices described in the ESCP is a violation of the permit. (Schedule A 8.a)
- 6. The ESCP must be accurate and reflect site conditions. (Schedule A.12.c.i)
- 7. Submission of all ESCP revisions is not required. Submittal of the ESCP revisions is only under specific conditions. Submit all necessary revision to DEQ or Agent within 10 days. (Schedule A.12.c.iv. and v)
- 8. Phase clearing and grading to the maximum extent practical to prevent exposed inactive areas from becoming a source of erosion. (Schedule A.7.a.iii)
- 9. Identify, mark, and protect (by construction fencing or other means) critical riparian areas and vegetation including important trees and associated rooting zones, and vegetation areas to be preserved. Identify vegetative buffer zones between the site and sensitive areas (e.g., wetlands), and other areas to be preserved, especially in perimeter areas. (Schedule A.8.c.i.(1) and (2))
- 10. Preserve existing vegetation when practical and re-vegetate open areas. Re-vegetate open areas when practicable before and after grading or construction. Identify the type of vegetative seed mix used. (Schedule A.7.a.v)
- 11. Maintain and delineate any existing natural buffer within the 50-feet of waters of the state. (Schedule A.7.b.i.and (2(a)(b))
- 12. Install perimeter sediment control, including storm drain inlet protection as well as all sediment basins, traps, and barriers prior to land disturbance. (Schedule A.8.c.i.(5))
- 13. Control both peak flow rates and total stormwater volume, to minimize erosion at outlets and downstream channels and streambanks. (Schedule A.7.c)
- 14. Control sediment as needed along the site perimeter and at all operational internal storm drain inlets at all times during construction, both internally and at the site boundary. (Schedule A.7.d.i)
- 15. Establish concrete truck and other concrete equipment washout areas before beginning concrete work. (Schedule A.8.c.i.(6))
- 16. Apply temporary and/or permanent soil stabilization measures immediately on all disturbed areas as grading progresses. Temporary or permanent stabilizations measures are not required for areas that are intended to be left unvegetated, such as dirt access roads or utility pole pads.(Schedule A.8.c.ii.(3))
- 17. Establish material and waste storage areas, and other non—stormwater controls. (Schedule A.8.c.i.(7))
- 18. Prevent tracking of sediment onto public or private roads using BMPs such as: construction entrance, graveled (or paved) exits and parking areas, gravel all unpaved roads located onsite, or use an exit tire wash. These BMPs must be in place prior to land-disturbing activities. (Schedule A 7.d.ii and A.8.c.i(4))
- 19. When trucking saturated soils from the site, either use water—tight trucks or drain loads on site. (Schedule A.7.d.ii.(5))
- 20. Control prohibited discharges from leaving the construction site, i.e., concrete wash—out, wastewater from cleanout of stucco, paint and curing compounds. (Schedule A.6)
- 21. Use BMPs to prevent or minimize stormwater exposure to pollutants from spills; vehicle and equipment fueling, maintenance, and storage; other cleaning and maintenance activities; and waste handling activities. These pollutants include fuel, hydraulic fluid, and other oils from vehicles and machinery, as well as debris, fertilizer, pesticides and herbicides, paints, solvents, curing compounds and adhesives from construction operations. (Schedule A.7.e.i.(2))
- 22. Implement the following BMPs when applicable: written spill prevention and response procedures, employee training on spill prevention and proper disposal procedures, spill kits in all vehicles, regular maintenance schedule for vehicles and machinery, material delivery and storage controls, training and signage, and covered storage areas for waste and supplies. (Schedule A. 7.e.iii.)
- 23. Use water, soil-binding agent or other dust control technique as needed to avoid wind-blown soil. (Schedule A
- 24. The application rate of fertilizers used to reestablish vegetation must follow manufacturer's recommendations to minimize nutrient releases to surface waters. Exercise caution when using time—release fertilizers within any waterway riparian zone. (Schedule A.9.b.iii)
- 25. If an active treatment system (for example, electro—coagulation, flocculation, filtration, etc.) for sediment or other pollutant removal is employed, submit an operation and maintenance plan (including system schematic, location of system, location of inlet, location of discharge, discharge dispersion device design, and a sampling plan and frequency) before operating the treatment system. Obtain plan approval before operating the treatment system. Operate and maintain the treatment system according to manufacturer's specifications. (Schedule A.9.d)
- 26. Temporarily stabilize soils at the end of the shift before holidays and weekends, if needed. The registrant is responsible for ensuring that soils are stable during rain events at all times of the year. (Schedule A 7.b)
- 27. As needed based on weather conditions, at the end of each workday soil stockpiles must be stabilized or covered, or other BMPs must be implemented to prevent discharges to surface waters or conveyance systems leading to surface waters. (Schedule A 7.e.ii.(2))
- 28. Construction activities must avoid or minimize excavation and bare ground activities during wet weather. (Schedule
- 29. Sediment fence: remove trapped sediment before it reaches one third of the above ground fence height and before fence removal. (Schedule A.9.c.i)
- 30. Other sediment barriers (such as biobags): remove sediment before it reaches two inches depth above ground height and before BMP removal. (Schedule A.9.c.i)
- 31. Catch basins: clean before retention capacity has been reduced by fifty percent. Sediment basins and sediment traps: remove trapped sediments before design capacity has been reduced by fifty percent and at completion of project. (Schedule A.9.c.iii& iv)
- 32. Within 24 hours, significant sediment that has left the construction site, must be remediated. Investigate the cause of the sediment release and implement steps to prevent a recurrence of the discharge within the same 24 hours. Any in-stream clean-up of sediment shall be performed according to the Oregon Division of State Lands required timeframe. (Schedule A.9.b.i)
- 33. The intentional washing of sediment into storm sewers or drainage ways must not occur. Vacuuming or dry sweeping and material pickup must be used to cleanup released sediments. (Schedule A.9.b.ii)
- 34. The entire site must be temporarily stabilized using vegetation or a heavy mulch layer, temporary seeding, or other method should all construction activities cease for 30 days or more. (Schedule A.7.f.i)
- 35. Provide temporary stabilization for that portion of the site where construction activities cease for 14 days or more with a covering of blown straw and a tackifier, loose straw, or an adequate covering of compost mulch until work resumes on that portion of the site. (Schedule A.7.f.ii)
- 36. Do not remove temporary sediment control practices until permanent vegetation or other cover of exposed areas is established. Once construction is complete and the site is stabilized, all temporary erosion controls and retained soils must be removed and disposed of properly, unless doing so conflicts with local requirements. (Schedule A.8.c.iii(1) and D.3.c.ii and iii)
- Rev. 12/15/15 By: Krista Ratliff

YEAR: MONTH:	'23 04	'23 05	'23 06	'23 07	'23 08	'23 09	'23 10	'23 11	'23 12	'24 01	'24 02	
CLEARING	X	X	X			-	-					
				\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \								
EXCAVATION	X	X	X	X								-
GRADING	X	X	X	X	X	.,		.,	.,	.,		
CONSTRUCTION	X	Х	Х	Х	Х	Х	Χ	Х	Х	Х	Х	
SEDIMENT CONTROLS:												
Silt Fencing	Х	X	X	X	X	Х	Х	Х	Х	Х	Х	
Sediment Traps	Х	Х	Х	Х	X	Х	Х	Х	Х	Х	X	
Sediment Basins												
Storm Inlet Protection	X	Х	Х	Х	Х	Х	Χ	Х	Х	Х	Х	
Drainage Swales						Х	Χ	Χ	X	X	X	
Check Dams												
Contour Furrows												
Terracing												
Pipe Slope Drains												
Rock Outlet Protection												
Gravel Construction Entrance												
Grass—lined Channel (Turf Reinforcement Mats)												
Protection of trees with construction fences												
Temporary Seeding and Planting												
Permanent Seeding and Planting								Х	Х	Х	Х	
Other:												
												_

CONTROL MEASURE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5
Silt Fencing	X	X	X	X	
Construction Entrance					
Sediment Traps	X	X	X	X	
Storm Inlet Protection	X	X	X	X	
Concrete Washout					
Rock Outlet Protection					
Permanent Seeding and Planting					X

Phase 1: Prior to Ground Disturbance

Phase 2: After Completion of Rough Grading

Phase 3: After Installation of Storm Facilities

Phase 4: After Paving & Construction Phase 5: After Project Completion and Cleanup

INSPECTION FREQUENCY FOR BMP

Site Condition	Minimum Frequency
1. Active period	Daily when stormwater runoff, including runoff from snowmelt, is occurring.
	At least once every 14 days, regardless of whether stormwater runoff is occurring.
2. Prior to the site becoming inactive or in anticipation of site inaccessibility.	Once to ensure that erosion and sediment control measures are in working order. Any necessary maintenance and repair must be made prior to leaving the site.
3. Inactive periods greater than seven (14) consecutive calendar days	Once every month.
4. Periods during which the site is inaccessible due to inclement weather	If practical, inspections must occur daily at a relevant and accessible discharge point or downstream location.
5. Periods during which discharge is unlikely due to frozen conditions	Monthly. Resume monitoring immediately upon melt, or when weather conditions make discharge likely.

BMP Rationale

A comprehensive list of available Best Management Practices (BMP) options based on DEQ's 1200—C Permit Application and ESCP Guidance Document has been reviewed to complete this Erosion and Sediment Control Plan. Some of the above listed BMPs were not chosen because they were determined to not effectively manage erosion prevention and sediment control for this project based on specific site conditions, including soil conditions, topographic constraints, accessibility to the site, and other related conditions. As the project progresses and there is a need to revise the ESCP, an Action Plan will be submitted.

PER MARION CO. SOIL SURVEY THE SITE SOILS INCLUDE "CONCORD SILT LOAM", "DAYTON SILT LOAM", AND SOIL TYPE(S): "WOODBURN SILT LOAM, O TO 3 PERCENT SLOPES".

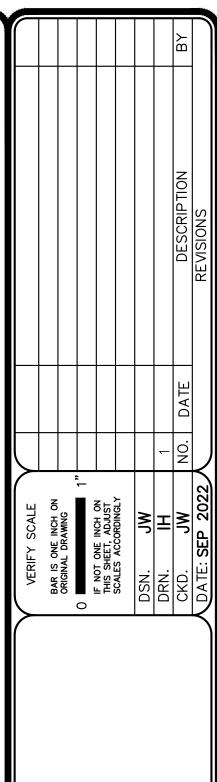
EROSION HAZARD: PER MARION CO. SOIL SURVEY EROSION HAZARD IS "SLIGHT".

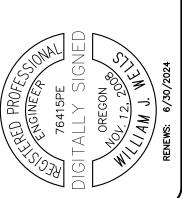
5.57 AC SITE AREA:

DISTURBANCE AREA: 0.45 AC

SUPPLEMENTAL WESTECH NOTES:

- 1. Erosion control measures shall be maintained in such a manner as to ensure that sediment and sediment—laden water does not enter the drainge system, roadways, or violate applicable water quality standards.
- 2. The erosion control construction, maintenance, replacement and upgrading of the erosion control facilities is the responsibility of the Contractor until all construction is completed and approved, and permanent erosion control (i.e. vegetation/landscaping) is established on all disturbed areas.
- 3. All recommended erosion control procedures are dependent on construction methods, staging, site conditions, weather and scheduling. During the construction period, erosion control facilities shall be upgraded as necessary due to unexpected storm events and to ensure that sediment and sediment laden water does not leave the site.
- 4. The Contractor is responsible for control of sediment transport within project limits. If an installed erosion control system does not adequately contain sediment on site, then the erosion control measures shall be adjusted or supplemented by the Contractor as necessary to ensure that sediment laden water does not leave the site. Additional measures shall be provided as required to ensure that all payed areas are kept clean for the duration of the project. Additional interim measures will include, at a minimum, installation of silt fences in accordance with the details shown on the drawings. These measures shall be installed along all exposed embankments and cut slopes to prevent sediment transport.
- 5. All existing and newly constructed storm inlets and drains shall be protected until pavement surfaces are completed and/or vegetation is established.
- 6. Erosion control facilities and sediment fences on active sites shall be inspected by the Contractor at least daily during any period with measurable precipitation. Any required repairs or maintenance shall be completed immediately. The erosion control facilities on inactive sites shall be inspected and maintained by the Contractor a minimum of once a month or within 24 hours following the start of a storm event.
- 7. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment—laden water into the downstream system. The Contractor shall remove all accumulated sediment from all impacted catch basins and storm pipes prior to acceptance by the Owner.
- 8. The Contractor is solely responsible for protection of all adjacent property and downstream facilities from erosion and siltation during project construction. Any damage resulting from such erosion and siltation shall be corrected at the sole expense of the Contractor.
- 9. The Contractor shall provide site watering as necessary to prevent wind erosion of fine-grained soils.
- 10. Unless otherwise indicated on the drawings, all temporary erosion control facilities, including sediment fences, silt sacks, bio-bags, etc. shall be removed by the Contractor within 30 days after permanent landscaping/vegetation is established.
- 11. Sediment fences shall be constructed of continuous filter fabric to avoid use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6-inch overlap, and both ends securely fastened to a post.
- 12. Sediment fence shall be installed per drawing details. Sediment fences shall have adequate support to contain all silt and sediment captured.
- 13. The standard strength filter fabric shall be fastened securely to stitched loops installed on the upslope side of the posts, and 6 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 30 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- 14. Bio-filter bags shall be clean 100 percent wood product waste. Bags shall be 18-inch x 18-inch x 30-inch, weigh approximately 45 lbs., and be contained in a bag made of 1/2—inch plastic mesh.
- 15. Sediment barriers shall be maintained until the up—slope area has been permanently stabilized. At no time shall more than 10-inches of sediment be allowed to accumulate behind sediment fences. No more than 2 inches of sediment shall be allowed to accumulate behind bio-filter bags. Sediment shall be removed prior to reaching the above stated depths. New sediment barriers shall be installed uphill as required to control sediment transport.
- 16. Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to ensure that all paved areas are kept clean for the duration of the project.
- 17. The Contractor shall verify that all trucks are well sealed when transporting saturated soils from the site. Water drippage from trucks transporting saturated soils must be reduced to less than 1 gallon per hour prior to leaving the site.
- 18. The entrance shall be maintained in a condition that will prevent tracking or flow of mud onto the public right—of—way or approved access point. The entrance may require periodic top dressing as conditions demand, and repair and/or cleanout of any structures used to trap sediment.
- 19. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately, and the Contractor shall provide protection of downstream inlets and catch basins to ensure sediment laden water does not enter the storm drain system.
- 20. Temporary grass cover measures must be fully established by October 15th, or other cover measures (ie. erosion control blankets with anchors, 3—inches minimum of straw mulch, 6 mil HDPE plastic sheet, etc.) shall be in place over all disturbed soil areas until April 30th. To establish an adequate grass stand for controlling erosion by October 15th, it is recommended that seeding and mulching occur by September 1st. Straw mulch, if used, shall not leave any bare ground visible through the straw.
- 21. Minimum wet weather slope protection. For slopes steeper than 3H:1V but less than 2H:1V, use Tensar/North American Green Type S150 erosion control blanket. For slopes 2H:1V or steeper, use Tensar/North American Green Type SC150 erosion control blanket. Use a minimum of 2—inches straw mulch or Tensar/North American Green Type S150 for slopes flatter than 3H:1V. Slope protection shall be placed on all disturbed areas immediately after completion of each section of construction activity, until the erosion control seeding has been established. As an option during temporary or seasonal work stoppages, a 6-mil HDPE plastic sheet may be placed on exposed slopes. The plastic sheet shall be provided with an anchor trench at the top and bottom of the slope, and shall be sandbagged on the slopes as required to prevent damage or displacement by wind.
- 22. Permanent erosion control vegetation on all embankments and disturbed areas shall be re—established as soon as construction is completed.
- 23. Soil preparation. Topsoil should be prepared according to landscape plans, if available, or recommendations of grass seed supplier. It is recommended that slopes be textured before seeding by rack walking (ie. driving a crawling tractor up and down the slopes to leave a pattern of cleat imprints parallel to slope contours) or other method to provide stable areas for seeds to rest.
- 24. When used, hydromulch shall be applied with grass seed at a rate of 2000 lbs. per acre between April 30 and June 10, or between September 1 and October 1. On slopes steeper than 10 percent, hydroseed and mulch shall be applied with a bonding agent (tackifier). Application rate and methodology to be in accordance with seed supplier recommendations.
- 25. When used in lieu of hydromulch, dry, loose, weed free straw used as mulch shall be applied at a rate of 4000 lbs. per acre (double the hydromulch application requirement). Anchor straw by working in by hand or with equipment (rollers, cleat trackers, etc.). Mulch shall be spread uniformly immediately following seeding.
- 26. When conditions are not favorable to germination and establishment of the grass seed, the Contractor shall irrigate the seeded and mulched areas as required to establish the grass cover.
- 27. Seeding. Recommended erosion control grass seed mix is as follows. Dwarf grass mix (low height, low maintenance) consisting of dwarf perennial ryegrass (80 % by weight), creeping red fescue (20 % by weight). Application rate shall be 100 lbs. per acre minimum.
- 28. Grass seed shall be fertilized at a rate of 10 lbs. per 1000 S.F with 16-16-16 slow release type fertilizer. Development areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.
- 29. Prior to starting construction contractor shall acquire the services of a DEQ Certified Erosion and Sediment Control Inspector and shall submit an "Action Plan" to DEQ indentifying their names, contact information, training and experience as required in Schedule A.6.b.i-ii of the 1200-C Permit
- 30. Contractor shall submit "Notice of Termination" to DEQ to end the 1200—C permit coverage once all soil disturbance activities have been completed and final stabilization of exposed soils has occured.





INC. INERS OR 386 NGINEERING, SINEERS AND PLAN

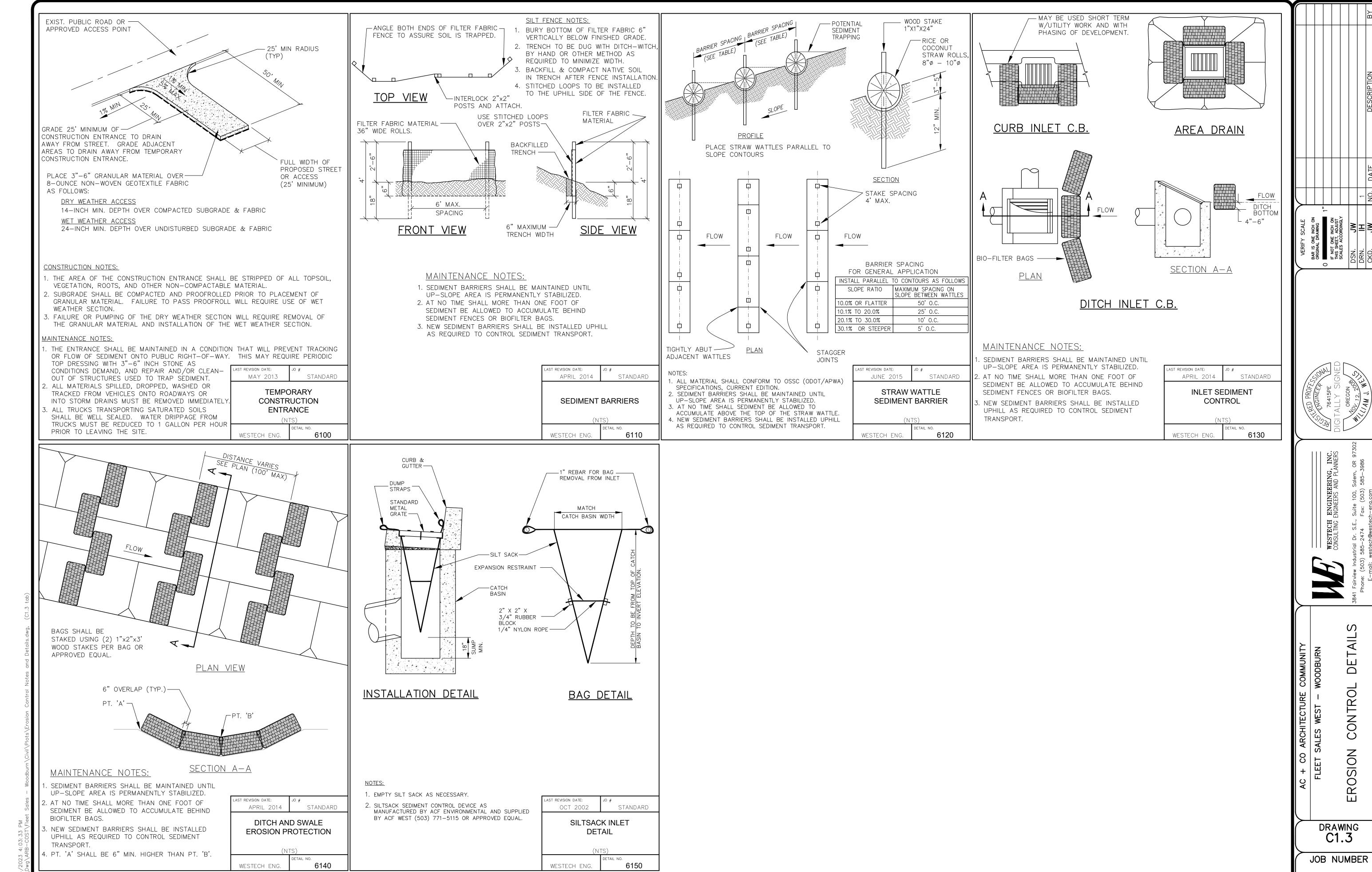
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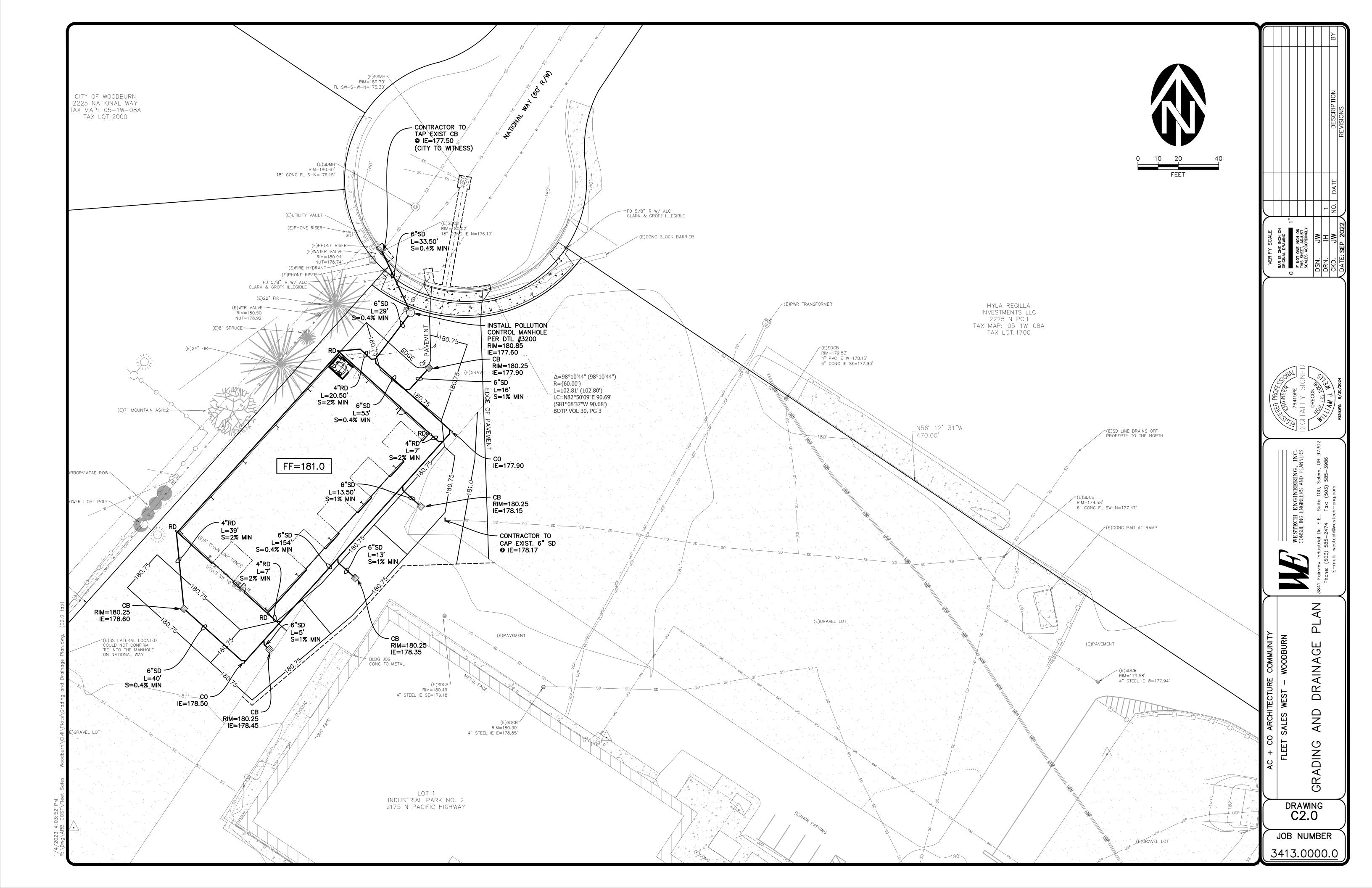
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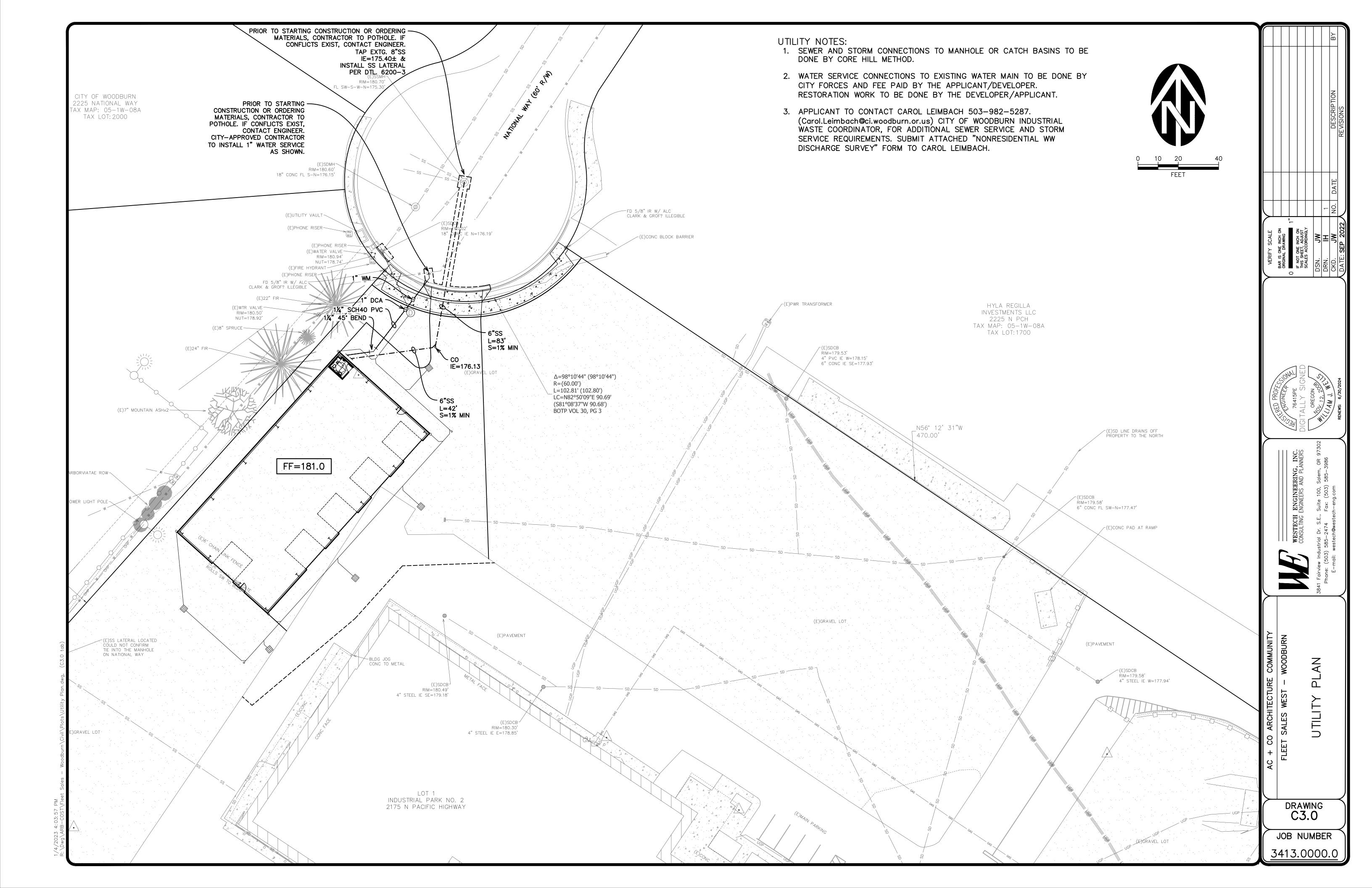
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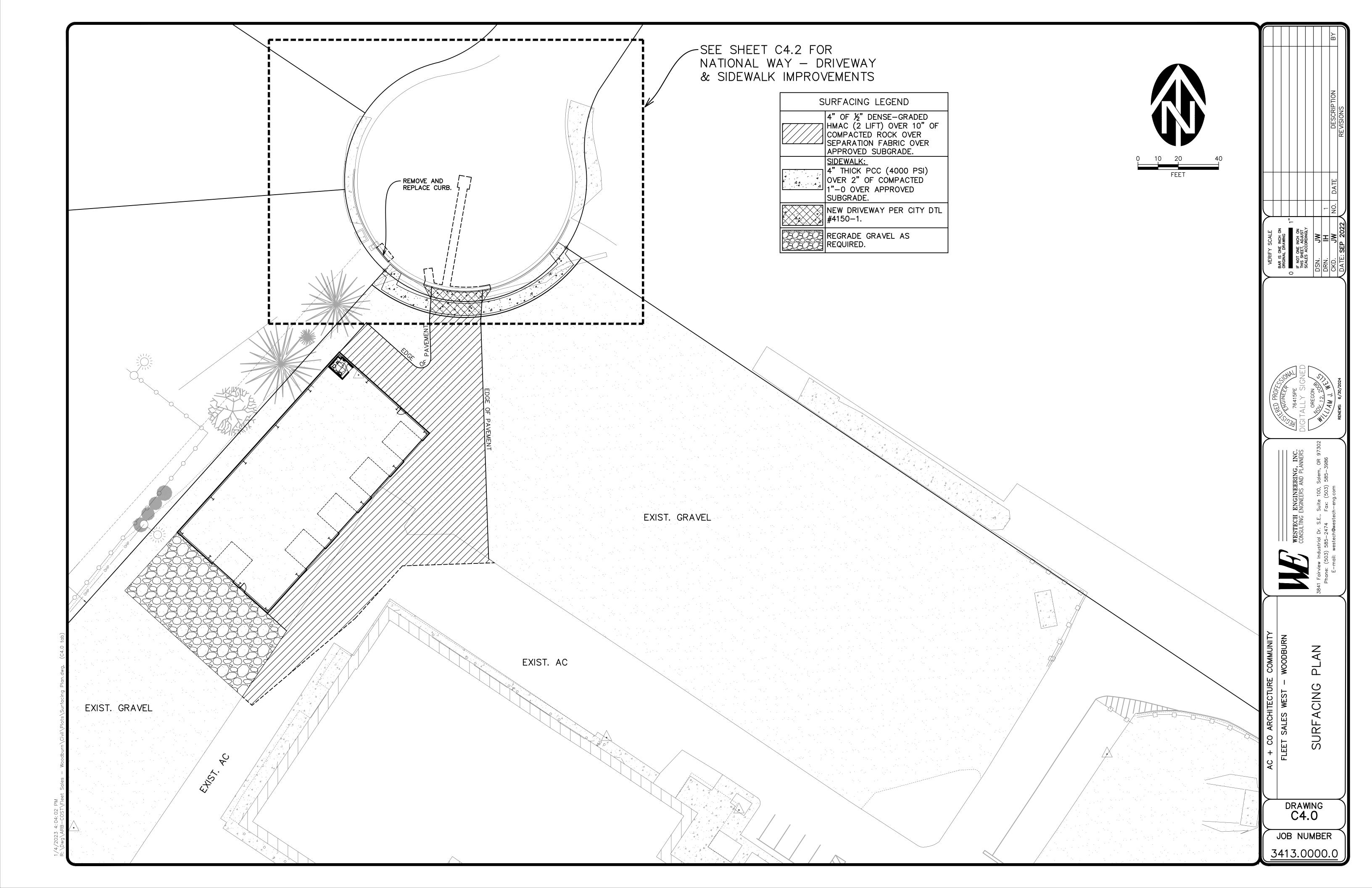
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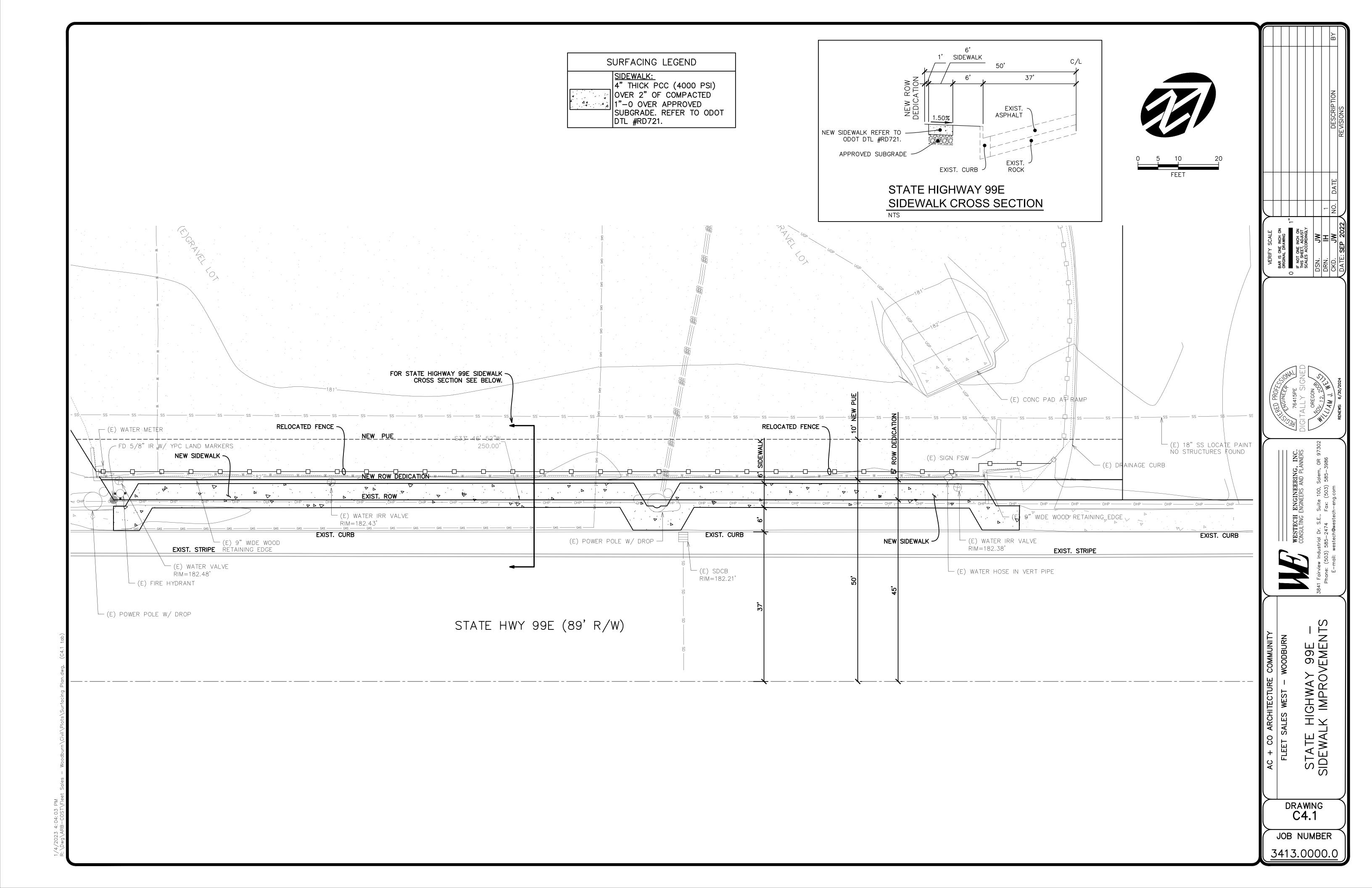


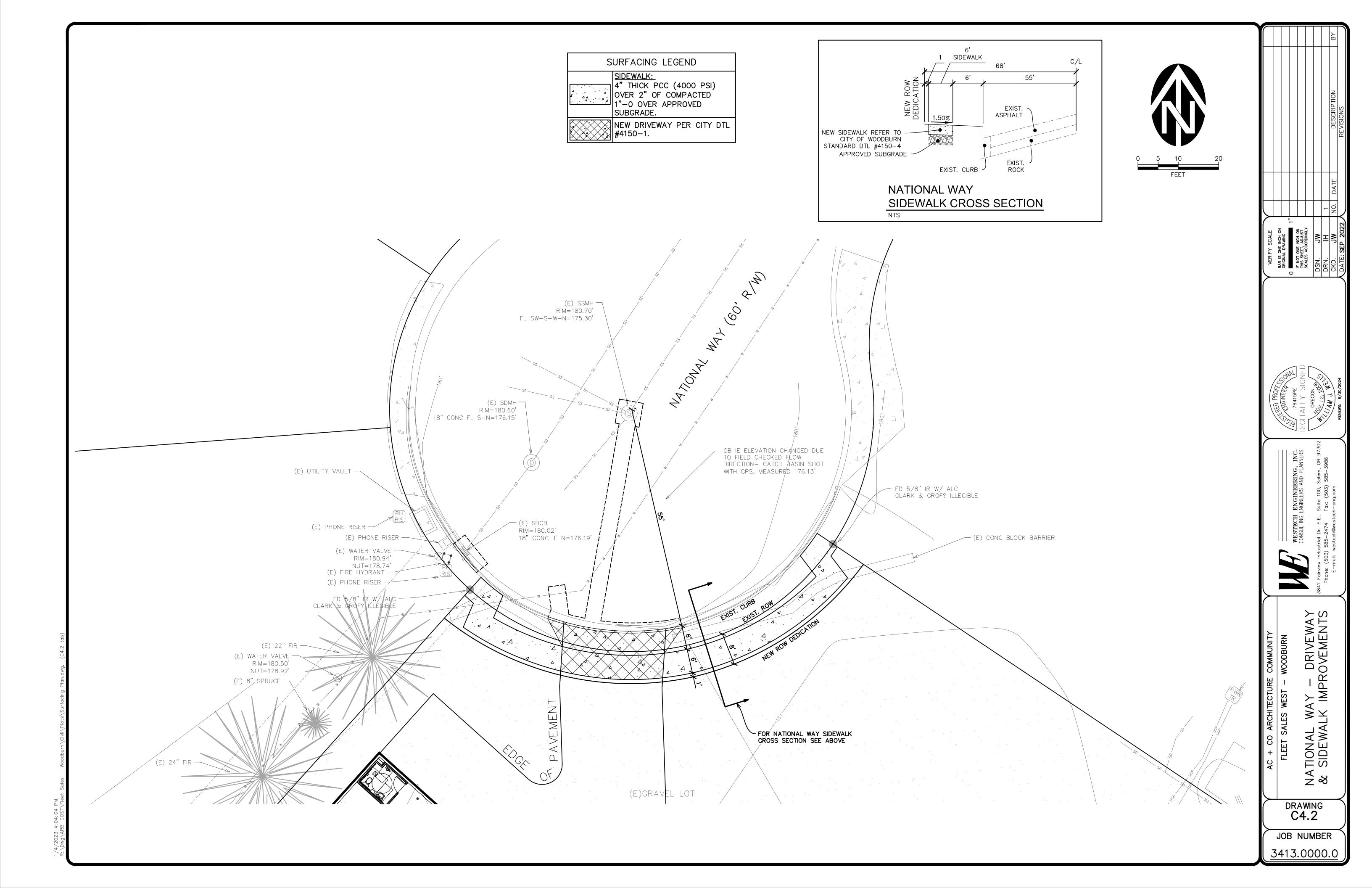
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- Owner to pay all project permit costs, including but not limited to utility tapping, TV, and chlorination costs. The Contractor shall coordinate with the Approving Agency to determine appropriate fees and provide the Owner with 48 hours notice prior to the required payment of fees or costs.
- Oregon law requires the Contractor to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. Obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is 503-232-1987).
- Contractor to notify City, ODOT and all utility companies a minimum of 48 business hours (2 business days) prior to start of construction, and comply with all other notification requirements of the Approving Agency with
- Contractor shall procure a right-of-entry permit from ODOT State Highway Division for all work within the State right-of-way and conform to all conditions of the permit.
- Contractor shall provide all bonds and insurance required by public and/or private agencies having jurisdiction. Where required by public and/or private agencies having jurisdiction, the Contractor shall submit a suitable maintenance bond prior to final payment
- All materials and workmanship for facilities in street right-of-way or easements shall conform to Approving Agencies' construction specifications wherein each has jurisdiction, including but not limited to the City, ODOT. Oregon Health Division (OHD) and the Oregon Department of Environmental Quality (DEQ).
- 8. Unless otherwise approved by the Public Works Director, construction of all public facilities shall be done between 7:00 a.m. and 6:00 p.m., Monday through Saturday.
- 9. The Contractor shall perform all work necessary to complete the project in accordance with the approved construction drawings including such incidentals as may be necessary to meet the Approving Agencies' requirements and provide a completed project.
- 10. Any inspection by the City, ODOT or other Approving Agency shall not, in any way, relieve the Contractor from any obligation to perform the work in strict compliance with the contract documents, applicable codes, and Approving Agency requirements.
- 1. Contractor shall maintain one complete set of approved drawings on the construction site at all times whereon he will record all approved deviations in construction from the approved drawings, as well as the station locations and depths of all existing utilities encountered. These field record drawings shall be kept up to date at all times and shall be available for inspection by the Approving Agency or Owner's Representative upon request. Failure to conform to this requirement may result in delay in payment and/or final acceptance of
- 12. Upon completion of construction of all new facilities, Contractor shall submit a clean set of field record drawings containing all as—built information to the Engineer. All information shown on the Contractor's field record drawings shall be subject to verification. If significant errors or deviations are noted, an as-built survey prepared and stamped by a registered professional Land Surveyor shall be completed at the Contractor's
- 13. The contractor shall retain and pay for the services of a registered Civil Engineer and/or Land Surveyor licensed in the State of Oregon to establish construction control and perform initial construction surveys to establish the lines and grades of improvements as indicated on the drawings. Staking for buildings, structures, curbs, gravity drainage pipes/structures and other critical improvements shall be completed using equipment accurate to 0.04 feet horizontally and 0.02 feet vertically, or better. Use of GPS equipment for final construction staking of these critical improvements is prohibited. The registered professional surveyor shall provide the design engineer with copies of all grade sheets for construction staking performed for the project.
- 14. See architectural drawings for site lighting, site dimensioning, and continuation of all utilities.

TRAFFIC CONTROL

- 15. Contractor shall erect and maintain barricades, warning signs, traffic cones (and all other traffic control devices required) per City and ODOT requirements in accordance with the current MUTCD (including Oregon amendments). Access to driveways shall be maintained at all times. All traffic control measures shall be approved and in place prior to any construction activity. Prior to any work in the existing public right-of-way, Contractor shall submit final traffic control plan to the Approving Agency for review and issuance of a Lane Closure or Work in Right-of-Way Permit.
- 16. Prior to any work in the existing right-of-way, Contractor shall submit final traffic control plan to City of Woodburn and ODOT for review and issuance of lane closure permit. Contractor to obtain a lane closure permit before construction starts for any work within the existing public right—of—way, including public street improvements or driveway connections to existing streets.

- 17. For public and private improvements, the Contractor shall be responsible to ensure that all required or necessary inspections are completed by authorized inspectors prior to proceeding with subsequent work which covers or that is dependent on the work to be inspected. Failure to obtain necessary inspection(s) and approval(s) shall result in the Contractor being fully responsible for all problems and/or corrective measures
- 18. Unless otherwise specified, the attached "Required Testing and Frequency" table outlines the minimum testing schedule for private improvements on the project. This testing schedule is not complete, and does not relieve the Contractor of the responsibility of obtaining all necessary inspections or observations for all work performed, regardless of who is responsible for payment. Cost for retesting shall be borne by the Contractor.

- 19. The location and descriptions of existing utilities shown on the drawings are compiled from available records and/or field surveys. The Engineer or utility companies do not guarantee the accuracy or the completeness of such records. Contractor shall field verify locations and sizes of all existing utilities prior to construction.
- 20. Contractor shall field verify location and depth of all existing utilities where new facilities cross. All utility crossings marked or shown on the drawings shall be potholed using hand tools or other non-invasive methods prior to excavating or boring. Contractor shall be responsible for exposing potential utility conflicts far enough ahead of construction to make necessary grade or alignment modifications without delaying the work. If grade or alignment modification is necessary, Contractor shall notify the Design Engineer, and the Design Engineer or the Owner's Representative shall obtain approval from the Approving Agency prior to construction.
- 21. The Contractor shall be responsible for locating and marking all existing survey monuments of record (including but not limited to property and street monuments) prior to construction. If any survey monuments are removed, disturbed or destroyed during construction of the project, the Contractor shall retain and pay for the services of a Registered Professional Surveyor licensed in the State of Oregon to reference and replace all such monuments prior to final payment. The monuments shall be replaced within a maximum of 90 days, and the County Surveyor shall be notified in writing as required by per ORS 209.150.
- 22. All facilities shall be maintained in-place by the Contractor unless otherwise shown or directed. Contractor shall take all precautions necessary to support, maintain, or otherwise protect existing utilities and other facilities at all times during construction. Contractor to leave existing facilities in an equal or better—than—original condition and to the satisfaction of the Approving Agency and Owner's Representative.
- 23. Utilities or interfering portions of utilities that are abandoned in place shall be removed by the Contractor to the extent necessary to accomplish the work. The Contractor shall plug the remaining exposed ends of abandoned utilities after appropriate verification procedures have taken place.
- 24. Contractor shall remove all existing signs, mailboxes, fences, landscaping, etc., as required to avoid damage during construction and replace them to existing or better condition.
- 25. The Contractor shall be responsible for managing construction activities to ensure that public streets and right—of—ways are kept clean of mud, dust or debris. Dust abatement shall be maintained by adequate watering of the site by the Contractor.

GRADING, PAVING & DRAINAGE:

- 26. Unless otherwise noted, all grading, rocking and paving to conform to Oregon Standard Specifications for
- 27. Clear and grub within work limits all surface vegetation, trees, stumps, brush, roots, etc. Do not damage or remove trees except as approved by the Owner's Representative or as shown on the drawings. Protect all roots two inches in diameter or larger
- 28. Strip work limits, removing all organic matter, which cannot be compacted into a stable mass. All trees, brush, and debris associated with clearing, stripping or grading shall be removed and disposed of off—site.
- 29. For public and private improvements, except as otherwise allowed by the specifications required by Woodburn or ODOT Standard Construction Specifications, drawing details or notes, immediately following stripping and grading operations, compact subgrade to 92% of the maximum dry density per AASHTO T—180 test method (Modified Proctor). Subgrade must be inspected and approved by the Owner's authorized representative before placing, engineered fills or fine grading for base rock.
- 30. Engineered fills shall be constructed and compacted in 6" lifts over approved subgrade. All fills shall be engineered and comply with the Oregon Structural Specialty Code, with each lift compacted to 92% of the maximum dry density per AASHTO T-180 test method (Modified Proctor).
- 31. Granular baserock shall conform to the requirements of OSSC (ODOT/APWA) 02630.10 (Dense Graded Base Aggregate), with no more than 10% passing the #40 sieve and no more than 5% passing the #200 sieve.
- 32. Compact granular baserock to 92% of the maximum dry density per AASHTO T-180 test method (Modified Proctor). Written baserock compaction test results from an independent testing laboratory must be received by the Owner's authorized representative before placing AC pavement, and a finished rock grade proof-roll (witnessed by the Owners authorized representative) must be performed.
- 33. A.C. pavement shall conform to OSSC (ODOT/APWA) 00745 (Hot Mixed Asphalt Concrete Pavement) for standard duty mix. Unless otherwise specified or shown on the drawings, base lifts shall be 3/4" dense graded mix, while wearing courses shall be 1/2" dense graded mix. Unless otherwise specified or shown on the drawings, A.C. pavement for parking lots and streets shall be Level 2 mix (50 blow Marshall) per OSSC (ODOT/APWA) 00744.13. A.C. Pavement shall be compacted to a minimum of 91% of maximum density as determined by the Rice standard method. Written AC pavement compaction test results from an independent

- testing laboratory must be received by the Owner's authorized representative before final payment.
- 34. Pavement surface shall be a smooth, well-sealed, tight mat without depressions or bird baths. Bony or open graded pavement surfaces shall be repaired to the satisfaction of the Owner's authorized representative, prior to final acceptance of the work.
- 35. HMAC mixtures shall be placed only when the surface is dry and weather conditions are such that proper handling, finishing and compaction can be accomplished. In no case shall bituminous mixtures be placed when the surface temperature is below the minimum established under 2021 OSSC (ODOT/APWA) 00744.40 (AC -Season and Temperature Limitations) or the project specifications, whichever is more stringent.
- 36. Contractor shall protect new pavement against traffic as required, until it has cooled sufficiently to avoid
- 37. For parking lots or private access drives, the final lift of AC pavement shall not be placed until after the building is fully enclosed and weatherproof, unless otherwise approved by the Owner's authorized representative.
- 38. Unless otherwise shown on the drawings or details, straight grades shall be run between all finish grade elevations and/or finish contour lines shown (exception: where grades are shown across sidewalks, slopes shall be adjusted to ensure that maximum allowable sidewalk cross slopes are not exceeded).
- 39. Finish pavement grades at transition to existing pavement shall match existing pavement grades or be feathered past joints with existing pavement as required to provide a smooth, free draining surface.
- 40. All existing or constructed manholes, cleanouts, monument boxes, gas valves, water valves and similar structures shall be adjusted to match finish grade of the pavement, sidewalk, landscaped area or median strip wherein they lie. Verify that all valve boxes and risers are clean and centered over the operating nut.
- 41. Unless otherwise shown on the drawings, no cut or fill slopes shall be constructed steeper than 3H:1V
- 42. Unless otherwise shown on the landscape plans, all planter areas, shall be backfilled with approved topsoil minimum 8" thick. Stripping materials shall not be used for planter backfill.
- 43. Contractor shall seed and mulch (uniformly by hand or hydroseed) all exposed slopes and disturbed areas which are not scheduled to be landscaped, including trench restoration areas. If the Contractor fails to apply seed and mulch in a timely manner during periods favorable for germination, or if the seeded areas fail to germinate, the Owner's Representative may (at his discretion) require the Contractor to install sod to cover such disturbed areas.
- CURBS & SIDEWALKS: 44. Unless otherwise shown or indicated on the drawings, 6-inches nominal curb exposure used for design of all parking lot and street grades.
- 45. Where new curbing connects to existing curbing or is installed along existing streets or pavement, the gutter grade shall match the existing street grades so as to allow drainage from the street to the gutter and through any transitions. The Contractor shall notify the Owner's Representative in writing of any grade discrepancies or problems prior to curb placement.
- 46. Contractor shall construct all handicap access ramps in accordance with current ADA requirements.
- 47. Sidewalks shall be a minimum of 4-inches thick. Commercial use driveways and alley approaches shall be minimum 8-inches thick. All curbs, sidewalks and driveways shall be constructed using 3300-psi concrete, and shall be cured with Type 1 or Type 1D clear curing compound. All sidewalks shall be ADA compliant.
- 48. Curb & sidewalk concrete shall be placed only during periods when it will not be damaged by rain (protect unhardened concrete from precipitation). Concrete shall not be placed on frozen baserock. Do not begin concrete placement until temperature in the shade is a minimum of 35°F and rising, and stop placement if air temperature falls below 35°F. Protect concrete from freezing for a minimum of 5 days after placement per OSSC (ODOT/APWA) 00440.40.d & 00756.40 or the project specifications, whichever is more stringent.
- 49. Contraction joints shall be installed directly over any pipes that cross under the sidewalk, to control cracking In general, cracks in new curbs or sidewalks (at locations other than contraction joints) are not acceptable. and cracked panels shall be removed & replaced unless otherwise approved by the Approving Agency and the
- 50. All sidewalks shall be ADA compliant. Direction of sidewalk cross slope shall conform with the slope direction shown on the grading plan. Sidewalk cross slopes shall not exceed 1:67 (1.5%) nor be less than 1%. Longitudinal slope shall not exceed 1:20 (5%).
- 51. Where trench excavation requires removal of PCC curbs and/or sidewalks, the curbs and/or sidewalks shall be sawcut and removed at a tooled joint unless otherwise authorized in writing by the Approving Agency. The sawcut lines shown on the drawings are schematic and not intended to show the exact alignment of such
- 52. Unless otherwise shown on the drawings, areas along curbs and sidewalks shall be backfilled with approved topsoil, as well as being seeded and mulched (or hydroseeded).

PIPED UTILITIES: 53. All tapping of existing sanitary sewer, storm drain mains, and manholes must be done by City forces.

- 54. The Contractor shall have appropriate equipment on site to produce a firm, smooth, undisturbed subgrade at the trench bottom, true to grade. The bottom of the trench excavation shall be smooth, free of loose materials or tooth grooves for the entire width of the trench prior to placing the granular bedding material.
- 55. All pipes shall be bedded with minimum 6-inches of 3/4"-0 crushed rock bedding and backfilled with compacted 3/4"-0 crushed rock in the pipe zone (crushed rock shall extend a minimum of 12-inches over the top of the pipe in all cases). Unless CDF or other backfill is shown or noted on the drawings, crushed rock trench backfill shall be used under all improved areas, including pavement, sidewalks, foundation slabs, buildings, etc.
- 56. Granular trench bedding and backfill shall conform to the requirements of OSSC (ODOT/APWA) 02630.10 (Dense Graded Base Aggregate), 3/4~-0. Unless otherwise shown on the drawings, compact granular backfill to 92% of the maximum dry density per AASHTO T-180 test method (Modified Proctor).
- 57. Contractor shall arrange to abandon existing sewer and water services not scheduled to remain in service in
- 58. All piped utilities abandoned in place shall have all openings closed with concrete plugs with a minimum length equal to 2 times the diameter of the abandoned pipe.
- 59. All non—metallic water, sanitary and storm sewer piping shall have an electrically conductive insulated 12 gauge solid core copper tracer wire the full length of the installed pipe using blue wire for water and green wire for storm and sanitary piping. Tracer wire shall be extended up into all valve boxes, catch basins, manholes and lateral cleanout boxes. Tracer wire penetrations into manholes shall be within 18 inches of the rim elevation and adjacent to manhole steps. The tracer wire shall be tied to the top manhole step or otherwise supported to allow retrieval from the outside of the manhole. All tracer wire splices shall be made with waterproof splices or waterproof/corrosion resistant wire nuts.
- 60. No trenches in sidewalks, roads, or driveways shall be left in an open condition overnight. All such trenches

61. Before mandrel testing, TV inspection or final acceptance of gravity pipelines, all trench compaction shall be

shall be closed before the end of each workday and normal traffic and pedestrian flows restored.

- completed and all sewers and storm drains flushed & cleaned to remove all mud, debris & foreign material from the pipelines, manholes and/or catch basins. 62. Where future extensions are shown upstream of new manholes (sewer or storm), catch basins or junction
- boxes, pipe stubs (with gasketed caps) shall be installed at design grades to a point 2' minimum outside of
- 63. City forces to operate all valves, including fire hydrants, on existing public mains.
- 64. All fittings 4—inches through 24—inches in diameter shall be ductile iron fittings in conformance with AWWA C-153 or AWWA C-110. The minimum working pressure for all MJ cast iron or ductile iron fittings 4-inches through 24—inch in diameter shall be 350 psi for MJ fittings and 250 psi for flanged fittings.
- 65. All water mains to be installed with a minimum 36 inch cover to finish grade unless otherwise noted or directed. Water service lines shall be installed with a minimum 30—inch cover. Deeper depths may be required as shown on the drawings or to avoid obstructions.
- 66. Unless otherwise shown or approved by the Engineer, all valves shall be flange connected to adjacent tees or
- 67. Thrust restraint shall be provided on all bends, tees and other direction changes per Approving Agency requirements and as specified or shown on the drawings.
- 68. Water service pipe 2—inch and smaller on the public side of the meter shall be Type K soft copper tubing conforming to ASTM B-88. Water service pipe 3-inch and larger shall conform to the construction drawings
- 69. Unless otherwise noted, water service pipe 3-inch and smaller on the private side of the meter shall be Schedule 40 PVC. Water service pipe 4-inches and larger on the private side of the meter shall be ASTM D2241 DR 21 (200 psi), with rubber gaskets conforming to ASTM F477. Unless otherwise specified, private water service piping shall be hydrostatically pressure tested to a minimum of 150% of the maximum static pressure at the site. All materials and workmanship for all private water lines, including water lines located within any building envelope, shall be installed in conformance with Uniform Plumbina Code reauirements. All water service pipe on the private side of the meter shall be installed by a licensed plumber in accordance with Uniform Plumbing Code requirements.
- 70. Domestic and fire backflow prevention devices and vaults shall conform to requirements of public and/or private agencies having jurisdiction. The Contractor shall be responsible for having backflow devices tested and certified prior to final acceptance of the work.
- 71. Contractor shall provide all necessary equipment and materials (including plugs, blowoffs, valves, service taps, etc.) required to flush, test and disinfect waterlines per the Approving Agency requirements.
- 72. The work shall be performed in a manner designated to maintain water service to buildings supplied from the existing waterlines. In no case shall service to any main line or building be interrupted for more than four (4) hours in any one—day. Contractor shall notify the Approving Agency and all affected residents and businesses a minimum of 24 business hours (1 business day) before any interruption of service.

- 73. Where new waterlines cross below or within 18—inches vertical separation above a sewer main or sewer service lateral, center one full length of waterline pipe at point of crossing the sewer line or sewer lateral. In addition (unless otherwise approved in writing by the Approving Agency, existing sewer mains and/or service laterals within this zone shall be replaced with a full length of Class 50 Ductile Iron or C-900 PVC pipe (DR 18) centered at the crossing in accordance with OAR 333-061 and Approving Agency requirements. Connect to existing sewer lines with approved rubber couplings. Example: For an 8-inch waterline with 36-inches cover, 4-inch service lateral inverts within 5.67-feet (68-inches) of finish grade must be DI or C-900 PVC at the
- 74. All waterlines, services and appurtenances shall be pressure tested for leakage. All testing shall conform to requirements as outlined in the specifications, Approving Agency standards and/or testing forms. The hydrostatic test shall be performed with all service line corporation stops open and meter stops closed, and with all hydrant line valves open. Prior to the start of each pressure test, the position of all mainline valves, hydrant line valves and service line corporation stops in the test segment shall be verified.
- 75. After the pressure test and prior to disinfecting, the water lines shall be thoroughly flushed through hydrants,
- 76. Disinfection & Bacteriological Testing. All water mains and service lines shall be chlorine disinfected per Approving Agency requirements, AWWA C-651 or OAR 333-061 (25 mg/L minimum chlorine solution, 24 hours contact time), whichever is more stringent. Unless otherwise approved by the Approving Agency, a Representative from the Approving Agency shall witness the application of the chlorine solution and the chlorine testing at the end of the 24 hour contact period. After the 24 hour chlorine contact period, the free chlorine concentration shall be checked, and if it is found to be 10 mg/L or more, the chlorine solution shall be drained (otherwise the line shall be rechlorinated), the waterline flushed with potable water, and a minimum of two consecutive samples taken at least 24 hours apart shall be collected from the waterline for microbiological analysis (ie. one sample immediately after flushing, and another sample 24 hours later). Contractor to pay for laboratory analysis of water samples taken under the supervision of the Approving Agency. If the results of both analyses indicate that the water is free of coliform organisms, the waterline may be placed in service. Should the initial treatment prove ineffective, the chlorination shall be repeated until confirmed tests show
- 77. Disinfection of Connections. For connections which cannot be disinfected with the waterline mainlines as noted above, all fittings, valves and appurtenances, including tool surfaces which will come in contact with potable water, shall be thoroughly cleaned by washing with potable water and then swabbed or sprayed with a one percent (1%) hypochlorite solution (10,000 mg/L) in accordance with the requirements of AWWA C-651 and

SEWER & STORM MANHOLES:

Plumbing Code requirements.

- 78. All precast manholes shall be provided with integral rubber boots. Where manholes without integral rubber boots are approved by the Owner's Representative and Approving Agency, a pipe joint shall be provided on all mainlines within 1.5 feet of the outside face of the manhole. Where required by Public Works, watertight lockdown lids required on all manholes outside of public right—of—way.
- 79. Openings for connections to existing manholes shall be made by core—drilling the existing manhole structure, and installing a rubber boot. Connections shall be watertight and shall provide a smooth flow into and through the manhole with no ponding. Small chipping hammers or similar light tools which will not damage or crack the manhole base may be used to shape channels, but may be used to enlarge existing openings only if authorized in writing by the Owner's Representative. Use of pneumatic jackhammers shall be prohibited.
- 80. Manhole channels depths (sewer & storm) shall be to the heights shown on the drawings, but in no case shall the channel depth be less than 2/3 of the pipe diameter. Channels, as well as shelves between the channels and the manhole walls, shall be sloped to drain per plan details.
- 81. Manholes constructed over existing sanitary sewers shall conform to the requirements of OSSC (ODOT/APWA) 490.41, Manholes over Existing Sewers. The existing pipe shall not be broken out until after the completion of the manhole test.
- SANITARY SEWER SYSTEM: 82. Unless otherwise specified, sanitary sewer pipe shall be solid wall PVC in conformance with ASTM D3034, SDR 35 (≤15") or ATSM F-679, PS 46 (≥18"). Minimum stiffness shall be 46 psi per ASTM D-2412 and joint type shall be elastomeric gasket conforming to ASTM D-3212. All other appurtenances and installation to conform to the Approving Agency's specifications. All materials and workmanship for all private sanitary sewers, including sewers located within any building envelope, shall be installed in conformance with Uniform
- 83. Unless otherwise specifically noted on the drawings, manufactured fittings (tee or wye per Approving Agency) shall be used for all lateral connections to new sewer mainlines.
- 84. Contractor shall provide all necessary materials, equipment and facilities to test sanitary sewer pipe and appurtenances for leakage in accordance with testing schedule herein or the Approving Agency's construction standards, whichever are more stringent. Sanitary sewer pipe and appurtenances shall be tested for leakage. Leakage tests shall include an air test of all sewer mains and laterals and vacuum testing of the manholes. Manhole testing shall be performed after completion of AC pavement and final surface restoration.
- 85. After manhole channeling and prior to mandrel testing and/or TV inspection, flush and clean all sewers, and remove all foreign material from the mainlines and manholes. Failure to clean all dirt, rock and debris from pipelines prior to TV inspection will result in the need to re-clean and re-TV the sewer lines.
- 86. Contractor shall conduct deflection test of flexible sanitary sewer pipes by pulling an approved mandrel through the completed pipeline following trench compaction. The diameter of the mandrel shall be 95% of the initial pipe diameter. Test shall be conducted not less than 30 days after the trench backfilling and compaction has been completed, unless otherwise approved by the Approving Agency.
- 87. Upon completion of all sanitary sewer construction, testing and repair, the Contractor shall conduct a color TV acceptance inspection of all mainlines in accordance with OSSC (ODOT/APWA) 445.74 to determine compliance with grade requirements of OSSC (ODOT/APWA) 445.40.b. The TV inspection shall be conducted by an approved technical service which is equipped to make audio-visual recordings of the TV inspections on DVD or flash drive. Unless otherwise required by the Approving Agency, a standard 1-inch diameter ball shall be suspended in front of the camera during the inspection to determine the depth of any standing water. Sufficient water to reveal low areas or reverse grades shall be discharged into the pipe immediately prior to initiation of the TV inspection. The DVD and written report shall be delivered to the Approving Agency.
- STORM DRAIN SYSTEM: 88. Storm sewer pipe materials shall conform to the construction drawings and Approving Agency's requirements. Unless otherwise noted or shown on the drawings, storm sewer pipe materials with watertight joints shall conform to the attached "Storm Pipe Table". Contractor shall use uniform pipe material on each pipe run between structures unless otherwise directed or approved. Jointed HDPE pipe shall not be used for slopes exceeding ten percent (10%). All materials and workmanship for all private storm drains, including storm drains located within any building envelope, shall be installed in conformance with Uniform Plumbing Code
- 89. Contractor shall designate the pipe material actually installed on the field record drawings and provide this information for inclusion on the as-built drawings.
- 90. Catch basins and junction boxes shall be set square with buildings or with the edge of the parking lot or street wherein they lie. Storm drain inlet structures and paving shall be adjusted so water flows into the structure without ponding water.
- 91. Unless otherwise approved by the Engineer, all storm drain connections shall be by manufactured tees or
- 92. Unless otherwise shown on the drawings, all storm pipe inlets & outfalls shall be beveled flush to match the

93. Sweep (deflect) storm sewer pipe into catch basins and manholes as required. Maximum joint deflection shall

- not exceed 5 degrees or manufacturers recommendations, whichever is less. 94. Unless otherwise shown or directed, install storm sewer pipe in accordance with manufacturer installation
- 95. After manhole channeling and prior to mandrel testing or final acceptance, flush and clean all sewers, and

remove all foreign material from the mainlines, manholes and catch basins.

- 96. Mandrel Testing. Contractor shall conduct deflection test of flexible storm sewer pipes by pulling an approved mandrel through the completed pipeline following trench compaction. The diameter of the mandrel shall be 95% of the initial pipe diameter. Test shall be conducted not more than 30 days after the trench backfilling and compaction has been completed.
- 97. TV Inspection. Upon completion of all storm sewer construction, testing and repair, the Contractor shall conduct a color TV acceptance inspection of all mainlines in accordance with OSSC (ODOT/APWA) 445.74 to determine compliance with grade requirements of OSSC (ODOT/APWA) 445.40.b. The TV inspection shall be conducted by an approved technical service which is equipped to make audio-visual recordings of the TV inspections on DVD (VHS video tape acceptable only upon prior written approval by Public Works). Unless otherwise required by the agency with jurisdiction, a standard 1—inch diameter ball shall be suspended in front of the camera during the inspection to determine the depth of any standing water. Sufficient water to reveal low areas or reverse grades shall be discharged into the pipe immediately prior to initiation of the TV inspection. The DVD and written report shall be delivered to the Approving Agency.
- 98. Prior to acceptance, the Owner's Representative may lamp storm lines upstream & downstream of structures to verify that the pipes are clean and there is no grout or concrete in the mainlines, and that there are no observable bellies in the line. When necessary, sufficient water to reveal low areas shall be discharged into the pipe by the Contractor prior to any such inspection by the Owner's Representative or the Approving Agency.

FRANCHISE & PRIVATE UTILITIES:

- 99. Unless otherwise shown on the drawings or approved by jurisdiction having authority, all new franchise and private utilities (power, cable TV, telephone, gas, data, communication, control, alarms, etc.) shall be installed underground. Installation of such utilities or associated conduits in a common trench with public water,
- 100. Contractor shall coordinate with gas, power, telephone, and cable TV Company for location of conduits in common trenches, as well as location or relocation of vaults, pedestals, etc. The Contractor shall be responsible for providing franchise utility companies adequate written notice of availability of the open trench (typically 10 days minimum), and reasonable access to the open trench. Unless otherwise approved in writing by the Approving Agency, all above—grade facilities shall be located in PUEs (where PUEs exist or will be granted by the development), and otherwise shall be placed in a location outside the proposed sidewalk

- 101. Unless otherwise approved by the Approving Agency, installation of private utilities (including either franchise utilities or private water, sewer or storm services) in a common trench with or within 3 feet horizontally of and paralleling public water, sanitary sewer or storm drains is prohibited.
- 102. Power, telephone and TV trenching and conduits shall be installed per utility company requirements with pull wire. Contractor shall verify with utility company for size, location and type of conduit before construction, and shall ensure that trenches are adequately prepared for installation per utility company requirements. All changes in direction of utility conduit runs shall have long radius steel bends.
- 103. Contractor shall notify and coordinate with franchise utilities for removal or relocation of power poles, vaults, pedestals, manholes, etc. to avoid conflict with Public utility structures, fire hydrants, meters, sewer or storm

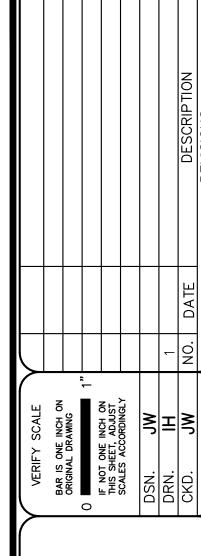
STORM PIPE TABLE					
Cover Depth	6" — 18" Diameter				
Less than 2' Cover	Class 50 ductile iron pipe with bell and spigot joints and rubber gasket.				
2' to 2-1/2' Cover	Pipe specified for lesser cover depths —or— Class 3, ASTM C—14 non—reinforced concrete pipe with bell and spigot joints & rubber gaskets, ASTM 150 Type II cement. —or— PVC pipe conforming to AWWA C900 DR 18 (6"—12") or AWWA C—905 (14"—18") with bell and spigot joints and rubber gasket				
2-1/2' to 15' Cover	Pipe specified for lesser cover depths —or— PVC pipe conforming to ASTM D—3034 PVC SDR 35 (6"—15") or ASTM F—679 PVC solid wall SDR 35 (18") with bell and spigot joints and rubber gasket. —or— HDPE (high density polyethlene) pipe conforming to AASHTO M—252, (8"—10") or AASHTO M—294 (12"—18"). For slopes less than 6% the pipe shall be ADS N—12 IB ST, Hancor Sure—Lok F477, or approved equal. For slopes greater than 6% the pipe shall be ADS N—12 IB WT, Hancor Blue Seal, or approved equal with watertight pressure testable fittings, —except— jointed HDPE (high density polyethylene) pipe referenced above not permitted for depth to invert greater than 12 feet.				

REQUIRED 1	ESTING AND FREQUENCY TABLE	Party	y Responsible for paym
	notify Owner's Representative prior to all testing, r's Representative to be present if desired.	(Contractor Othe (see not
Streets, Fire La	nes, Common Driveways, Parking Lots, Pads	, Fills	s, etc.
Subgrade	1 Test/4000 S.F./Lift (4 min), locations acceptable to approving agency (typically alternate sides of road or access aisles)	✓	See note 2 & note 3
Engineered Fills	1 Test/4000 S.F./Lift (4 min), locations acceptable to approving agency	✓	See note 2 & note 5
Baserock	1 Test/4000 S.F./Lift (4 min), locations acceptable to approving agency (typically alternate sides of road or access aisles)	✓	See note 2 & note 3
Asphalt	1 Test/6000 S.F./Lift (4 min), locations acceptable to AA (typ. alternate as above)	✓	See note 2
Piped Utilities, /	AII		
Trench Backfill	1 Test/200 Foot Trench/Lift (4 min)	√	See note 2
Trench AC Res	toration 1 Test/300 Foot Trench (4 min)	√	See note 2
Water			
Pressure Test	(to be witnessed by Owner's Representative or approving agency)	✓	See note 4
Bacterial Water	Test Per Oregon Health Division	√	See note 2
Chlorine Residu	al Test Per City Requirements	√	
Sanitary Sewer			
Air Test	Per City or APWA Requirements, whichever is more stringent	✓	See note 4
Mandrel	95% of actual inside diameter	√	See note 4
TV Inspection	All. Lines must be cleaned prior to TV work	√	
Manhole	(1) Vacuum test per manhole, witnessed by Owner's Representative or approving agency	✓	See note 2
Storm			
Mandrel	95% of actual inside diameter	√	See note 4
TV Inspection	All. Lines must be cleaned prior to TV work	√	
Concrete, Block	, etc.		
equipment slabs	ylinders for structural & reinforced concrete, s, curbs, sidewalks & PCC pavements. Unless fied, one set of cylinders per 100 cubic yards	✓	See note 2

Note 1: "Others" refers to Owner's authorized Representative or Approving Agency as applicable. Contractor responsible for scheduling testing. All testing must be completed prior to performing subsequent work.

Note 2: Testing must be performed by an approved independent testing laboratory.

- Note 3: In addition to in-place density testing, the subgrade and base rock shall be proof rolled with a loaded 10 yard dump truck provided by the Contractor. Baserock proofroll shall take place immediately prior to (within 24 hours of) paving, and shall be witnessed by the Owner's authorized Representative or approving agency. Location and pattern of testing and proofroll to be as approved or directed by said Owner's authorized Representative or approving agency.
- Note 4: To be witnessed by the Owner's Representative or approving agency. The Contractor shall perform pretests prior to scheduling witnessed waterline or sanitary sewer pressure tests, or pipeline mandrel test.
- Note 5: The approved independent laboratory retained by the Contractor shall provide a certification (stamped by an engineer licensed in the State of Oregon) that the subgrade was prepared and all engineered fills were placed in accordance with the provisions of the construction drawings and the contract documents.
- Contractor to notify Owner's Representative prior to all testing, to allow Owner's Representative to be present if desired.



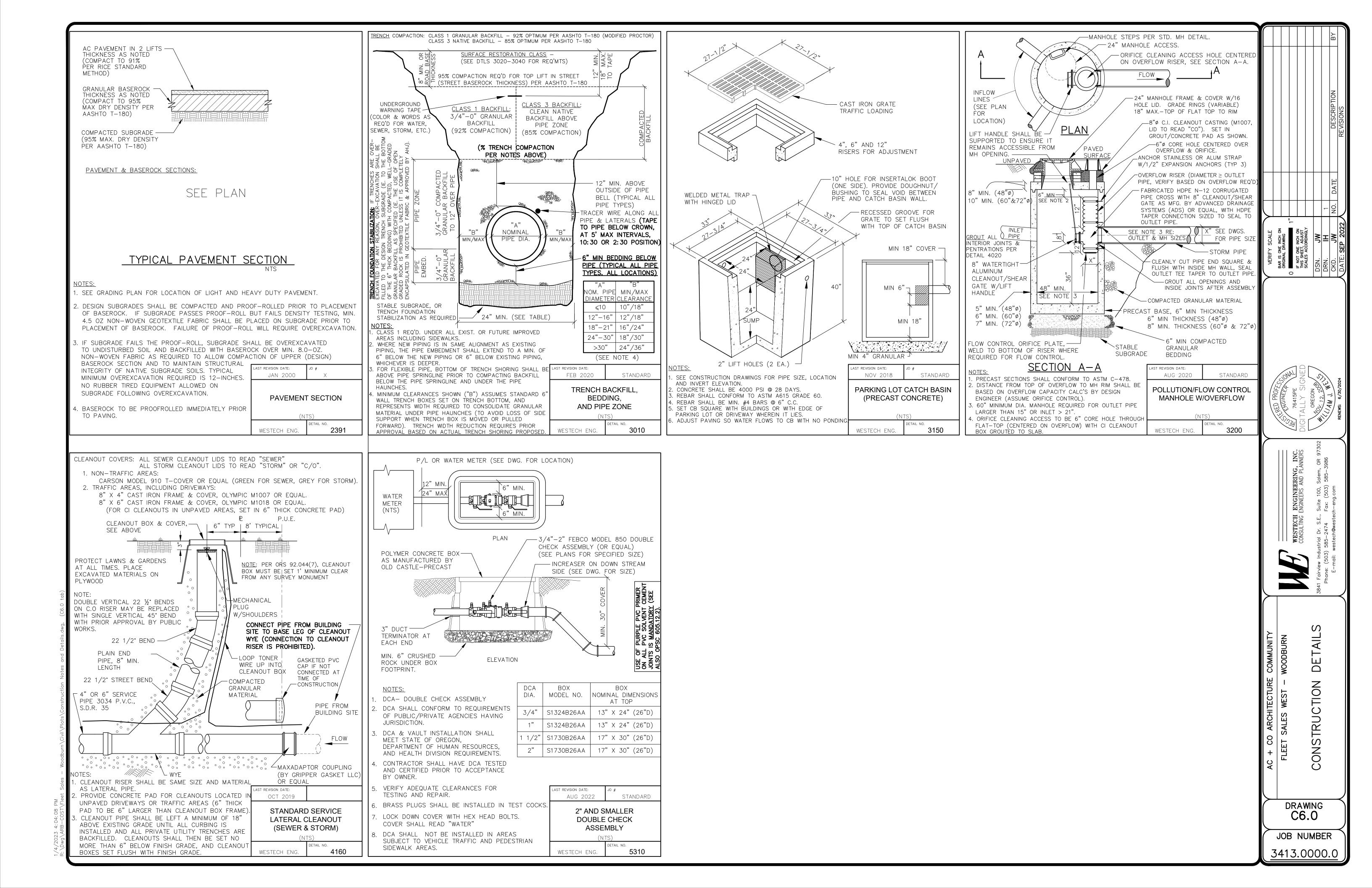
EN WESTECH

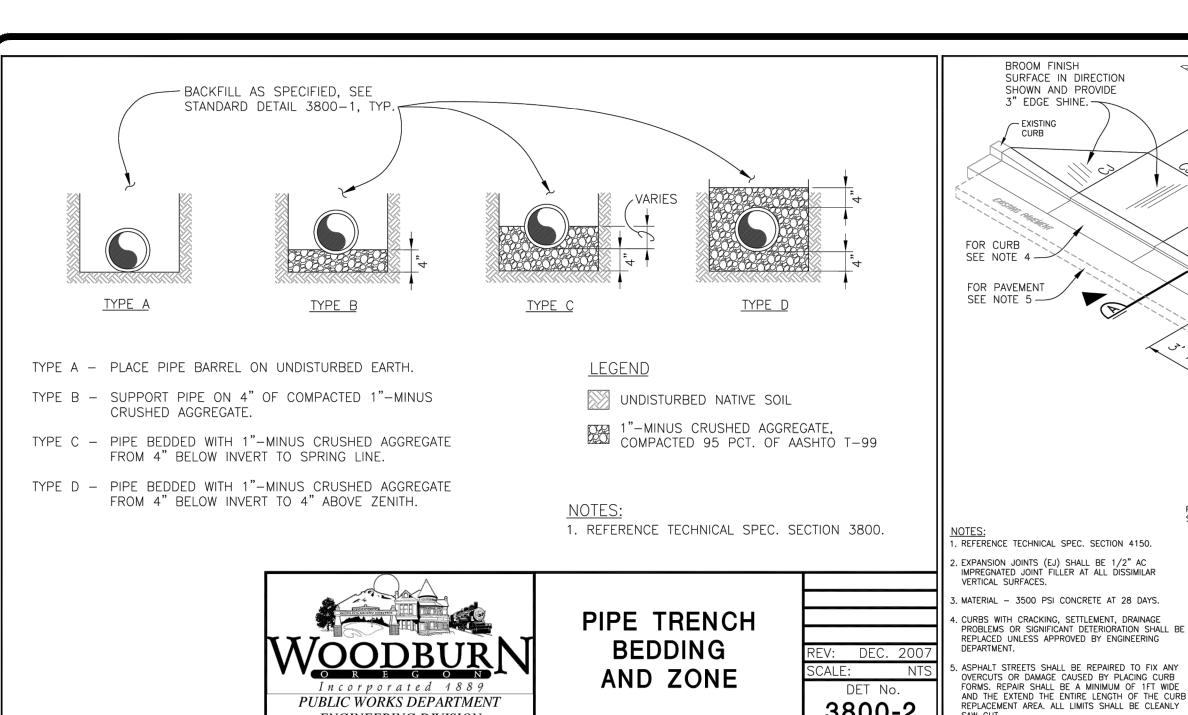
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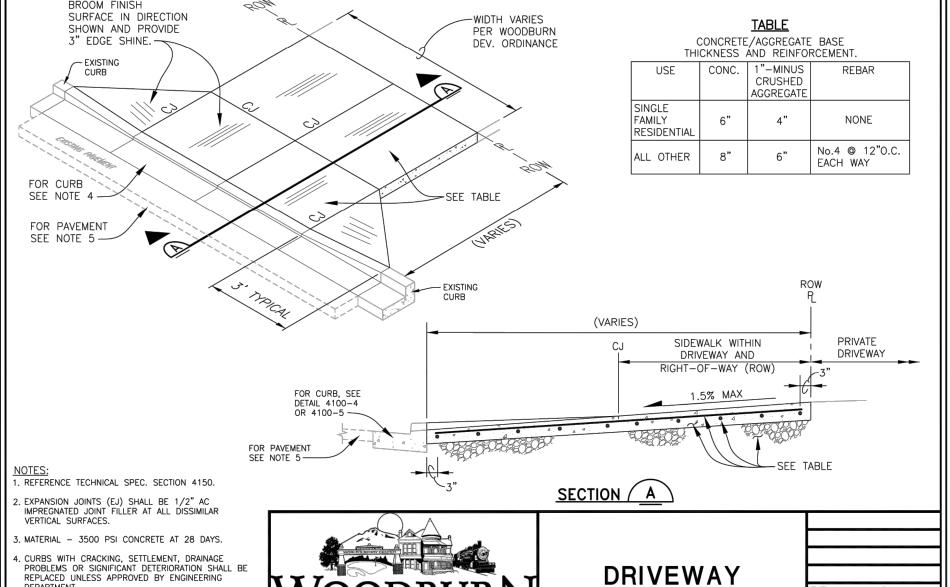
DRAWING C5.0

JOB NUMBER

3413.0000.0



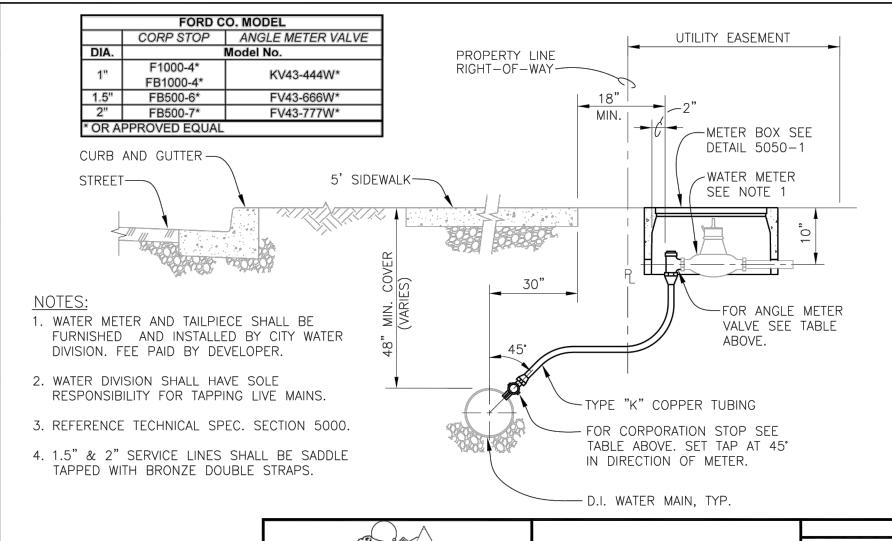


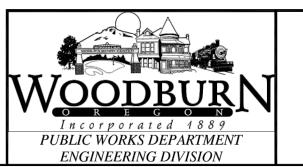


Incorporated 1889

PUBLIC WORKS DEPARTMENT

ENGINEERING DIVISION





WATER SERVICE CONNECTION

FEB. 20 SCALE: DET No. 5000-4

BROOM FINISH SURFACE IN DIRECTION SHOWN AND PROVIDE 3" EDGE SHINE.-(MOTH VARIE 4150 - 1

Incorporated 1889

PUBLIC WORKS DEPARTMENT

ENGINEERING DIVISION

DRIVEWAY THROUGH I DRIVEWAY THROUGH EXST. CURB & PLANTING STRIP DRIVEWAY, SEE SIDEWALK DETAIL 4150-1-1.5% MAX CONCRETE AND 1"-MINUS

PROPERTY LINE SIDEWALK

SECTION / A

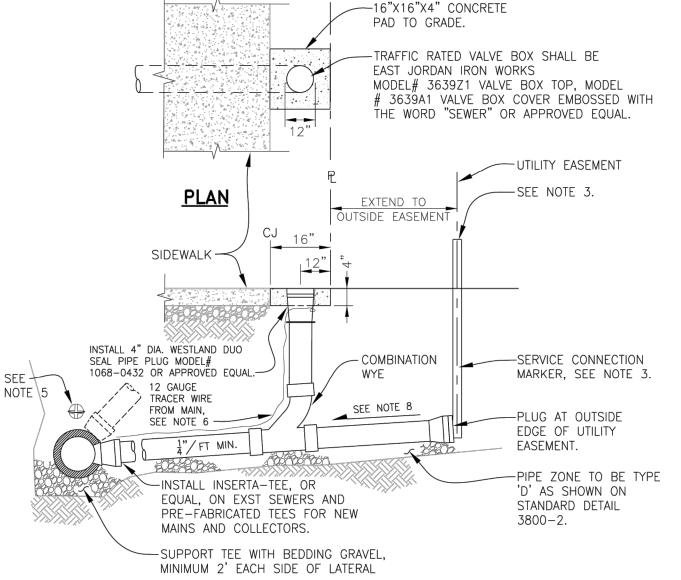
CONCRETE/AGGREGATE BASE THICKNESS AND REINFORCEMENT.

CRUSHED AGGREGATE,

SEE TABLE BELOW.

THIORNESS AND INCIDENTIAL									
USE	CONC.	1"-MINUS CRUSHED AGGREGATE	REBAR						
SINGLE FAMILY RESIDENTIAL	6"	4"	NONE						
ALL OTHER	8"	6"	No.4 @ 12"O.C. EACH WAY						

CALE:



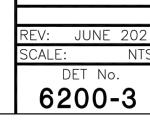
ELEVATION

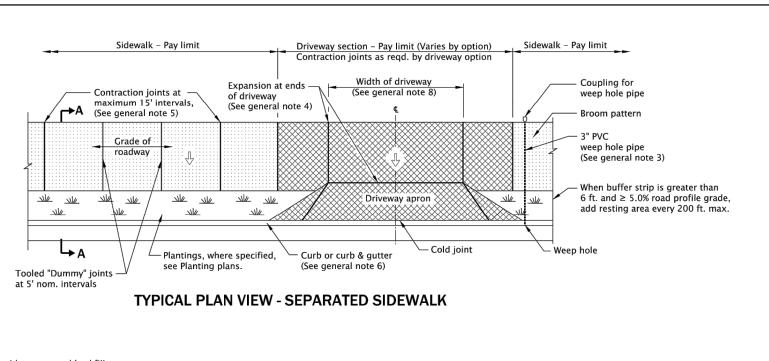
- 1. PIPE AND FITTINGS SHALL BE COMPATIBLE. ONLY MANUFACTURED FITTINGS SHALL BE USED.
- 2. MINIMUM DEPTH AT RIGHT-OF-WAY OR EASEMENT LINE SHALL BE 4 FEET.
- 3. 2 x 4 FIR. POST TO EXTEND 36" MINIMUM ABOVE FINISH GRADE AND EXPOSED AREA SHALL BE PAINTED GREEN.
- 4. LAY SANITARY SEWER SERVICE TEE AT MAXIMUM 45°, MINIMUM 20° FROM HORIZONTAL.
- 5. INSTALL LOCATOR/MARKER BALL AT MAIN LINE CONNECTION 3FT MAX BELOW FINISH GRADE. CONTACT ENGINEERING FOR
- 6. INSTALL A CONTINUOUS 12-GAUGE TRACER WIRE FROM MAIN. PLACE TRACER WIRE DIRECTLY OVER PIPE CENTERLINE AND ON TOP OF THE PIPE ZONE MATERIAL.
- 7. REFERENCE TECHNICAL SPEC. SECTION 6200.
- 8. CONTACT MARION COUNTY PUBLIC WORKS FOR REQUIREMENTS.

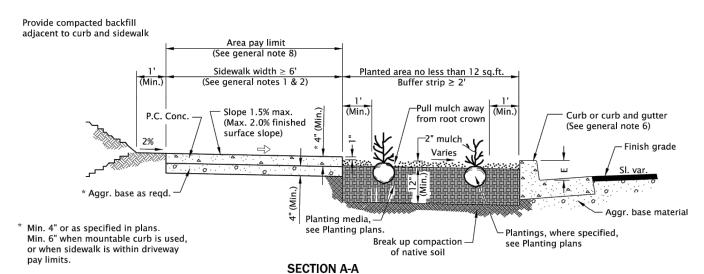


3800-2

SEWER SERVICE CONNECTION







TYPICAL SETBACK SIDEWALK CROSS SECTION E = curb exposure, see general note 6

GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

- 1. Include additional paved or unpaved 2' shy distance to vertical faces higher than 5' such as
- retaining walls, sound walls, fences and buildings Curb type and sidewalk width as shown on plans or as directed.

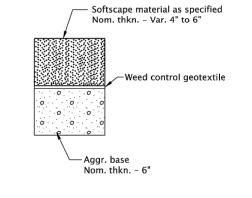
APPROACH

SCALE:

DET No.

4150-1

- On sidewalks 8' and wider, provide a longitudinal joint at the midpoint. 3. Install 3" pvc weep hole pipes in sidewalks where shown on plans, and allowed by jurisdiction.
- Place contraction joint over top of pipe. See Std. Dwg. RD700 for weep hole details.
- 4. Provide expansion joints around poles, posts, boxes, at ends of each driveway, and other fixtures which protrude through or against the structures.
- For sidewalk, monolithic curb & sidewalk, const. expansion joints at 45' maximum spacing. See Std. Dwg. RD722 for expansion joint details.
- 5. Const. contraction joints at 15' maximum spacing, and at ends of each curb ramp. See Std. Dwg. RD722 for contraction joint details.
- 6. Curb and gutter shown; see project plans for the curb design specified. For curb details, see Std. Dwgs. RD700 & RD701. ODOT standard E=7".
- 7. Sidewalk details are based on ODOT applicable standards. 8. Driveway encroaches into sidewalk shown; see project plans for the driveway design specified.
- For driveway details not shown, see Std. Dwgs. RD725, RD730, RD735, RD740, RD745 & RD750.
- 9. See project plans for details not shown. 10. Provide plantings in areas 12 SF or greater, as shown or directed. Treat areas less than 12 SF with mulch surfacing.



NON-PLANTED SOFTSCAPE CROSS SECTION

1 Use softscape materials allowed by jurisdiction. 2. Approved softscape materials:

the user and should not be

used without consulting a

Registered Professional En-

gineer.

a) Loose, durable round rock 2"-4"in diameter b) Lava rock 2"-4"diameter c) Wood chips/bark mulch

3. No crushed aggregate or pea gravel allowed. 4. Install softscape material flush with the top of sidewalk.

Sidewalk pay limit. Driveway pay limit, varies by option, (See general note 8). Cross slope 1.5% max. (Max. 2.0% finished surface slope) (Normal sidewalk cross slope)

__20-JUL-2020 CALC. BOOK NO. _ _ _ <u>N/A</u> _ _ SDR DATE _ OTE: All material and workmanship shall be in accordance wi the current Oregon Standard Specifications The selection and use of this OREGON STANDARD DRAWINGS Standard Drawing, while designed in accordance with generally accepted engineer-SEPARATED SIDEWALKS ing principles and practices, is the sole responsibility of

DRAWING C6.1

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WESTECH CONSULTING F

JOB NUMBER 3413.0000.0

PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION

1. REFERENCE TECHNICAL SPEC.

2. PLACE CONSTRUCTION JOINTS AT

5' INTERVALS 1/3 THICKNESS.

3. MATERIAL - 3500 PSI CONCRETE

SECTION 4150.

AT 28 DAYS.

-EXST. AC

PROPERTY LINE SIDEWALK AT DRIVEWAY

EV: JUNE. 2 DET No. 4150-4 ENGINEERING DIVISION