



Final Decision

Planning Commission

File number(s): DR 22-24 & EXCP 22-13

Project name: Fleet Sales West Shop Building

Date of decision: April 13, 2023

Date of mailing: April 25, 2023

Applicant: Fleet Sales West

Landowner: Walsh Enterprises & Holdings LLC

Site location: 2175 N. Pacific Hwy (Tax Lot 051W08A001800)

Summary:

The Planning Commission held a public hearing on April 13, 2023 and unanimously approved the Design Review (DR) and Variance (VAR) application package with the conditions recommended by staff through the staff report published April 6. No testimony was received by proponents or opponents.

The subject property is 2175 N. Pacific Hwy, a 5.57-acre property in the Commercial General (CG) zoning district that is developed with an industrial manufacturing building and occupied by Fleet Sales West. The company manufactures and sells fleet vehicles (tow trucks, auto loader wreckers, flatbed carriers) to other businesses.

The Planning Commission approved a 7,200 square foot shop building on the property to increase the company's manufacturing output capacity. The Commission also approved the applicant's Variance request to modify the required upgrades to nonconforming site aspects that are associated with the expansion of the existing development.

Conditions of Approval

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

1. Substantial Conformance: The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. N. Pacific Highway improvements: Half-street right-of-way (ROW) improvements to N. Pacific Highway along the frontage of the subject property shall conform to Figure 3.01B. Complete the following items prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 3.01.02E and 4.02.08.
 - a. ROW: Dedicate ROW to achieve 50 feet of width from centerline.
 - b. Sidewalk: Construct a 6-foot wide sidewalk along the frontage, with a 1-foot buffer between the widened ROW boundary. The sidewalk may meander around existing power poles and shall transition back into the existing sidewalk to the north and south in a manner acceptable to the Public Works Director.
 - c. Landscape strip: Construct a 6-foot wide landscape planter strip between sidewalk and curb (width measurement includes 6-inch curb). To meet 3.01.04B and 3.06.03A, the landscape strip shall be planted with at least 8 large size street trees and lawn grass or other species of groundcover. Large size trees are defined in Table 3.06B as having a height of 60-120 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.
3. National Way improvements: Half-street right-of-way (ROW) improvements to National Way along the frontage of the subject property shall conform to Figure 3.01F. Complete the following items prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 3.01.02E and 4.02.08.
 - a. ROW: Dedicate ROW to ensure the improvements in subsections b. and c. are within ROW boundaries.
 - b. Sidewalk: Construct a 6-foot wide sidewalk along the frontage, with a 1-foot buffer between the widened ROW boundary. The sidewalk may meander around existing power poles and shall transition back into the existing sidewalk to the north and south in a manner acceptable to the Public Works Director.
 - c. Landscape strip: Construct a 6-foot wide landscape planter strip between sidewalk and existing curb (width measurement includes 6-inch curb). To meet 3.01.04B and 3.06.03A, the landscape strip shall be planted with at least 3 small size street trees and lawn grass or other species of groundcover. Small size trees

are defined in Table 3.06B as having a height of 18-40 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.

4. Easements: Grant the following easements. A draft copy of each easement shall be provided to the City for review prior to recordation with Marion County. Proof of recordation shall be submitted prior to building permit issuance.
 - a. N. Pacific Hwy streetside PUE: A 10-foot wide public utility easement (PUE) along the widened ROW of N. Pacific Hwy, pursuant to Figure 3.01B and 3.02.01B.
 - b. National Way streetside PUE: A 5-foot wide minimum PUE along the widened ROW of National Way, pursuant to Figure 3.01F and 3.02.01B. Maximum width of this easement is 8 feet per 3.02.01F2a.
 - c. Public sanitary sewer easement: A 16-foot wide PUE centered along the public sanitary sewer line running through the site parallel to N. Pacific Hwy, pursuant to 3.02.01A & C. Alternatively, the N. Pacific Hwy streetside PUE could be widened to accommodate this easement.
5. Street lighting: Pursuant to 3.02.03A, adjacent street lighting for N. Pacific Hwy and National Way shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works Department indicating that existing illumination complies with the standards or install new lighting to conform. This is due prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 4.02.08.
6. Power line burial: To meet 3.02.04B, the applicant shall either bury the existing power lines along the N. Pacific Hwy frontage of the property or pay a fee-in-lieu of \$142,000 to the City. This condition is due prior to building permit issuance.
7. Underground utilities: Pursuant to 3.02.04, all utility services to and within the development shall be underground.
8. Shared access: To meet 3.04.03C & D2:
 - a. Grant a shared access easement at least 20 feet wide benefiting Tax Lots 051W08A001700, 5400, & 5600 that allows access to N. Pacific Hwy. Pursuant to 3.04.01A2, a draft copy of the easement shall be provided to the City for review prior to recordation with Marion County. Proof of recordation shall be submitted prior to building permit issuance.
 - b. Construct paved drive aisle improvements up to the property boundaries within this easement.
9. Parking:
 - a. Accessible parking: Pursuant to 3.05.03B, site plans shall provide accessible parking stalls to meet ORS 447.233.

- b. Carpool/vanpool stalls: Pursuant to Table 3.05C, illustrate and note on plans at least two carpool/vanpool parking stalls that meet the standards in 3.05.03H.
 - c. Electric vehicle stalls: Pursuant to Table 3.05E, illustrate and note on plans at least two electric vehicle parking stalls that meet the standards in 3.05.03I. Charging stations shall provide Level 2 charging per 3.05.03I2. Provide striping and signage for each electric vehicle stall to meet 3.05.03I3 & 4.
 - d. Bicycle parking: To meet 3.05.06C6, revise plans to cover/shelter at least half of the required bicycle parking stalls.
 - e. Parking striping: To meet 3.05.02K and Figure 3.05C, all parking spaces shall be delineated by double parallel lines.
10. Sign Permit: To demonstrate conformance with 3.10 and 5.01.10, submit application for and obtain approval of a Sign Permit for any new signage.
11. Fence Permit: To demonstrate conformance with 2.06.02 and 5.01.03, submit application for and obtain approval of a Fence Permit for any new fencing.
12. Landscaping: Pursuant to 3.05.02D4, 3.05.02E1, Table 3.06A, and 3.06.05B, revise plans to illustrate landscaping within the setback abutting a street for both N. Pacific Hwy and National Way. Per Table 2.03C, this setback is noted to be a minimum of 5 feet. Landscape planting shall be a density of at least 1 Plant Unit per 15 square feet of setback area (excluding driveway area). As part of the revisions to meet this condition, the proposed landscaping screening parking stalls from N. Pacific Hwy may shift to be along the property line.
13. Variance vesting: The subject Variance approval is vested only for the scope of development work approved through this Design Review. Any future development or redevelopment of the property would be required to meet the applicable requirements at that time.

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Demolition Permits: Demolition of any existing structures may require [Demolition Permit](#) approval through the Building Division.
3. Records: Staff recommends that the applicant retain a copy of the subject approval.
4. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
5. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
6. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
7. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
8. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the

development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.

9. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions.
10. ODOT review: Applicant is required to obtain a permit from ODOT for all work within ODOT jurisdiction. Applicant to provide a copy of the ODOT permit approval prior to building permit issuance.
11. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
12. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
13. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
14. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
15. SDCs: The developer pays System Development Charges prior to building permit issuance.

Expiration

Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, pursuant to Section 4.02.05, has been approved.

Appeals

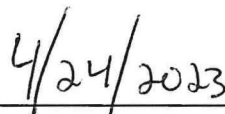
Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or planning@ci.woodburn.or.us.

Sincerely,



Dan Handel, AICP, Planner

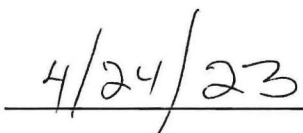


Date

Affirmed,



Charlie Piper, Chair, Planning Commission



Date

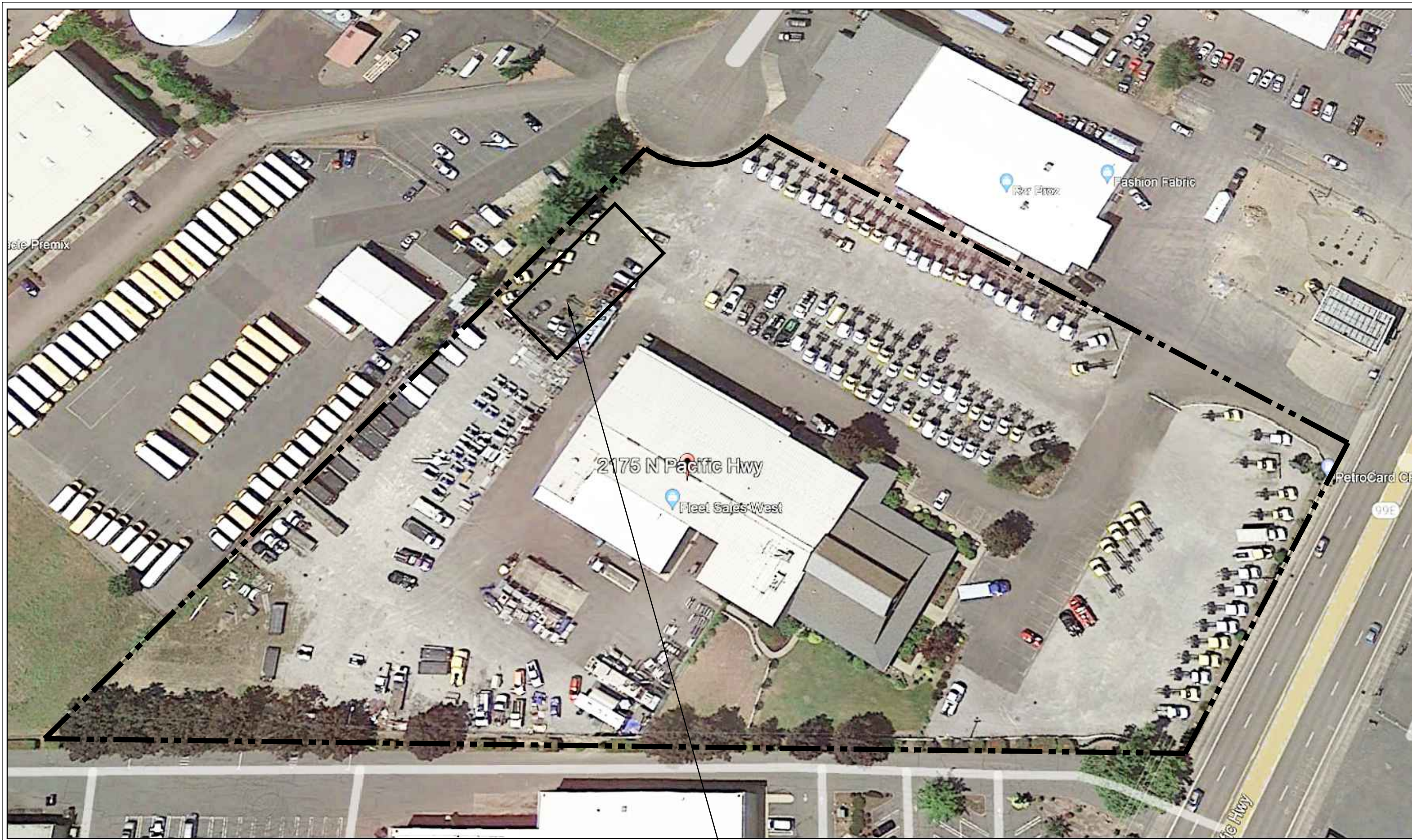
attachments:

1. Site Plans (Planning Commission Staff Report Attachment 107)

FLEET SALES WEST - SHOP BUILDING

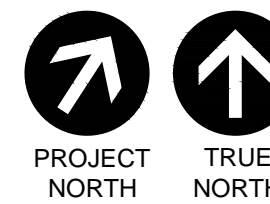
2175 N PACIFIC HWY
WOODBURN, OREGON 97071

ARCHITECTURAL PLANS



NEW SHOP BUILDING

1 AERIAL VIEW - SITE PLAN
SCALE: NTS



DESIGN TEAM

BUILDING OWNER & GENERAL CONTRACTOR:

WALSH ENTERPRISES & HOLDINGS, INC
2175 N PACIFIC HWY
WOODBURN, OR 97071
JAMES WALSH, OWNER
MERLE WOOD, MANAGER
mwood@fleetsaleswest.com
971-563-1549

ARCHITECT

A C + CO ARCHITECTS
1100 LIBERTY STREET SE, SUITE 200
SALEM, OR 97302
BLAKE BURAL
bbural@accoac.com
503-581-4114

LANDSCAPE ARCHITECT

LAURUS DESIGNS, LLC
1012 PINE STREET
SILVERTON, OR 97381
LAURA ANTONSON, PLA
laura@laurusdesigns.com
503-784-6494

SURVEYOR

UDELL ENGINEERING AND LAND SURVEYING, LLC
61 EAST ASH ST.
LEBANON, OR 97355
KYLE W. LATIMER, PLS
542-451-5125

PLANNING

CASCADIA PLANNING & DEVELOPMENT SERVICES
BOX 1920
SILVERTON, OR 97381
STEVE KAY, AICP
steve@cascadiapd.com
503-804-1089

CIVIL ENGINEERS

WESTECH ENGINEERING, INC.
3841 FAIRVIEW INDUSTRIAL DRIVE, SE
SALEM, OR 97302
JOSH WELLS, PE
jwells@westech-eng.com
503-585-3986

STRUCTURAL ENGINEER (SLAB & FOUNDATION)

MOUNTAIN VIEW ENGINEERING INC
345 NORTH MAIN STREET, SUITE A
BRIGHAM CITY, UT 84302
BRAD WALLACE, SE
435-734-9700

PRE-ENGINEERED METAL BLDG MFRG

PACIFIC BUILDING SYSTEMS
2100 N PACIFIC HWY
WOODBURN, OR 97071
www.pbsbuildings.com
503-981-9581

DRAWINGS

ARCHITECTURAL

A0.1 PROJECT INFO, CODE COMPLIANCE
A0.2 SURVEY
AD1.1 SITE PLAN - DEMO
A1.1 SITE PLAN - NEW CONSTRUCTION
A2.1 BUILDING PLANS & ELEVATIONS
A4.1 ENLARGED PLAN & ELEVATIONS - RESTROOM

CIVIL

X
X
X
X
X

STRUCTURAL (SLAB & FOUNDATIONS)

F-1 FOUNDATION PLAN
F-2 FOUNDATION DETAILS

STRUCTURAL (PRE-ENGINEERED METAL BUILDING)

CS1 COVER SHEET
F1 ANCHOR BOLT PLAN
F2 ANCHOR BOLT REACTIONS
F3 ANCHOR BOLT REACTIONS
E1 ROOF FRAMING
E2 ROOF SHEATHING
E3 ROOF INSULATION
E4 SIDEWALL FRAMING
E5 SIDEWALL FRAMING
E6 ENDWALL FRAMING
E7 ENDWALL FRAMING
E8 WALL INSULATION
E9 RIGID FRAME ELEVATION
E10 RIGID FRAME ELEVATION
D1 DETAIL DRAWINGS
D2 DETAIL DRAWINGS
D3 DETAIL DRAWINGS
D4 DETAIL DRAWINGS
D5 DETAIL DRAWINGS

GENERAL NOTES

- GENERAL NOTES APPLY TO ALL DRAWINGS
- DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
- DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF WORK IN QUESTION.
- THIS PROJECT MAY OR MAY NOT BE CONSTRUCTED UTILIZING PROFESSIONAL GEO-TECHNICAL ENGINEERING SERVICES. THE ARCHITECT SHALL NOT BE LIABLE FOR SETTLEMENT OR DIFFERENTIAL SETTLEMENTS OF OR WITHIN THE BUILDING. EXTERIOR CONCRETE SLABS OR ASPHALT PAVING..
- REFER TO OWNER FOR ALL FINISHES
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFO.

SEPARATE PERMITS

- ELECTRICAL DESIGN-BUILD DRAWINGS & SPECS
- MECHANICAL DESIGN-BUILD DRAWINGS & SPECS

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2022.0062

DATE: SEPT 29, 2022

DRAWN: RG

REVISIONS:

CODE COMPLIANCE

NOTE: REFER TO (1) FOR ADDITIONAL CODE COMPLIANCE INFORMATION

GENERAL INFORMATION

PROJECT:
FLEET SALES INC. - SHOP BUILDING
2175 N. PACIFIC HWY, WOODBURN, OR 97071
CONSTRUCT (1) PRE-ENGINEERED METAL BUILDING FOR REPAIR OF TOW-TRUCKS
PROJECT NO.: 2022.0062

CODES:
2019 OREGON STRUCTURAL SPECIALTY CODE BASED ON 2018 IBC
2019 OREGON FIRE CODE
2019 OREGON ENERGY CODE

USE & OCCUPANCY - CHAPTER 3

TOW-TRUCK REPAIR S-1 OCC (MODERATE-HAZARD STORAGE) SECT 311.2
(MOTOR-VEHICLE REPAIR GARAGES)

GENERAL BUILDING HEIGHTS & AREAS - CHAPTER 5

CONSTRUCTION TYPE: II-B - NON-SPRINKLERED
BUILDING HEIGHT: 20 FT < 55 FT ALLOWED (COMPLIES) TABLE 504.3
1 STORY = 1 STORY ALLOWED (COMPLIES) TABLE 504.4
7,200 SQ FT < 17,500 SQ FT BASE ALLOWED (COMPLIES) TABLE 506.2

CONSTRUCTION TYPES - CHAPTER 6

EXISTING BUILDING CONSTRUCTION TYPE: II-B - NON-SPRINKLERED
BUILDING ELEMENTS: FIRE RESISTANCE RATING REQUIRED, HOURS TABLE 601
PRIMARY STRUCTURAL FRAME: 0
EXTERIOR BEARING WALLS: 0
INTERIOR BEARING WALLS: 0
EXTERIOR NONBEARING WALLS: 0
INTERIOR NONBEARING WALLS: 0
FLOOR & ROOF CONSTRUCTION: 0

EXTERIOR WALL FIRE RATING REQUIRED BASED ON SEPARATION DISTANCE SEPARATION DISTANCE, TYPE II-B CONSTRUCTION, S-1 OCCUPANCY: TABLE 602
10 FT < X < 30 FT: 0-HR ALLOWED
X > 30 FT: 0-HR ALLOWED

NEW BLDG - P/L WEST: 10 FT TO P/L THEREFORE, 0-HR RATING REQUIRED (COMPLIES)
NEW BLDG - EXIST. BLDG EAST: 40'-0" SEPARATION THEREFORE, 0-HR RATING REQUIRED (COMPLIES)
NEW BLDG - NORTH & SOUTH: SEPARATION > 30 FT THEREFORE, 0-HR RATING REQUIRED (COMPLIES)

FIRE & SMOKE PROTECTION - CHAPTER 7

EXTERIOR WALLS - OPENINGS: MAX. AREA OF WALL OPNS BASED ON FIRE SEP. DISTANCE & OPENING PROTECTION TABLE 705.8
DOORS & WINDOWS - UNPROTECTED OPENINGS, NON-SPRINKLERED:
EAST WALL - EXISTING BLDG AT EAST = 40 FT SEPARATION;
20 FT FIRE SEPARATION, OPENINGS 45% OF WALL AREA
WALL AREA = 20' x 120' = 2,400 SQ FT
OPENINGS = 4 x 14' x 14' = 784 SQ FT = 32.7% < 45% (COMPLIES)

FIRE PROTECTION FEATURES - CHAPTER 9

FIRE EXTINGUISHERS: (1) LOCATED AT EACH EXIT + (1) AT BLDG E, EAST WALL

MEANS OF EGRESS - CHAPTER 10

OCCUPANT LOAD: TABLE 1004.5
SHOP (PER FABRICATION AND MANUFACTURING AREAS): 200 SF / OCCUPANT
7,200 SF @ 200 SF / OCC = 36 OCCUPANTS

NUMBER OF EXITS: COMMON PATH OF TRAVEL, OL > 30: 75 FT MAX ALLOWED
120+ FT PROVIDED, THEREFORE, (2) EXITS REQUIRED
(2) EXITS PROVIDED (COMPLIES) SECT 1006.2.1

EXIT SEPARATION DISTANCE: SEPARATION REQD > 1/2 MAX DIAG. DIMENSION OF AREA SERVED SECT 1007.1.1
DIAGONAL DIMENSION = 132'-0"
EXIT SEPARATION = 120 FT > 1/2 x 132'-0" (COMPLIES)

EXIT SIGNS: REQUIRED SECT 1013.1

EXIT DISTANCE: 200 FT MAX ALLOWED, S-1 OCC, UNSPRINKLERED
100'-0" PROVIDED < 200 FT (COMPLIES) TABLE 1017.2

PLUMBING - CHAPTER 29

TOILET FACILITIES: SECT 2902.2 EX 4
SEPARATE FACILITIES NOT REQUIRED IN BUSINESS OCCUPANCIES OF 50 OR FEWER

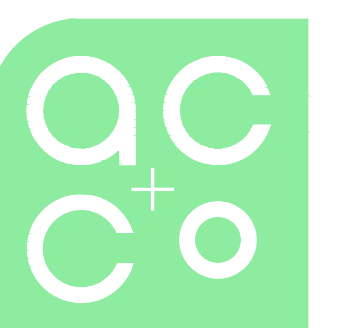
ENERGY CODE - BUILDING ENVELOPE - CHAPTER 5

CLIMATE ZONE, ASHRAE STANDARD 169: 4C TABLE B-1

BUILDING ENVELOPE REQUIREMENTS FOR CLIMATE ZONE 4C: METAL BUILDING, SEMI-HEATED SPACE TABLE 5.5-4

ROOF: R-19
WALLS (ABOVE GRADE): R-13
SLAB-ON-GRADE FLOOR, UNHEATED: NOT REQUIRED
OPAQUE DOORS, SWINGING: U-0.370 (R = 2.70)
OPAQUE DOORS, NON-SWINGING: U-0.360 (R = 2.78)
SKYLIGHT (TO 3% OF ROOF, MAX): NOT REQUIRED

ATTACHMENT 107



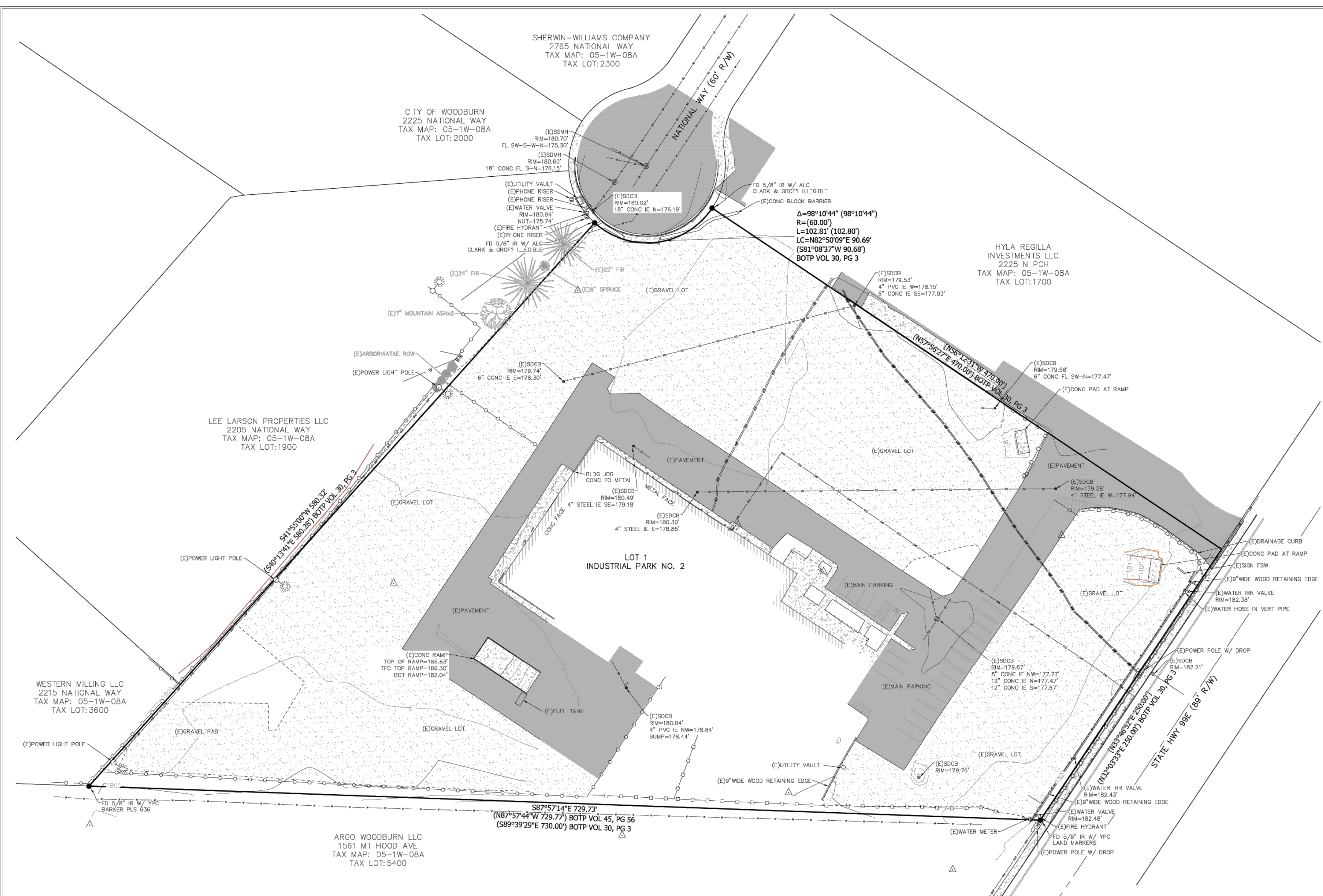
ARCHITECTURE
COMMUNITY
1100 Liberty Street, Suite 200
Salem, OR 97302
P: 503.581.4114
www.accoac.com

FLEET SALES WEST
SHOP BUILDING
2175 N PACIFIC HWY
WOODBURN, OREGON 97071

COVER SHEET -
PROJECT INFORMATION,
CODE COMPLIANCE

SHEET

A0.1



- EXISTING SYMBOL LEGEND**
- - FOUND MONUMENT AS NOTED
 - - (E) BOLLARD
 - △ - (E) CONTROL POINT
 - - (E) GAS METER
 - - (E) LIGHT POLE
 - ▭ - (E) MAILBOX
 - ⊕ - (E) PHONE RISER
 - ⊖ - (E) POWER JUNCTION BOX
 - ⊕ - (E) POWER PEDESTAL
 - ⊕ - (E) POWER CABINET
 - ⊕ - (E) POWER LIGHT POLE W/ DROP
 - ⊕ - (E) POWER POLE W/DROP
 - ⊕ - (E) POWER METER
 - ⊕ - (E) POWER RISER
 - ⊕ - (E) POWER TRANSFORMER
 - ⊕ - (E) SANITARY MANHOLE
 - ⊕ - (E) STORM CATCH BASIN
 - ⊕ - (E) STORM MANHOLE
 - ⊕ - (E) STORM ROOF DRAIN
 - ⊕ - (E) SIGN
 - - (E) TREE ARBORVITAE
 - - (E) TREE EVERGREEN
 - - (E) TREE DECIDUOUS
 - ⊕ - (E) UTILITY VAULT
 - ⊕ - (E) WATER BLOWOFF
 - ⊕ - (E) WATER FIRE HYDRANT
 - ⊕ - (E) WATER METER
 - ⊕ - (E) WATER VALVE
 - ⊕ - (E) CONCRETE
 - ⊕ - (E) GRAVEL
 - ⊕ - (E) PAVEMENT
 - ⊕ - (E) CHAINLINK FENCE
 - ⊕ - (E) WOOD FENCE
 - SD — (E) STORM DRAIN LOCATE PAINT
 - SS — (E) SANITARY SEWER LOCATE PAINT
 - W — (E) WATER LOCATE PAINT
 - PH — (E) PHONE LOCATE PAINT
 - UGP — (E) UNDERGROUND POWER LOCATE
 - OHP — (E) OVERHEAD POWER
 - GAS — (E) GAS LINE LOCATE
- ABBREVIATIONS LEGEND**
- (E) - EXISTING
 - BLDG - BUILDING
 - CONC - CONCRETE
 - CB - CATCH BASIN
 - FD - FOUND
 - FF - FINISH FLOOR
 - FH - FIRE HYDRANT
 - FL - FLOW LINE
 - IE - INVERT ELEVATION (FLOW LINE)
 - IR - IRON ROD
 - IP - IRON PIPE
 - MH - MANHOLE
 - RPC - RED PLASTIC CAP
 - R - RADIUS
 - R/W - RIGHT-OF-WAY
 - SS - SANITARY SEWER
 - SD - STORM DRAIN
 - SQ FT - SQUARE FEET
 - TFC - TOP FACE OF CURB
 - W/ - WITH
 - YPC - YELLOW PLASTIC CAP

CLIENT:
 MERLE WOOD
 2175 N PACIFIC HIGHWAY
 WOODBURN, OR 97071
 971-563-1549

UDELL ENGINEERING AND LAND SURVEYING, LLC
 63 EAST ASH ST.
 LEBANON, OREGON 97335
 (541) 451-5125 PH.
 (541) 451-1366 FAX

EXISTING CONDITIONS
 WALSH ENTERPRISES & HOLDINGS LLC
 2175 N PACIFIC HIGHWAY
 WOODBURN, OR 97071

DATE: 5/12/2022
 PROJECT: 22-025 WOODBURN/LEC
 DRAWN BY: AWO
 CHECKED BY: KYL

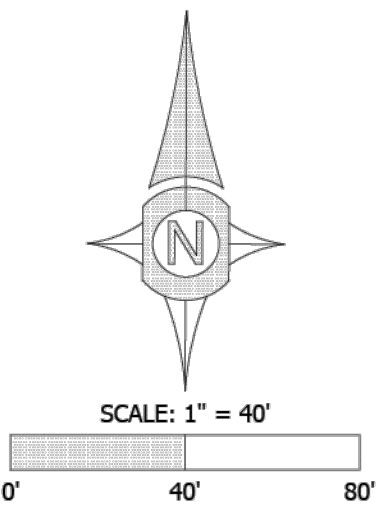
REGISTERED PROFESSIONAL LAND SURVEYOR
 Digitally signed by Kyle W Latimer
 OREGON JUNE 12, 2013
 KYLE W. LATIMER #80442
 EXPIRES 12-31-2022

Sheet of 1
 SCALE: SEE BARS SCALE

PROJECT VERTICAL DATUM -- NGVD 29
 ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. ELEVATIONS WERE ESTABLISHED BY PROCESSING A STATIC GNSS OBSERVATION THROUGH OPUS. CONTRACTOR IS TO NOTIFY ENGINEER/SURVEYOR TWO WORKING DAYS PRIOR TO DISTURBING EXISTING SURVEY MONUMENT(S). SURVEYOR IS TO RESTORE PER COUNTY SURVEYOR REQUIREMENTS AND OAR 209.150.

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.



THIS SURVEY HAS BEEN INCLUDED FOR CONTRACTOR REFERENCE INFORMATION ONLY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

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JOB NO.: 2022.0062
 DATE: SEPT 29, 2022
 DRAWN: RG
 REVISIONS:

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 ARCHITECTURE COMMUNITY
 1100 Liberty Street SE, Suite 200
 Salem, OR 97302
 P: 503.581.4114
 www.accoas.com

FLEET SALES WEST SHOP BUILDING
 2175 N PACIFIC HWY
 WOODBURN, OREGON 97071

SURVEY SHEET
A0.2

GENERAL NOTES

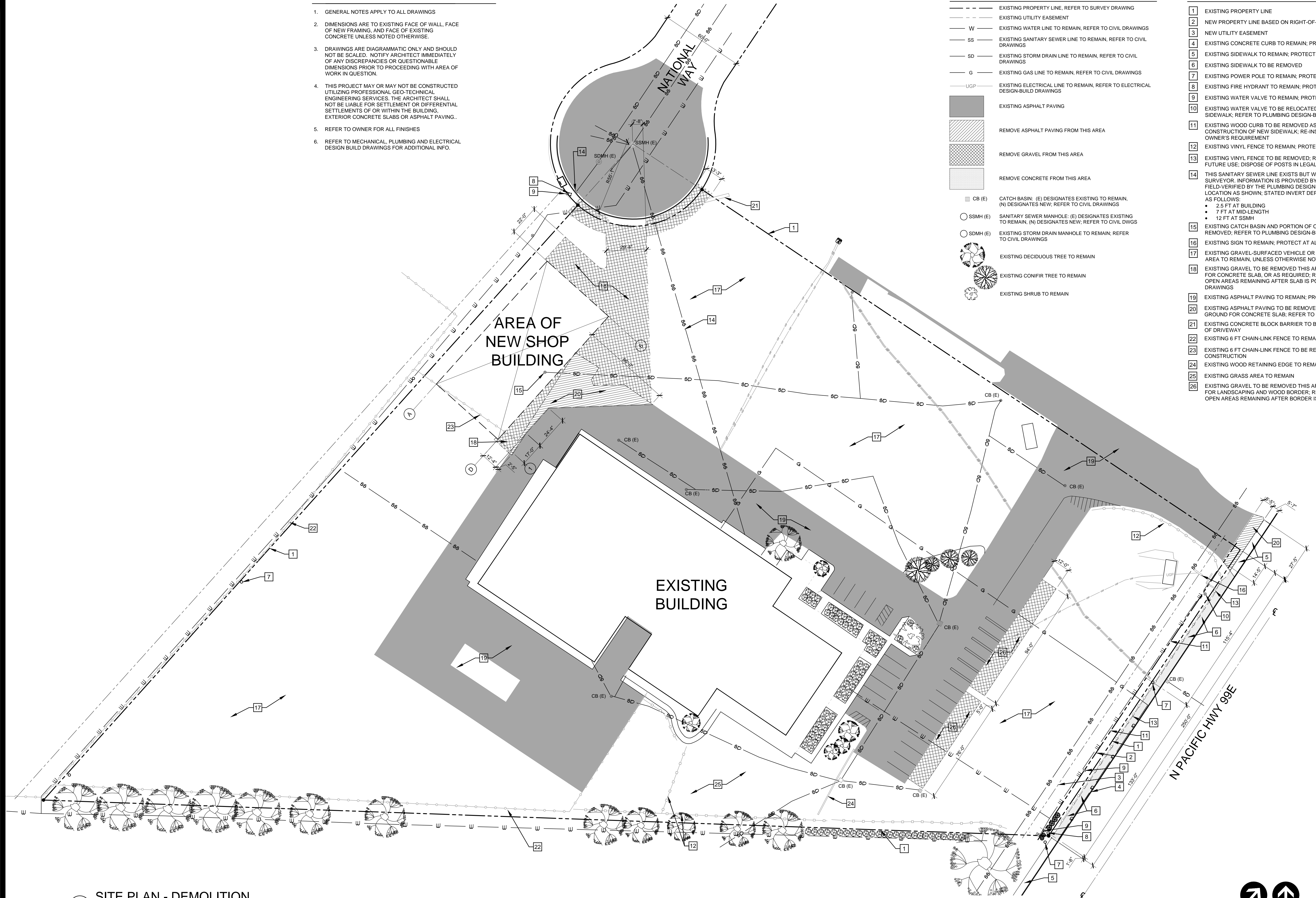
- GENERAL NOTES APPLY TO ALL DRAWINGS
- DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
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- THIS PROJECT MAY OR MAY NOT BE CONSTRUCTED UTILIZING PROFESSIONAL GEO-TECHNICAL ENGINEERING SERVICES. THE ARCHITECT SHALL NOT BE LIABLE FOR SETTLEMENT OR DIFFERENTIAL SETTLEMENTS OF OR WITHIN THE BUILDING EXTERIOR CONCRETE SLABS OR ASPHALT PAVING..
- REFER TO OWNER FOR ALL FINISHES
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFO.

SYMBOL LEGEND:

- EXISTING PROPERTY LINE, REFER TO SURVEY DRAWING
- - - EXISTING UTILITY EASEMENT
- W EXISTING WATER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- SS EXISTING SANITARY SEWER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- SD EXISTING STORM DRAIN LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- G EXISTING GAS LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- UGP EXISTING ELECTRICAL LINE TO REMAIN, REFER TO ELECTRICAL DESIGN-BUILD DRAWINGS
- █ EXISTING ASPHALT PAVING
- ▨ REMOVE ASPHALT PAVING FROM THIS AREA
- ▩ REMOVE GRAVEL FROM THIS AREA
- ▧ REMOVE CONCRETE FROM THIS AREA
- CB (E) CATCH BASIN: (E) DESIGNATES EXISTING TO REMAIN, (N) DESIGNATES NEW; REFER TO CIVIL DRAWINGS
- SSMH (E) SANITARY SEWER MANHOLE: (E) DESIGNATES EXISTING TO REMAIN, (N) DESIGNATES NEW; REFER TO CIVIL DWGS
- SDMH (E) EXISTING STORM DRAIN MANHOLE TO REMAIN; REFER TO CIVIL DRAWINGS
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFER TREE TO REMAIN
- EXISTING SHRUB TO REMAIN

REFERENCE NOTES

- EXISTING PROPERTY LINE
- NEW PROPERTY LINE BASED ON RIGHT-OF-WAY DEDICATION
- NEW UTILITY EASEMENT
- EXISTING CONCRETE CURB TO REMAIN; PROTECT AT ALL TIMES
- EXISTING SIDEWALK TO REMAIN; PROTECT AT ALL TIMES
- EXISTING SIDEWALK TO BE REMOVED
- EXISTING POWER POLE TO REMAIN; PROTECT AT ALL TIMES
- EXISTING FIRE HYDRANT TO REMAIN; PROTECT AT ALL TIMES
- EXISTING WATER VALVE TO REMAIN; PROTECT AT ALL TIMES
- EXISTING WATER VALVE TO BE RELOCATED OUTSIDE OF NEW SIDEWALK; REFER TO PLUMBING DESIGN-BUILD DRAWINGS
- EXISTING WOOD CURB TO BE REMOVED AS REQUIRED FOR CONSTRUCTION OF NEW SIDEWALK; RE-INSTALL OR RELOCATE PER OWNER'S REQUIREMENT
- EXISTING VINYL FENCE TO REMAIN; PROTECT AT ALL TIMES
- EXISTING VINYL FENCE TO BE REMOVED; RETAIN STRINGERS FOR FUTURE USE; DISPOSE OF POSTS IN LEGAL MANNER
- THIS SANITARY SEWER LINE EXISTS BUT WAS NOT LOCATED BY THE SURVEYOR. INFORMATION IS PROVIDED BY THE OWNER, AND IS TO BE FIELD-VERIFIED BY THE PLUMBING DESIGN-BUILD CONTRACTOR: LOCATION AS SHOWN; STATED INVERT DEPTHS BELOW FINISH GRADE AS FOLLOWS:
 - 2.5 FT AT BUILDING
 - 7 FT AT MID-LENGTH
 - 12 FT AT SSMH
- EXISTING CATCH BASIN AND PORTION OF OUTFLOW LINE TO BE REMOVED; REFER TO PLUMBING DESIGN-BUILD DRAWINGS
- EXISTING SIGN TO REMAIN; PROTECT AT ALL TIMES
- EXISTING GRAVEL-SURFACED VEHICLE OR EQUIPMENT STORAGE AREA TO REMAIN, UNLESS OTHERWISE NOTED
- EXISTING GRAVEL TO BE REMOVED THIS AREA; PREPARE GROUND FOR CONCRETE SLAB, OR AS REQUIRED; RE-INSTALL GRAVEL INTO OPEN AREAS REMAINING AFTER SLAB IS POURED; REFER TO CIVIL DRAWINGS
- EXISTING ASPHALT PAVING TO REMAIN; PROTECT AT ALL TIMES
- EXISTING ASPHALT PAVING TO BE REMOVED THIS AREA; PREPARE GROUND FOR CONCRETE SLAB; REFER TO CIVIL DRAWINGS
- EXISTING CONCRETE BLOCK BARRIER TO BE REMOVED BOTH SIDES OF DRIVEWAY
- EXISTING 6 FT CHAIN-LINK FENCE TO REMAIN; PROTECT AT ALL TIMES
- EXISTING 6 FT CHAIN-LINK FENCE TO BE REMOVED FOR BUILDING CONSTRUCTION
- EXISTING WOOD RETAINING EDGE TO REMAIN
- EXISTING GRASS AREA TO REMAIN
- EXISTING GRAVEL TO BE REMOVED THIS AREA; PREPARE GROUND FOR LANDSCAPING AND WOOD BORDER; RE-INSTALL GRAVEL INTO OPEN AREAS REMAINING AFTER BORDER IS IN PLACE



1 SITE PLAN - DEMOLITION
SCALE: 1" = 30'

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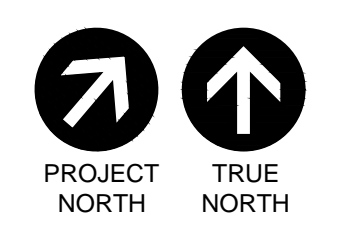
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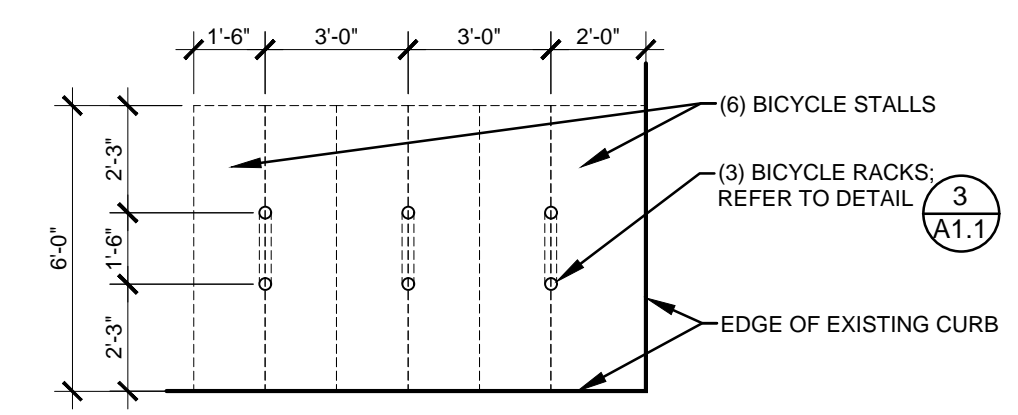
**FLEET SALES WEST
SHOP BUILDING**
2175 N PACIFIC HWY
WOODBURN, OREGON 97071

SITE PLAN -
DEMOLITION

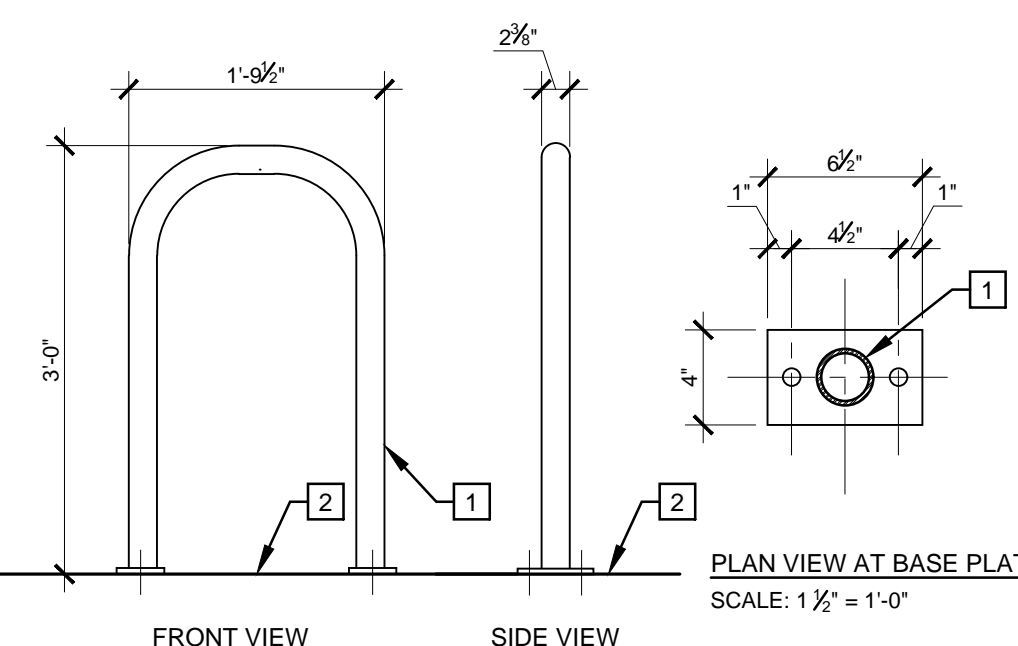
SHEET

AD1.1





2 BICYCLE RACKS - PLAN
SCALE: 1/4" = 1'-0"



1 2" NOM. DIA. SCH. 40 STEEL PIPE, WELD EACH LEG TO 1/2" BASE PLATE; EASE BASE PLATE EDGES AND CORNERS. POWDER COAT FINISH AFTER FABRICATION; ANCHOR EACH LEG TO EXISTING CONCRETE OR ASPHALT SLAB WITH (2) 3/8" x 6" GALVANIZED THREADED RODS 4" MIN PENETRATION USING 2-PART EPOXY; WHEN EPOXY IS SET SECURE RACK IN PLACE WITH GALVANIZED NUT AT EACH ROD, TOP OF ROD TO PROJECT 1/2" MAX ABOVE NUT; TACK-WELD NUTS TO BASE PLATE TO PREVENT EASY REMOVAL.

2 EXISTING SLAB ON GRADE

3 BIKE RACK ANCHORAGE DETAIL
SCALE: 3/4" = 1'-0" (OR AS NOTED) 22062-A1.1-03

PARKING CALCULATIONS

Fleet Sales West Building Area Functions	Bldg area	area / parking stall	parking stalls calc	parking stalls required
Existing bldg				
warehouse, storage	50%	13,601 sf	5000	2.72
manufacturing	45%	12,241 sf	800	15.30
clerical	5%	1,360 sf	350	3.89
		27,202		
New shop bldg				
repair	100%	7,200 sf	3/service bay x 4 bays	12
Carpool/Vanpool parking (30-39 total)				2
			total parking required	37
			Existing parking	27
			Vacate (1) stall for east storage area access	-1
			Net existing parking	26
			New Parking Required	11
				2
Electric vehicle parking (20-39 spaces)				
Bicycle parking	15% of total parking req'd		5.55	6

GENERAL NOTES

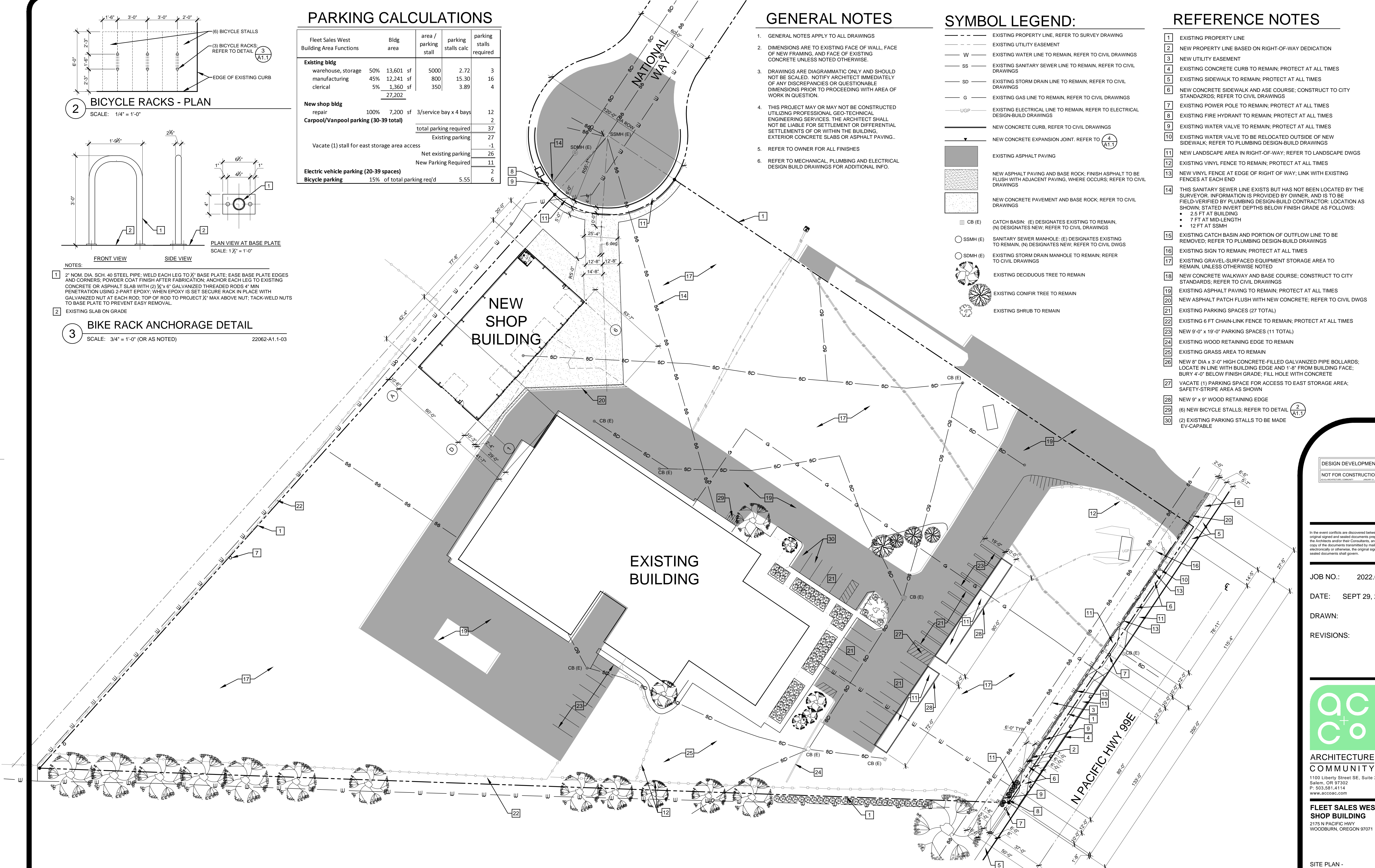
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- REFER TO OWNER FOR ALL FINISHES
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- SS EXISTING SANITARY SEWER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- SD EXISTING STORM DRAIN LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- G EXISTING GAS LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- UGP EXISTING ELECTRICAL LINE TO REMAIN, REFER TO ELECTRICAL DESIGN-BUILD DRAWINGS
- NEW CONCRETE CURB, REFER TO CIVIL DRAWINGS
- NEW CONCRETE EXPANSION JOINT, REFER TO (4) AT.1
- EXISTING ASPHALT PAVING
- NEW ASPHALT PAVING AND BASE ROCK; FINISH ASPHALT TO BE FLUSH WITH ADJACENT PAVING, WHERE OCCURS; REFER TO CIVIL DRAWINGS
- NEW CONCRETE PAVEMENT AND BASE ROCK; REFER TO CIVIL DRAWINGS
- CB (E) CATCH BASIN: (E) DESIGNATES EXISTING TO REMAIN, (N) DESIGNATES NEW; REFER TO CIVIL DRAWINGS
- SSMH (E) SANITARY SEWER MANHOLE: (E) DESIGNATES EXISTING TO REMAIN, (N) DESIGNATES NEW; REFER TO CIVIL DWGS
- SDMH (E) EXISTING STORM DRAIN MANHOLE TO REMAIN, REFER TO CIVIL DRAWINGS
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFER TREE TO REMAIN
- EXISTING SHRUB TO REMAIN

REFERENCE NOTES

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- NEW PROPERTY LINE BASED ON RIGHT-OF-WAY DEDICATION
- NEW UTILITY EASEMENT
- EXISTING CONCRETE CURB TO REMAIN; PROTECT AT ALL TIMES
- EXISTING SIDEWALK TO REMAIN; PROTECT AT ALL TIMES
- NEW CONCRETE SIDEWALK AND ASE COURSE; CONSTRUCT TO CITY STANDARDS; REFER TO CIVIL DRAWINGS
- EXISTING POWER POLE TO REMAIN; PROTECT AT ALL TIMES
- EXISTING FIRE HYDRANT TO REMAIN; PROTECT AT ALL TIMES
- EXISTING WATER VALVE TO REMAIN; PROTECT AT ALL TIMES
- EXISTING WATER VALVE TO BE RELOCATED OUTSIDE OF NEW SIDEWALK; REFER TO PLUMBING DESIGN-BUILD DRAWINGS
- NEW LANDSCAPE AREA IN RIGHT-OF-WAY; REFER TO LANDSCAPE DWGS
- EXISTING VINYL FENCE TO REMAIN; PROTECT AT ALL TIMES
- NEW VINYL FENCE AT EDGE OF RIGHT OF WAY; LINK WITH EXISTING FENCES AT EACH END
- THIS SANITARY SEWER LINE EXISTS BUT HAS NOT BEEN LOCATED BY THE SURVEYOR. INFORMATION IS PROVIDED BY OWNER, AND IS TO BE FIELD-VERIFIED BY PLUMBING DESIGN-BUILD CONTRACTOR; LOCATION AS SHOWN; STATED INVERT DEPTHS BELOW FINISH GRADE AS FOLLOWS:
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- EXISTING SIGN TO REMAIN; PROTECT AT ALL TIMES
- EXISTING GRAVEL-SURFACED EQUIPMENT STORAGE AREA TO REMAIN, UNLESS OTHERWISE NOTED
- NEW CONCRETE WALKWAY AND BASE COURSE; CONSTRUCT TO CITY STANDARDS; REFER TO CIVIL DRAWINGS
- EXISTING ASPHALT PAVING TO REMAIN; PROTECT AT ALL TIMES
- NEW ASPHALT PATCH FLUSH WITH NEW CONCRETE; REFER TO CIVIL DWGS
- EXISTING PARKING SPACES (27 TOTAL)
- EXISTING 6 FT CHAIN-LINK FENCE TO REMAIN; PROTECT AT ALL TIMES
- NEW 9'-0" x 19'-0" PARKING SPACES (11 TOTAL)
- EXISTING WOOD RETAINING EDGE TO REMAIN
- EXISTING GRASS AREA TO REMAIN
- NEW 8" DIA x 3'-0" HIGH CONCRETE-FILLED GALVANIZED PIPE BOLLARDS; LOCATE IN LINE WITH BUILDING EDGE AND 1'-8" FROM BUILDING FACE; BURY 4'-0" BELOW FINISH GRADE; FILL HOLE WITH CONCRETE
- VACATE (1) PARKING SPACE FOR ACCESS TO EAST STORAGE AREA; SAFETY-STRIPE AREA AS SHOWN
- NEW 9" x 9" WOOD RETAINING EDGE
- (6) NEW BICYCLE STALLS; REFER TO DETAIL (2) AT.1
- (2) EXISTING PARKING STALLS TO BE MADE EV-CAPABLE



1 SITE PLAN
SCALE: 1" = 30'

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

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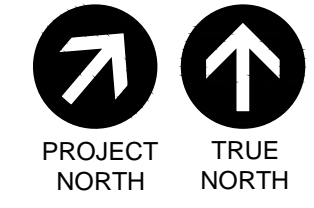
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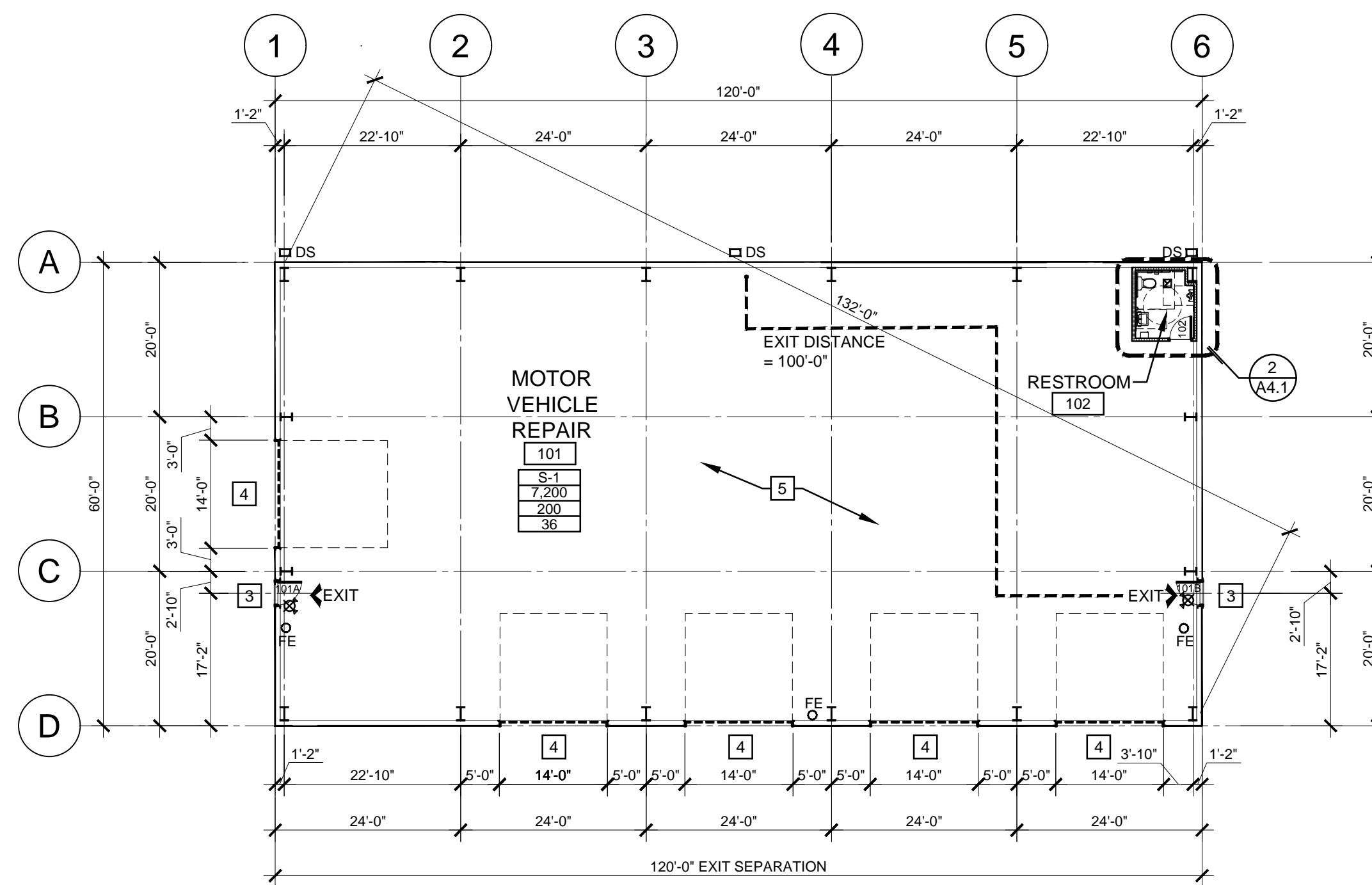
FLEET SALES WEST SHOP BUILDING
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WOODBURN, OREGON 97071

SITE PLAN -
NEW CONSTRUCTION

SHEET

A1.1





1 FLOOR PLAN & LIFE-SAFETY INFORMATION
 SCALE: 1/16" = 1'-0"
 PROJECT NORTH

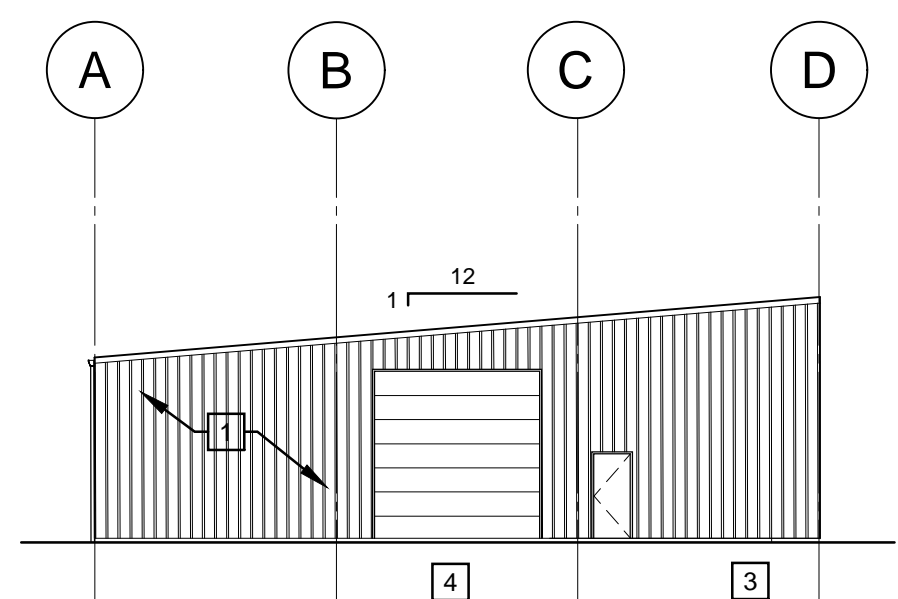
- REFERENCE NOTES**
- BUILDING FRAMING, SIDING, ROOFING, GUTTERS, DOWNSPOUTS AND RELATED REQUIRED BUILDING MATERIALS PER PEMB BUILDING MFR - TYP; REFER ALSO TO (7)
 - NOT USED
 - 3'-0" x 7'-0" MAN-DOOR; HEAD, JAMB AND THRESHOLD DETAILS AND INSTALLATION PER BUILDING MFR.; HARDWARE PER OWNER'S REQUIREMENT; WEATHERSTRIP ALL EDGES; REFER TO (6)
 - 14' x 14' SECTIONAL OVERHEAD DOOR; WEATHERSTRIP ALL EDGES; REFER TO (6)
 - CONCRETE SLAB BY OTHERS; REFER TO CIVIL DRAWINGS FOR FINISH FLOOR ELEVATION

- GENERAL NOTES**
- GENERAL NOTES APPLY TO ALL DRAWINGS
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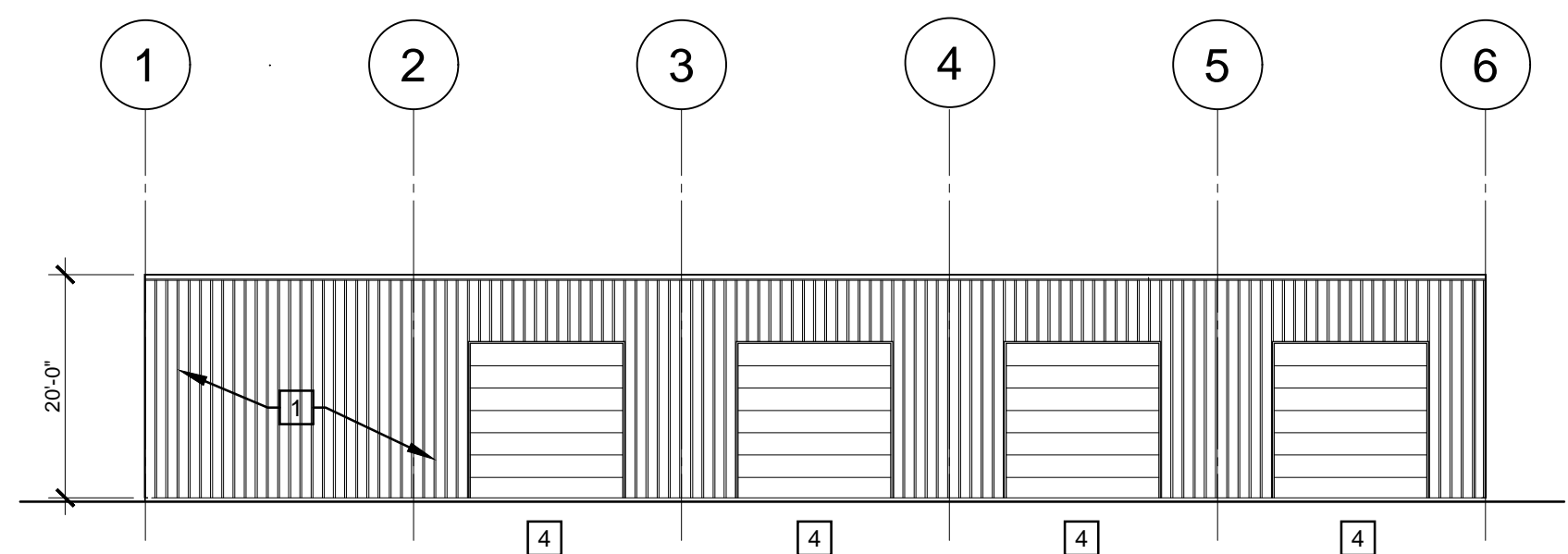
LEGEND

XXXXX	ROOM NAME / FUNCTION
X	OCCUPANCY CLASSIFICATION
000	FLOOR AREA, SQ FT
00	OCCUPANT LOAD FACTOR
0	OCCUPANTS

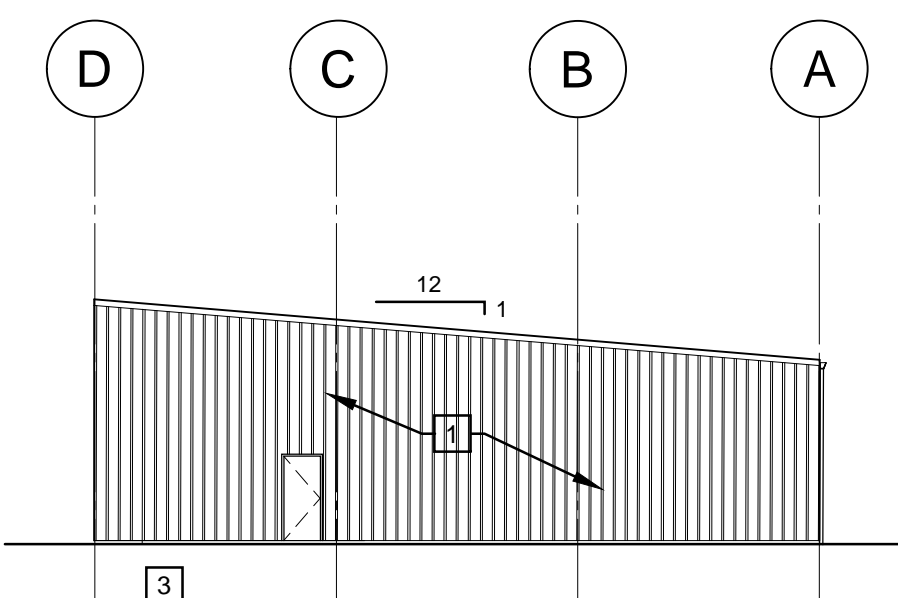
EXIT
 EXIT SIGN WITH EMERGENCY LIGHTING AND BATTERY BACKUP
 FE FIRE EXTINGUISHER
 MAN DOOR (EXISTING)
 MAN DOOR (NEW)
 OVERHEAD SECTIONAL DOOR
 DOWNSPOUT



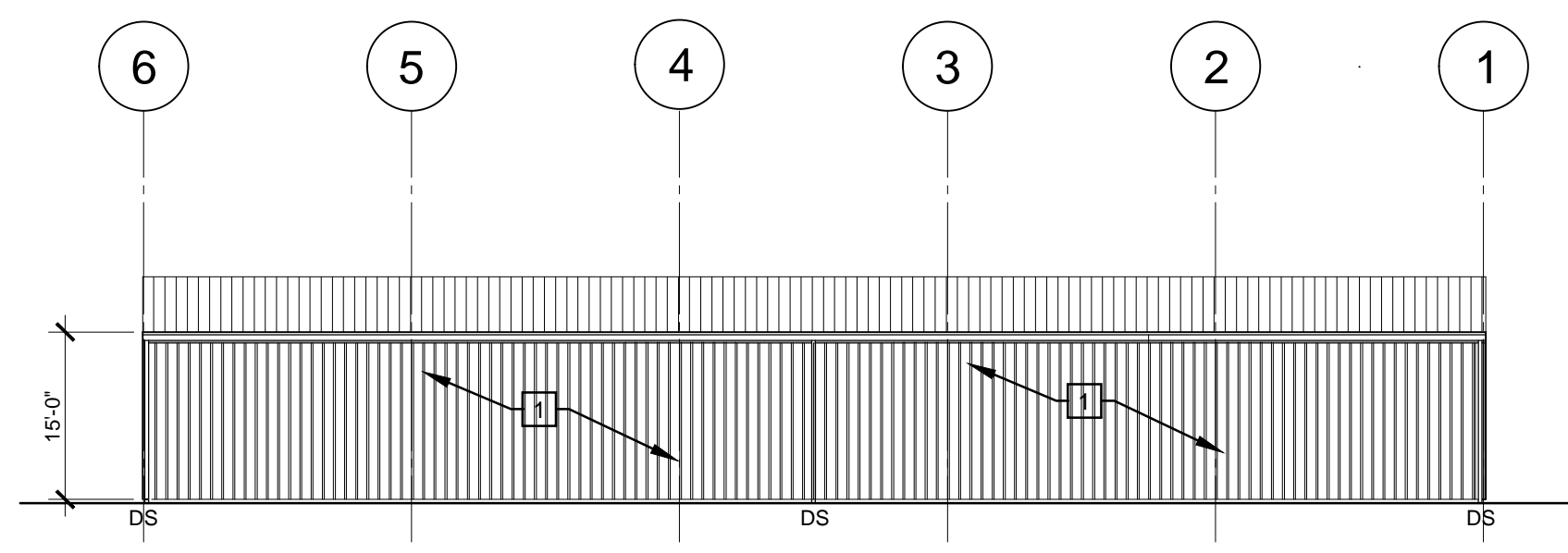
2 ELEVATION - SOUTH WALL (GRID LINE 1)
 SCALE: 1/16" = 1'-0"



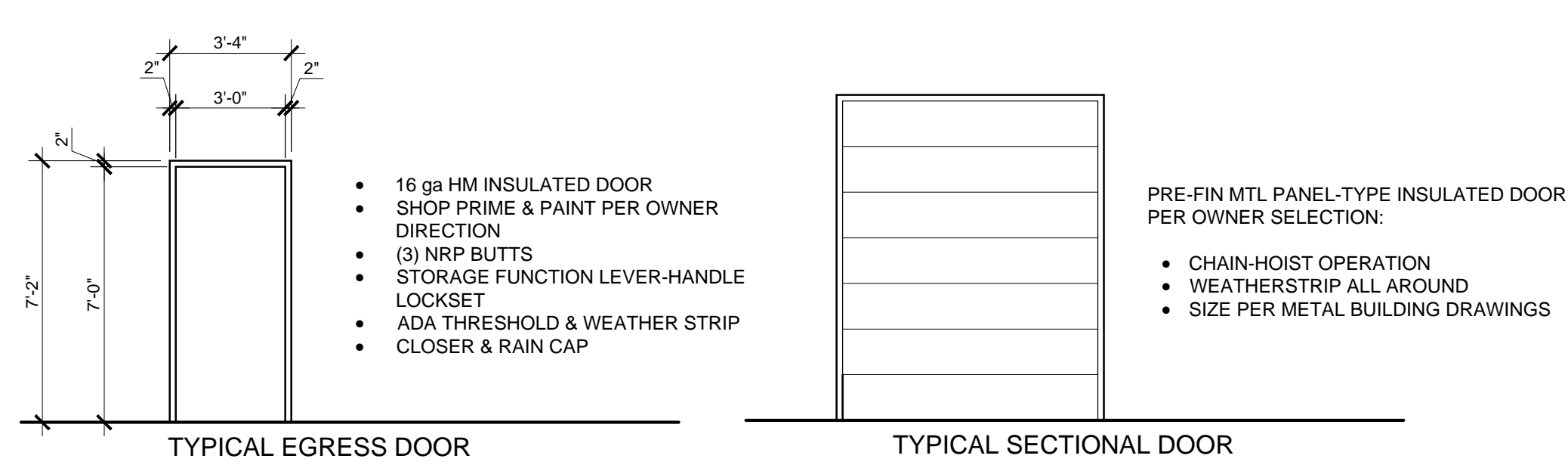
3 ELEVATION - EAST WALL (GRID LINE D)
 SCALE: 1/16" = 1'-0"



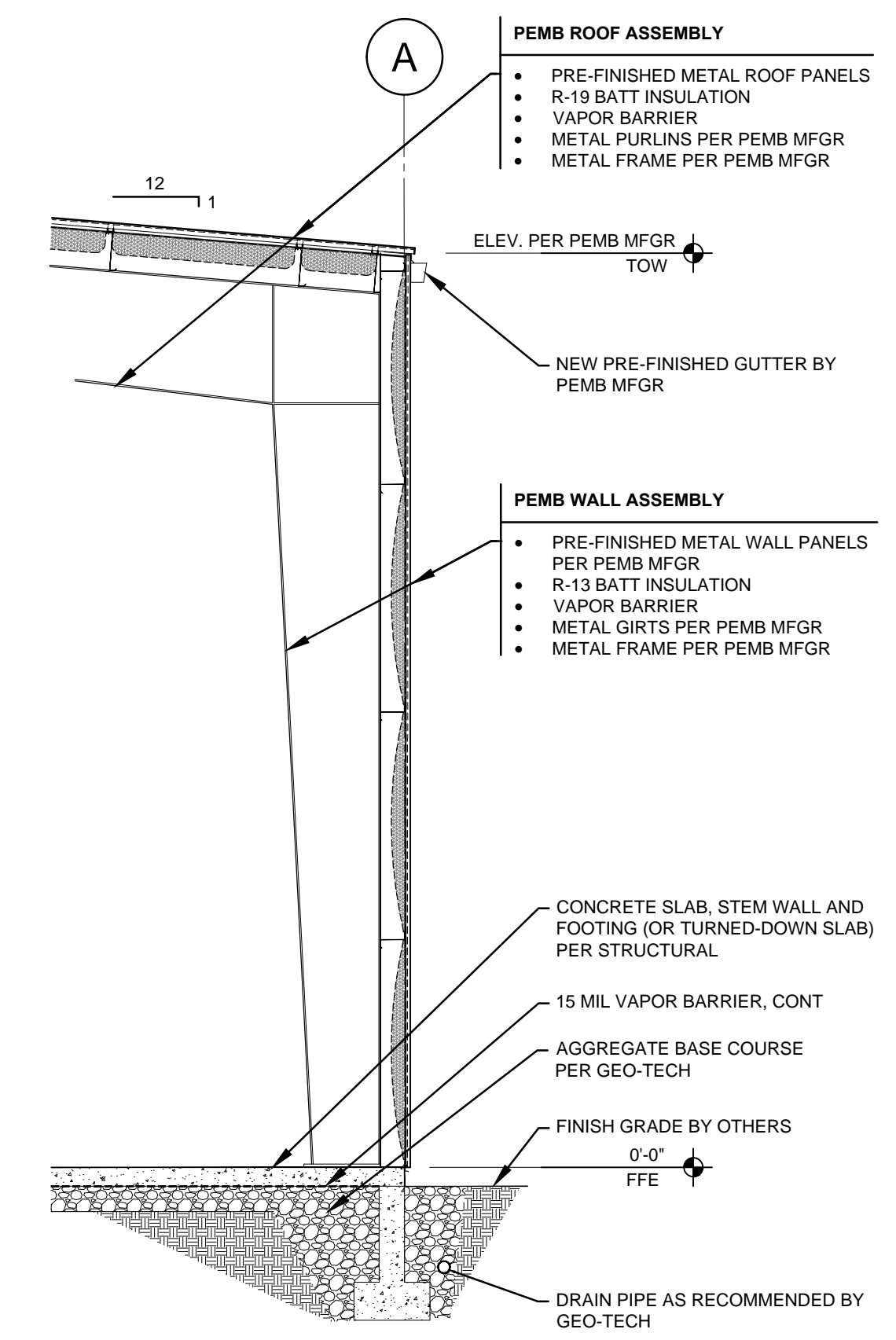
4 ELEVATION - NORTH WALL (GRID LINE 6)
 SCALE: 1/16" = 1'-0"



5 ELEVATION - WEST WALL (GRID LINE A)
 SCALE: 1/16" = 1'-0"



6 DOORS
 SCALE: 1/4" = 1'-0"

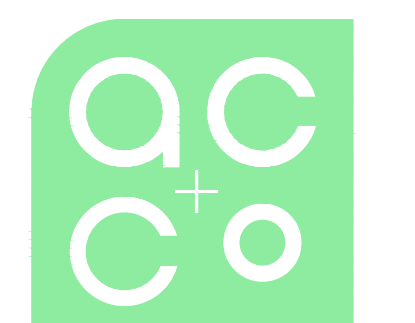


7 WALL SECTION
 SCALE: NTS

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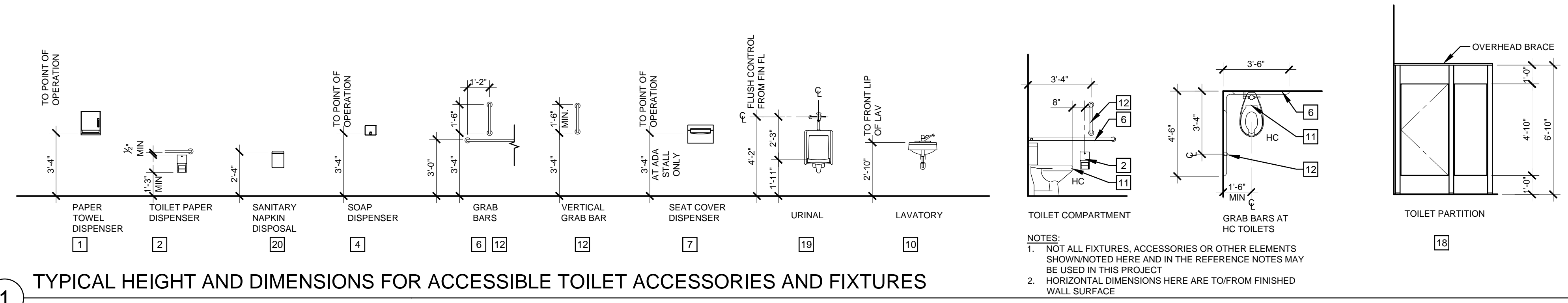


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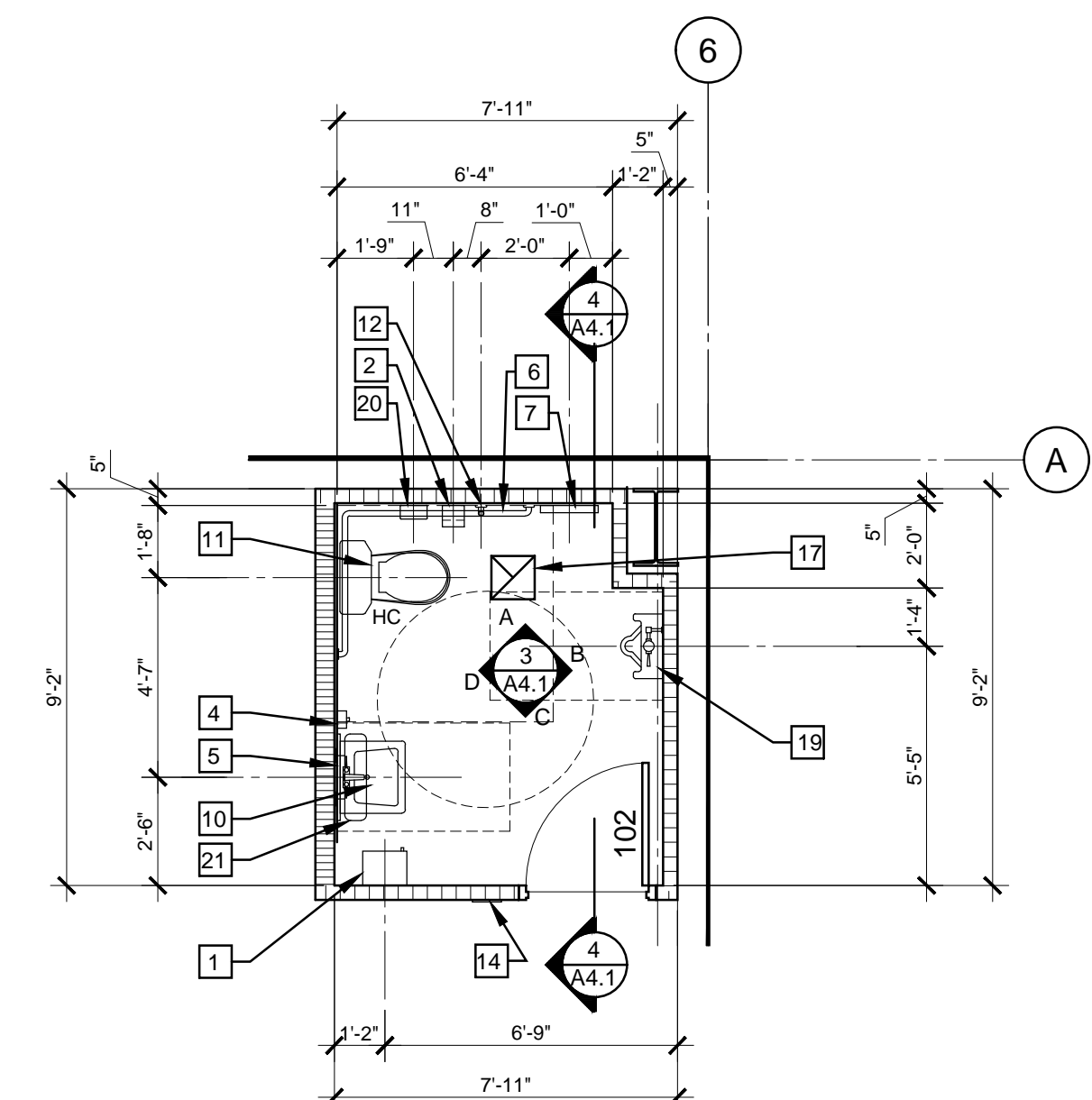
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NEW SHOP BUILDING
 PLAN & ELEVATIONS

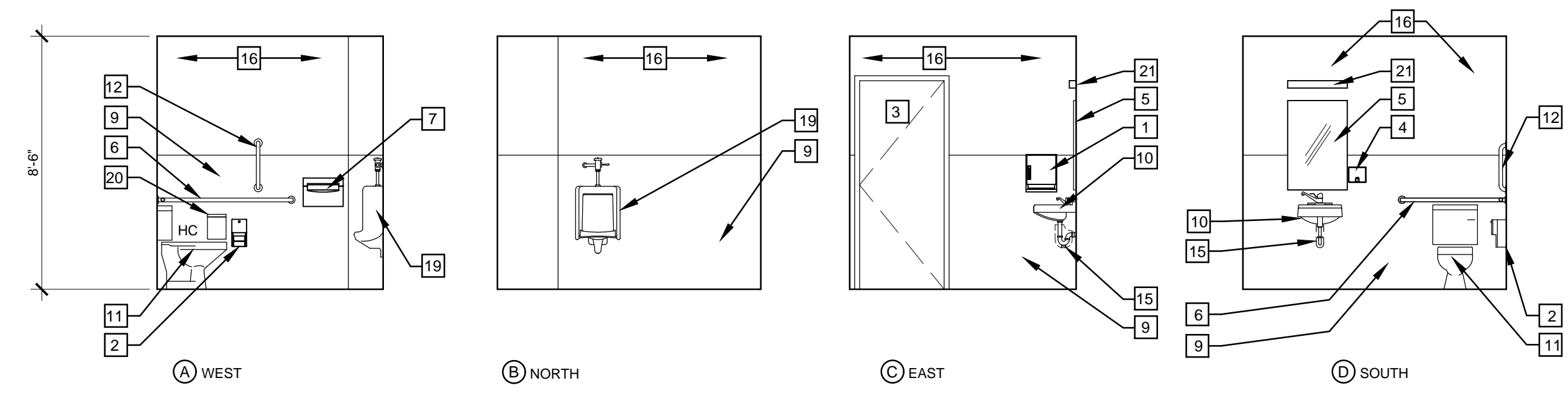
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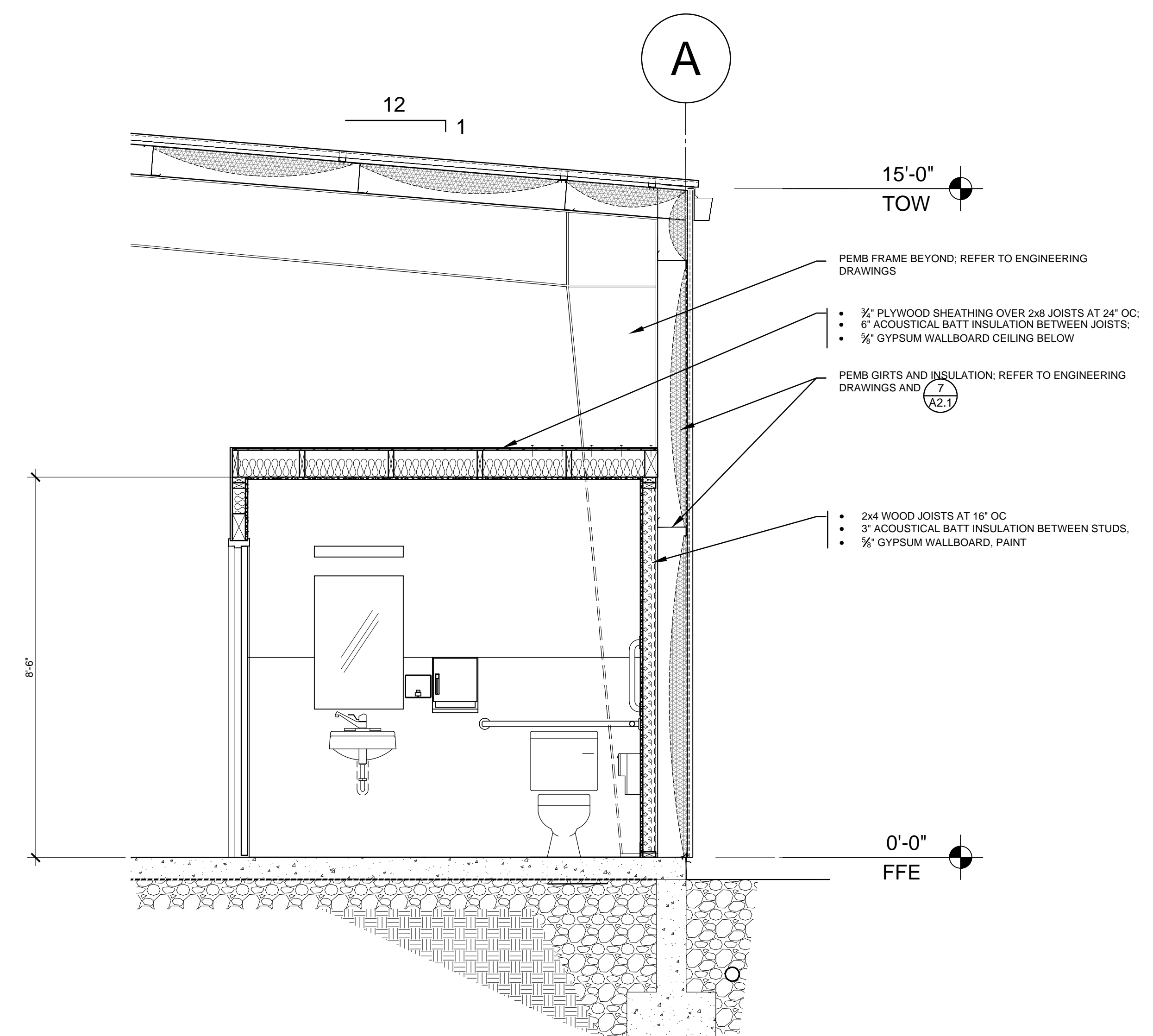
1 TYPICAL HEIGHT AND DIMENSIONS FOR ACCESSIBLE TOILET ACCESSORIES AND FIXTURES
SCALE: 1/4" = 1'-0"



2 RESTROOM 102 - FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 RESTROOM ELEVATIONS
SCALE: 1/4" = 1'-0"



4 SECTION AT RESTROOM 102
SCALE: 1/2" = 1'-0"

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RESTROOM REFERENCE NOTES:

- PAPER TOWEL DISPENSER
- TOILET PAPER HOLDER
- NOT USED
- SOAP DISPENSER
- MIRROR
- ONE PIECE GRAB BAR
- TOILET SEAT COVER DISPENSER
- NOT USED
- FRP WAINSCOTING TO 4'-6" AFF, TYP ALL RESTROOM WALLS
- LAVATORY, REFER TO DESIGN/BUILD PLUMBING DRAWINGS
- WATER CLOSET, HANDICAP ACCESSIBLE AS INDICATED (HC), REFER TO DESIGN/BUILD PLUMBING DRAWINGS
- VERTICAL GRAB BAR
- FLOOR DRAIN, REFER TO DESIGN/BUILD PLUMBING DRAWINGS
- ROOM SIGN; CONFIGURATION, LETTERING, MOUNTING HEIGHT PER ADA REQUIREMENTS
- ADA COMPLIANT UNDERSINK PROTECTION
- PAINT, REFER TO FINISH SCHEDULE
- CEILING-MOUNTED EXHAUST FAN; REFER TO MECHANICAL DESIGN-BUILD DRAWINGS
- NOT USED
- URINAL
- SANITARY NAPKIN DISPOSAL
- WALL MOUNT LIGHT FIXTURE

NOTE: THIS SHEET NEEDS STRUCTURAL NOTES

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DRAWN: RG

REVISIONS:

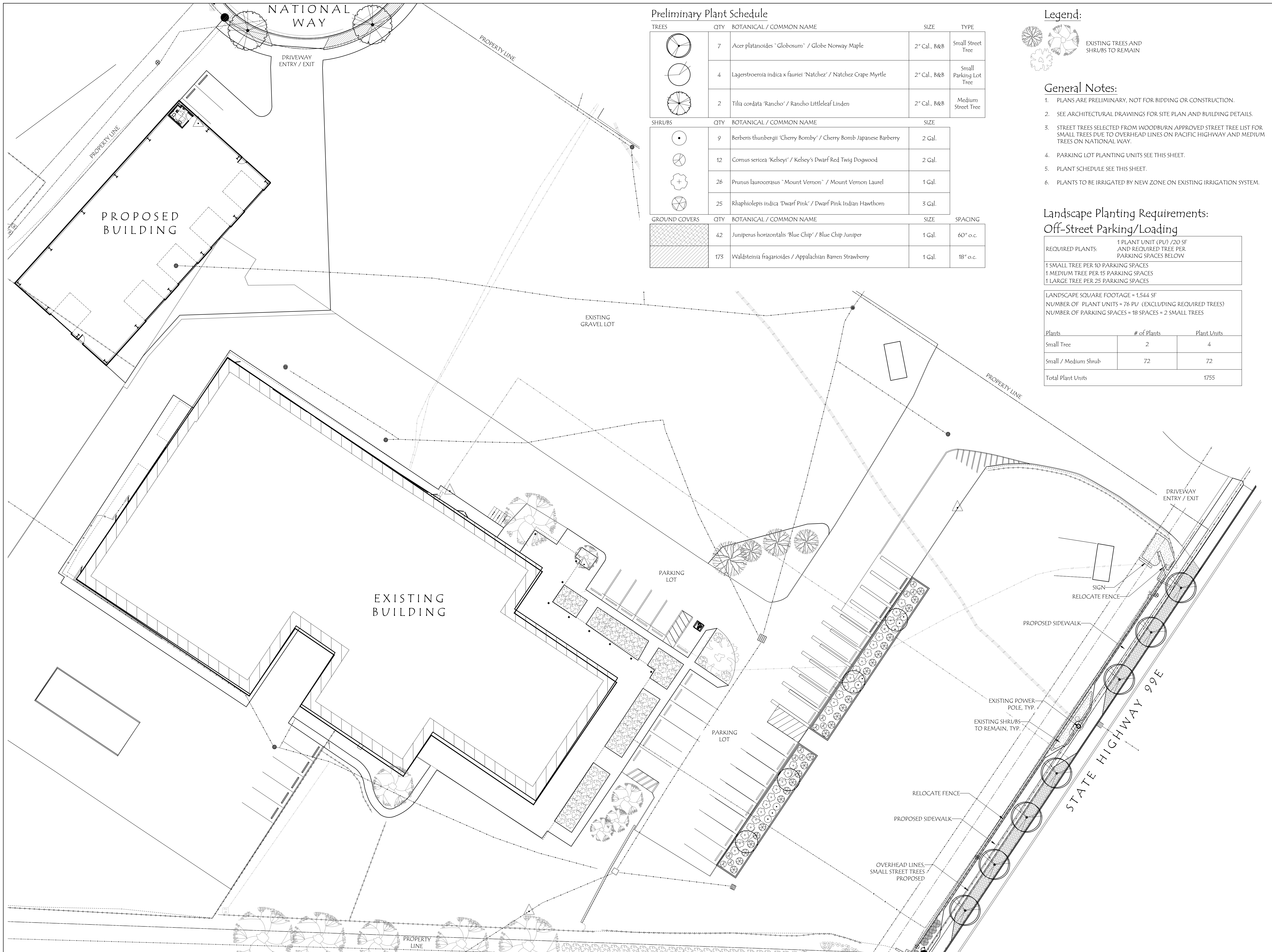
ac
co
ARCHITECTURE
COMMUNITY
1100 Liberty Street SE, Suite 200
Salem, OR 97302
P: 503.581.4114
www.accoac.com

FLEET SALES WEST
SHOP BUILDING
2175 N PACIFIC HWY
WOODBURN, OREGON 97071

ENLARGED
FLOOR PLANS,
INTERIOR ELEVATIONS
& DETAILS

SHEET

A4.1



Preliminary Plant Schedule

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	TYPE
	7	Acer platanoides 'Globosum' / Globe Norway Maple	2" Cal., B&B	Small Street Tree
	4	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	2" Cal., B&B	Small Parking Lot Tree
	2	Tilia cordata 'Rancho' / Rancho Littleleaf Linden	2" Cal., B&B	Medium Street Tree

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	9	Berberis thunbergii 'Cherry Bomb' / Cherry Bomb Japanese Barberry	2 Gal.
	12	Cornus sericea 'Kelsey' / Kelsey's Dwarf Red Twig Dogwood	2 Gal.
	26	Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel	1 Gal.
	25	Rhaphiolepis indica 'Dwarf Pink' / Dwarf Pink Indian Hawthorn	3 Gal.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	42	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	1 Gal.	60" o.c.
	173	Waldsteinia fragarioides / Appalachian Barren Strawberry	1 Gal.	18" o.c.

Legend:



General Notes:

1. PLANS ARE PRELIMINARY, NOT FOR BIDDING OR CONSTRUCTION.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN AND BUILDING DETAILS.
3. STREET TREES SELECTED FROM WOODBURN APPROVED STREET TREE LIST FOR SMALL TREES DUE TO OVERHEAD LINES ON PACIFIC HIGHWAY AND MEDIUM TREES ON NATIONAL WAY.
4. PARKING LOT PLANTING UNITS SEE THIS SHEET.
5. PLANT SCHEDULE SEE THIS SHEET.
6. PLANTS TO BE IRRIGATED BY NEW ZONE ON EXISTING IRRIGATION SYSTEM.

**Landscape Planting Requirements:
Off-Street Parking/Loading**

REQUIRED PLANTS:	1 PLANT UNIT (PU) /20 SF AND REQUIRED TREE PER PARKING SPACES BELOW
1 SMALL TREE PER 10 PARKING SPACES	
1 MEDIUM TREE PER 15 PARKING SPACES	
1 LARGE TREE PER 25 PARKING SPACES	

LANDSCAPE SQUARE FOOTAGE = 1,544 SF
 NUMBER OF PLANT UNITS = 76 PU (EXCLUDING REQUIRED TREES)
 NUMBER OF PARKING SPACES = 18 SPACES = 2 SMALL TREES

Plants	# of Plants	Plant Units
Small Tree	2	4
Small / Medium Shrub	72	72
Total Plant Units		1755

Laurus Designs, LLC

1012 Pine Street
 Silverton, Oregon
 503.784.6494

Fleet Sales West
 Shop Building

2175 N. Pacific Highway
 Woodburn, Oregon

REGISTERED
 643
 PRELIMINARY
 LAURA A. ANTONSON
 OREGON
 11/16/2007
 LANDSCAPE ARCHITECT

PRELIMINARY
 PLANTING PLAN

0' 10' 20' 40'
 SCALE

SCALE: 1"=20'-0"

October 21st, 2022

REVISIONS

#	DATE	NOTES	INITIALS

L1.1

SHEET 1 OF 1

PROJECT # 1452C

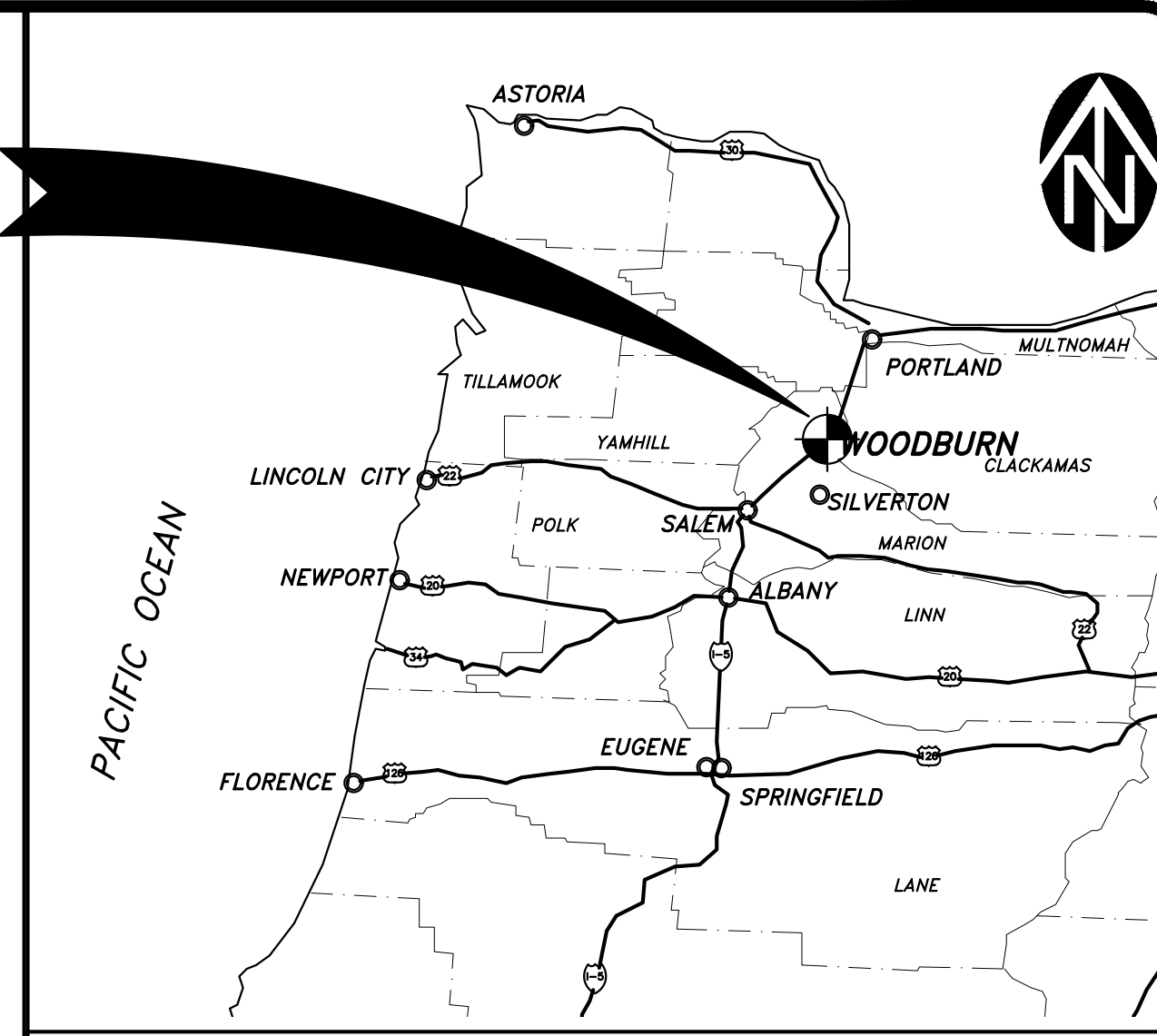
DRAWINGS FOR:

FLEET SALES WEST - WOODBURN

FOR:

AC + CO ARCHITECTURAL COMMUNITY
 363 STATE STREET SE,
 SALEM, OR 97301

PROJECT LOCATION



VICINITY MAP

PROJECT LOCATION



Know what's below.
 Call before you dig.

PROJECT VERTICAL DATUM -- NGVD 29
 ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. ELEVATIONS WERE ESTABLISHED BY PROCESSING A STATIC GNSS OBSERVATION THROUGH OPUS. CONTRACTOR IS TO NOTIFY ENGINEER/SURVEYOR TWO WORKING DAYS PRIOR TO DISTURBING EXISTING SURVEY MONUMENT(S). SURVEYOR IS TO RESTORE PER COUNTY SURVEYOR REQUIREMENTS AND ORS 209.150.

EXISTING SYMBOL LEGEND

- | | | | |
|---------------------------------|----------------------------------|----------------------------|---|
| ● - (E) FOUND MONUMENT AS NOTED | ⚡ - (E) POWER LIGHT POLE W/ DROP | 🌳 - (E) TREE ARBORVITAE | ▭ - (E) PAVEMENT |
| • - (E) BOLLARD | ⚡ - (E) POWER POLE W/DROP | 🌳 - (E) TREE EVERGREEN | —○—○— - (E) CHAINLINK FENCE |
| △ - (E) CONTROL POINT | ⚡ - (E) POWER METER | 🌳 - (E) TREE DECIDUOUS | —○—○— - (E) WOOD FENCE |
| □ - (E) GAS METER | ⚡ - (E) POWER RISER | ⚡ - (E) UTILITY VAULT | —○—○— - (E) STORM DRAIN LOCATE PAINT |
| ⚡ - (E) LIGHT POLE | ⚡ - (E) POWER TRANSFORMER | ⚡ - (E) WATER BLOWOFF | —○—○— - (E) SANITARY SEWER LOCATE PAINT |
| ☑ - (E) MAILBOX | Ⓢ - (E) SANITARY MANHOLE | ⚡ - (E) WATER FIRE HYDRANT | —○—○— - (E) WATER LOCATE PAINT |
| ⚡ - (E) PHONE RISER | Ⓢ - (E) STORM CATCH BASIN | Ⓢ - (E) WATER METER | —○—○— - (E) PHONE LOCATE PAINT |
| ⚡ - (E) POWER JUNCTION BOX | Ⓢ - (E) STORM MANHOLE | Ⓢ - (E) WATER VALVE | —○—○— - (E) UNDERGROUND POWER LOCATE |
| ⚡ - (E) POWER PEDESTAL | Ⓢ - (E) STORM ROOF DRAIN | ▭ - (E) CONCRETE | —○—○— - (E) OVERHEAD POWER |
| ⚡ - (E) POWER CABINET | Ⓢ - (E) SIGN | ▭ - (E) GRAVEL | —○—○— - (E) GAS LINE LOCATE |

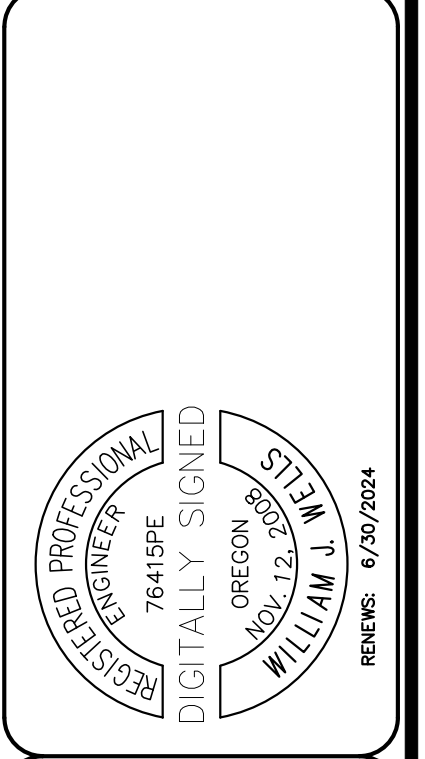
SHEET INDEX

SHT NO	DESCRIPTION
CO.0	COVER SHEET, VICINITY AND LOCATION MAPS, DRAWING INDEX
C1.0	EXISTING CONDITIONS, EROSION CONTROL, AND DEMOLITION PLAN
C1.0a	EXISTING CONDITIONS, EROSION CONTROL, AND DEMOLITION PLAN
C1.1	POST-DEVELOPED EROSION CONTROL PLAN
C1.2	EROSION CONTROL NOTES
C1.3	EROSION CONTROL DETAILS
C2.0	GRADING AND DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	SURFACING PLAN
C4.1	STATE HIGHWAY 99E - SIDEWALK IMPROVEMENTS
C4.2	NATIONAL WAY - DRIVEWAY & SIDEWALK IMPROVEMENTS
C5.0	CONSTRUCTION NOTES
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
-	-
-	-

NO.	DATE	DESCRIPTION	BY
1	SEP 2022		

VERIFY SCALE
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON SCALES ACCURACLY

DSN. JW
 DRN. JH
 CKD. JW
 DATE: SEP 2022



WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3966
 E-mail: westtech@westtech-eng.com

AC + CO ARCHITECTURE COMMUNITY
 FLEET SALES WEST - WOODBURN
 COVER SHEET, VICINITY AND LOCATION MAPS, AND DRAWING INDEX

DRAWING CO.0

JOB NUMBER 3413.0000.0

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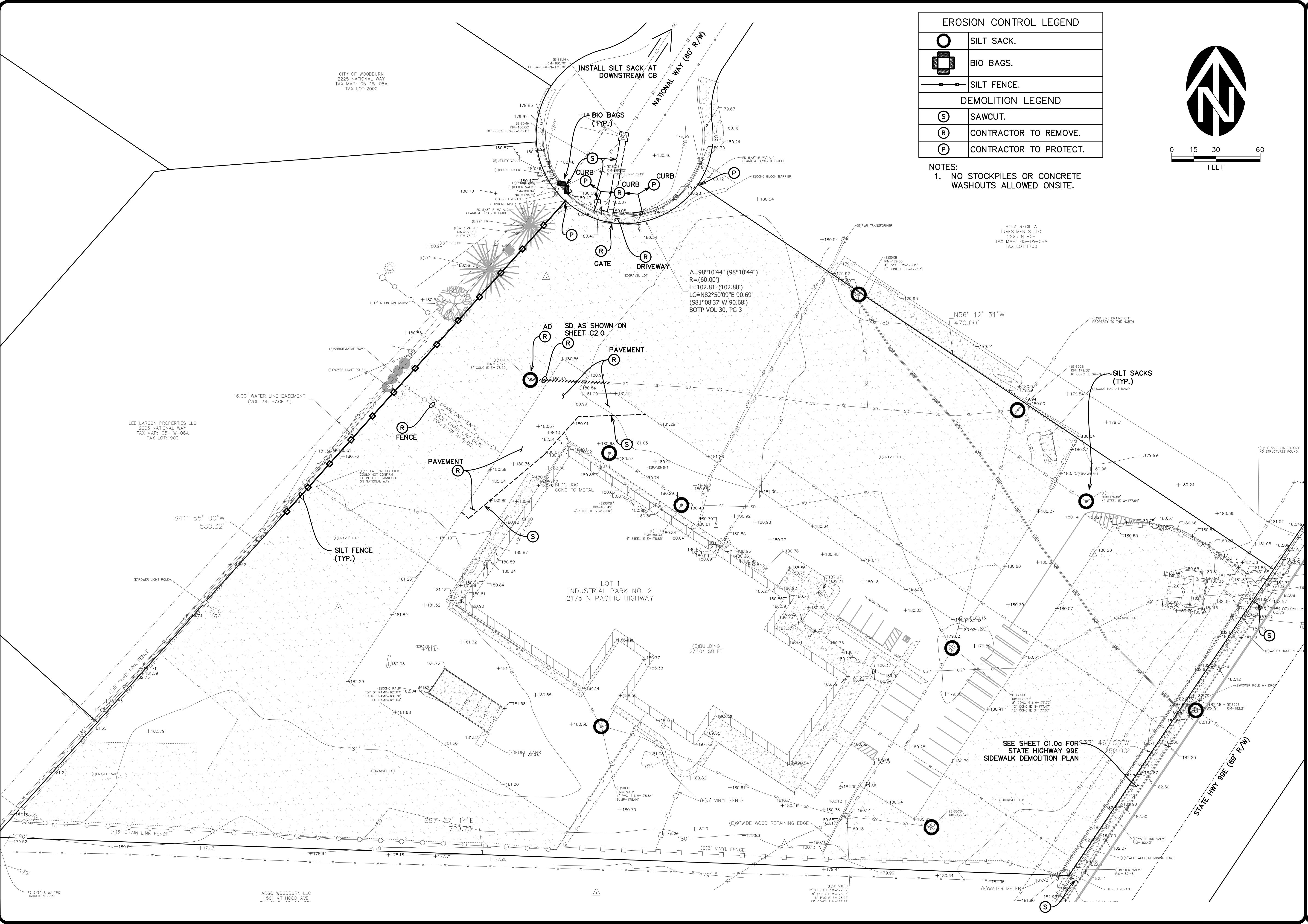
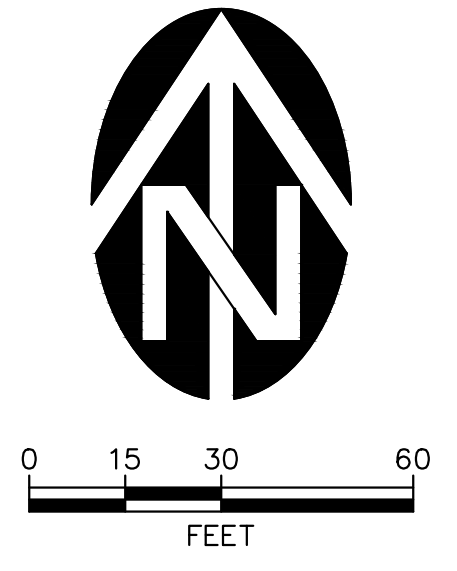
CITY OF WOODBURN
 2225 NATIONAL WAY
 TAX MAP: 05-1W-08A
 TAX LOT: 2000

LEE LARSON PROPERTIES LLC
 2205 NATIONAL WAY
 TAX MAP: 05-1W-08A
 TAX LOT: 1900

ARGO WOODBURN LLC
 1561 MT HOOD AVE

EROSION CONTROL LEGEND	
	SILT SACK.
	BIO BAGS.
	SILT FENCE.
DEMOLITION LEGEND	
	SAWCUT.
	CONTRACTOR TO REMOVE.
	CONTRACTOR TO PROTECT.

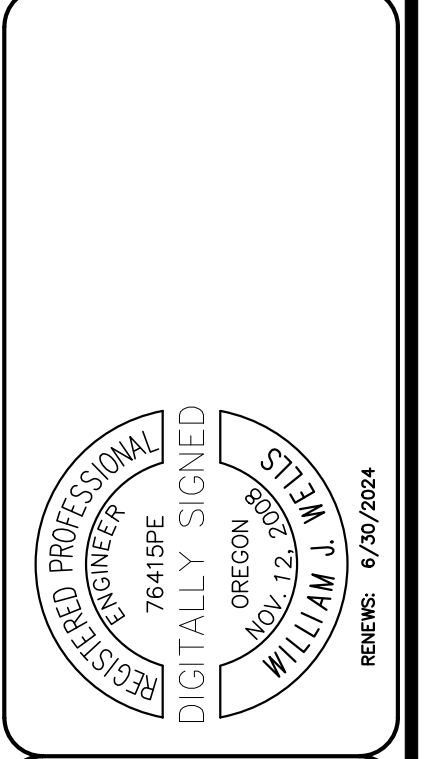
NOTES:
 1. NO STOCKPILES OR CONCRETE WASHOUTS ALLOWED ONSITE.



NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON SCALES ACCURACLY

DSN. JW
 DRN. JH
 CKD. JW
 DATE: SEP 2022



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 CONSULTING ENGINEERS AND PLANNERS

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AC + CO ARCHITECTURE COMMUNITY
 FLEET SALES WEST - WOODBURN

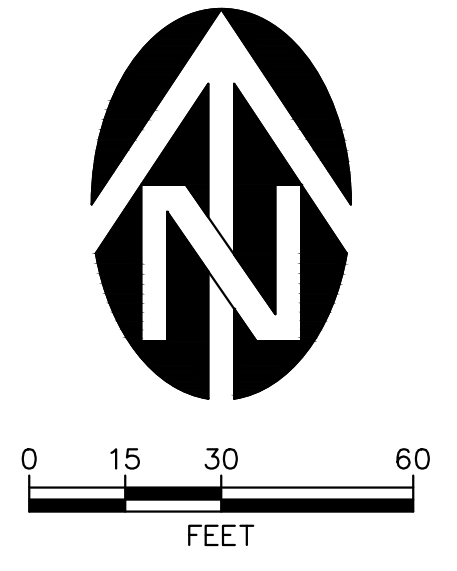
**EXISTING CONDITIONS,
 EROSION CONTROL, AND
 DEMOLITION PLAN**

DRAWING
C1.0

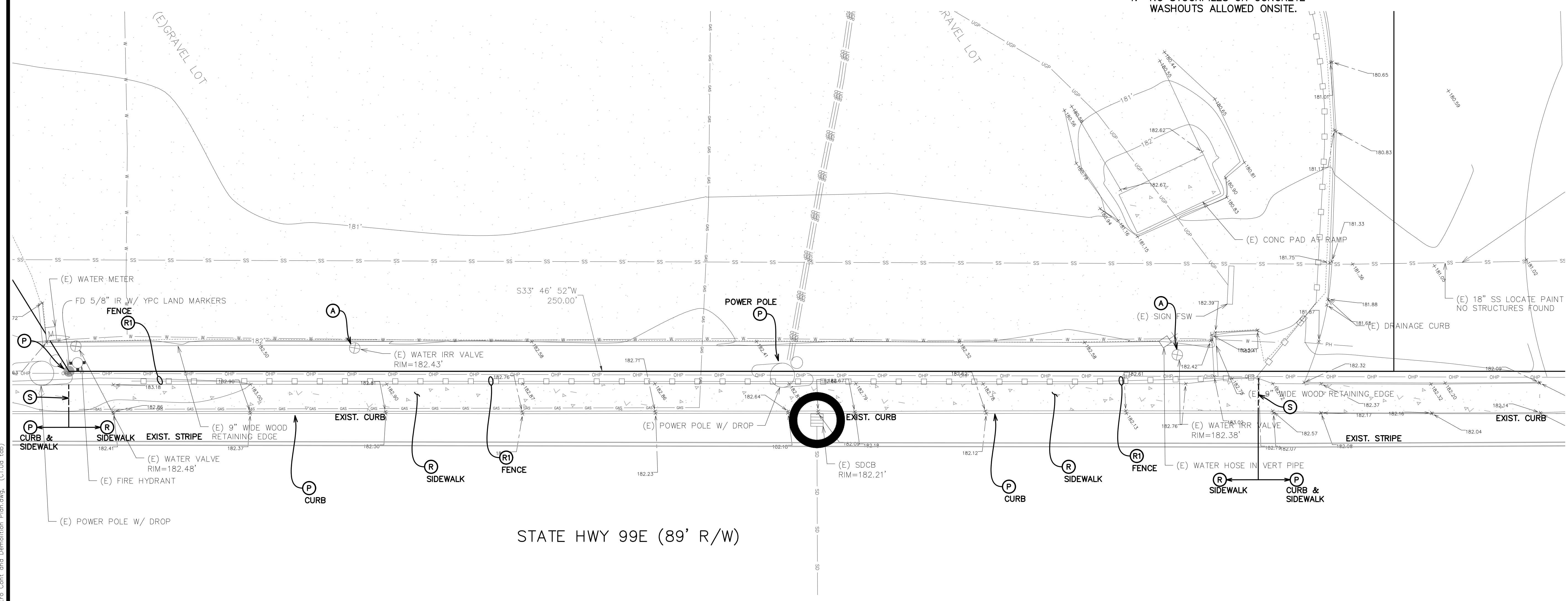
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EROSION CONTROL LEGEND	
	SILT SACK.
	BIO BAGS.
	SILT FENCE.
DEMOLITION LEGEND	
(S)	SAWCUT.
(R)	CONTRACTOR TO REMOVE.
(R1)	CONTRACTOR TO RELOCATE.
(P)	CONTRACTOR TO PROTECT.
(A)	ADJUST TO NEW FG. AS REQUIRED.



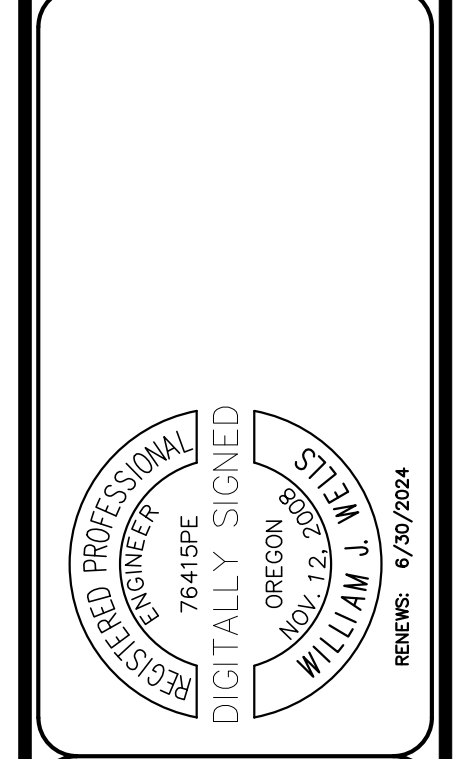
NOTES:
 1. NO STOCKPILES OR CONCRETE WASHOUTS ALLOWED ONSITE.



NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON SCALES ACCURACLY

DSN. JW
 DRN. JH
 CKD. JW
 DATE: SEP 2022



WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

WE

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3966
 E-mail: westtech@westtech-eng.com

AC + CO ARCHITECTURE COMMUNITY
 FLEET SALES WEST - WOODBURN

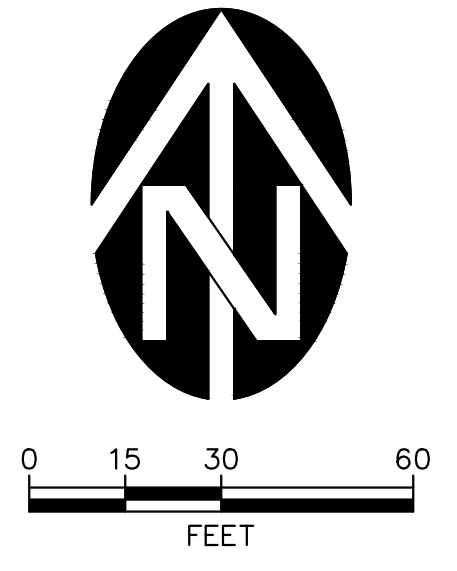
**EXISTING CONDITIONS,
 EROSION CONTROL, AND
 DEMOLITION PLAN**

DRAWING
C1.0a

JOB NUMBER
3413.0000.0

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EROSION CONTROL LEGEND	
	SILT SACK.
	BIO BAGS.
	SILT FENCE.



CITY OF WOODBURN
 2225 NATIONAL WAY
 TAX MAP: 05-1W-08A
 TAX LOT: 2000

INSTALL SILT SACK AT
 DOWNSTREAM CB

BIO BAGS
 (TYP.)

FF=181.0

$\Delta=98^{\circ}10'44''$ ($98^{\circ}10'44''$)
 $R=(60.00')$
 $L=102.81'$ (102.80')
 $LC=N82^{\circ}50'09''E$ 90.69'
 (S81°08'37"W 90.68')
 BOTP VOL 30, PG 3

HYLEA REGILLA
 INVESTMENTS LLC
 2225 N PCH
 TAX MAP: 05-1W-08A
 TAX LOT: 1700

LEE LARSON PROPERTIES LLC
 2205 NATIONAL WAY
 TAX MAP: 05-1W-08A
 TAX LOT: 1900

LOT 1
 INDUSTRIAL PARK NO. 2
 2175 N PACIFIC HIGHWAY

NO.	DATE	DESCRIPTION	BY
1	SEP 2022		

VERIFY SCALE	1"
BAR IS ONE INCH ON ORIGINAL DRAWING	
IF NOT ONE INCH ON SCALES ACCURACLY	
DSN.	JW
DRN.	JH
CKD.	JW
DATE	SEP 2022

PROFESSIONAL ENGINEER
 764.587
 OREGON REG. 12
 WILLIAM J. WELLS
 REVISIONS: 6/30/2024

WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3966
 E-mail: westtech@westtech-eng.com

AC + CO ARCHITECTURE COMMUNITY
 FLEET SALES WEST - WOODBURN

POST-DEVELOPED EROSION CONTROL PLAN

DRAWING
C1.1

JOB NUMBER
3413.0000.0

DEQ EROSION CONTROL STANDARD NOTES:

- Hold a pre-construction meeting of project construction personnel that includes the inspector to discuss erosion and sediment control measures and construction limits. (Schedule A.8.c.i.(3))
- All inspections must be made in accordance with DEQ 1200-C permit requirements. (Schedule A.12.b and Schedule B.1)
- Inspection logs must be kept in accordance with DEQ's 1200-C permit requirements. (Schedule B.1.c and B.2)
- Retain a copy of the ESCP and all revisions on site and make it available on request to DEQ, Agent, or the local municipality. During inactive periods of greater than seven (7) consecutive calendar days, the above records must be retained by the permit registrant but do not need to be at the construction site. (Schedule B.2.c)
- All permit registrants must implement the ESCP. Failure to implement any of the control measures or practices described in the ESCP is a violation of the permit. (Schedule A 8.a)
- The ESCP must be accurate and reflect site conditions. (Schedule A.12.c.i)
- Submission of all ESCP revisions is not required. Submittal of the ESCP revisions is only under specific conditions. Submit all necessary revision to DEQ or Agent within 10 days. (Schedule A.12.c.iv. and v)
- Phase clearing and grading to the maximum extent practical to prevent exposed inactive areas from becoming a source of erosion. (Schedule A.7.a.iii)
- Identify, mark, and protect (by construction fencing or other means) critical riparian areas and vegetation including important trees and associated rooting zones, and vegetation areas to be preserved. Identify vegetative buffer zones between the site and sensitive areas (e.g., wetlands), and other areas to be preserved, especially in perimeter areas. (Schedule A.8.c.i.(1) and (2))
- Preserve existing vegetation when practical and re-vegetate open areas. Re-vegetate open areas when practicable before and after grading or construction. Identify the type of vegetative seed mix used. (Schedule A.7.a.v)
- Maintain and delineate any existing natural buffer within the 50-feet of waters of the state. (Schedule A.7.b.i. and (2)(a)(b))
- Install perimeter sediment control, including storm drain inlet protection as well as all sediment basins, traps, and barriers prior to land disturbance. (Schedule A.8.c.i.(5))
- Control both peak flow rates and total stormwater volume, to minimize erosion at outlets and downstream channels and streambanks. (Schedule A.7.c)
- Control sediment as needed along the site perimeter and at all operational internal storm drain inlets at all times during construction, both internally and at the site boundary. (Schedule A.7.d.i)
- Establish concrete truck and other concrete equipment washout areas before beginning concrete work. (Schedule A.8.c.i.(6))
- Apply temporary and/or permanent soil stabilization measures immediately on all disturbed areas as grading progresses. Temporary or permanent stabilizations measures are not required for areas that are intended to be left unvegetated, such as dirt access roads or utility pole pads. (Schedule A.8.c.ii.(3))
- Establish material and waste storage areas, and other non-stormwater controls. (Schedule A.8.c.i.(7))
- Prevent tracking of sediment onto public or private roads using BMPs such as: construction entrance, graveled (or paved) exits and parking areas, gravel all unpaved roads located onsite, or use an exit tire wash. These BMPs must be in place prior to land-disturbing activities. (Schedule A 7.d.ii and A.8.c.i.(4))
- When trucking saturated soils from the site, either use water-tight trucks or drain loads on site. (Schedule A.7.d.ii.(5))
- Control prohibited discharges from leaving the construction site, i.e., concrete wash-out, wastewater from cleanout of stucco, paint and curing compounds. (Schedule A.6)
- Use BMPs to prevent or minimize stormwater exposure to pollutants from spills; vehicle and equipment fueling, maintenance, and storage; other cleaning and maintenance activities; and waste handling activities. These pollutants include fuel, hydraulic fluid, and other oils from vehicles and machinery, as well as debris, fertilizer, pesticides and herbicides, paints, solvents, curing compounds and adhesives from construction operations. (Schedule A.7.e.i.(2))
- Implement the following BMPs when applicable: written spill prevention and response procedures, employee training on spill prevention and proper disposal procedures, spill kits in all vehicles, regular maintenance schedule for vehicles and machinery, material delivery and storage controls, training and signage, and covered storage areas for waste and supplies. (Schedule A 7.e.iii.)
- Use water, soil-binding agent or other dust control technique as needed to avoid wind-blown soil. (Schedule A 7.a.iv)
- The application rate of fertilizers used to reestablish vegetation must follow manufacturer's recommendations to minimize nutrient releases to surface waters. Exercise caution when using time-release fertilizers within any waterway riparian zone. (Schedule A.9.b.iii)
- If an active treatment system (for example, electro-coagulation, flocculation, filtration, etc.) for sediment or other pollutant removal is employed, submit an operation and maintenance plan (including system schematic, location of system, location of inlet, location of discharge, discharge dispersion device design, and a sampling plan and frequency) before operating the treatment system. Obtain plan approval before operating the treatment system. Operate and maintain the treatment system according to manufacturer's specifications. (Schedule A.9.d)
- Temporarily stabilize soils at the end of the shift before holidays and weekends, if needed. The registrant is responsible for ensuring that soils are stable during rain events at all times of the year. (Schedule A 7.b)
- As needed based on weather conditions, at the end of each workday soil stockpiles must be stabilized or covered, or other BMPs must be implemented to prevent discharges to surface waters or conveyance systems leading to surface waters. (Schedule A 7.e.ii.(2))
- Construction activities must avoid or minimize excavation and bare ground activities during wet weather. (Schedule A.7.a.i)
- Sediment fence: remove trapped sediment before it reaches one third of the above ground fence height and before fence removal. (Schedule A.9.c.i)
- Other sediment barriers (such as biobags): remove sediment before it reaches two inches depth above ground height and before BMP removal. (Schedule A.9.c.i)
- Catch basins: clean before retention capacity has been reduced by fifty percent. Sediment basins and sediment traps: remove trapped sediments before design capacity has been reduced by fifty percent and at completion of project. (Schedule A.9.c.iii& iv)
- Within 24 hours, significant sediment that has left the construction site, must be remediated. Investigate the cause of the sediment release and implement steps to prevent a recurrence of the discharge within the same 24 hours. Any in-stream clean-up of sediment shall be performed according to the Oregon Division of State Lands required timeframe. (Schedule A.9.b.i)
- The intentional washing of sediment into storm sewers or drainage ways must not occur. Vacuuming or dry sweeping and material pickup must be used to cleanup released sediments. (Schedule A.9.b.ii)
- The entire site must be temporarily stabilized using vegetation or a heavy mulch layer, temporary seeding, or other method should all construction activities cease for 30 days or more. (Schedule A.7.f.i)
- Provide temporary stabilization for that portion of the site where construction activities cease for 14 days or more with a covering of blown straw and a tackifier, loose straw, or an adequate covering of compost mulch until work resumes on that portion of the site. (Schedule A.7.f.ii)
- Do not remove temporary sediment control practices until permanent vegetation or other cover of exposed areas is established. Once construction is complete and the site is stabilized, all temporary erosion controls and retained soils must be removed and disposed of properly, unless doing so conflicts with local requirements. (Schedule A.8.c.iii(1) and D.3.c.ii and iii)

Rev. 12/15/15 By: Krista Ratliff

YEAR:	'23	'23	'23	'23	'23	'23	'23	'23	'23	'23	'24	'24	'24
MONTH:	04	05	06	07	08	09	10	11	12	01	02	03	
CLEARING	X	X	X										
EXCAVATION	X	X	X	X									
GRADING	X	X	X	X	X								
CONSTRUCTION	X	X	X	X	X	X	X	X	X	X	X	X	
SEDIMENT CONTROLS:													
Silt Fencing	X	X	X	X	X	X	X	X	X	X	X	X	
Sediment Traps	X	X	X	X	X	X	X	X	X	X	X	X	
Sediment Basins													
Storm Inlet Protection	X	X	X	X	X	X	X	X	X	X	X	X	
Drainage Swales						X	X	X	X	X	X	X	
Check Dams													
Contour Furrows													
Terracing													
Pipe Slope Drains													
Rock Outlet Protection													
Gravel Construction Entrance													
Grass-lined Channel (Turf Reinforcement Mats)													
Protection of trees with construction fences													
Temporary Seeding and Planting													
Permanent Seeding and Planting								X	X	X	X	X	
Other:													

CONTROL MEASURE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5
Silt Fencing	X	X	X	X	
Construction Entrance					
Sediment Traps	X	X	X	X	
Storm Inlet Protection	X	X	X	X	
Concrete Washout					
Rock Outlet Protection					
Permanent Seeding and Planting					X

Phase 1: Prior to Ground Disturbance
 Phase 2: After Completion of Rough Grading
 Phase 3: After Installation of Storm Facilities
 Phase 4: After Paving & Construction
 Phase 5: After Project Completion and Cleanup

INSPECTION FREQUENCY FOR BMP

Site Condition	Minimum Frequency
1. Active period	Daily when stormwater runoff, including runoff from snowmelt, is occurring. At least once every 14 days, regardless of whether stormwater runoff is occurring.
2. Prior to the site becoming inactive or in anticipation of site inaccessibility.	Once to ensure that erosion and sediment control measures are in working order. Any necessary maintenance and repair must be made prior to leaving the site.
3. Inactive periods greater than seven (14) consecutive calendar days	Once every month.
4. Periods during which the site is inaccessible due to inclement weather	If practical, inspections must occur daily at a relevant and accessible discharge point or downstream location.
5. Periods during which discharge is unlikely due to frozen conditions	Monthly. Resume monitoring immediately upon melt, or when weather conditions make discharge likely.

BMP Rationale
 A comprehensive list of available Best Management Practices (BMP) options based on DEQ's 1200-C Permit Application and ESCP Guidance Document has been reviewed to complete this Erosion and Sediment Control Plan. Some of the above listed BMPs were not chosen because they were determined to not effectively manage erosion prevention and sediment control for this project based on specific site conditions, including soil conditions, topographic constraints, accessibility to the site, and other related conditions. As the project progresses and there is a need to revise the ESCP, an Action Plan will be submitted.

SOIL TYPE(S): PER MARION CO. SOIL SURVEY THE SITE SOILS INCLUDE "CONCORD SILT LOAM", "DAYTON SILT LOAM", AND "WOODBURN SILT LOAM, 0 TO 3 PERCENT SLOPES".
 EROSION HAZARD: PER MARION CO. SOIL SURVEY EROSION HAZARD IS "SLIGHT".
 SITE AREA: 5.57 AC
 DISTURBANCE AREA: 0.45 AC

SUPPLEMENTAL WESTECH NOTES:

- Erosion control measures shall be maintained in such a manner as to ensure that sediment and sediment-laden water does not enter the drainage system, roadways, or violate applicable water quality standards.
- The erosion control construction, maintenance, replacement and upgrading of the erosion control facilities is the responsibility of the Contractor until all construction is completed and approved, and permanent erosion control (i.e. vegetation/landscaping) is established on all disturbed areas.
- All recommended erosion control procedures are dependent on construction methods, staging, site conditions, weather and scheduling. During the construction period, erosion control facilities shall be upgraded as necessary due to unexpected storm events and to ensure that sediment and sediment laden water does not leave the site.
- The Contractor is responsible for control of sediment transport within project limits. If an installed erosion control system does not adequately contain sediment on site, then the erosion control measures shall be adjusted or supplemented by the Contractor as necessary to ensure that sediment laden water does not leave the site. Additional measures shall be provided as required to ensure that all paved areas are kept clean for the duration of the project. Additional interim measures will include, at a minimum, installation of silt fences in accordance with the details shown on the drawings. These measures shall be installed along all exposed embankments and cut slopes to prevent sediment transport.
- All existing and newly constructed storm inlets and drains shall be protected until pavement surfaces are completed and/or vegetation is established.
- Erosion control facilities and sediment fences on active sites shall be inspected by the Contractor at least daily during any period with measurable precipitation. Any required repairs or maintenance shall be completed immediately. The erosion control facilities on inactive sites shall be inspected and maintained by the Contractor a minimum of once a month or within 24 hours following the start of a storm event.
- All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment-laden water into the downstream system. The Contractor shall remove all accumulated sediment from all impacted catch basins and storm pipes prior to acceptance by the Owner.
- The Contractor is solely responsible for protection of all adjacent property and downstream facilities from erosion and siltation during project construction. Any damage resulting from such erosion and siltation shall be corrected at the sole expense of the Contractor.
- The Contractor shall provide site watering as necessary to prevent wind erosion of fine-grained soils.
- Unless otherwise indicated on the drawings, all temporary erosion control facilities, including sediment fences, silt sacks, bio-bags, etc. shall be removed by the Contractor within 30 days after permanent landscaping/vegetation is established.
- Sediment fences shall be constructed of continuous filter fabric to avoid use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6-inch overlap, and both ends securely fastened to a post.
- Sediment fence shall be installed per drawing details. Sediment fences shall have adequate support to contain all silt and sediment captured.
- The standard strength filter fabric shall be fastened securely to stitched loops installed on the upslope side of the posts, and 6 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 30 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- Bio-filter bags shall be clean 100 percent wood product waste. Bags shall be 18-inch x 18-inch x 30-inch, weigh approximately 45 lbs., and be contained in a bag made of 1/2-inch plastic mesh.
- Sediment barriers shall be maintained until the up-slope area has been permanently stabilized. At no time shall more than 10-inches of sediment be allowed to accumulate behind sediment fences. No more than 2 inches of sediment shall be allowed to accumulate behind bio-filter bags. Sediment shall be removed prior to reaching the above stated depths. New sediment barriers shall be installed uphill as required to control sediment transport.
- Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to ensure that all paved areas are kept clean for the duration of the project.
- The Contractor shall verify that all trucks are well sealed when transporting saturated soils from the site. Water dripage from trucks transporting saturated soils must be reduced to less than 1 gallon per hour prior to leaving the site.
- The entrance shall be maintained in a condition that will prevent tracking or flow of mud onto the public right-of-way or approved access point. The entrance may require periodic top dressing as conditions demand, and repair and/or cleanout of any structures used to trap sediment.
- All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately, and the Contractor shall provide protection of downstream inlets and catch basins to ensure sediment laden water does not enter the storm drain system.
- Temporary grass cover measures must be fully established by October 15th, or other cover measures (ie. erosion control blankets with anchors, 3-inches minimum of straw mulch, 6 mil HDPE plastic sheet, etc.) shall be in place over all disturbed soil areas until April 30th. To establish an adequate grass stand for controlling erosion by October 15th, it is recommended that seeding and mulching occur by September 1st. Straw mulch, if used, shall not leave any bare ground visible through the straw.
- Minimum wet weather slope protection. For slopes steeper than 3H:1V but less than 2H:1V, use Tensor/North American Green Type S150 erosion control blanket. For slopes 2H:1V or steeper, use Tensor/North American Green Type 3C150 erosion control blanket. Use a minimum of 2-inches straw mulch or Tensor/North American Green Type S150 for slopes flatter than 3H:1V. Slope protection shall be placed on all disturbed areas immediately after completion of construction activity, until the erosion control seeding has been established. As an option during temporary or seasonal work stoppages, a 6-mil HDPE plastic sheet may be placed on exposed slopes. The plastic sheet shall be provided with an anchor trench at the top and bottom of the slope, and shall be sandbagged on the slopes as required to prevent damage or displacement by wind.
- Permanent erosion control vegetation on all embankments and disturbed areas shall be re-established as soon as construction is completed.
- Soil preparation. Topsoil should be prepared according to landscape plans, if available, or recommendations of grass seed supplier. It is recommended that slopes be textured before seeding by rock walking (ie. driving a crawling tractor up and down the slopes to leave a pattern of cleat imprints parallel to slope contours) or other method to provide stable areas for seeds to rest.
- When used, hydromulch shall be applied with grass seed at a rate of 2000 lbs. per acre between April 30 and June 10, or between September 1 and October 1. On slopes steeper than 10 percent, hydroseed and mulch shall be applied with a bonding agent (tackifier). Application rate and methodology to be in accordance with seed supplier recommendations.
- When used in lieu of hydromulch, dry, loose, weed free straw used as mulch shall be applied at a rate of 4000 lbs. per acre (double the hydromulch application requirement). Anchor straw by working in by hand or with equipment (rollers, cleat trackers, etc.). Mulch shall be spread uniformly immediately following seeding.
- When conditions are not favorable to germination and establishment of the grass seed, the Contractor shall irrigate the seeded and mulched areas as required to establish the grass cover.
- Seeding. Recommended erosion control grass seed mix is as follows. Dwarf grass mix (low height, low maintenance) consisting of dwarf perennial ryegrass (80 % by weight), creeping red fescue (20 % by weight). Application rate shall be 100 lbs. per acre minimum.
- Grass seed shall be fertilized at a rate of 10 lbs. per 1000 S.F with 16- 16-16 slow release type fertilizer. Development areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.
- Prior to starting construction contractor shall acquire the services of a DEQ Certified Erosion and Sediment Control Inspector and shall submit an "Action Plan" to DEQ identifying their names, contact information, training and experience as required in Schedule A.6.b.i-ii of the 1200-C Permit
- Contractor shall submit "Notice of Termination" to DEQ to end the 1200-C permit coverage once all soil disturbance activities have been completed and final stabilization of exposed soils has occurred.

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NO.	DATE	DESCRIPTION	REVISIONS
1			

VERIFY SCALE
 THIS IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SCALE, ACCURACY IS NOT GUARANTEED

0 1" 2" 3" 4" 5" 6" 7" 8" 9" 10"

PROFESSIONAL REGISTERED ENGINEER
 764.95E
 OREGON
 NOV. 12, 2008
 WILLIAM J. KELLS
 REVISIONS: 6/20/2024

WESTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

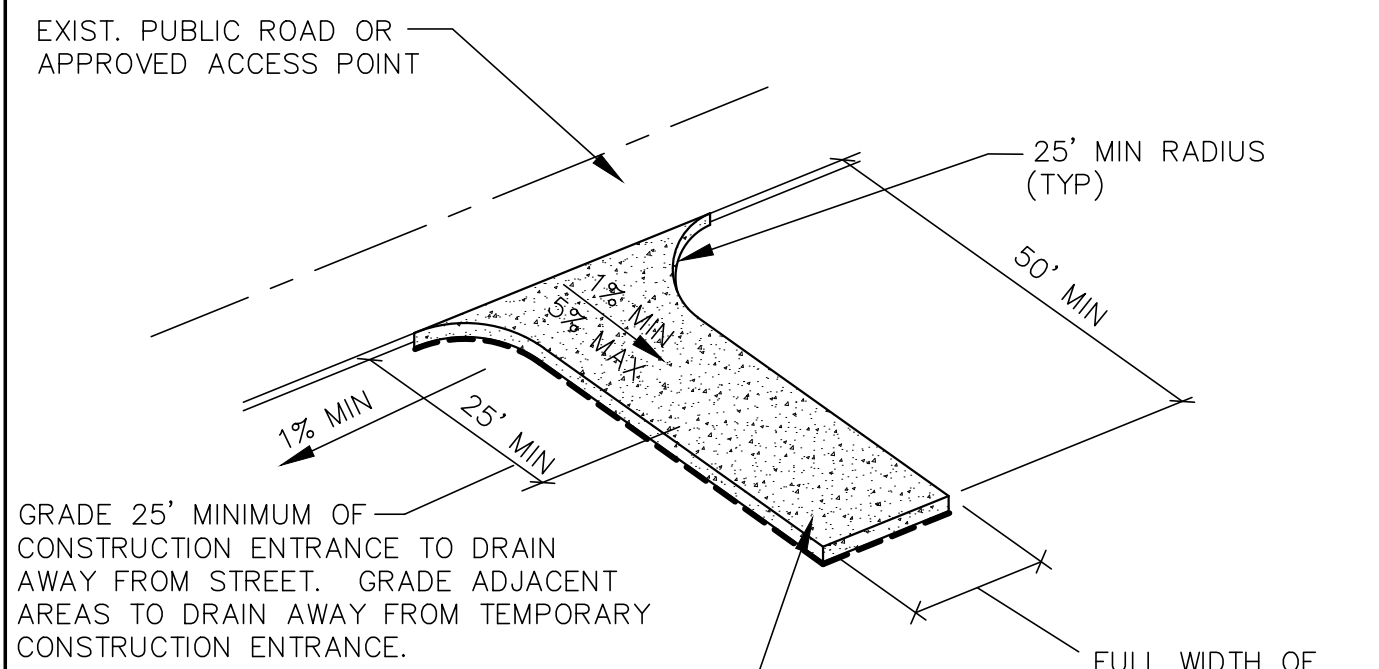
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3966
 E-mail: westech@westech-eng.com

AC + CO ARCHITECTURE COMMUNITY
 FLEET SALES WEST - WOODBURN

EROSION CONTROL NOTES

DRAWING
 C1.2

JOB NUMBER
 3413.0000.0



GRADE 25' MINIMUM OF CONSTRUCTION ENTRANCE TO DRAIN AWAY FROM STREET. GRADE ADJACENT AREAS TO DRAIN AWAY FROM TEMPORARY CONSTRUCTION ENTRANCE.

PLACE 3"-6" GRANULAR MATERIAL OVER 8-OUNCE NON-WOVEN GEOTEXTILE FABRIC AS FOLLOWS:

DRY WEATHER ACCESS
14-INCH MIN. DEPTH OVER COMPACTED SUBGRADE & FABRIC

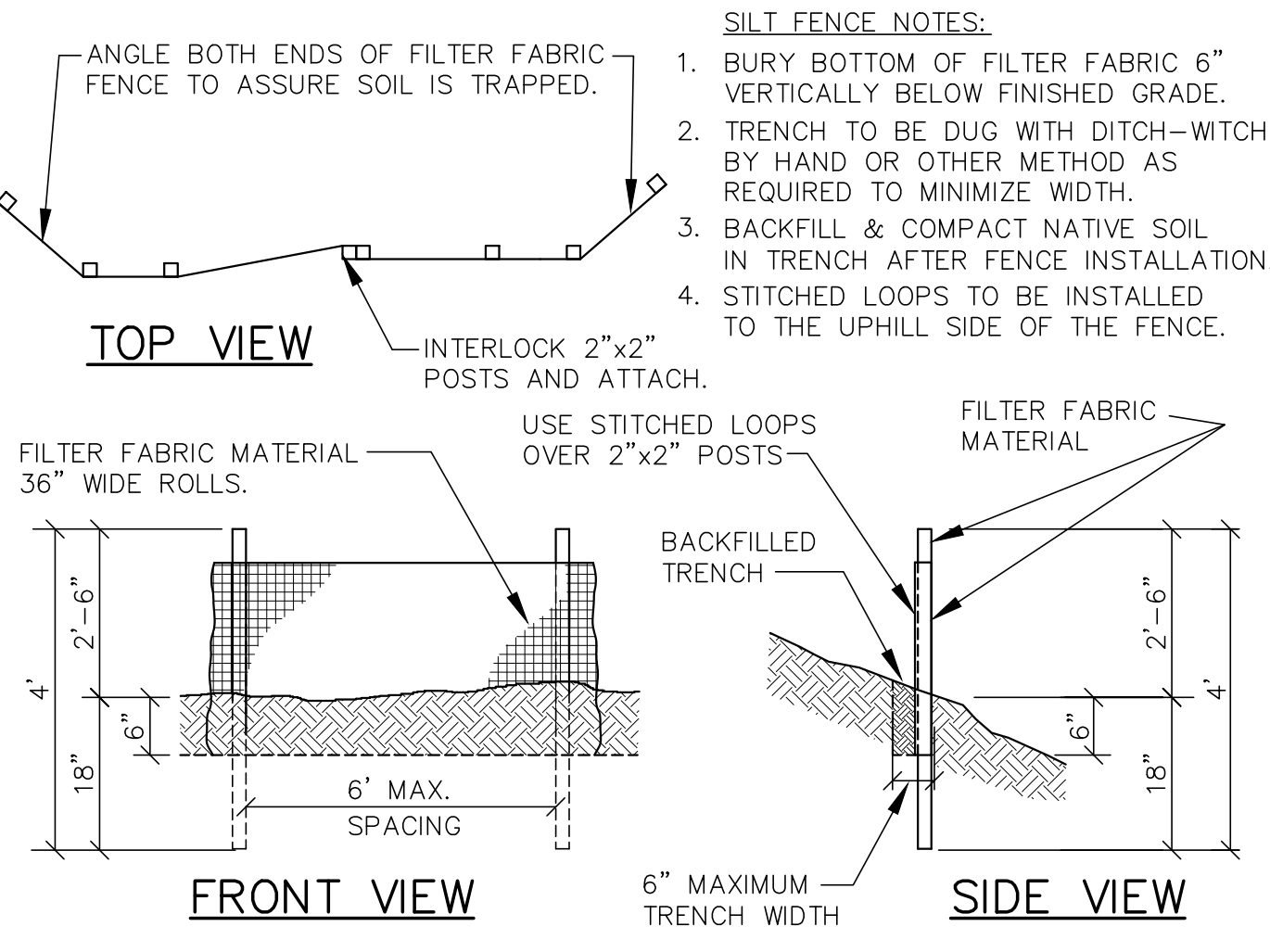
WET WEATHER ACCESS
24-INCH MIN. DEPTH OVER UNDISTURBED SUBGRADE & FABRIC

- CONSTRUCTION NOTES:**
1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, ROOTS, AND OTHER NON-COMPACTABLE MATERIAL.
 2. SUBGRADE SHALL BE COMPACTED AND PROOFROLLED PRIOR TO PLACEMENT OF GRANULAR MATERIAL. FAILURE TO PASS PROOFROLL WILL REQUIRE USE OF WET WEATHER SECTION.
 3. FAILURE OR PUMPING OF THE DRY WEATHER SECTION WILL REQUIRE REMOVAL OF THE GRANULAR MATERIAL AND INSTALLATION OF THE WET WEATHER SECTION.

MAINTENANCE NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 3"-6" INCH STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN-OUT OF STRUCTURES USED TO TRAP SEDIMENT.
2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. ALL TRUCKS TRANSPORTING SATURATED SOILS SHALL BE WELL SEALED. WATER DRIPPAGE FROM TRUCKS MUST BE REDUCED TO 1 GALLON PER HOUR PRIOR TO LEAVING THE SITE.

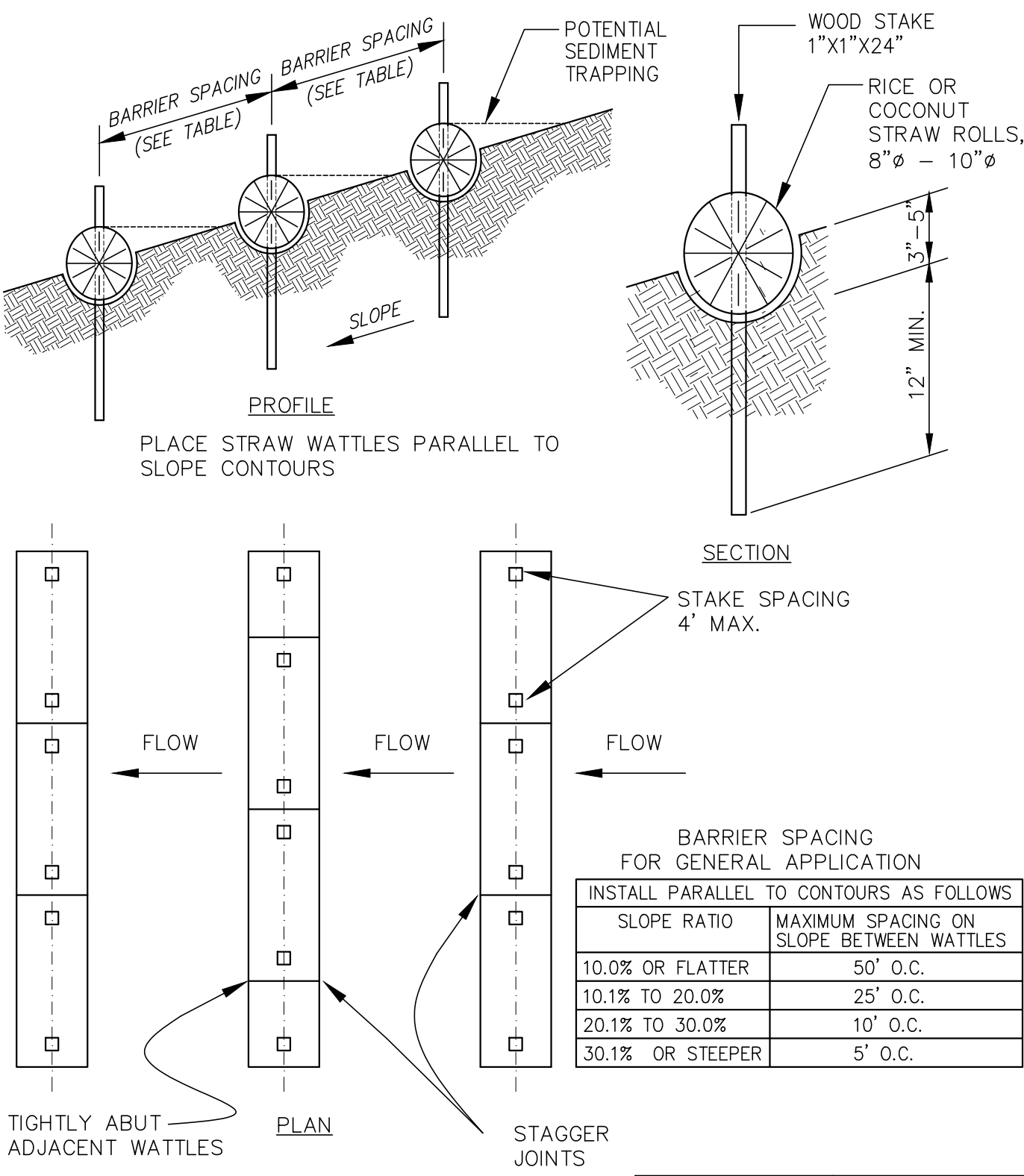
LAST REVISION DATE:	JO #
MAY 2013	STANDARD
TEMPORARY CONSTRUCTION ENTRANCE	
(NTS)	
WESTECH ENG.	DETAIL NO. 6100



- SILT FENCE NOTES:**
1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
 2. TRENCH TO BE DUG WITH DITCH-WITCH, BY HAND OR OTHER METHOD AS REQUIRED TO MINIMIZE WIDTH.
 3. BACKFILL & COMPACT NATIVE SOIL IN TRENCH AFTER FENCE INSTALLATION.
 4. STITCHED LOOPS TO BE INSTALLED TO THE UPHILL SIDE OF THE FENCE.

- MAINTENANCE NOTES:**
1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
 2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND SEDIMENT FENCES OR BIOFILTER BAGS.
 3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

LAST REVISION DATE:	JO #
APRIL 2014	STANDARD
SEDIMENT BARRIERS	
(NTS)	
WESTECH ENG.	DETAIL NO. 6110



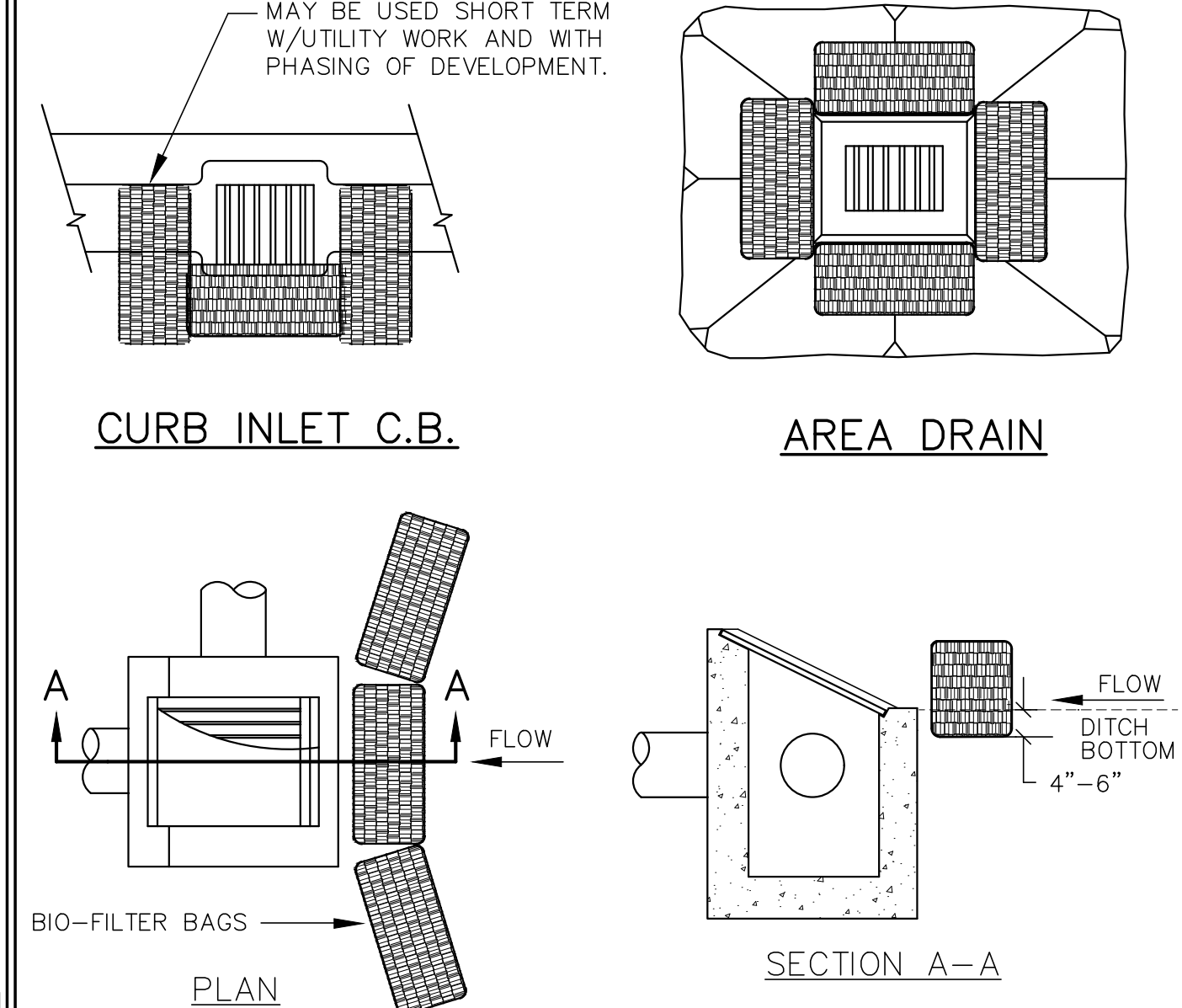
BARRIER SPACING FOR GENERAL APPLICATION

SLOPE RATIO	MAXIMUM SPACING ON SLOPE BETWEEN WATTLES
10.0% OR FLATTER	50' O.C.
10.1% TO 20.0%	25' O.C.
20.1% TO 30.0%	10' O.C.
30.1% OR STEEPER	5' O.C.

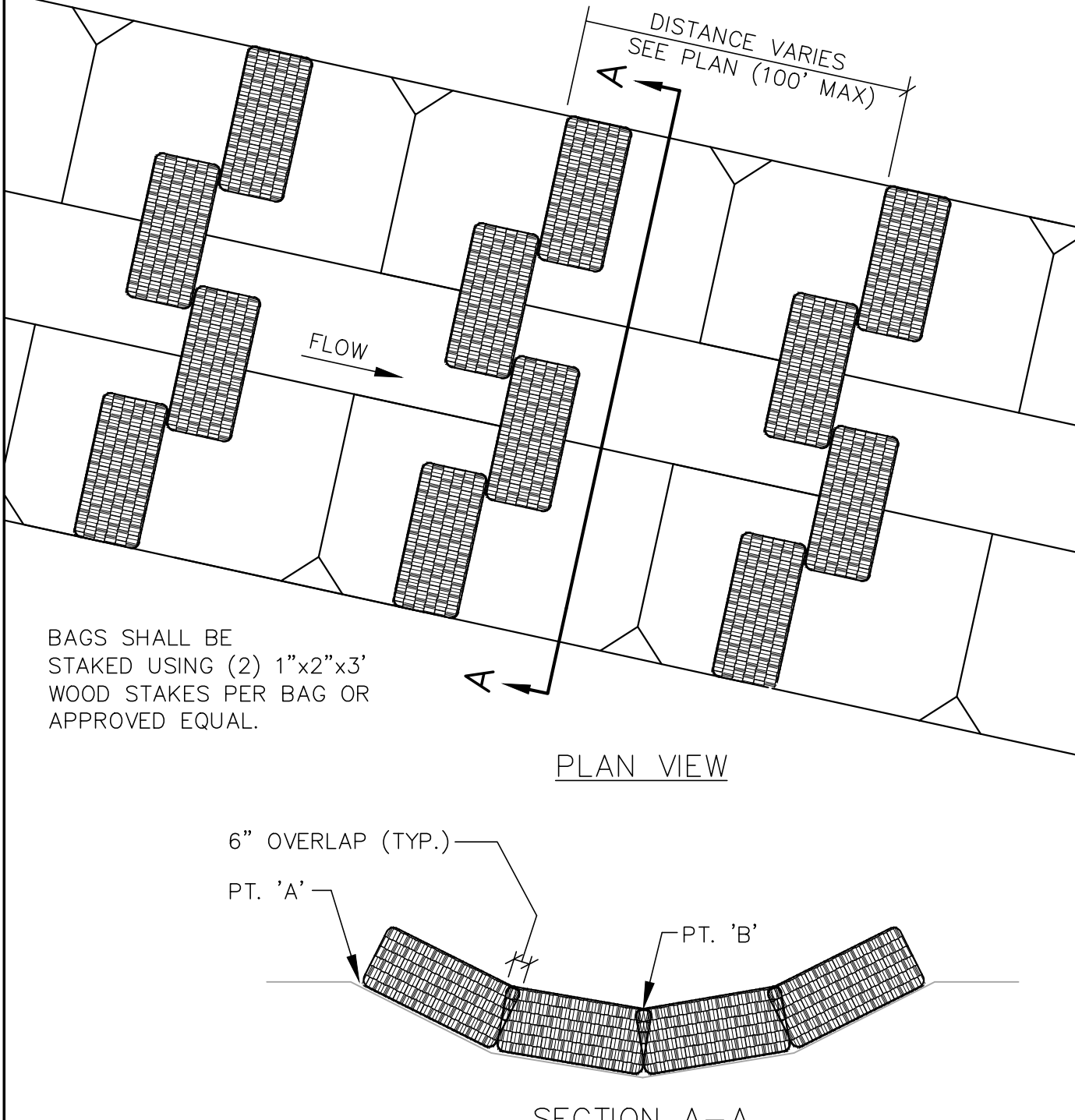
NOTES:

1. ALL MATERIAL SHALL CONFORM TO OSSC (ODOT/APWA) SPECIFICATIONS, CURRENT EDITION.
2. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
3. AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE ABOVE THE TOP OF THE STRAW WATTLE.
4. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

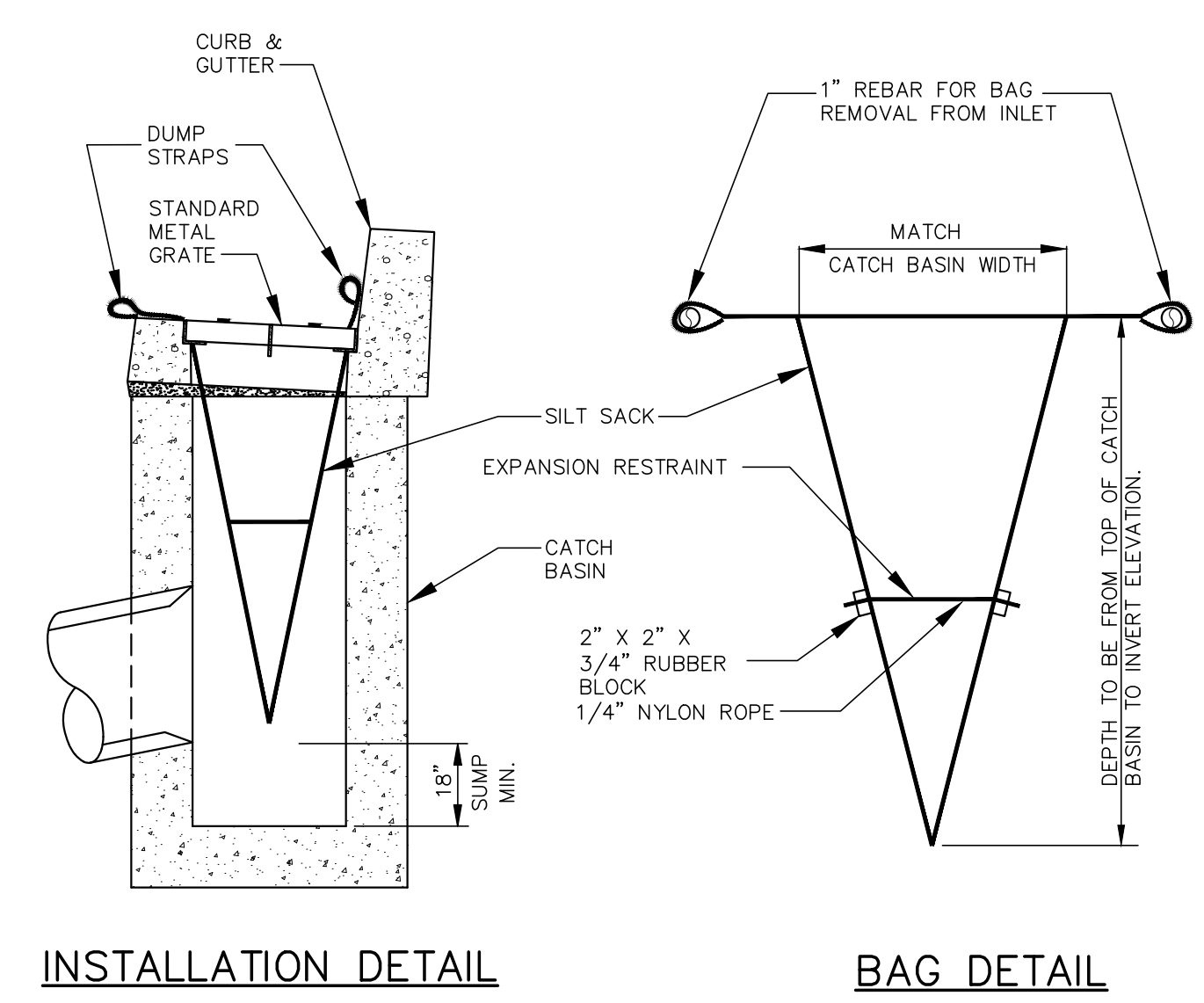
LAST REVISION DATE:	JO #
JUNE 2015	STANDARD
STRAW WATTLE SEDIMENT BARRIER	
(NTS)	
WESTECH ENG.	DETAIL NO. 6120



- MAINTENANCE NOTES:**
1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
 2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND SEDIMENT FENCES OR BIOFILTER BAGS.
 3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.
- | | |
|-------------------------------|-----------------|
| LAST REVISION DATE: | JO # |
| APRIL 2014 | STANDARD |
| INLET SEDIMENT CONTROL | |
| (NTS) | |
| WESTECH ENG. | DETAIL NO. 6130 |



- MAINTENANCE NOTES:**
1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
 2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND BIOFILTER BAGS.
 3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.
 4. PT. 'A' SHALL BE 6" MIN. HIGHER THAN PT. 'B'.
- | | |
|---|-----------------|
| LAST REVISION DATE: | JO # |
| APRIL 2014 | STANDARD |
| DITCH AND SWALE EROSION PROTECTION | |
| (NTS) | |
| WESTECH ENG. | DETAIL NO. 6140 |



- NOTES:**
1. EMPTY SILT SACK AS NECESSARY.
 2. SILTSACK SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACF ENVIRONMENTAL AND SUPPLIED BY ACF WEST (503) 771-5115 OR APPROVED EQUAL.
- | | |
|------------------------------|-----------------|
| LAST REVISION DATE: | JO # |
| OCT 2002 | STANDARD |
| SILTSACK INLET DETAIL | |
| (NTS) | |
| WESTECH ENG. | DETAIL NO. 6150 |

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BY	
NO.	1
DATE	SEP 2022
DESCRIPTION	
REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON SCALES ACCURACLY

REG. PROFESSIONAL ENGINEER
764.956
DIGITALLY SIGNED
OREGON REG. No. 12345
WILLIAM J. KELLS
REVISIONS: 6/30/2024

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

WE

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3966
E-mail: westech@westech-eng.com

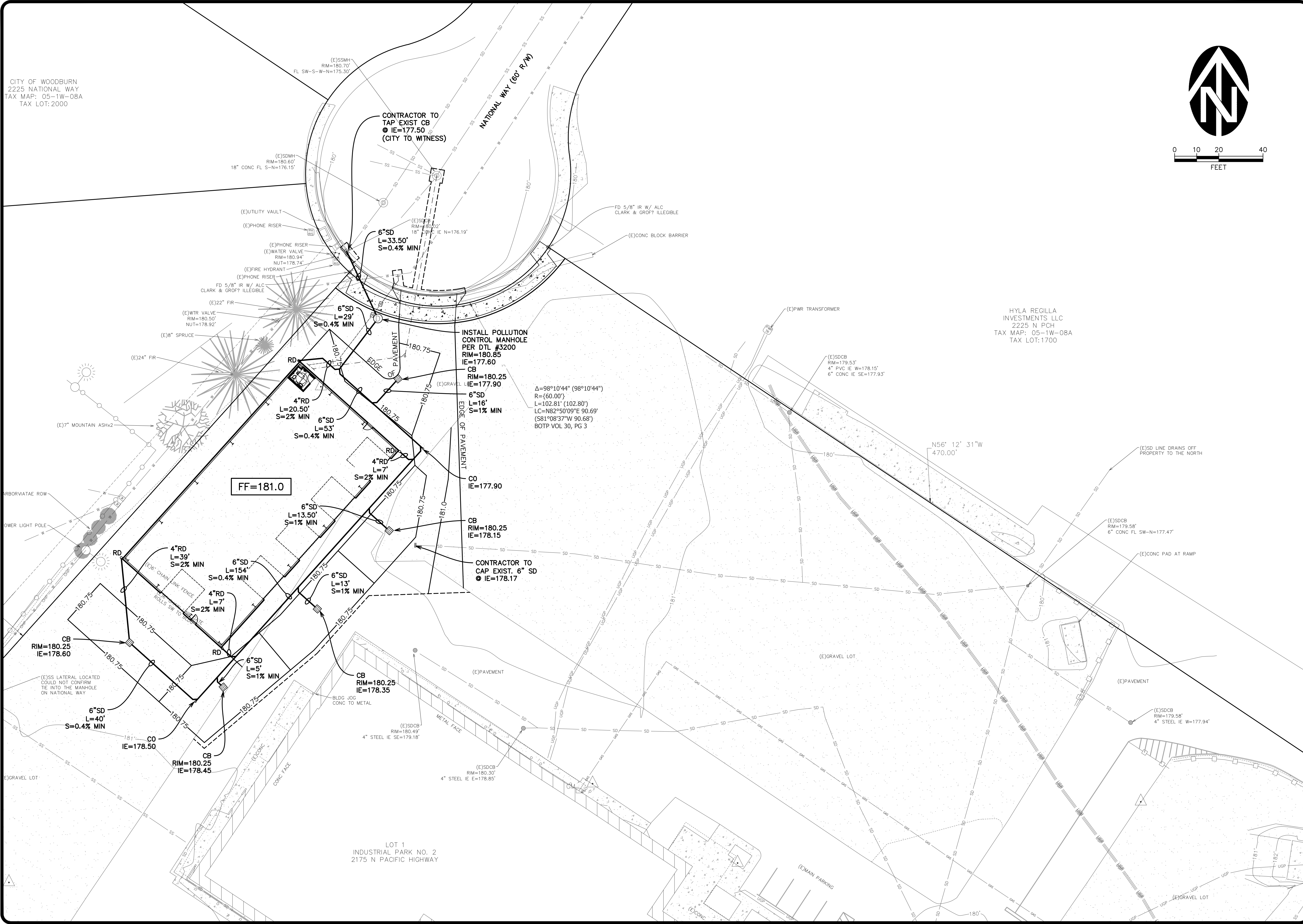
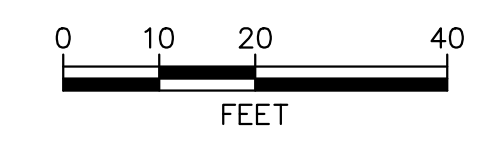
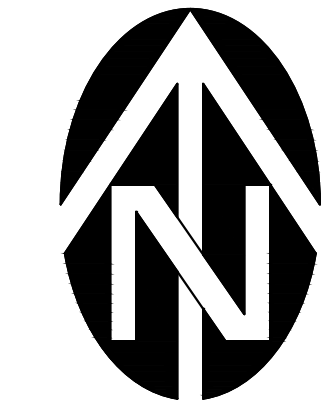
AC + CO ARCHITECTURE COMMUNITY
FLEET SALES WEST - WOODBURN

EROSION CONTROL DETAILS

DRAWING C1.3

JOB NUMBER
3413.0000.0

CITY OF WOODBURN
2225 NATIONAL WAY
TAX MAP: 05-1W-08A
TAX LOT: 2000

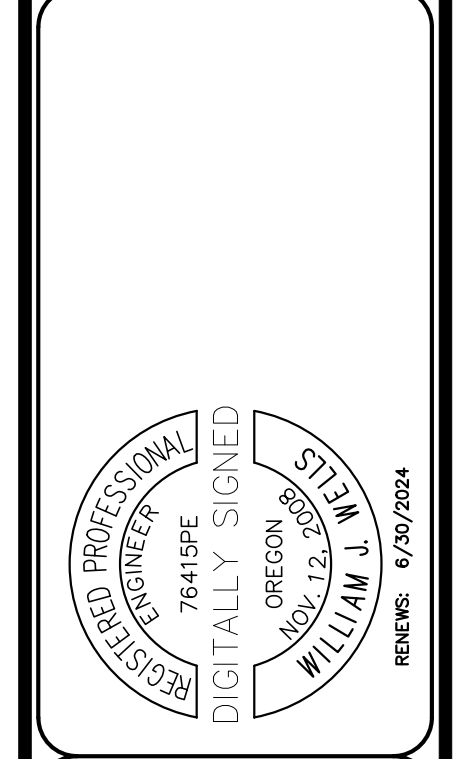


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NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
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IF NOT ONE INCH ON SCALES ACCURACLY

DSN. JW
DRN. JH
CKD. JW
DATE: SEP 2022



WESTTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3966
E-mail: westtech@westtech-eng.com

AC + CO ARCHITECTURE COMMUNITY
FLEET SALES WEST - WOODBURN

GRADING AND DRAINAGE PLAN

DRAWING
C2.0

JOB NUMBER
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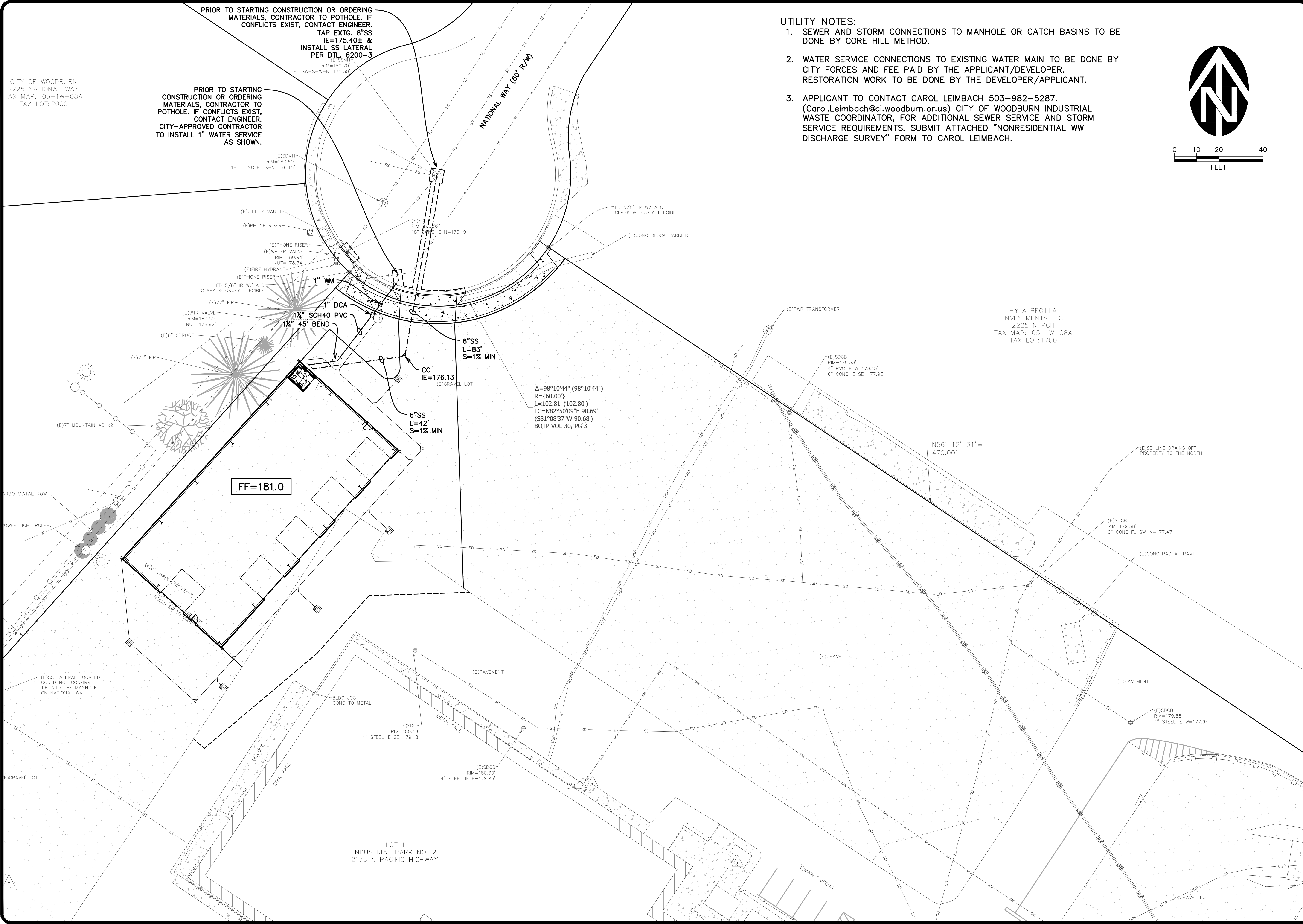
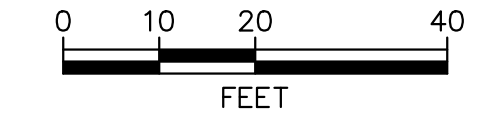
CITY OF WOODBURN
2225 NATIONAL WAY
TAX MAP: 05-1W-08A
TAX LOT: 2000

PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS, CONTRACTOR TO POTHOLE. IF CONFLICTS EXIST, CONTACT ENGINEER.
CITY-APPROVED CONTRACTOR TO INSTALL 1" WATER SERVICE AS SHOWN.

PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS, CONTRACTOR TO POTHOLE. IF CONFLICTS EXIST, CONTACT ENGINEER.
TAP EXTG. 8"SS
IE=175.40± &
INSTALL SS LATERAL
PER DTL 6200-3

UTILITY NOTES:

- SEWER AND STORM CONNECTIONS TO MANHOLE OR CATCH BASINS TO BE DONE BY CORE HILL METHOD.
- WATER SERVICE CONNECTIONS TO EXISTING WATER MAIN TO BE DONE BY CITY FORCES AND FEE PAID BY THE APPLICANT/DEVELOPER. RESTORATION WORK TO BE DONE BY THE DEVELOPER/APPLICANT.
- APPLICANT TO CONTACT CAROL LEIMBACH 503-982-5287. (Carol.Leimbach@ci.woodburn.or.us) CITY OF WOODBURN INDUSTRIAL WASTE COORDINATOR, FOR ADDITIONAL SEWER SERVICE AND STORM SERVICE REQUIREMENTS. SUBMIT ATTACHED "NONRESIDENTIAL WW DISCHARGE SURVEY" FORM TO CAROL LEIMBACH.



NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON SCALES ACCURACLY

DSN. JW
DRN. JH
CKD. JW
DATE: SEP 2022

REGISTERED PROFESSIONAL ENGINEER
764 SEF
DIGITALLY SIGNED
WILLIAM J. WELLS
OREGON
Aug 12, 2024
REVIEWS: 6/30/2024

WESTTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3966
E-mail: westtech@westtech-eng.com

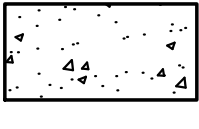
AC + CO ARCHITECTURE COMMUNITY
FLEET SALES WEST - WOODBURN

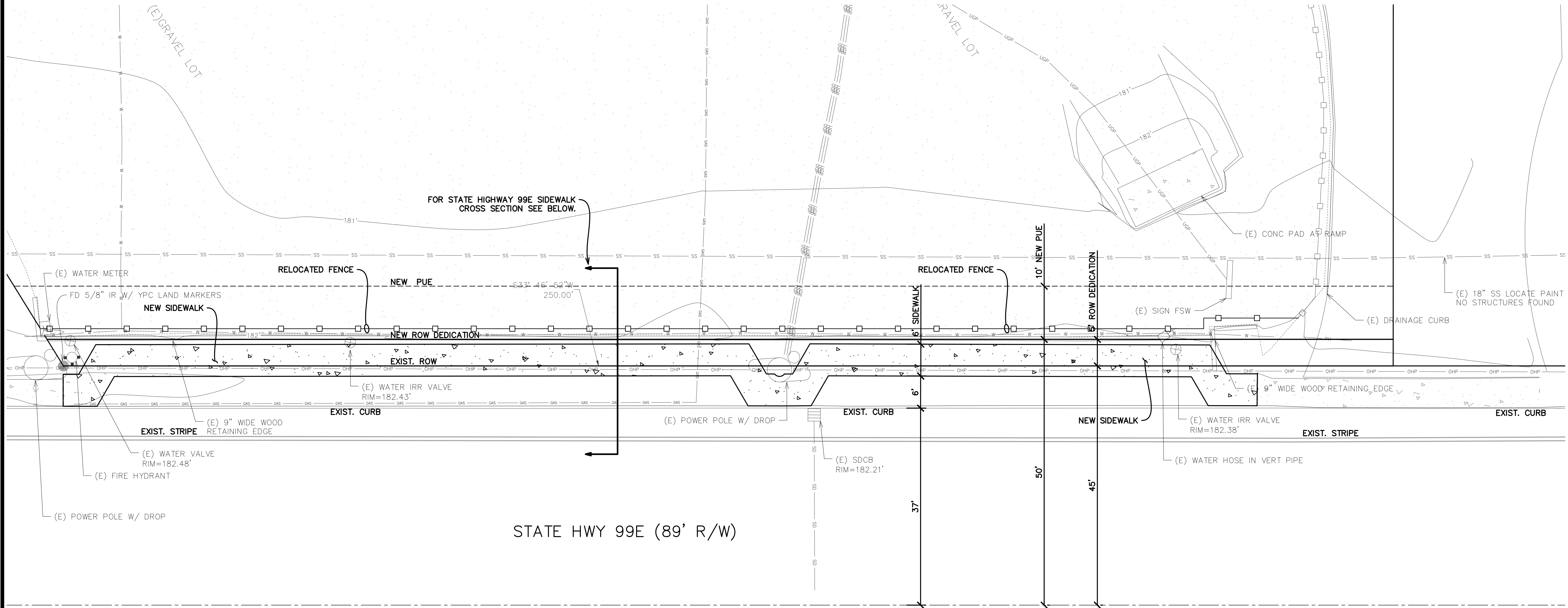
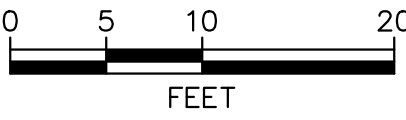
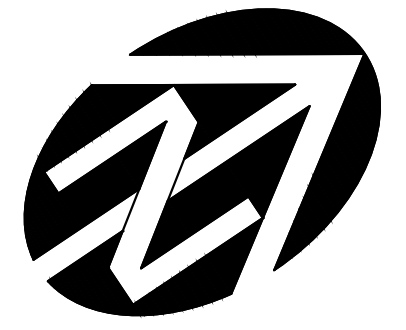
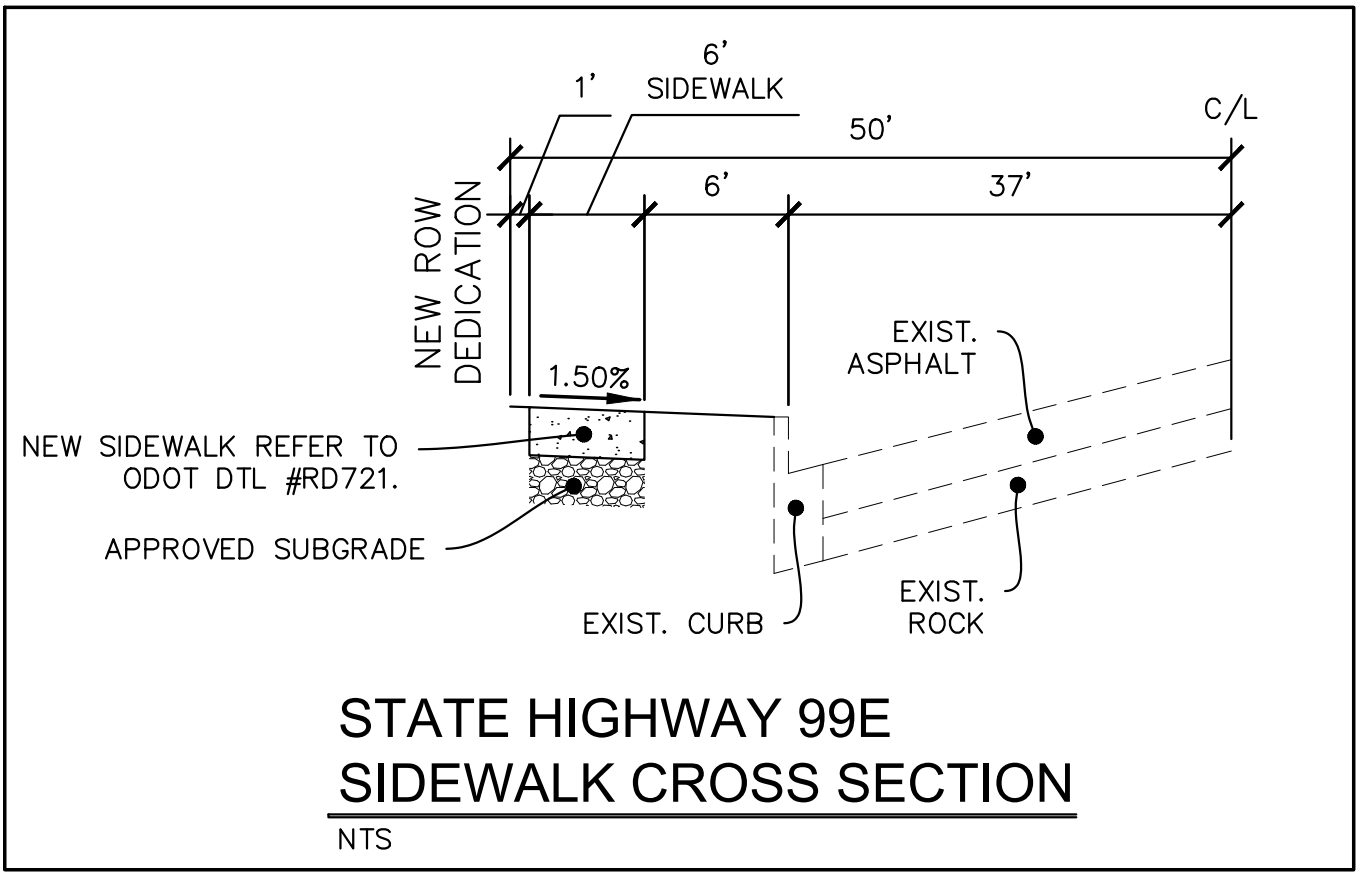
UTILITY PLAN

DRAWING
C3.0

JOB NUMBER
3413.0000.0

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SURFACING LEGEND	
	SIDEWALK: 4" THICK PCC (4000 PSI) OVER 2" OF COMPACTED 1"-0 OVER APPROVED SUBGRADE. REFER TO ODOT DTL #RD721.



STATE HWY 99E (89' R/W)

NO.	DATE	DESCRIPTION	BY
1			


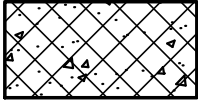
VERIFIED SCALE	DATE: SEP 2022
BAR IS ONE INCH ON ORIGINAL DRAWING	CKD: JW
IF NOT ONE INCH ON SCALES ACCURACELY	DRN: JH
	DSN: JW

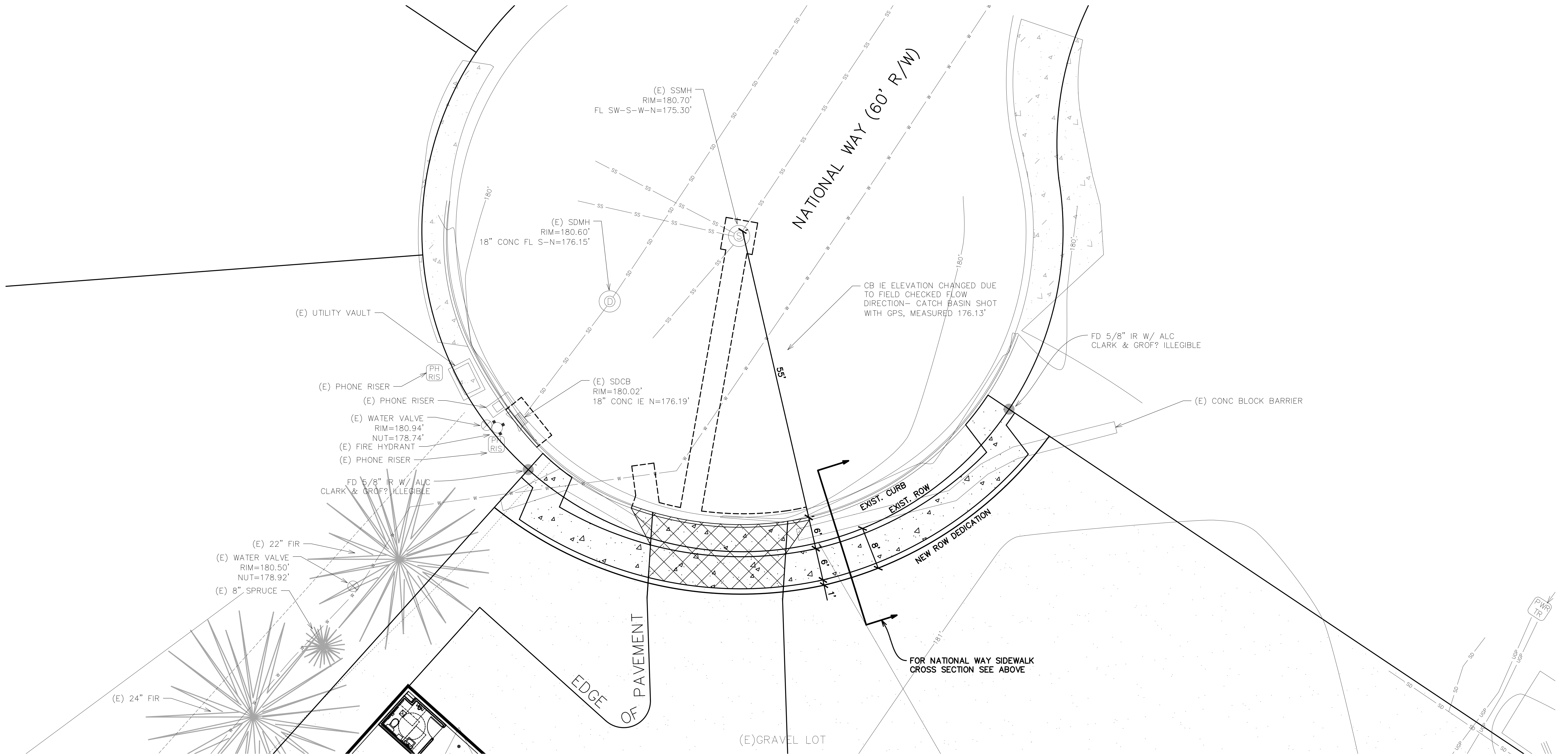
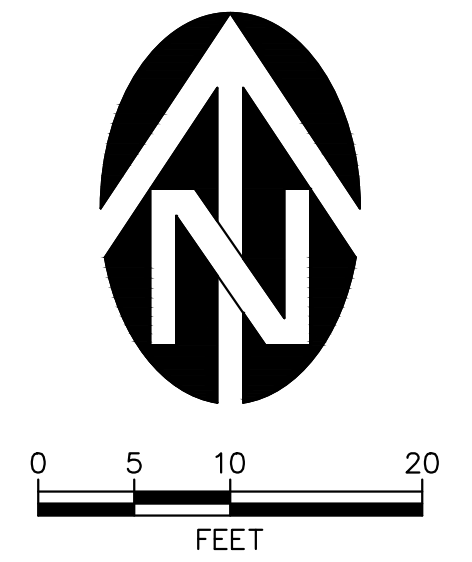
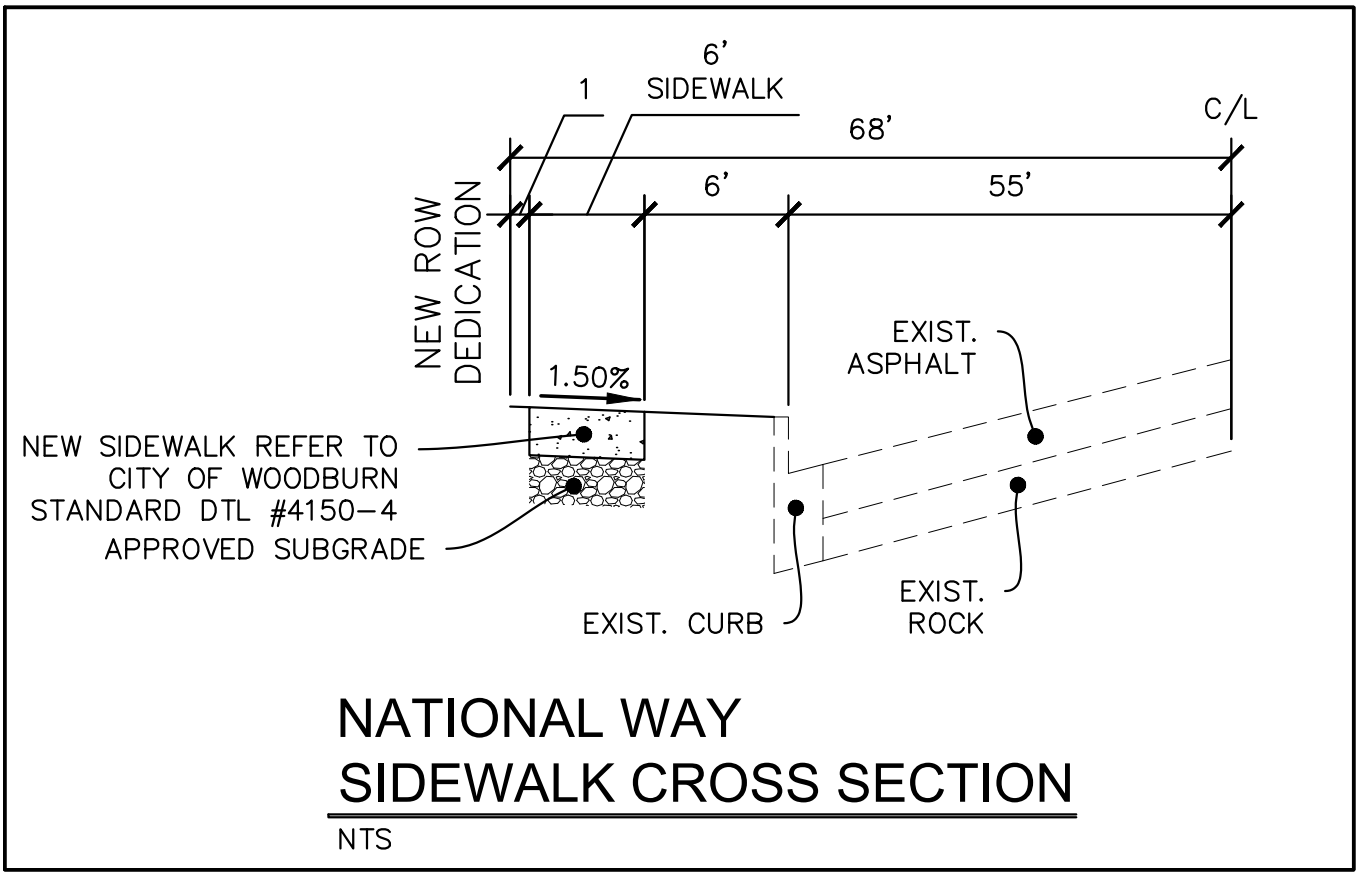
PROFESSIONAL ENGINEER
DIGITALLY SIGNED
WILLIAM J. WELLS
OREGON REG. NO. 12388
7641597

WESTTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3966
E-mail: westtech@westtech-eng.com

AC + CO ARCHITECTURE COMMUNITY
FLEET SALES WEST - WOODBURN
**STATE HIGHWAY 99E -
SIDEWALK IMPROVEMENTS**
DRAWING
C4.1
JOB NUMBER
3413.0000.0

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SURFACING LEGEND	
	SIDEWALK: 4" THICK PCC (4000 PSI) OVER 2" OF COMPACTED 1"-0 OVER APPROVED SUBGRADE.
	NEW DRIVEWAY PER CITY DTL #4150-1.



NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING
IF NOT ONE INCH ON
SCALE, ACCURACIES

DSN. JW
DRN. JH
CKD. JW
DATE: SEP 2022

REGISTERED PROFESSIONAL ENGINEER
76415P
DIGITALLY SIGNED
WILLIAM J. WELLS
OREGON
EXPIRES 12/31/2024
RENEWALS: 6/30/2024

WESTTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

WE

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Phone: (503) 585-2474 Fax: (503) 585-3966
E-mail: westtech@westtech-eng.com

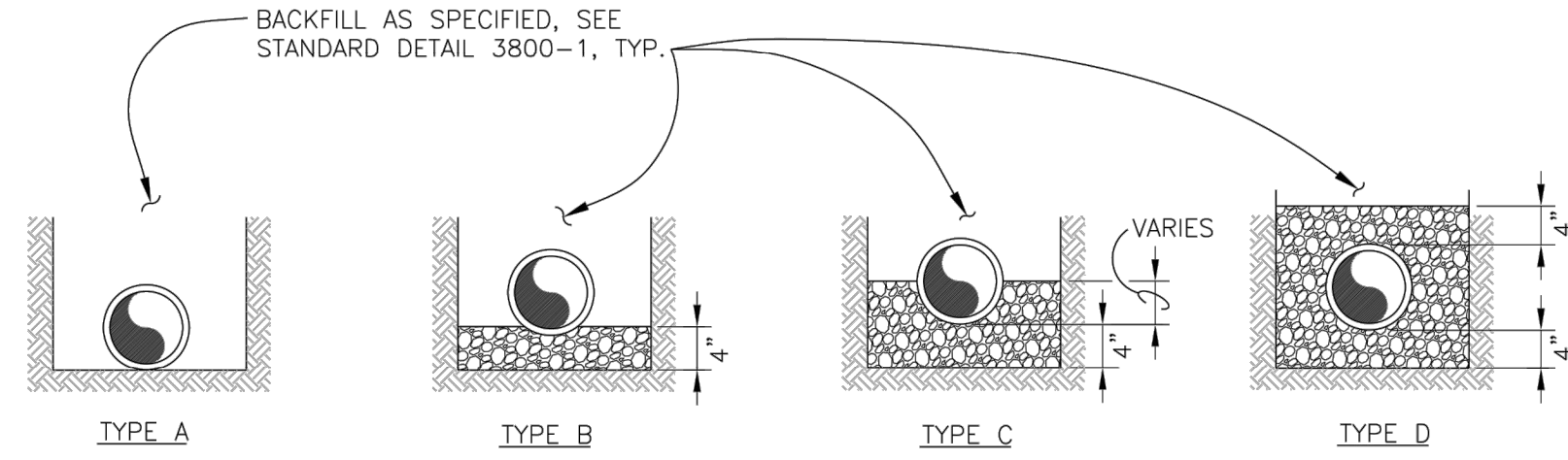
AC + CO ARCHITECTURE COMMUNITY
FLEET SALES WEST - WOODBURN

**NATIONAL WAY - DRIVEWAY
& SIDEWALK IMPROVEMENTS**

DRAWING
C4.2

JOB NUMBER
3413.0000.0

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TYPE A - PLACE PIPE BARREL ON UNDISTURBED EARTH.
 TYPE B - SUPPORT PIPE ON 4" OF COMPACTED 1"-MINUS CRUSHED AGGREGATE.
 TYPE C - PIPE BEDDED WITH 1"-MINUS CRUSHED AGGREGATE FROM 4" BELOW INVERT TO SPRING LINE.
 TYPE D - PIPE BEDDED WITH 1"-MINUS CRUSHED AGGREGATE FROM 4" BELOW INVERT TO 4" ABOVE ZENITH.

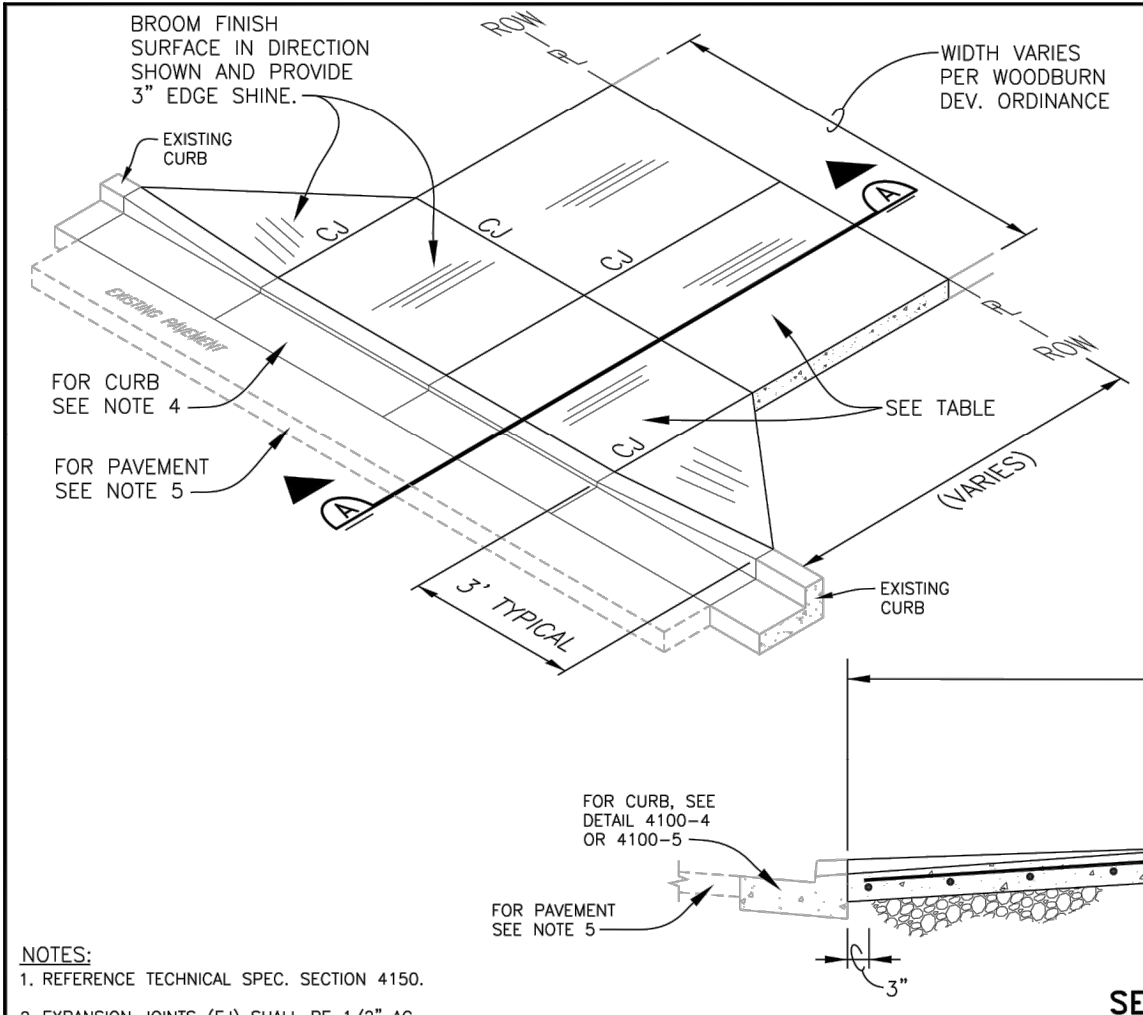
LEGEND
 [Symbol] UNDISTURBED NATIVE SOIL
 [Symbol] 1"-MINUS CRUSHED AGGREGATE, COMPACTED 95 PCT. OF AASHTO T-99

NOTES:
 1. REFERENCE TECHNICAL SPEC. SECTION 3800.

WOODBURN
 Incorporated 1889
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DIVISION

PIPE TRENCH BEDDING AND ZONE

REV: DEC. 2007
 SCALE: NTS
 DET No. 3800-2

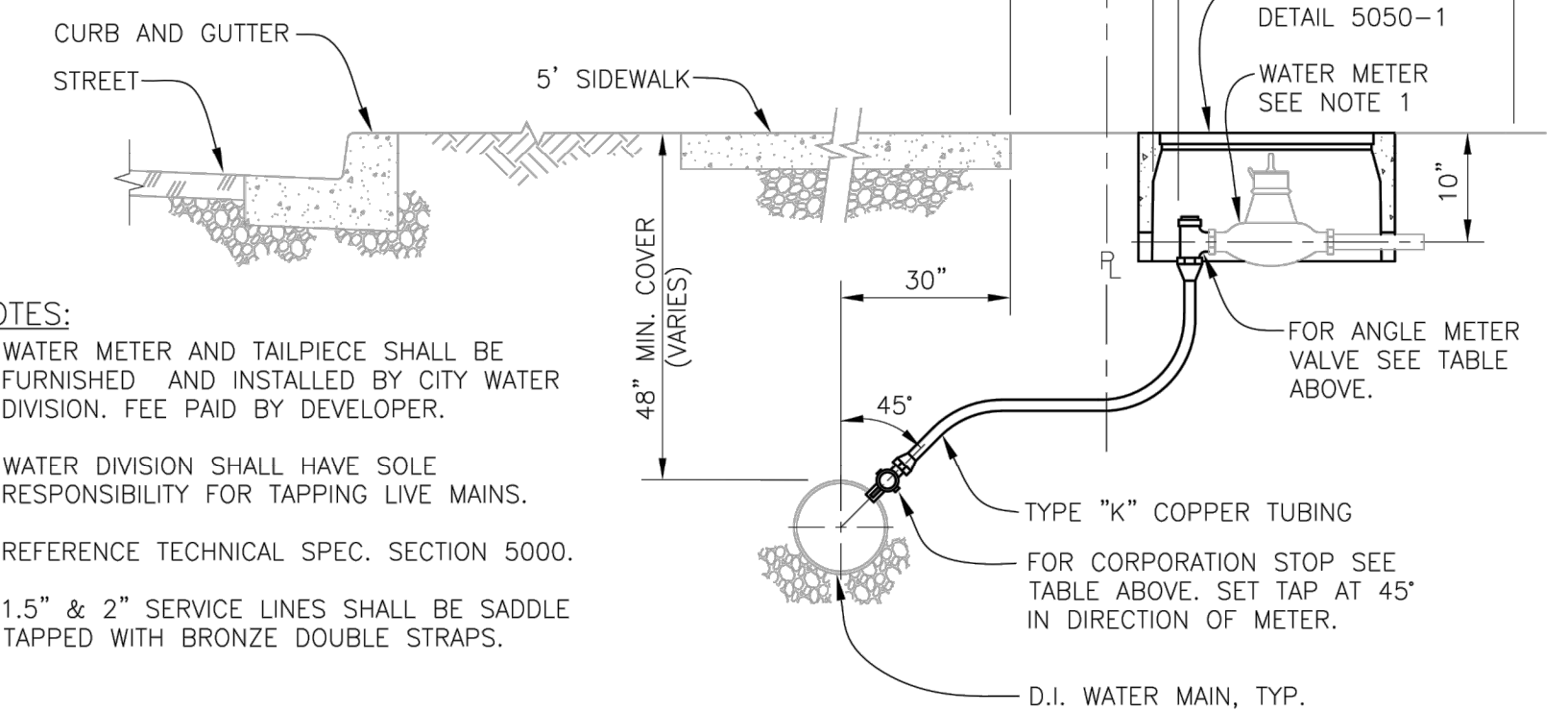


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DRIVEWAY APPROACH

REV: AUG. 2020
 SCALE: NTS
 DET No. 4150-1

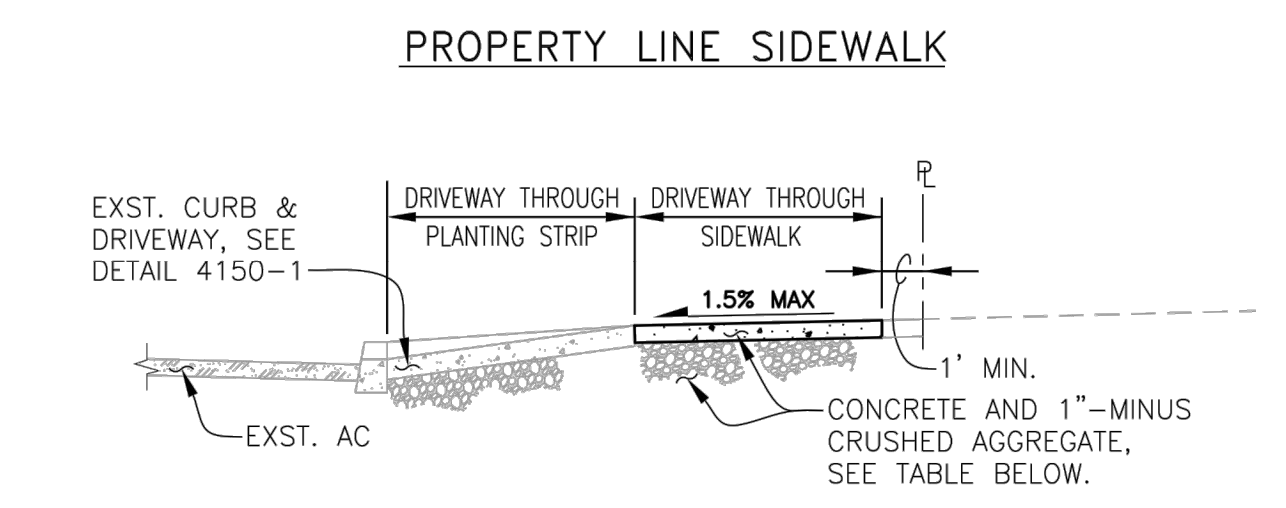
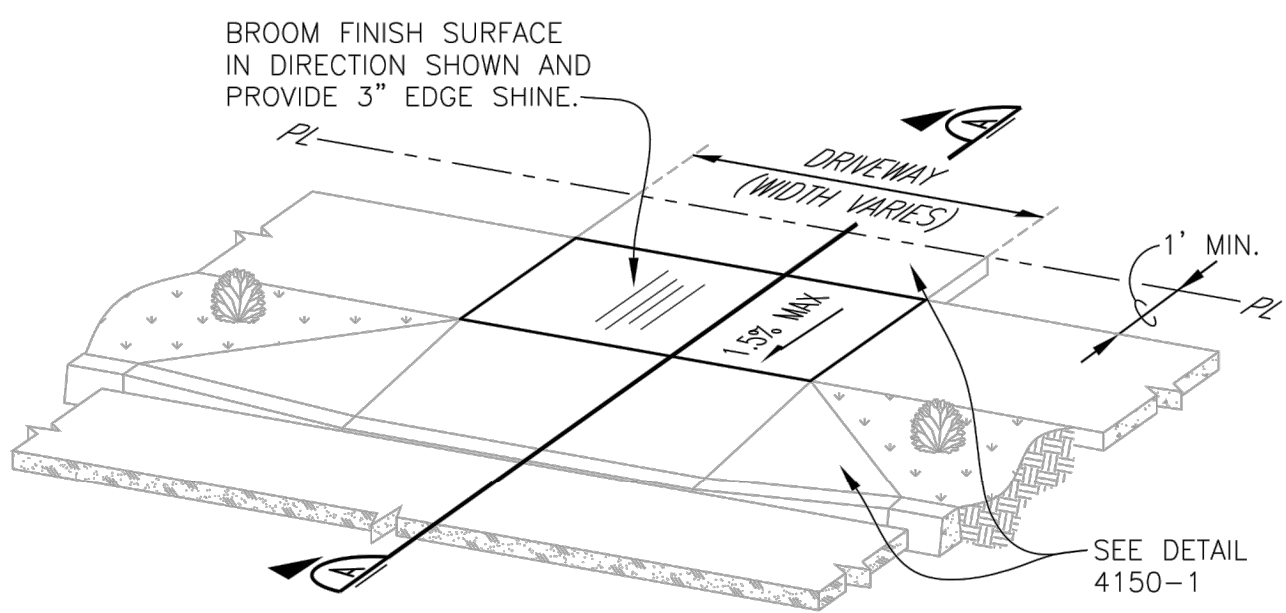
FORD CO. MODEL		
DIA.	CORP STOP	ANGLE METER VALVE Model No.
1"	F1000-4*	KV43-444W*
1.5"	FB500-6*	FV43-666W*
2"	FB500-7*	FV43-777W*
*OR APPROVED EQUAL		



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WATER SERVICE CONNECTION

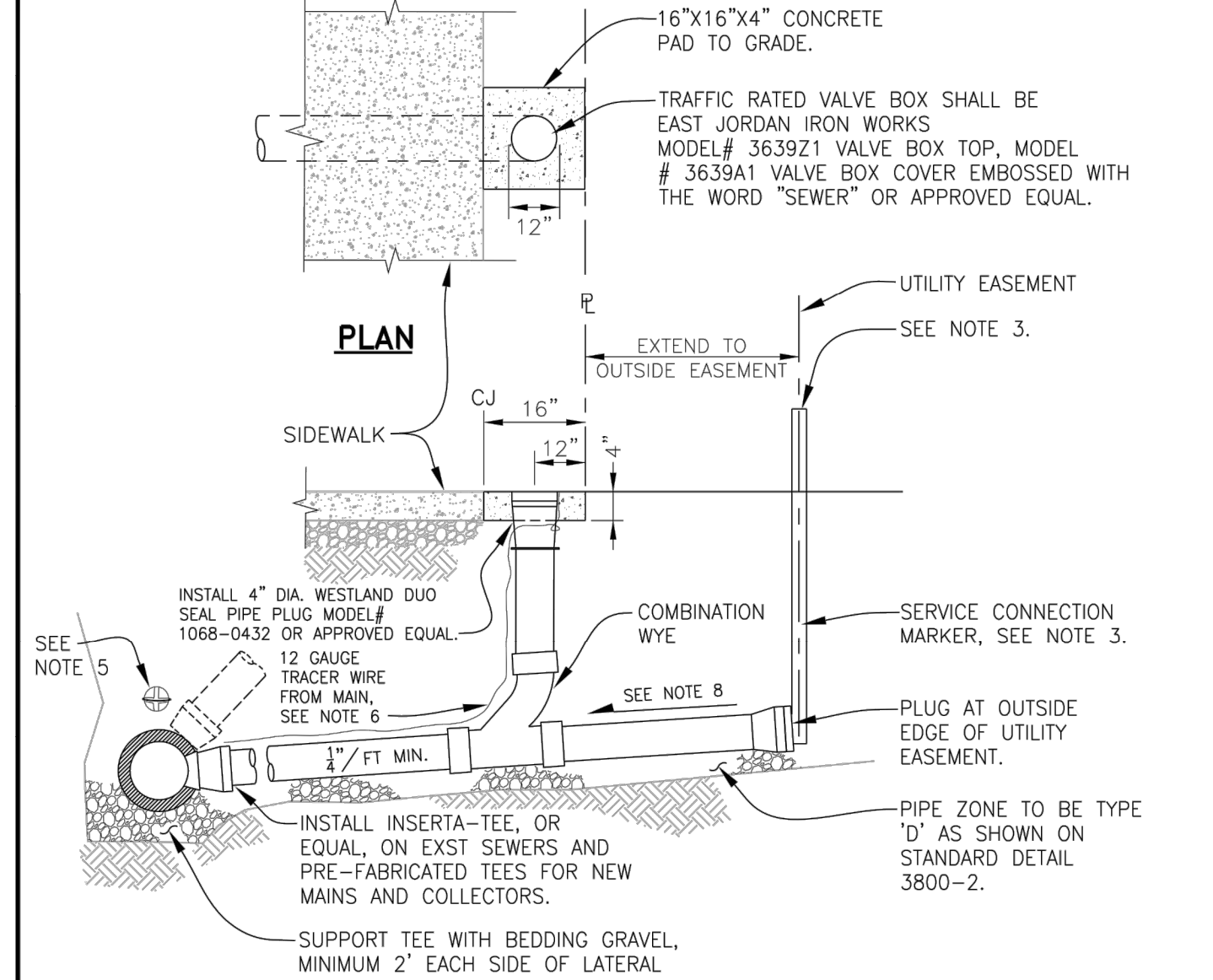
REV: FEB. 2022
 SCALE: NTS
 DET No. 5000-4



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PROPERTY LINE SIDEWALK AT DRIVEWAY

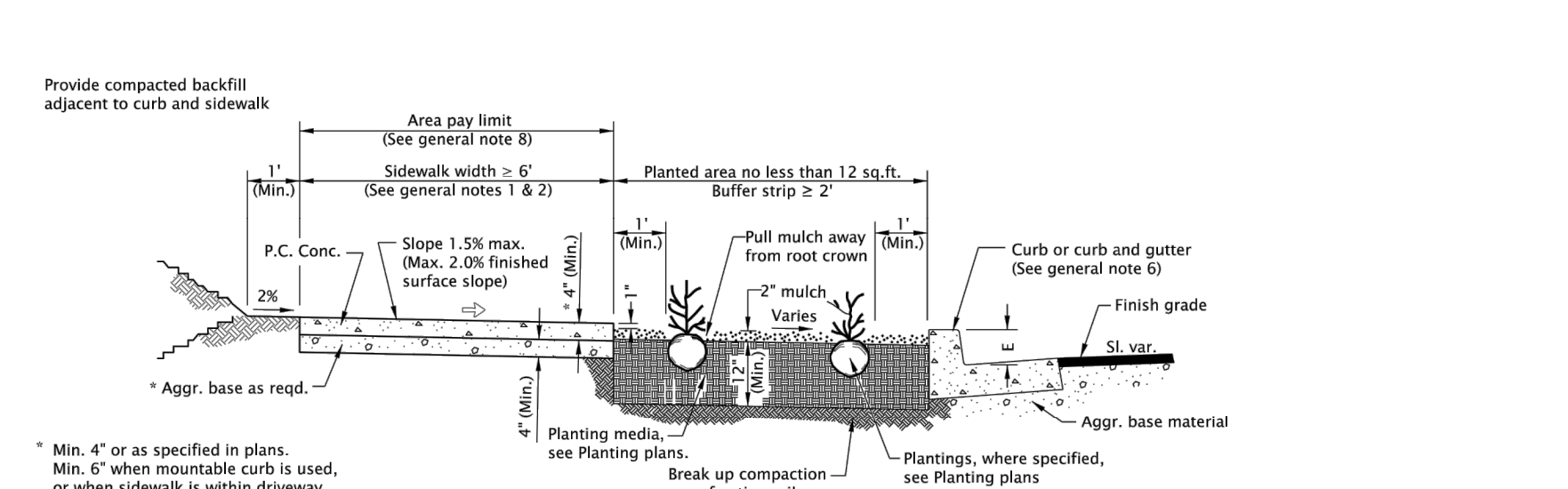
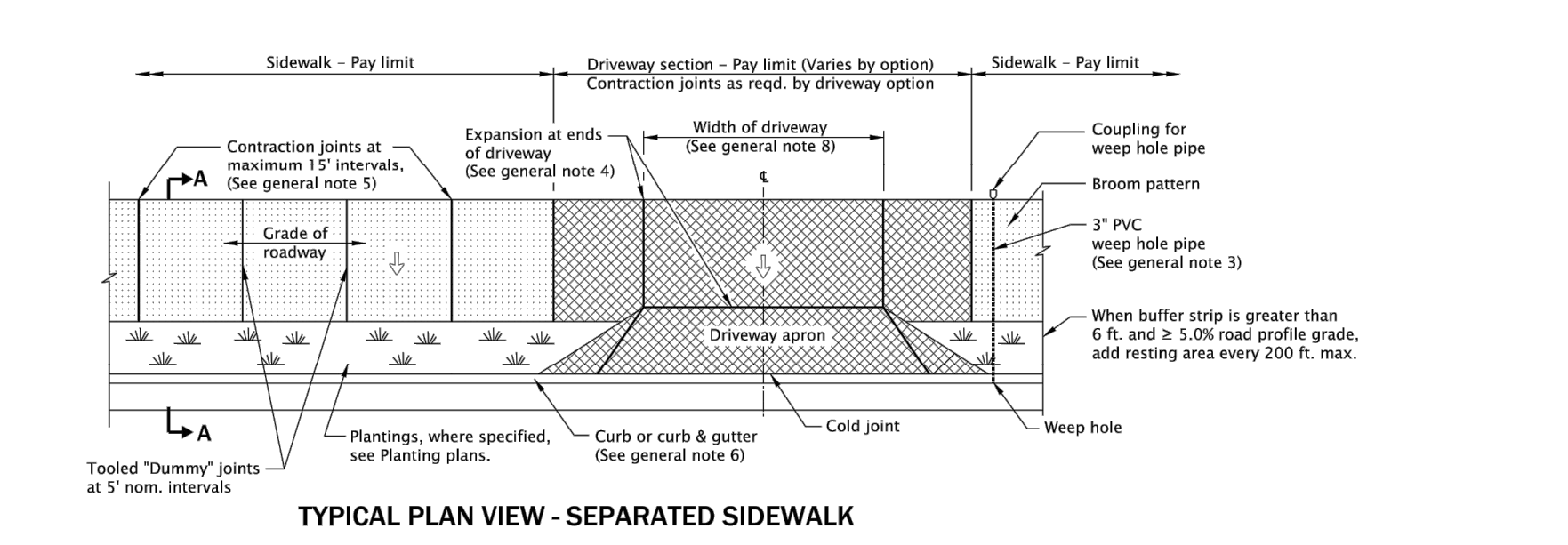
REV: JUNE. 2018
 SCALE: NTS
 DET No. 4150-4



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SEWER SERVICE CONNECTION

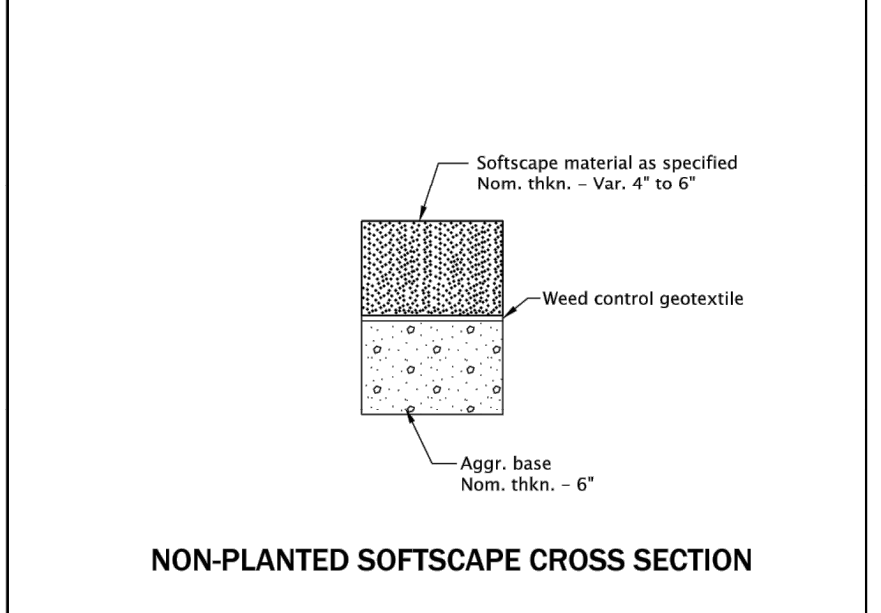
REV: JUNE 2021
 SCALE: NTS
 DET No. 6200-3



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SEPARATED SIDEWALKS

REV: JUNE 2021
 SCALE: NTS
 DET No. 6200-3



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NON-PLANTED SOFTSCAPE CROSS SECTION

REV: JUNE 2021
 SCALE: NTS
 DET No. 6200-3

NO.	DATE	DESCRIPTION	BY
1	SEP 2022		

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 ENGINEERING DIVISION

DATE: SEP 2022

WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3966
 E-mail: westtech@westtech-eng.com

AC + CO ARCHITECTURE COMMUNITY
 FLEET SALES WEST - WOODBURN

CONSTRUCTION DETAILS

DRAWING C6.1

JOB NUMBER 3413.0000.0

1/4/2023 4:04:11 PM R:\pws\ARB-COST\Fleet_Sales - Woodburn\Civil\Plots\Construction Notes and Details.dwg (C6.1 tab)