



# Final Decision

## Planning Commission

**File number(s):** CU 22-04 & DR 22-15

**Project name:** Hardcastle Apartments

**Date of decision:** March 9, 2023

**Applicant:** Jeff Bolton, Senior Project Manager, Multi/Tech Engineering, 1155 13<sup>th</sup> St SE, Salem, OR 97302-2508

**Landowner:** Friedman Properties LLC, 2969 Ferguson St NW, Salem, OR 97304-4155

**Site location:** 1755 Hardcastle Ave; Tax Lot 051W08DC00900

**Summary:** The Planning Commission held a public hearing on March 9, 2023 and unanimously approved the consolidated applications package (Type III) with the conditions recommended by staff through the staff report published March 2, excepting modifying the electric power pole(s) and line fee in-lieu in Attachment 204, to which Condition CU1e(2) refers, to be per a cost estimate instead of \$22,000.

The request is for conditional use (for multiple-family dwellings) and design review application types to develop the site of a demolished house of approximately 0.44 acres into 9 apartments in one three-story walk-up building.

The subject property is in the Commercial General (CG) zoning district.

One party testified (besides the applicant). See the table below in the "Testifiers" section.

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

## Conditions of Approval:

### *General*

G1. As part of [building permit application](#), the applicant shall submit revised site plans meeting the conditions of approval and obtain Planning Division approval through sign-off on permit issuance. The applicant shall submit a cover letter indicating what specific plans sheets or document page numbers demonstrate how the submittal meets each condition.

G2. The applicant or successors and assigns shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G3. References: Attachment 201 serves as a dictionary or glossary defining certain abbreviations, acronyms, phrases, terms, and words in the context of the conditions of approval. The 200 series of attachments are as binding as the conditions of approval in the main body of the final decision.

G4. Due dates / public improvements:

- a. When public street improvements, and any fees in lieu of public improvements, are due shall be per WDO 3.01.02E and 4.02.12 unless if and where a condition of approval has more restrictive timing. By this condition, there is more restrictive timing: In any case, they are due no later than by Building Division issuance of first certificate of occupancy (C of O), regardless of deferral, if any, that PW might have approved through 3.01.02E.
- b. ROW/easements: Recordation of required right-of-way (ROW) and public easements is due by building permit issuance.
- c. Where a Phasing Plan per WDO 5.03.05 is relevant, building permit issuance means issuance for the phase in which the conditioned improvement is located.
- d. Where changes to street addresses are necessary, the developer shall apply through the Planning Division for and obtain approval of an [Address Assignment Request](#). This is due prior to building permit application, and if and where land division is relevant, then also after recordation with County.

G5. Recordation due dates: The applicant shall apply to the County for recordations of items that the City requires no later than 6 months prior to expiration of the land use approval as WDO 4.02.04B establishes, and shall complete recordations no later than three years past the land use “final decision” date. The due date to complete recordations shall not supersede when recordations are due relative to the building permit stage.

G6. Administration:

- a. Conformance: That a land use approval does not reiterate any and each particular detail, provision, requirement, rule, spec, or standard from any of the WDO, other ordinances, resolutions, public works construction code, or department policies does not exempt development from conformance with them.

- b. Copies: The developer, including any succeeding contract, shall provide copies of documentation that a City staff person requests regardless if the documentation source is another City staff person or department.
- c. Fees: The developer shall pay fees per Attachment 204.

*Conditional Use 22-04*

CU1. Frontage/street improvements: These shall be:

- a. Bicycle lane: 5 ft wide min.
- b. Landscape strip: 6 ft wide min, exc. curb dimension.
- c. Street trees: Per WDO 3.06.03A.1 (1:30), equaling 5 trees per frontage. For max 1 of the min trees required along the frontage, the developer may pay a fee in-lieu per Attachment 204.
- d. Sidewalk: 8 ft wide min, which may overlap outside ROW with granting of public access via either the streetside PUE or separate easement.
- e. Electric power pole: Based on 3.02.04C, burial or removal of the existing lateral electric line(s) that cross Hardcastle from the south and served the demolished house; and, based on 3.02.04B and 4.02.12A, either Option (1) or (2):
  - (1) Option (1): Removal of the electric power pole, PGE pole PL 3080, from the north side of Hardcastle in or near the existing front yard as well as the lines that connect it south across Hardcastle to PL 2579.  
Note (1): Per PGE, pole PL 3080 supports PL 2579. Removal would require a new pole south of PL 2579 within the utility easement in the front yard of the 1080 & 1084 Dunn Ct duplex (Attachments 102B & C).
  - (2) Option (2): Pay an electric power pole(s) and line(s) fee in-lieu per Attachment 204.



*Exhibit CU1e Front yard electric power pole and overhead lines crossing Hardcastle Ave (PGE pole PL 3080 at left/north; pole PL 2579 at right/south)*

CU2. Walkways: The north spur walkway that passes the northernmost wide walkway segment serving the north open-air stairwell shall be min width 3.5 ft, allowing the applicant to narrow to provide more landscaping.

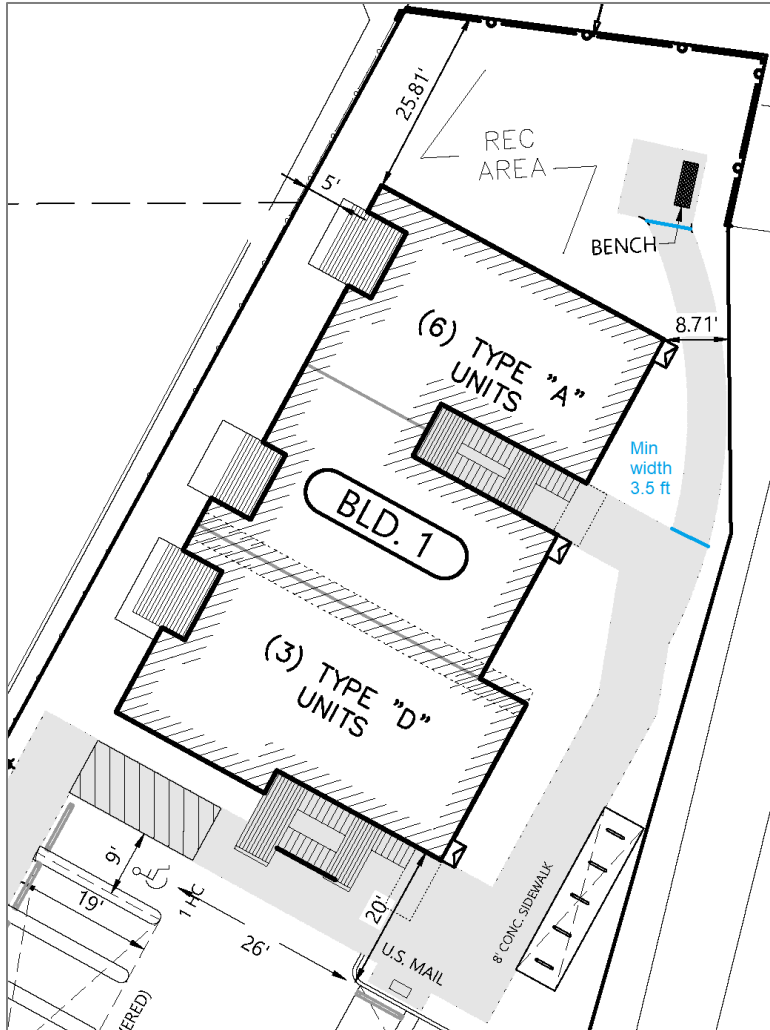


Exhibit CU2 North spur walkway min width

CU3. Overhang / wheel stops:

- a. To conform with WDO 3.05.02H and Table 3.05B, Footnote 3, wheel stops are required within all parking stalls that abut the wide walkway, excepting any parallel parking stalls that the developer might later introduce.
- b. The SE parking stall in the east drive aisle shall have a wheel stop to prevent encroachment onto the corner of the compact parking stall at the site SE.

CU4. Bicycle parking:

- a. Number: Per WDO Table 3.05D, min 10 stalls and to the standards of 3.05.06.
- b. Outdoor closet: Based on WDO 3.05.06C.7, every patio and balcony outdoor closet, if any, shall have a bicycle hook or rack that meets the locking standards of 3.05.06C.2. If hooks, they shall be foldable or retractable.
- c. Patio gates: Per WDO 3.05.06C.7, all patio physical separations from common area shall have a gate min 2 ft, 4 inches wide.
- d. Stairwell signage: WDO 3.05.06C.4 applies such that each open-air stairwell that has bicycle parking, if any, requires a sign.
- e. Vertical clearance: 8 ft min from floor or grade or, where a stall is under stairs, min 3 ft, 9 inches at the low end, min average 5 ft, and with the railing along the short side of cane protection area, if any, able to be lifted up.
- f. Wide walkway: Min 8 stalls distributed along the wide walkway.

CU5. EV:

- a. Number: Electric vehicle parking shall be min 1 stall, as proposed, and to the standards of 3.05.03I.
- b. Revisions: The applicant shall per Condition G1 revise site plan Sheets SDR 3, SDR 3.1, or building permit plan set equivalent sheets to meet 3.05.03I.1 (max distance 50 ft) per Exhibit CU5b below, 2 (technical specs), 3 (pavement image or logo), & 4 (sign face image or logo).

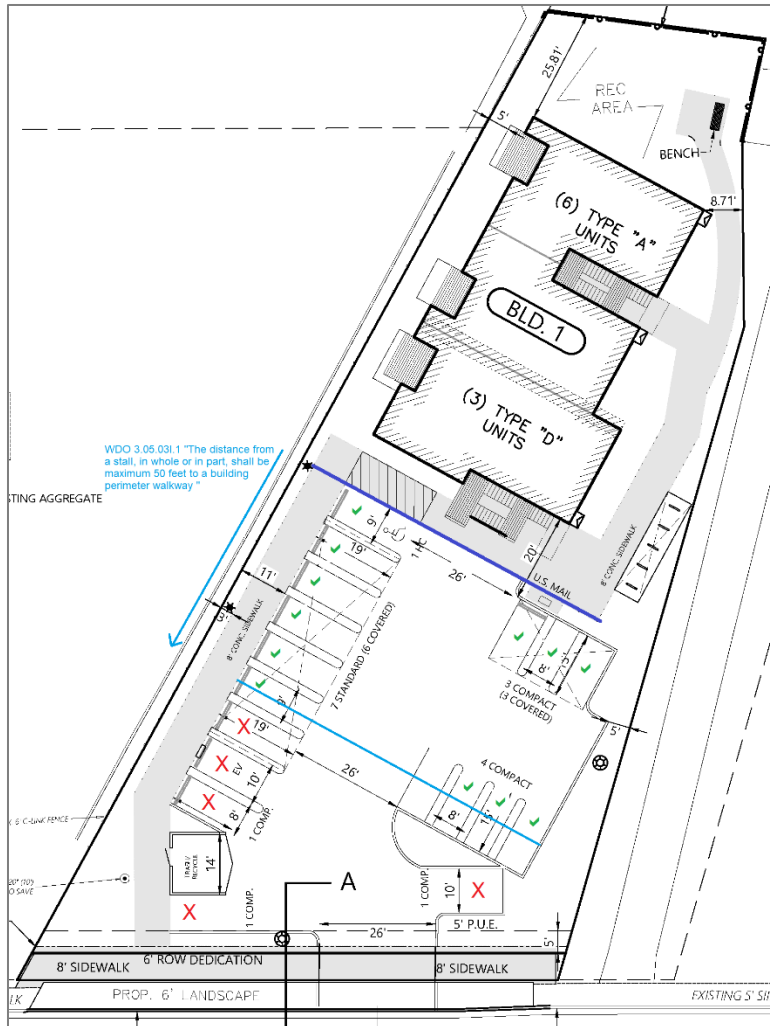


Exhibit CU5b EV max distance 50 ft

### Landscaping

#### CU6. General:

- a. Bark dust: 5.0% max of landscaped area may be bark dust.
- b. Screening: Evergreen hedge or shrubbery shall be screen at-grade electrical and mechanical equipment along min two sides, min 1 shrub per 2 ft of screened side and of min medium size category at maturity per WDO Table 3.06B.
- c. Rear: Between each patio gate and a walkway shall be amid groundcover and shrubbery a route min 3 ft wide of lawn grass.

#### CU7. Tree preservation:

- a. ROW: n/a
- b. On-site: The developer shall preserve the one Significant Tree, a 24-inch pine tree at the site SW corner, per Attachment 202.

CU8. Evergreen: Min 3 trees. The 3 shall be 1 min of the following coniferous or evergreen species:

Cedar, deodar	Madrone, Pacific
Cedar, Western Red	Oak, Oregon White
Douglas-fir	Pine, Ponderosa; and
Fir, Grand	Yew, Pacific
Hemlock, Western	

Preservation of the existing Significant Tree, which is a 24-inch pine tree, at the site SW corner may count towards the min.

CU9. Front yard:

a. Trees:

- (1) The first 20 ft of front yard shall have min 3 trees. Preservation of the existing Significant Tree, which is a 24-inch pine tree, at the site SW corner may count towards the min.
  - (2) The west side of the wide walkway shall have min 4 trees.
  - (3) The parking area southeast angled landscaped peninsula shall have min 1 tree.
- Preservation of the existing Significant Tree, which is a 24-inch pine tree, at the site SW corner may count towards the minimums of (1) & (2).

Note A: WDO Table 3.06B indicates minimum size at planting.

b. Hedge/shrubbery:

- (1) WDO 3.06.05B applies such that, within the east drive aisle, the western 3 parking stalls that face the driveway, require screening from the street. There shall be a hedge or row of evergreen shrubbery that can mature to 3 ft height, min number equal to 7 plants along the 24 ft width of the 3 stalls.
- (2) Besides the parking area screening that WDO 3.06.05B requires, the remainder of the front yard also shall have a hedge or row of evergreen shrubbery that can mature to 3 ft height. Such shall be planted and pruned to be min 2 ft from sidewalk, wide walkway, and walkways and max height 3.5 ft. Min number equal to 1 plant per 3 ft of length.

c. Fence/fencing/free-standing wall: If any proposed in the front yard, WDO 2.06.02A and Figure 2.06A (height limits) and 2.06.02D (fence materials) shall apply as if the property was residentially zoned. Chain-link fence, if any anywhere on site and coated, shall be a color other than black or charcoal. See also Condition D1.

d. Driveway gate/gating: If the driveway were later to be gated:

- (1) The gate shall be set back from ROW either (a) min 3.5 ft to achieve at least 18 ft distance from Hardcastle face of curb, or (b) at edge of streetside PUE if the Public Works Director in writing directs.
- (2) A fence permit shall be required, assuming at the time that the WDO would continue to require the permit type.



CU10. Trash enclosure:

- a. To meet WDO 3.06.06D, the applicant shall revise the recycling and trash enclosure detail so that the pedestrian gate swings inward and install accordingly.
- b. On the south side, where adjacent to a compact parking space, and the west side, where adjacent to the wide walkway, at min the top 7 courses of concrete masonry unit (CMU) block, or equivalent height of masonry, shall be ground face, i.e. smoother.
- c. The south wall shall have an affixed guardrail for vehicle door strikes and side view mirror strikes that is made of fiber cement, rubber, vinyl, or wood, min vertical dimension 5.5 inches, and min width equal to that of the enclosure wall between corner piers. Any fasteners shall not protrude from the surface.
- d. Near the NE corner of the enclosure, within the landscaped island, shall be a white delineator post with upper amber reflective strip(s), placed such that if a driver exiting the parking stall swings the front part of the vehicle out to the left, if the driver forgets about the enclosure corner that borders the stall, the post would (1) be likely show up in the left side mirror and (2) be bumped by a left side mirror before the mirror could continue and hit the enclosure corner. The post shall be hinge-mounted to bend in the bump direction.
- e. The right/north truck gate shall be installed or mounted such that it cannot open more than 95°.
- f. Gates colors: The pedestrian and truck gates shall be a color other than black or charcoal, and truck gates shall not become chain-link fencing gates with slats/slatting.

CU11. Decorative paved area: Vehicular circulation area shall be paved with any of decorative bricks or pavers or paved with concrete that is scored, stamped, or otherwise treated to have a pattern as described below and Exhibit CU11 conceptually illustrates:

- a. North: Min extent 9 ft south from the parking area north curb and min width equal to the distance between the accessible/ADA parking stall at the west/NW and the curb and parking stall at the east/SE. The area shall “dogleg” or extend south along the east parking stall whole west side at min width 4 ft.
- b. South: Within the driveway throat, equal to its width and min depth same as the landscaped peninsula to the west.

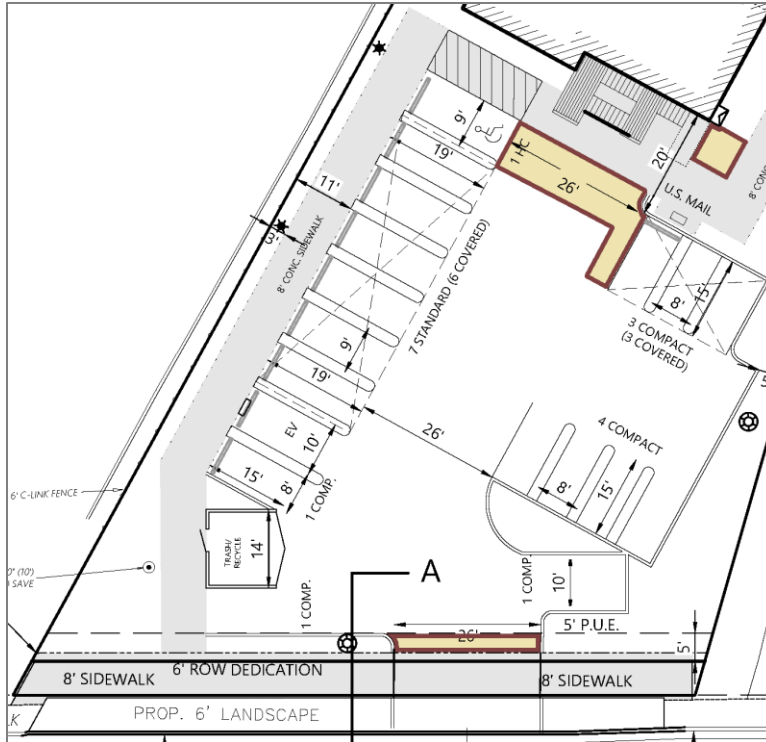


Exhibit CU11 decorative paved areas outlined in dark red and shaded beige

CU12. Balconies and patios:

- a. Patios: 8 ft min narrowest dimension and 96 sq ft min.
  - b. Balconies: 8 ft min narrowest dimension and 80 sq ft min.
- See also Condition D6.

CU13. Common area improvements: They shall include:

- a. Benches: 1 min, each 6 ft wide min, 75.0% min with backs, color(s) other than black or charcoal. Metal or wood. A concrete or masonry seat wall may substitute for a backless bench for each segment that is 6 ft wide min, 1.5 ft high and deep min, and includes a cap of smoother concrete. Place 1 min bench along the wide walkway near any of (1) the north side of the preserved site SW corner Significant Tree, (2) along the east side of the wide walkway south of the outdoor bicycle parking and facing the open-air stairwell, or (3) the north common area. Benches shall be set back 1½ ft min from side of a walkway.

- b. Outdoor dining: The development shall have at min Option (1) or (2):
  - (1) Option (1) picnic benches: 1 min, each square. 1 min ADA-compliant (with one of the four sides omitting a bench seat) on a paved pad. Color(s) other than black or charcoal. Concrete, metal, or wood. Place 1 min in a shelter, if any.
  - (2) Option (2) outdoor tables and chairs: Min 2 tables, each min 28 inches square. Max 1 may be one surface-mounted, min 2 ft from paved pad edge measured to table surface; the remaining table must remain freestanding or moveable. If mounted, a table shall be placed to allow the other table to be moved to it and remain atop pavement. Min 6 freestanding/moveable chairs. Metal or wood furniture. Color(s) other than black or charcoal. Place all in a shelter, if any.
- c. Shelter: At least 1 gazebo, pavilion, or shelter with pad (pavement options same as WDO 3.04.04), narrowest dimension of 10 ft, 120 sq ft min, ceiling height 10 ft min measured to underside of roof cross beams. Set back columns, piers, or posts min 1.5 ft from the side of any walkway.
- d. Parking area flood signage: Because the proposed parking area is proposed as itself the stormwater management facility such that during the 25-year storm, water would pool within curbing two inches or higher, the same as for ANX 2019-01 Woodburn Place Apts. and CU 22-01 Woodburn Place West Apts., there shall be on-site signage that alerts residents:
  - (1) Min 2 signs each at a different location within the subject property, each location within max 10 ft of drive aisle or parking stall boundaries. Locations shall include the west area of the parking area and the east.
  - (2) Face min size 12 by 18 inches, mounted min 2 ft above grade and max the same as whatever the state rules are for ADA parking signage, and text size min 4 inches high. An example of acceptable text is: "Parking Lot Floods During Heavy Rain".

CU14. Buildings: It shall be:

a. Elevations:

- (1) Door: Because the west/SW ground floor apartment front door directly faces the parking area and street (as seen in Exhibit CU14a(2)(c) below), the door shall be coffered instead of plain. If regarding condition part (3) below, the developer opts for Option (a), then the second and third floor apartment doors, which would also directly face, also shall be coffered.
- (2) Windows:
  1. Area/size: Min of a simple majority of all windows proposed shall be min 20 sq ft.
  2. Proportion: All windows shall be square or vertically proportioned, except that horizontally proportioned windows are allowed if they have grilles or muntins dividing lights or panes so as to be vertically proportioned, w/ exceptions for the south elevation ground floor bathroom window and per (3) below. To have bathroom windows on the north elevation and the second and third floor ones on the south elevation conform, the developer shall revise Sheets A1.31, A1.41, and A1.50 (floor plans) as well as A1.90 (elevations) or equivalent.
  3. South / street-facing façade: Of the three west bathrooms, at min the south wall of each of the second and third floor ones shall have the frosted or translucent window be larger, min 6 sq ft, and the developer shall revise Sheets A1.41 and A1.50 (second and third floor plans) as well as A1.90 (elevations) or equivalent. Exhibit CU14a(2)(c) illustrates below:



Exhibit CU14a(2)(c) Larger south windows indicated with dark blue

4. Insect screens: All operable windows shall have insect screens.
- (3) Stairwell: Because the south open-air stairwell from ground level through the third floor is partly visible from the parking area and street, and based on WDO 3.07.05C.1g, the street-facing sides of steps that are not walled ends shall be screened other than black or charcoal color and per either (a) or (b).

- (a) Option (a): Per (i) and (ii):
    - (i) The architect revises the walls and voids within the west plane of the south open-air stairwell to more or less swap the proposed south elevation walls and voids, with the stairs themselves becoming walled off from view and the east and west stairwell landings (one east/right, two west/left) becoming open to view. In this option, the wall subarea east of the east landing could remain.
    - (ii) Similar to as conditioned elsewhere for balcony and patio railings, the stairwell landing railings shall have a bottom or near bottom horizontal member and a second horizontal member in addition to the top railing. See Exhibit 203B for a photo of a conventional, simple example.
  - (b) Option (b): The walls and voids within the west plane of the south open-air stairwell remains as proposed, and screening is per (i) and (ii):
    - (i) At min a metal or wood diagonal bar w/ min vertical dimension relative to grade either 10 inches or equal to riser height. (An example is CU 22-01 Woodburn Place West Apts. Building A, building permit architectural plan Sheet A1.70 stairway detail.) See Exhibit 203A (within Attachment 203) for conceptual illustration.
    - (ii) Within each plane of the handrail side that is street-facing and not abutting a wall, between the support member at bottom and the handrail at top shall be elements that lessen open-air plane: post pickets; vertical or diagonal bars; etched, frosted, or translucent glass panels; or, any of grid, diamond/rhombus, honeycomb, mesh, or organic patterned panels, e.g. welded wire. Within each area between the major posts, min 18.5% opacity, which may be evenly distributed or mostly or all opaque down towards the steps. Similar to as conditioned elsewhere for balcony and patio railings, the open-air stairwell railings shall have a bottom or near bottom horizontal member and a second horizontal member in addition to the top railing. See Exhibit 203B for a photo of a conventional, simple example.
- b. Floor plans:
- (1) Stairwell: As part of implementing condition part a(3) above, the site plans shall include a stairway detail or details, and the details may be on a specified floor plan instead of an elevation sheet.
  - (2) Windows:
    - (a) Per room: Per room: Within apts., every habitable room abutting a building exterior wall shall have min 1 window. Each ground floor corner room proposed through land use review to one on each elevation shall continue to have 2; however, where the developer to propose additional location(s) of exterior wall-mounted utilities and meters, then for each room, the second window may shrink to min 6 sq ft and be horizontally proportioned.

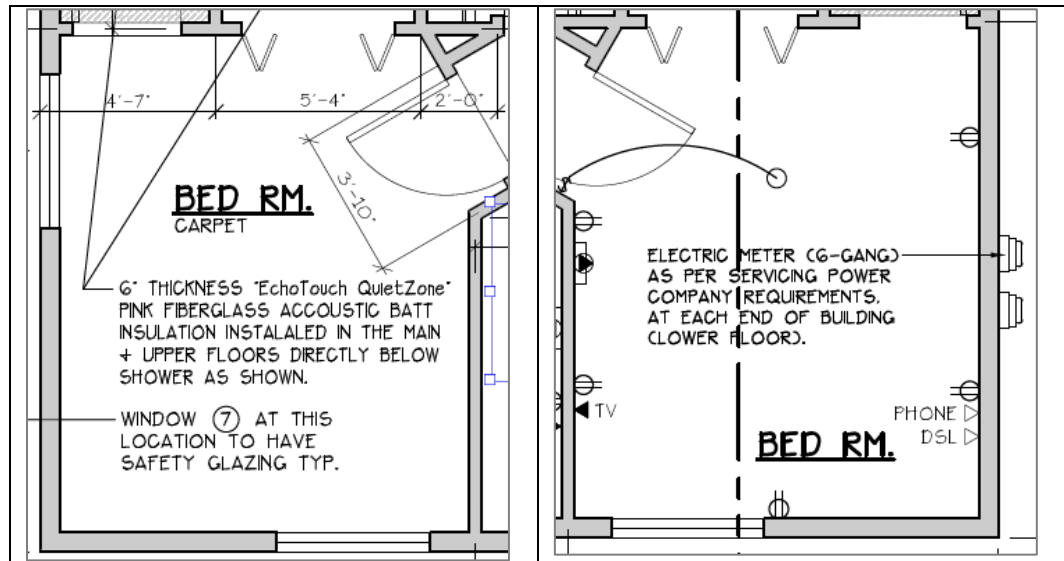


Exhibit CU14b(2)(a)

- (b) Narrow wall: For units with floor plans resembling Exhibit CU14b(2)(b) below with 3 ft or more off-set, each rear in the wall dividing dining/living area and patio or balcony shall have a window min width 1.5 ft and min area 6 sq ft approximately where the blue letter “B” indicates.

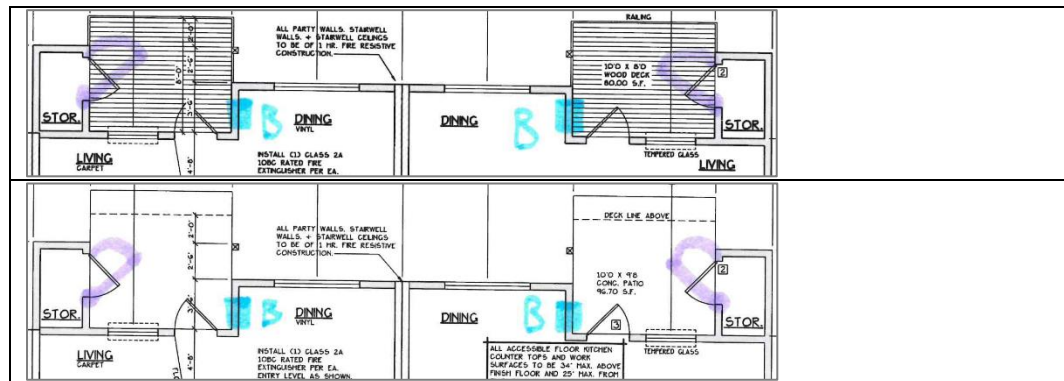


Exhibit CU14b(2)(b) Narrow wall windows

- c. Scuppers: Any building rainwater scuppers shall not to dump onto the pavement of an access way or walkway.

CU15. Signage: If any permanent signage, particularly in the front yard, is later proposed, the allowed signage for the subject property shall be as if the property were residentially zoned, that is, per Table 3.10.10A.

CU16. Lighting: Exterior lighting shall be:

- a. Per WDO 3.11 and, for permanent signage, per WDO 3.10.06G.
- b. Front yard: W/in the first 20 ft of front yard, max one pole-mounted fixture. The side of the fixture closest to the street shall have permanent shielding that extends down min 5 inches below the underside of the fixture, and the shielding shall wrap onto both of the two perpendicular sides for min width 3 inches. Exhibit CU18b is a photo example of an extent of shielding.



*Exhibit CU18b Example shielding*

- c. Balconies/patios: Any ceiling and wall-mounted exterior light fixtures within balconies and patios shall also be full cut-off or fully-shielded.
- d. Stairwells: Any ceiling mounted exterior light fixtures within open-air stairwells shall be full cut-off or fully-shielded, that is, flush w/ the ceiling or shielded on all sides.
- e. Specs:
  - (3) The developer shall revise Sheet SDR9, regarding wide walkway west side bollard/post lights, to resolve the conflict between the legend indicating 5-ft mounting height and the lighting schedule second row description indicating 7-ft height.
  - (4) To meet WDO 3.11.02C, the applicant shall revise Sheet SDR9.1 details about pole and wall-mount models to indicate that of the color temperatures the vendor makes available for the models, each shall be “Warm White (3000K)” or some other temperature in the range of 2,700 to 4,000° Kelvin.

CU17. Privacy buffer:

- a. Apt building setback from highway shall be whichever is greater, either (1) min 12 from ROW or (2) min 10 ft from sidewalk. For accessory buildings, if any, min equal to streetside PUE.
- b. The distance between a walkway and an apt building main wall plane shall be min 5 ft, excepting within and at open-air stairwells and at the east/NE corner of the building.
- c. The distance between a walkway and a patio slab shall be min 3 ft.
- d. Apartment front doors shall each have a knocker and a peephole.

CU18. Parking management: This shall be as follows:

- a. Management operations: Regarding EV parking, property management of it shall conform to WDO 3.05.031.5.
- b. Survey: The applicant or any successor and assigns such as a property manager shall collect data about off-street parking usage or allocation and provide it to the City to the attention of the Director.
  - (1) Reporting period: Collect data by each half of a year – January through June and July through December. Submit each biannual report by the last City business day in the last month of the next quarter of a year and that is not a federal holiday. (For example, a report for January through June 2024 would be due by September 30, 2024.)
  - (2) First report: The first report shall cover whatever irregular length of time would pass between phase occupancy and the end of the next half of a year ending June or December.
  - (3) Attributes: Collect and report on:
    - (a) Geography: n/a.
    - (b) The number of off-street spaces/stalls that are available and how many, if any, are closed due to occasional events such as parking area resurfacing, temporary outdoor events, outdoor storage, or the stationing of large trucks or truck trailers.
    - (c) Track stalls and usage by type: regular standard size, regular compact, accessible/ADA/handicap, EV, and any other type (such as those designated for visitors, leasing office employees, staff golf cart, or mail carrier).
    - (d) Collection: The property manager shall do field counts as per condition subpart (4 “field count”) below and also provide a separate set of assumed counts based on lease agreements, i.e. what tenant households are allocated a stall or stalls and for what periods, assumed that stalls are occupied as lease agreements describe.
    - (e) Usage: Report how many stalls are used and allocated. For vacant apartments in the context of assumed counts, record stalls associated with vacant apartments as unallocated.
    - (f) If and when a parking area resurfacing project were to happen, provide written notice to the Director of approximate start date and duration, location, and number of stalls involved.
    - (g) Format: Use tables to report by phase absolute numbers and percentages of stall type occupancies. Include phase and sitewide totals.
  - (4) Field count: The property manager shall do at least two field counts per reporting period, meaning to travel the project and count in real time occupied and vacant stall types such as by marking a project site plan. Each count shall be on Tuesday, Wednesday, or Thursday that is neither a federal holiday nor within a week (7 days) of a federal holiday. One count shall be daytime starting no earlier than 9:30 a.m. and concluding no later than 4:30 p.m., and one count shall be nighttime starting no earlier than 10:00 p.m. and concluding no later than 12:30 a.m. Report when on a given date the counts were done and how long it took, for example, from 11:30 a.m. to noon.



- (5) Bicycle parking: For outdoor bicycle parking stalls, including those within open-air stairwells but excluding outdoor closets, the property manager shall also do field counts the same way as per condition part (4) above and as part of the larger report confirm the total number of existing outdoor bicycle stalls.
- (6) Parking demand management: The reporting that a parking demand management condition requires, if it exists, may be incorporated with the parking usage data collection report.
- (7) Context: In each report, cite the project name, phases, street addresses, case file number CU 22-04, and the condition identification(s), state what period the report covers, state the number of vacant apartments and when and how the number was determined given fluctuation over six months, and provide an employee name and direct contact information for questions City staff might have.
- (8) Intent: It is not the express intent of this condition to police property management or punish tenants or management for perceived misuse of parking, but instead without judgment to collect data on how parking is actually used in a conventional apartment development.
- (9) Change of ownership: If and when property ownership were to change, the property manager shall pass along record of the conditions of approval to the contract purchaser and successive property manager.

Expiration: This parking survey condition becomes optional as of July 1, 2031. If reporting were to cease, the last report – for the January to June 2031 period – would be due September 30, 2031.



*Design Review DR 22-15*

D1. Fence/fencing: To meet WDO 2.06.02D that requires coating, the developer shall:

- a. Have proposed chain-link fencing conform with the coating requirement. See also Condition CU9c.
- b. Revise the site plans, including Sheet SDR3, that illustrate and note chain-link fencing to demonstrate conformance.
- c. Apply for and obtain a [fence permit](#) per 5.01.03 for any fence, fencing, or free-standing walls (excepting recycling and trash enclosure walls), with the permit application form indicating case file number CU 22-04 and this Condition D1.

D2. ROW & PUE: To meet WDO Figure 3.01D, as part of recordations and regarding Hardcastle Ave, the applicant shall dedicate (a) that width of ROW that results in north half-street ROW that is uniform 36 ft wide min measured from street centerline, which staff believes to equal 6 ft, and (b) per 3.02.01B & F.2, a streetside PUE min 5 ft and max 8 ft.

D3. Cross access: To meet WDO 3.04.03B, the developer shall:

- d. To meet WDO 3.04.01A.2 and 3.04.03B.5, C.1, C.4a, & D.2, establish a public cross access easement (CAE) that grants or public access to and from the driveway connects to the east lot line, which borders the south leg of Tax Lot 051W08DC00300 (1220 N. Pacific Hwy; Al's Garden & Home), aligned with and centered on the east drive aisle centerline;
- e. Not be required to extend the east drive to the east lot line; and
- f. Revise Sheet SDR9 to shift the proposed parking area pole light, which would have been located along the east perimeter, outside of the CAE.

D4. Parking striping: To meet WDO 3.05.02J, the developer shall designate compact stalls "C" or "COMPACT" in lettering one min 1 ft high and have revised or supplemented Sheet SDR3.1 to illustrate a detail.


D5. Landscaping: trees:

- a. To meet WDO 3.06.02B, the developer shall revise the landscape plans to address on-site, private irrigation and provide such.
- b. To meet WDO Table 3.06B regarding tree minimum size at planting, the developer shall revise the landscape plan tree legend(s) to indicate for each tree species either 10-ft height or 2-inch caliper.

D6. Patios: Visual separation shall conform to WDO 3.05.06C.7 last sentence & 3.07.05B.1a as follows:

- a. Pavement: Patios shall be paved with brick, poured concrete, concrete pavers, or square or rectangular cobblestone pavers.
- b. Patio railings/fencing & gate: The outermost edges of patio concrete slabs that do not abut building walls shall have either metal or wood railings or cedar wood fencing min 3 ft high. If railings, color(s) other than black or charcoal. If the latter, then opacity shall be full, but if fencing is higher than the minimum height, it shall be no more than 90% opaque, such as by being fully opaque from grade but from the top having a lattice pattern. Gates per WDO 3.05.06C.7. Gates shall (1) swing outward (2) swing both inward and outward, or (3) slide.
- c. Balcony railings – and where installed on patios, railings instead of fencing – shall have a bottom or near bottom horizontal member and a second horizontal member in addition to the top railing to allow residents to affix to, hang from, and thread through elements from them instead of the top of the railings. Color(s) other than black or charcoal. The cap or top member of balcony and patio railings, as well as the cap or top member of patio wood cedar fencing, flat and 3 inches wide min. This condition part c. shall be applicable also to the south open-air stairwell second and third floor landing west railings.
- d. Height maximum: The fencing or railings max height shall be 5 ft.
- e. Shrubbery: Evergreen shrubbery shall line fully the outermost edges of patio concrete slabs, except along the gated opening.

D7. Grading: If WDO 5.01.04B is applicable, then prior to building permit issuance the applicant shall apply for and obtain a [grading permit](#) from the Planning Division.



*Design Review 22-15: Transportation*

T-T1. Bus transit: To further TDM through bus transit, the developer shall pay a mitigation fee per Attachment 204. [This condition relates to TSP projects T1, 2, 4, & 16, TDM1, TSP Fig. F5, and TPU projects 1, 2, 3, 11, 12, 13, & 15.]

### Notes to the Applicant:

1. Records: Staff recommends that the applicant retain a copy of the subject approval.
2. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
3. Signage: The approval excludes any private signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
4. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. *Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements.* This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
5. Mylar signature: The Community Development Director is the authority that signs plat Mylars and not any of the mayor, City Administrator, Public Works Director, or City Engineer. Only one City signature title block is necessary.
6. PLA Plat Tracker: Marion County maintains a plat tracking tool at <http://apps.co.marion.or.us/plattracker/>. Use it to check on the status of a recordation request to the County. City staff does not track County plat recordation.
7. Technical standards:
  - a. Context: A reader shall not construe a land use condition of approval that reiterates a City technical standard, such as a PW standard, to exclude remaining standards or to assert that conditions of approval should have reiterated every standard the City has in order for those standards to be met.
  - b. Utilities: A condition involving altered or additional sidewalk or other frontage/street improvement that would in the field result in displacement or relocation of any of utility boxes, cabinets, vaults, or vault covers does not exempt the developer from having to move or pay to move any of these as directed by the City Engineer and with guidance from franchise utilities.
8. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
9. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.

10. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current [Public Works construction specifications, Standard Drawings, Standard Details](#), and general conditions of a permit type issued by the Public Works Department.
11. ROW:
  - a. Dedication: The Public Works Department Engineering Division has document templates for ROW and easement dedications that applicants are to use.  
  
ROW – and public utility easement (PUE) – dedications are due prior to building permit issuance per Public Works policy.
  - b. Work: All work within the public ROWs or easements within City jurisdiction must require plan approval and permit issuance from the Public Works Department. All public improvements construction work must be performed in accordance with the plans stamped “approved” by the City, and comply with the City’s Standard Specifications and Standard drawings.
12. Franchises: The applicant provides for the installation of all franchised utilities in any required easements.
13. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a “Hot Tap” method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
14. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in a communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
15. Fire: Fire protection requirements must comply with Woodburn Fire District standards and requirements, including how the District interprets and applies Oregon Fire Code (OFC). Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
16. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.
17. Public Improvements Civil Plan Review: The process by which to receive, review, and approve drawings and other documents related to public improvements required by these conditions of

approval may be paired with or incorporated into building permit review, or, if directed by the City Engineer, through a civil engineering plans (CEP) review process led by the Engineering Division. If opting for CEP, the applicant shall not only follow the direction of the Engineer Division, but also take some actions to facilitate tracking by Planning staff and coordination with Engineering:

- a. Cover letter: Upon submitting application to the Engineering Division, simultaneously alert the Planning Division through a cover letter to the attention of the Planning Division referencing the intended or, if known, actual submittal date as well as the project name, project phase, tax lot number(s), street address(es), and the land use / planning / zoning final decision conditions of approval that require the public improvement that is the subject of the civil engineering plans. Referencing conditions may be by quotation or citing the identification numbers (e.g., T-A1). Identify the specific sheet (by number) or document page number that illustrates or notes how each subpart of a condition is met.
- b. Contact information: State the applicant's name, company, phone number, e-mail, and desired date for City staff to respond with review comments. The cover letter may include these.
- c. Plan copies: Submit to the attention of the Planning Division at least two plan size copies of plan sets (24 by 36 inches). Within the cover sheet title block(s), include the phrase "civil engineering plans" or "public improvements civil plans". Submit also Adobe PDFs using a fileshare service.
- d. Re-submittal fee: If there are multiple re-submittals, beginning with a third submittal / second revised submittal and continuing with each subsequent submittal, the applicant likely must pay through the Planning Division into City general revenue a fee.

Where public improvements involve the jurisdiction of an outside agency such as the Oregon Department of Transportation (ODOT), the developer must account for that when interacting with the City Engineer and City Public Works Department process.

**Appeals:** Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact Cassandra Martinez, Administrative Specialist, at (503) 982-5246 or [cassandra.martinez@ci.woodburn.or.us](mailto:cassandra.martinez@ci.woodburn.or.us).

**Testifiers:**

<i>Name</i>	<i>Address</i>	<i>Planning Commission</i>	
		<i>Written</i>	<i>Verbal</i>
Ernesto Montalvo	1820 Hardcastle Ave Woodburn, OR 97071		x



**Attachments:**

- Planning Commission March 2, 2023 Staff Report Attachment 101. Marked Tax Map
- 102A. Public Works comments (Feb. 8, 2023)
- 102B. Agency commentary PGE (Feb. 6, 2023; pole PL 3080)
- 102C. Utility Easement (Marion County Reel/Volume 737 Page 122; November 30, 1971; 1080 & 1084 Dunn Ct duplex; front yard PGE pole PL 2579)
- 103. Application materials / site plans (Dec. 2, 2022 & site plan Sheet SDR3 Feb. 9, 2023; 9 sheets)
- 104. Transportation System Plan (TSP) Fig. 2 "Functional Roadway Classification"
- 201.\* CU 22-04 Hardcastle Apts.: Dictionary & Glossary
- 202. CU 22-04 Hardcastle Apts.: Tree Protection
- 203. CU 22-04 Hardcastle Apts.: Open-Air Stairwell Details
- 204. CU 22-04 Hardcastle Apts.: Conditioned Fees

\*The 200 series of attachments are details for the conditions of approval.

Sincerely,



Colin Cortes, AICP, CNU-A

Senior Planner

Affirmed,



Lisa Ellsworth, Planning Commission Vice-Chair

March 14, 2023

Date

cc: Chris Kerr, Community Development Director [e-mail]  
Curtis Stultz, Public Works Director [e-mail]  
Dago Garcia, P.E., City Engineer [e-mail]  
Melissa Gitt, Building Official [e-mail]  
Jason Space, GIS Technician [e-mail]  
Jeff Bolton, Senior Project Manager, Multi/Tech Engineering, 1155 13<sup>th</sup> St SE, Salem, OR 97302-2508  
[applicant] [mail & e-mail]  
Friedman Properties LLC, 2969 Ferguson St NW, Salem, OR 97304-4155 [landowner] [mail & e-mail]  
Testifiers: Per the table above. [mail]  
Casey Knecht, P.E., Development Review Coordinator, Oregon Dept. of Transportation (ODOT) Region 2 [e-mail]

Marion County Assessor's Office <assessor@co.marion.or.us>

Marion County Geographic Information System (GIS) <gis@co.marion.or.us>

Marion County Land Development Engineering & Permits <mcldep@co.marion.or.us>

Marion County Planning Division <planning@co.marion.or.us>

Marion County Public Works Dept. <mcdpw@co.marion.or.us>

05 1W 08DC

05 1W 08DC  
WOODBURN



MARION COUNTY, OREGON  
SW1/4 SE1/4 SEC8 T5S R1W W.M.  
SCALE 1" = 100'

LEGEND

- LINE TYPES**
- Taxlot Boundary
  - Road Right-of-Way
  - Railroad Right-of-Way
  - Private Road ROW
  - Subdivision/Plat Bndry
  - Waterline - Taxlot Bndry
  - Historical Boundary
  - Easement
  - Railroad Centerline
  - Taxcode Line
  - Map Boundary
  - Waterline - Non Bndry

- CORNER TYPES**
- + 1/16TH Section Cor.
  - ⊙ DLC Corner
  - ⊕ 1/4 Section Cor.
  - ⊕ Section Corner
  - 16 15
  - 21 22

**NUMBERS**

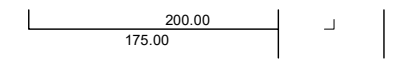
Tax Code Number  
**00 00 0**

Acreege  
**0.25 AC**

All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

**NOTES**

Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW

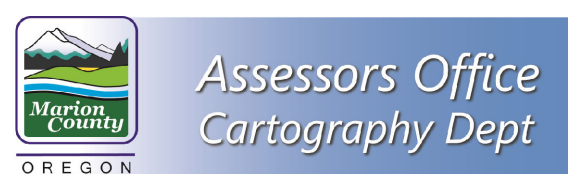


**CANCELLED NUMBERS**

200	8701
600	8801
800	9001
1000	9101
1100	9201
4900	9401
5000	
5100	
5200	
5300	
5400	
5500	
5600	
6101	
6101	
6200	
8401	

**Attachment 101**

DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT [www.co.marion.or.us](http://www.co.marion.or.us)

PLOT DATE: 3/11/2021

**WOODBURN**  
**05 1W 08DC**



05 1W 08DC



**CU 22-04 "Hardcastle Apartments"  
1755 Hardcastle St  
Public Works**

**February 8, 2023**

**LAND USE CONDITIONS:**

1. The Applicant/owner, not the City, is responsible for obtaining permits from City, State, County and/or Federal agencies that may require such permit or approval. All work within the Oregon Department of Transportation (ODOT) jurisdiction shall comply with ODOT's permit and requirements.
2. Provide and record required right-of-way and public utility easements dedications prior to building permit issuance if required.
3. The Applicant shall obtain the required 1200C Erosion Control Permit from the Department of Environmental Quality prior to City issuance of permit(s), if applicable.
4. Applicant is responsible for obtaining approval from the Woodburn Fire District for dead-end turnarounds requirements on private property.
5. Applicant to provide a final Engineer stamped storm drainage hydraulic analysis report for detention for this development. The Applicant, by this Development, shall not cause storm water runoff to be impounded on adjacent properties.
6. Applicant to construct private storm sewer systems, including detention facilities in accordance with approved plans and drainage reports. All required on-site and off-site detention area(s) for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The property owner shall maintain all on-site detention areas in perpetuity.
7. Applicant to provide street lighting in accordance with street lighting plan approved by the City and conforming to Portland General Electric requirements under option B.
8. All water services for this development shall have their own independent connection to the public water main, including the fire hydrant line. Water

service connections (domestic and irrigation) to Fire Hydrant and Fire Protection lines are not allowed. Taps to the main line are done by the Hot Tap method.

9. All sanitary sewer laterals serving the proposed developments are private up to the main public line. All existing sewer laterals shall be abandoned at the main if they are not going to be utilized. Sewer lateral connections to the main shall be done using insert tee method, manhole connections are done by core drill method.
10. Fire hydrants locations and fire protection requirements shall be as per the Woodburn Fire District and City of Woodburn requirements.
11. System Development Charges and right-of-way permits shall be paid prior to building permit issuance.
12. All onsite private storm drainage and sanitary sewer system shall comply with Marion County plumbing permit and requirements.
13. The applicant in accordance with all state regulations and requirements shall abandon on-site existing water wells and subsurface sewage disposal systems.
14. Final review of the Civil Plans will be done during the public improvements permit application. Public infrastructure will be constructed in accordance with stamped engineer plans approved by public works and other agencies that may require the applicant to obtain permits.

## Colin Cortes

---

**From:** Ken Spencer <Kenneth.Spencer@pgn.com>  
**Sent:** Monday, February 6, 2023 3:34 PM  
**To:** Colin Cortes  
**Subject:** RE: Woodburn CU 22-04 1755 Hardcastle Apts.: Guidance on pole removal

\*\*\*\* This email is from an EXTERNAL sender. Exercise caution when opening attachments or click links from unknown senders or unexpected email. \*\*\*\*

Sir,

Yes, the pole (PL 3080) on the north side of Hardcastle is supporting the pole (PL 2579) on the south side of Hardcastle.

In order to remove PL 3080, we would need to recreate the support. There are two options for this, both of which have benefits and drawbacks.

1. Install new pole south of existing PL 2579, in the front yard of 1084 Dunn Ct. Also, a down-guy cable and anchor would be located just north of the new pole. We'd then "slack-span" the wire from the new pole to PL 2579. The new pole supports the line heading south on Dunn Ct.  
Benefit: Cost is in the \$20K-ish range.  
Drawback: Pole and anchoring in someone's front yard.  
Timing: Could be accomplished in 2-3 months.
2. Replace PL 2579 with steel pole and associated footing. No new pole to the south would be needed. No slack-span in wire.  
Benefit: Reduce overall pole count.  
Drawback: Cost is in the \$100K-ish range.  
Timing: For design, ordering, and construction, it would take approx. 1-year.

Please let me know if you have other questions.

Thanks.

**Ken Spencer, PE** Customer Operations Engineer | 503.970.7200

---

**From:** Colin Cortes <Colin.Cortes@ci.woodburn.or.us>  
**Sent:** Monday, February 6, 2023 9:00 AM  
**To:** Ken Spencer <Kenneth.Spencer@pgn.com>  
**Subject:** Woodburn CU 22-04 1755 Hardcastle Apts.: Guidance on pole removal

**This email is from someone outside PGE.**

Please take care when opening links, attachments or responding to this email.

Ken:

I'd like to get your guidance on the feasibility of pole removal and line burial regarding [Conditional Use CU 22-04 Hardcastle Apartments \[woodburn-or.gov\]](#) at 1755 Hardcastle Ave, Woodburn.

**Attachment 102B**

See the Google Street view [\[google.com\]](https://www.google.com), looking east. A screenshot is below:



At left/north is the subject property front yard pole that will come into widened right-of-way (ROW), and it appears to be a support pole to hold up a pole across Hardcastle at the south side.

How feasible is removal of the pole? What would be the cascading results? If there was a fee in lieu of pole removal, could you guide City staff in determining a cost estimate?

**Colin Cortes, AICP** [\[planning.org\]](https://www.planning.org), **CNU-A** [\[cnu.org\]](https://www.cnu.org)

Senior Planner

Ph. (503) 980-2485

[City website \[woodburn-or.gov\]](https://www.woodburn-or.gov) | [Community Development Dept. \[woodburn-or.gov\]](https://www.woodburn-or.gov)



[\[woodburn-or.gov\]](https://www.woodburn-or.gov)

270 Montgomery St, Woodburn, OR 97071-4730

View:

- [City projects webpage \[woodburn-or.gov\]](https://www.woodburn-or.gov)
- [Woodburn Development Ordinance \(WDO\) \[woodburn-or.gov\]](https://www.woodburn-or.gov)
- [Zoning map \[woodburn-or.gov\]](https://www.woodburn-or.gov)

**PUBLIC RECORDS LAW DISCLOSURE** This e-mail is a public record of the City of Woodburn and is subject to public disclosure unless exempt from disclosure under Oregon Public Records Law. This e-mail is subject to the State Retention Schedule.

*now*

WITNESSETH, that for and in consideration of the benefits to be received due to the improvement of the sewage disposal system of the City of Woodburn, and other valuable consideration to us paid, the receipt of which is hereby acknowledged, we ARCHIE MURPHY and OLETA MURPHY, husband and wife, hereafter called Grantors, do hereby bargain, sell, convey, transfer, and deliver unto the City of Woodburn, Oregon, a permanent easement and right-of-way, including the perpetual right to enter upon the real estate hereinafter described, at any time, that it may see fit, to construct, maintain, or repair underground sanitary sewer pipelines and appurtenances, and for doing anything necessary, useful, or convenient for the enjoyment of the easement hereby granted.

The City of Woodburn, upon the initial installation, and upon each and every occasion that the same is repaired, renewed, added to, or removed, shall restore the premises of the Grantors, and any buildings or improvements disturbed by the City, as near as may be to as good condition as they were prior to any such installation or work including the restoration of any top-soil.

The land affected by the grant of this easement and right-of-way is located in the County of Marion, State of Oregon, and is more particularly described as follows:

A portion of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10, Sunshine Acres, Marion County, Oregon as recorded in the Marion County Records in Book of Town Plats in Volume 20 at Page 42 on the 19th day of May, 1961, and described as a strip of land 10 feet wide, the centerline of which is also the route of a sewer line across said Lots.

45

To have and to hold said easement and right-of-way unto the City of Woodburn, and unto its successors and assigns forever.

Grantors also grants a temporary working easement and convey to the City of Woodburn Thirty (30) feet on the Easterly side of the above permanent easement across Lots 6, 7, 8, 9 and 10 of said Sunshine Acres and Thirty (30) feet on the Westerly side of the above permanent easement across Lots 1, 2, 3, 4 and 5 of said Sunshine Acres for the construction of facilities previously described as being permitted along this easement. The temporary working easement shall be effective only during the time of initial construction.



*Archie Murphy*  
ARCHIE MURPHY

*Oleta Murphy*  
OLETA MURPHY

STATE OF OREGON )  
County of Marion ) ss.

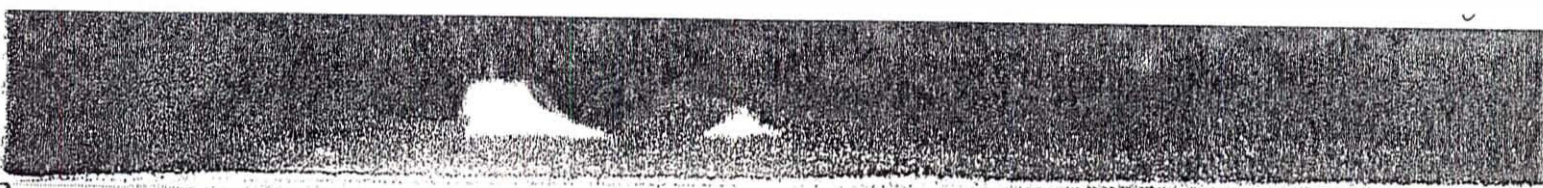
Personally appeared before me on the 30<sup>th</sup> day of November, 1971, the above named ARCHIE MURPHY and OLETA MURPHY, husband and wife, and acknowledged the foregoing instrument to be their voluntary act and deed.



*Alvin D. Carter*

Notary Public For Oregon  
My Commission Expires: 11-27-72

969620





NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.  
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

74479 - SDR1.CDW  
 Design: M.D.G.  
 Drawn: C.E.G.  
 Checked: J.C.B.  
 Date: AUGUST 2022  
 Scale: AS SHOWN

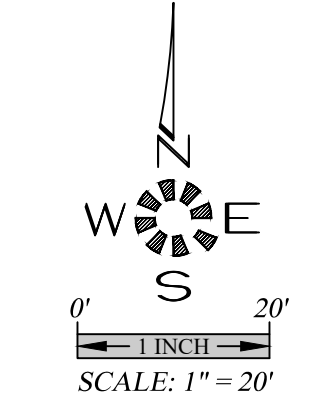


JOB # 7447



VICINITY MAP

T.B.M.  
 ELEV. 184.86



# HARDCASTLE APARTMENTS

051W08DL00900  
 CITY OF WOODBURN  
 MARION COUNTY, OREGON

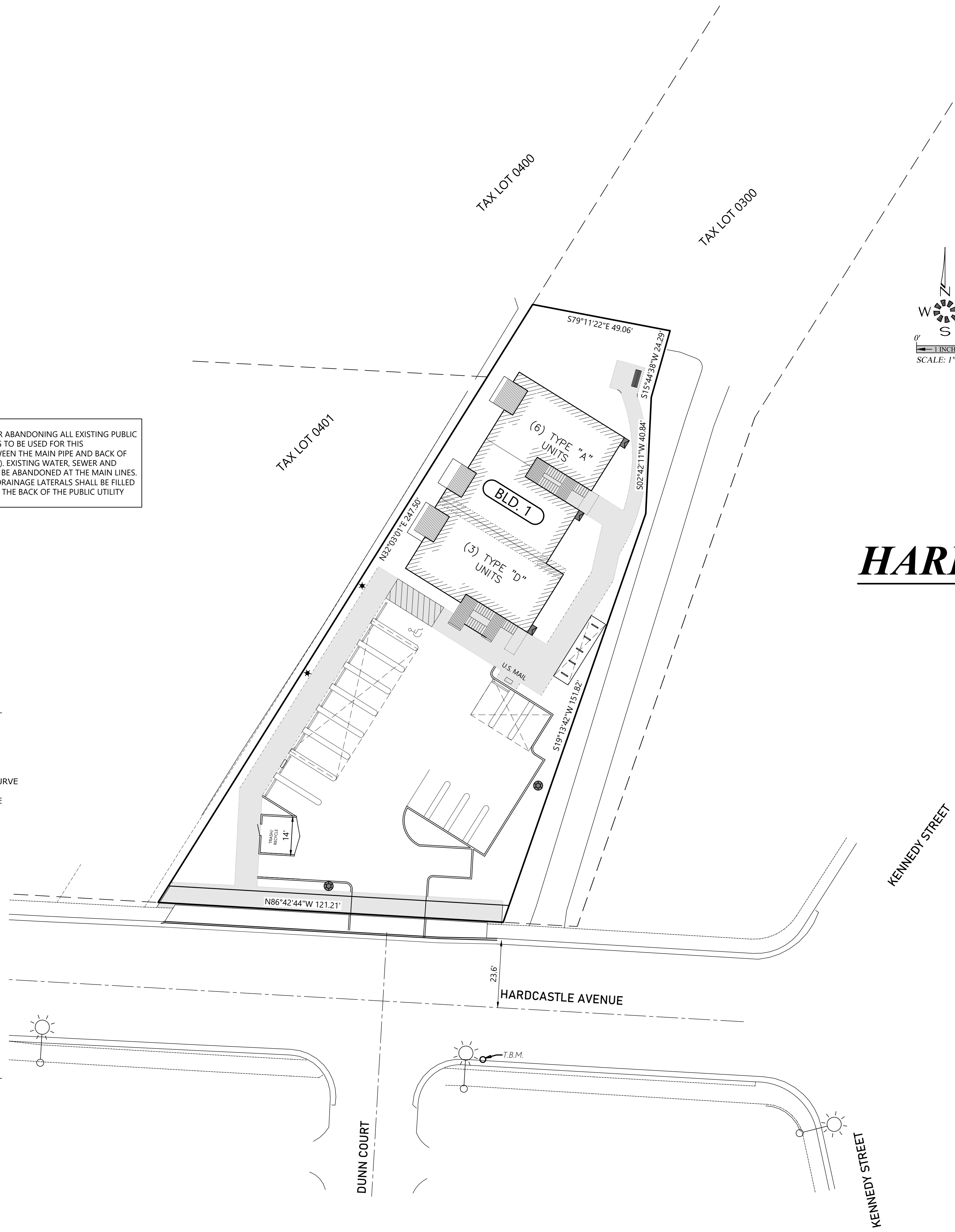
Owner / Developer:  
**FRIEDMAN PROPERTIES LLC**  
 2969 FERGUSON ST NW  
 SALEM, OREGON 97304

SHEET INDEX	
SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR3	SITE PLAN
SDR3.1	SITE DETAILS
SDR4	OPEN SPACE PLAN
SDR5	GRADING AND DRAINAGE PLAN
SDR6	PRIVATE SANITARY SEWER PLAN
SDR7	PRIVATE DOMESTIC WATER PLAN
SDR8	PRIVATE FIRE SERVICE PLAN
SDR9	PRIVATE PHOTOMETRIC PLAN
SDR9.1	PRIVATE PHOTOMETRIC PLAN DETAILS
SDR10	PRIVATE FIRE ACCESS PLAN
L1.1	SCHEMATIC LANDSCAPE PLAN

**BUILDING 1 (TYPE "A" & TYPE "D" UNITS)**  
 A1.3 LOWER FLOOR PLAN  
 A1.4 MAIN FLOOR PLAN  
 A1.5 UPPER FLOOR PLAN  
 A1.8 BUILDING ELEVATIONS

Attachment 103  
 Sheet 1 of 9

NOTE:  
 THE APPLICANT IS RESPONSIBLE FOR ABANDONING ALL EXISTING PUBLIC UTILITY LINES THAT ARE NOT GOING TO BE USED FOR THIS DEVELOPMENT. SERVICE LINES BETWEEN THE MAIN PIPE AND BACK OF THE PUBLIC UTILITY EASEMENT (PUE). EXISTING WATER, SEWER AND STORM DRAINAGE LATERALS SHALL BE ABANDONED AT THE MAIN LINES. THE EXISTING SEWER AND STORM DRAINAGE LATERALS SHALL BE FILLED WITH CDF FROM THE MAIN LINE TO THE BACK OF THE PUBLIC UTILITY EASEMENT.



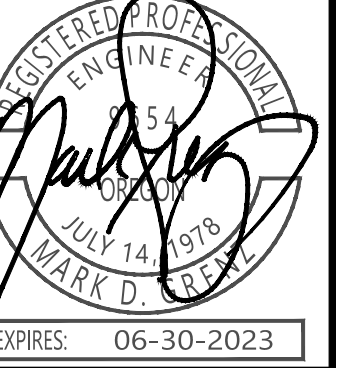
ABBREVIATIONS	
A.C.	ASPHALTIC CONCRETE
ACMP	ALUMINIZED CMP
ASSY.	ASSEMBLY
B.O.	BLOW OFF
B.F.V.	BUTTERFLY VALVE
C & G	CURB & GUTTER
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
C.B.C.O.	CATCH BASIN CLEANOUT
C.B.I.	CATCH BASIN INLET
C.L.	CENTERLINE
CMP	CORRUGATED METAL PIPE
C.O.	CLEANOUT
CONC.	CONCRETE
CONST.	CONSTRUCT
D.I.	DUCTILE IRON
DIA.	DIAMETER
DWG.	DRAWING
EASMT.	EASEMENT
E.G.	EXIST. GRADE / GROUND
EOP, E.P.	EDGE OF PAVEMENT
ELEC.	ELECTRIC
ELEV. or EL.	ELEVATION
EX. or EXIST.	EXISTING
FT.	FEET
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
F.H.	FIRE HYDRANT
F.M.	FORCE MAIN
GUT. or GTR.	GUTTER
G.V.	GATE VALVE
IMP.	IMPROVEMENT
INST.	INSERT
INV. or I-	INVERT
L	LENGTH, LINE
L.P.	LIGHT POLE
M	METER, MAIN
M.H.	MANHOLE
MTL.	METAL
O.H.	OVERHEAD
PC	POINT OF CURVE
PCC	POINT OF CONTINUING CURVE
PED.	PEDESTAL
PRC	POINT OF REVERSE CURVE
PROP.	PROPOSED
PT	POINT OF TANGENCY
PUB.	PUBLIC
PUE	PUBLIC UTILITY EASMT.
PVC	POLYVINYL CHLORIDE
PVT.	PRIVATE
P.P.	POWER POLE
P.L.	PROPERTY LINE
R	RADIUS
R	RIM
RD	ROOF DRAIN
R.O.W.	RIGHT-OF-WAY
SAN.S. or S.S.	SANITARY SEWER
S	SLOPE
STA.	STATION
STD.	STANDARD
STL.	STEEL
STM.DRN. or S.D.	STORM DRAIN
SVC.	SERVICE
SW	SIDEWALK
T.C.	TOP OF CURB
TEL.	TELEPHONE
TYP.	TYPICAL
U.G.	UNDERGROUND
VL.T.	VAULT
W.M.	WATER MAIN

SYMBOLS			
⊕	BLOW OFF ASSY.	⊕	MANHOLE SAN. SEWER
⊞	CATCH BASIN	⊞	MANHOLE STORM DRAIN
⊞	CATCH BASIN CLEANOUT	⊞	2' DIA. C.O. / M.H.
⊞	CATCH BASIN INLET	⊞	MANHOLE TELEPHONE
⊞	CATV PED. / BOX	⊞	MANHOLE WATER
⊞	CLEANOUT	⊞	REDUCER / INCREASER
⊞	ELEC. PED. / BOX	⊞	TEL. PED. / BOX
⊞	FIRE HYDRANT	⊞	TRAFFIC PED. / BOX
⊞	GAS LOCATION MARKER	⊞	UTILITY / POWER POLE
⊞	GAS VALVE	⊞	WATER METER
⊞	MAIL BOX	⊞	WATER VALVE
---	CABLE TELEVISION	---	SANITARY SEWER EXIST.
---	CENTERLINE	---	SANITARY SEWER PROP.
---	DITCH C.L.	---	STORM DRAIN EXIST.
---	ELECTRICAL LINE	---	STORM DRAIN PROP.
---	TELEPHONE LINE	---	WATER MAIN EXIST.
---		---	WATER MAIN PROP.

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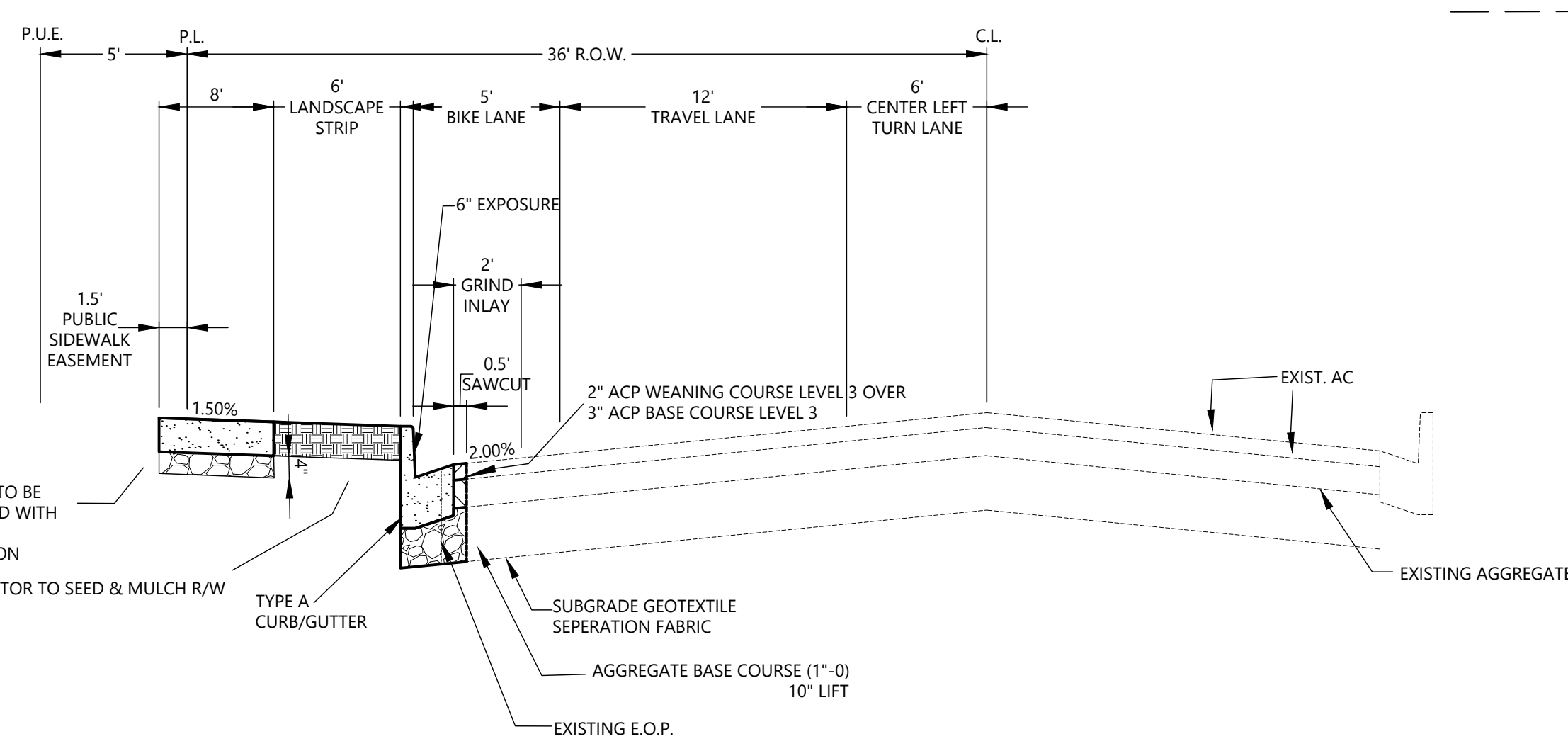
NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

7447P SDR3.0 SITE  
 Design: M.D.G.  
 Drawn: C.F.G.  
 Checked: J.C.B.  
 Date: AUGUST 2022  
 Scale: AS SHOWN

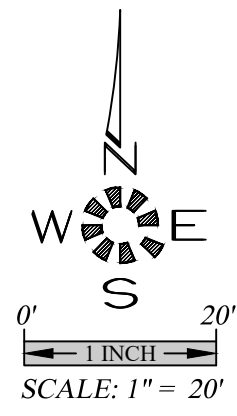
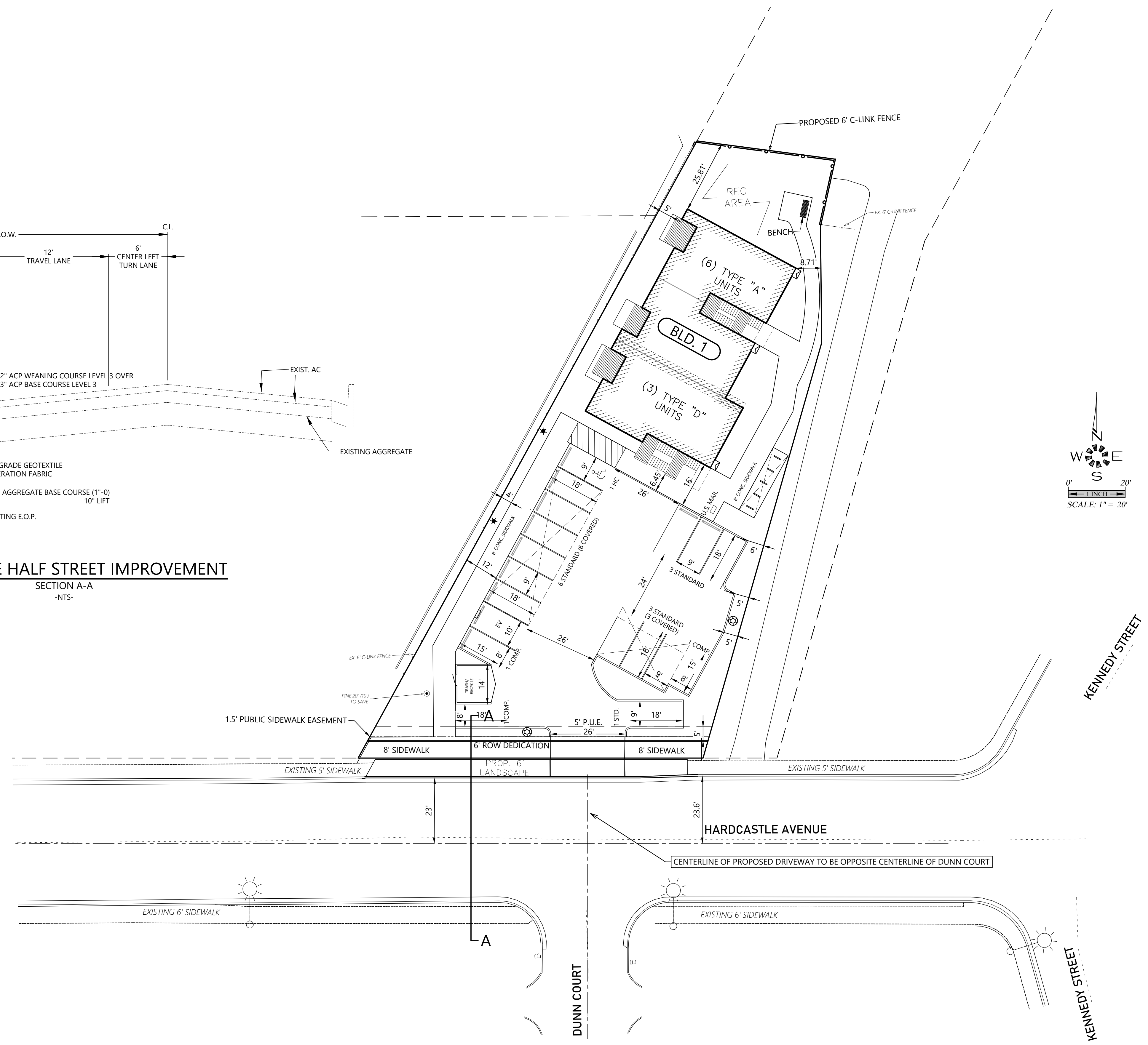


JOB # 7447

**SDR3**



**HARDCASTLE HALF STREET IMPROVEMENT**  
 SECTION A-A  
 -NTS-



**NOTE:**  
 GROUND FLOOR PATIOS ARE REQUIRED TO HAVE RAILING OR FENCING AROUND THEM. THE OUTERMOST EDGES OF PATIO CONCRETE SLABS THAT DO NOT ABUT BUILDING WALLS SHALL HAVE EITHER METAL OR WOOD RAILINGS OR CEDAR FENCING THREE AND A HALF (3.5) FEET HIGH. FENCING SHALL BE NOT FULLY OPAQUE. THE RAILINGS OR FENCING SHALL HAVE A GATED OPENING AT LEAST TWO (2) FEET AND SIX (6) INCHES WIDE AND NO MORE THAN 4 FEET WIDE. FENCING OR RAILING WITH TOP MEMBER FLAT AND MIN 3 INCHES WIDE. A SECOND HORIZONTAL MEMBER BELOW THE TOP MEMBER (TO ALLOW AFFIXING, HANGING, OR THREADING ITEMS BELOW THE TOP MEMBER).

BUILDING PERMIT REQUIRED FOR ALL BIKE SHELTERS GREATER THAN 200 SQ. FT.

EXTERIOR LIGHTING TO BE FULL CUTOFF/FULLY SHIELDED

"ELECTRICAL VEHICLE CHARGING" TO BE PAINTED IN 1" HIGH LETTERING AT EACH STALL. SEE SIGNAGE DETAIL ON SHEET SDR 3-1

ALL OUTDOOR CLOSETS AT PATIO OR DECK SHALL HAVE WALL MOUNTED FOLDING OR RETRACTABLE BIKE HOOKS.

**Attachment 103**  
**Sheet 2 of 9**

**ADA HANDICAP ACCESSIBILITY NOTES:**

- ALL ON-SITE WALKWAYS, PEDESTRIAN CONNECTIONS TO THE PUBLIC SIDEWALK AND ROUTES TO BUILDING ENTRANCES ARE ACCESSIBLE WITH RUNNING SLOPES LESS THAN 5% AND CROSS SLOPE LESS THAN 2% MAX. LANDINGS AT BOTTOM OF STAIRS AND EXT. FACE OF ENTRANCE DOORS SHALL HAVE A SLOPE IN THE DIRECTION OF TRAVEL NOT TO EXCEED 2%.
- HANDICAP PARKING STALLS AND ACCESS AISLES ARE TO HAVE SLOPES IN ANY DIRECTION OF LESS THAN 2% MAX. GRAPHIC MARKINGS & SIGNAGE FOR HANDICAP AND VAN ACCESSIBLE STALLS WILL BE PER OSSC 2010 CHPTR. 11 AND ORS. REQUIREMENTS.
- HANDICAP ACCESSIBLE CURB RAMPS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 MAX. AND A CROSS SLOPE NOT TO EXCEED 1%.
- THE COMMUNITY BUILDING & ON-SITE LAUNDRY FACILITIES WILL BE FULLY HANDICAP ACCESSIBLE IN ACCORDANCE WITH ANSI A117.1 AND CHAPTER 11 OF THE 2010 OSSC.
- 2% OF THE LIVING UNITS OR (3) UNITS WILL BE TYPE 'A' HANDICAP ACCESSIBLE. THESE INCLUDE A 1, 2 AND 3 BEDROOM UNIT AS INDICATED ON THIS SITE PLAN. THE BALANCE OF THE GROUND FLOOR LIVING UNITS WILL BE TYPE 'B' ADAPTABLE UNITS IN ACCORDANCE WITH ANSI A117.1.

- LOCATION OF ELECTRICAL SEPARATION WALL
- ⊕ - MAXIMUM 1:12 SLOPE ON SIDEWALK END RAMPS
- ||||| - 6 BICYCLE SPACES.
- - MAILBOX
- - BENCHES (ALL TO BE 6' LONG WITH BACKS)
- - WHEEL CURB STOPS (NO MORE THAN 4" IN HEIGHT)

**9 TOTAL APARTMENT UNITS**  
**6 TYPE "A" 2-Bd, 2-Ba 952 (S.F.) UNITS**  
**3 TYPE "D" 3-Bd, 2-Ba 1,209 (S.F.) UNITS**

**BUILDING TOTAL 9,339 (S.F.)**

<b>SITE AREAS</b>	
<b>SITE AREA</b>	<b>18,578 S.F.</b>
<b>TOTAL HARDSpace</b>	<b>13,321 S.F. (72.10%)</b>
<b>BUILDING COVERAGE</b>	<b>3,420 S.F. (18.41%)</b>
<b>SIDEWALK</b>	<b>2,981 S.F. (16.05%)</b>
<b>PARKING</b>	<b>6,993 S.F. (37.64%)</b>
<b>LANDSCAPE</b>	<b>5,184 S.F. (27.90%)</b>

**18 TOTAL PARKING STALLS**  
**13 STANDARD STALLS (9 COVERED)**  
**3 COMPACT STALLS**  
**1 HANDICAP STALL**  
**1 EV STALL**  
**EV STATIONS TO BE MINIMUM LV2 CHARGING**

**SITE**  
**1 US MAIL BOX AREA**  
**1 RECREATION AREA**  
**10 BICYCLE SPACES (10 COVERED)**  
**1 TRASH ENCLOSURE**

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**LOWER FLOOR PLAN**

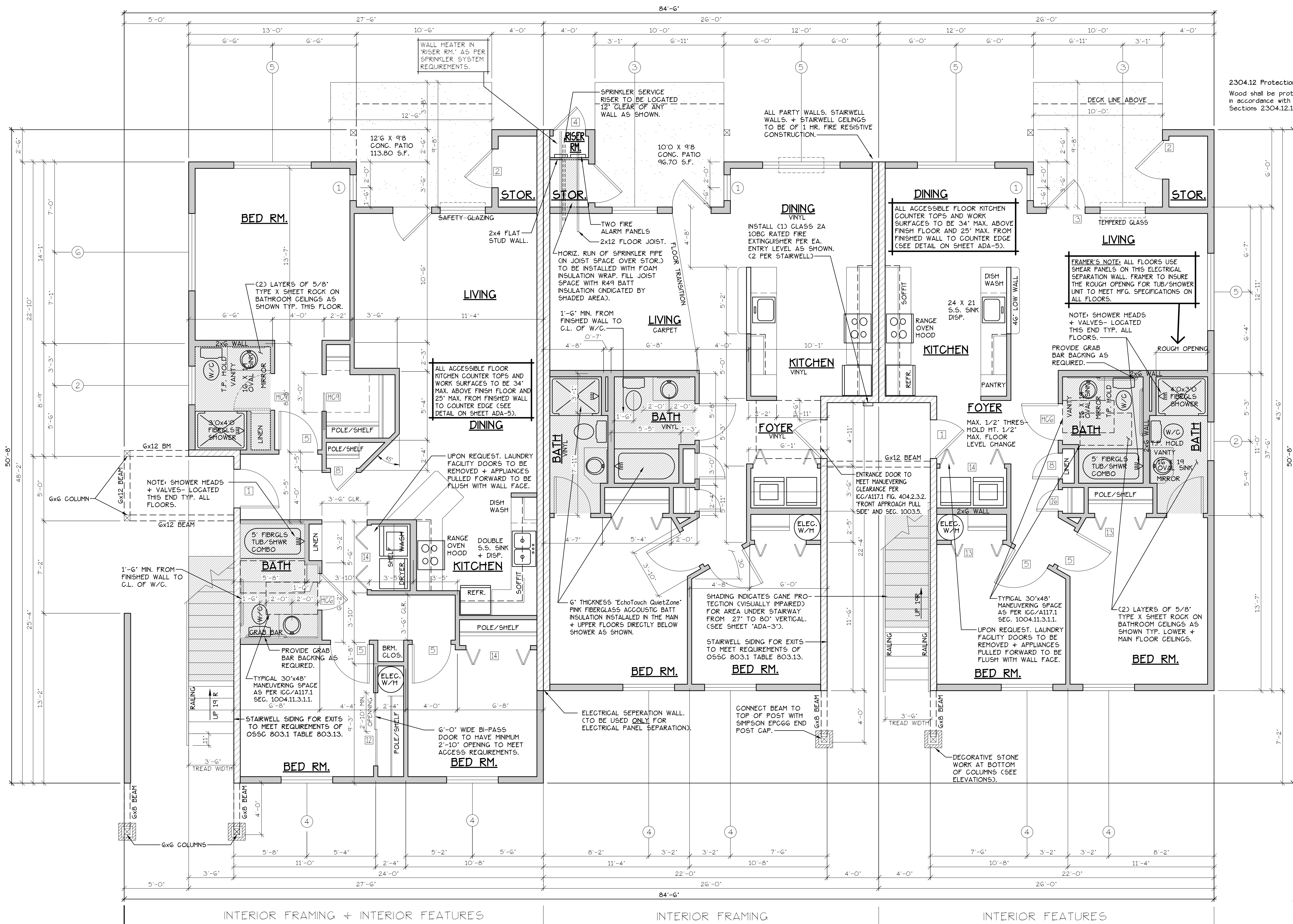
**HARDCASTLE APARTMENTS**

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

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Date: Sep-22  
Scale: AS SHOWN



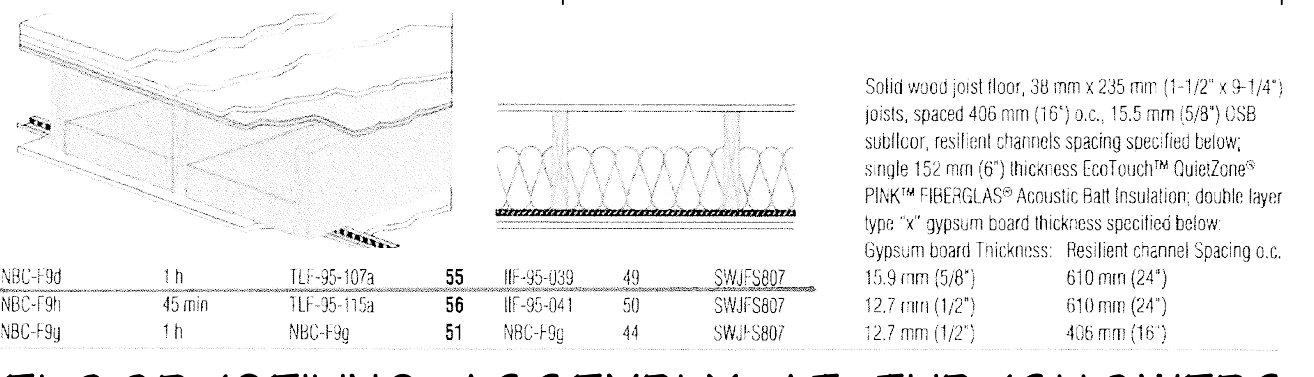
**A1.31**



2304.12 Protection against decay and Termites.  
Wood shall be protected from decay and termites in accordance with the applicable provisions of Sections 2304.12.1 through 2304.12.7.

- NOTES:**
1. ALL DOOR AND WINDOW HEADERS TO BE #2 4x12 UNLESS NOTED OTHERWISE ON PLANS.
  2. ALL 6x12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
  3. ALL DOOR HEADERS (INCLUDING PLATO DOORS) TO BE FRAMED AT 6'-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET AG.20 BEFORE BEGINNING ANY CONSTRUCTION.



**LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
\*A\* UNIT = 952 S.F.  
\*D\* UNIT = 1209 S.F.

**TYPE D UNIT**  
**BLD. 1**

CONSTRUCTION TYPE V B SPRINKLED  
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

IF 907.2.10.3 SMOKE ALARMS, SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.  
IF 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS, LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

DOOR SCHEDULE									
DOORS					FRAMES				
#	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TYP.	MATL.	FIN.
11	3'-0"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT A	NETAL	PAINT	
12	3'-0"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT B	NETAL	PAINT	
13	3'-0"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT C	NETAL	PAINT	
14	2'-6"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT D	NETAL	PAINT	
15	3'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
16	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
17	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
18	2'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
19	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
20	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
21	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	
22	5'-8"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	
23	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	
24	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	
25	5'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	
26	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	
27	1'-8"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN I	HEMLOCK	STAIN	

WINDOW SCHEDULE									
#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	2'0" X 3'0"	VINYL SGL.	MILGARD	WHITE	YES	STATIONARY	DF #1 4x12		
2	3'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
3	3'0" X 4'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
4	4'0" X 5'0"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 6x8 (SEE ALT. HEADER DETAIL SHT. A2.40)		
5	6'0" X 4'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
6	6'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY	DF #1 4x12		

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) QEEC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 IBC/OSG SECTIONS 1015.8.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION' DETAIL ON SHEET A2.40.

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
  2. FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OSGC 718.2.2 AND OSGC 718.2.3.
  3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
  4. ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
  5. ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
  6. ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'G'S.
  7. AS PER OEGSC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
  8. ALL TYPE 'A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

**HANDICAP UNIT NOTES:**

THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH OSGC 2019 REVISED TO BE EFFECTIVE JANUARY 1, 2020, CHAPTER 11 OF THE OSGC 2019 AS REVISED INCORPORATES AS PART OF IT, AMERICAN NATIONAL STANDARD ICC/ANSI A117.1-1003, WITHIN ICC/ANSI A117.1 CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS, CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.

THE INTENT IS THAT 'ALL' GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

WITHIN THE PROJECT THERE ARE ALSO TYPE 'B' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1 CHAPTER 10, SECTION 1003.

WITHIN THE PROJECT THERE ARE ALSO TYPE 'C' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1 CHAPTER 10, SECTION 1004. ALL ACCESSIBLE FLOOR UNITS WITHIN THIS PROJECT ARE TO BE TYPE 'B' UNITS UNLESS SPECIFICALLY DESIGNATED TYPE 'A' UNITS. WITHIN THESE TYPE 'B' UNITS THE MAIN BATHROOM (OR ONLY BATHROOM) SHALL BE DESIGNATED AS AN OPTION 'B' ADAPTABLE BATHROOM WHICH MUST MEET THE REQUIREMENTS OF ICC/ANSI A117.1 SECTION 1004.11.3.2.

ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5 THAT SET OUT SPECIFIC INFORMATION FROM OSGC 2019, CHAPTER 10 AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

**CONSTRUCTION TYPE V B SPRINKLED.**

**MAIN FLOOR PLAN**

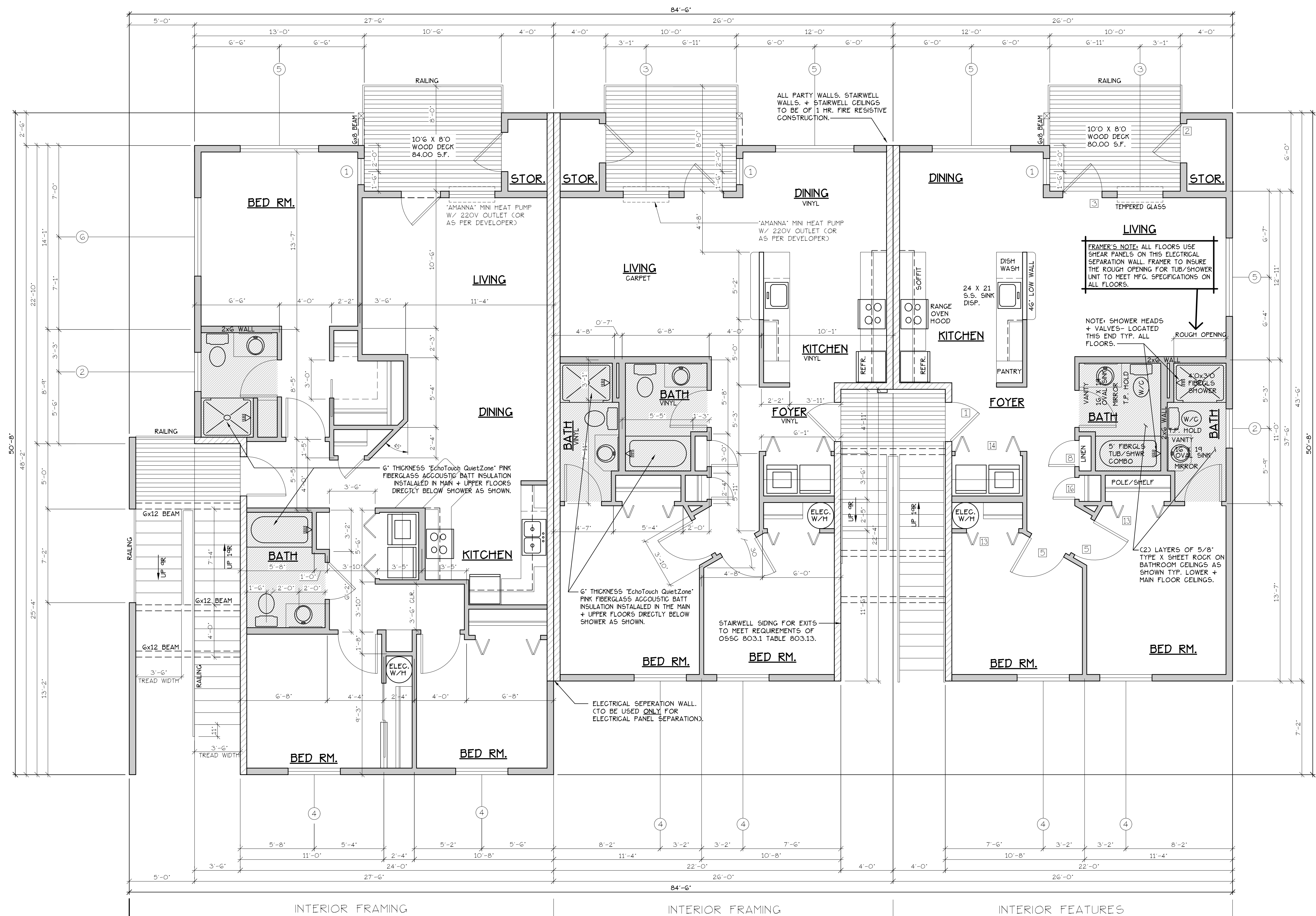
**HARDCASTLE APARTMENTS**

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

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Checked: M.D.G.  
Date: Sep-22  
Scale: AS SHOWN  
JOB # 7447



**A1.41**



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
\*A\* UNIT = 952 S.F.  
\*D\* UNIT = 1209 S.F. **BLD. 1**

**TYPE D UNIT**

**TYPE A UNITS**

- NOTES:**
1. ALL DOOR AND WINDOW HEADERS TO BE #2 4X12 UNLESS NOTED OTHERWISE ON PLANS.
  2. ALL 6X12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
  3. ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6"-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
  2. FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OSGC 718.2.2 AND OSGC 718.2.3.
  3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
  4. ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
  5. ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
  6. ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'S.
  7. AS PER OSGC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
  8. ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

DOOR SCHEDULE									
DOORS					FRAMES				
ID	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TYP.	MATL.	FIN.
11	3'-0"	6'-8"	1 3/4"	MTL.	GLAD	PAINT A	NETAL	PAINT	
12	3'-0"	6'-8"	1 3/4"	MTL.	GLAD	PAINT B	NETAL	PAINT	
13	3'-0"	6'-8"	1 3/4"	MTL.	GLAD	PAINT C	NETAL	PAINT	
14	2'-6"	6'-8"	1 3/4"	MTL.	GLAD	PAINT D	NETAL	PAINT	
15	3'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
16	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
17	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
18	2'-6"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
19	2'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
20	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
21	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	
22	5'-8"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	
23	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	
24	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	
25	5'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	
26	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	
27	1'-8"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	

WINDOW SCHEDULE									
ID	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	2'0" X 3'0"	VINYL SGL.	MILGARD	WHITE	YES	STATIONARY	DF #1 4x12		
2	3'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
3	3'6" X 4'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
4	4'0" X 5'0"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 6x8 (SEE ALT. HEADER DETAIL SHT. A2.40)		
5	6'0" X 4'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
6	6'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY	DF #1 4x12		

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) QEGC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 OSGC SECTIONS 1015.6.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION' DETAIL ON SHEET A24.0.

**CONSTRUCTION TYPE V B SPRINKLED**  
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

NOTE: MAN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAN + UPPER FLOOR ARE AS FOLLOWS:  
BED RM. = 2'-6" DOOR  
BATH RM. = 2'-4" DOOR.

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A6.20 BEFORE BEGINNING ANY CONSTRUCTION.

**CONSTRUCTION TYPE V B SPRINKLED.**

\* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.  
\*\* TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.

**UPPER FLOOR PLAN**

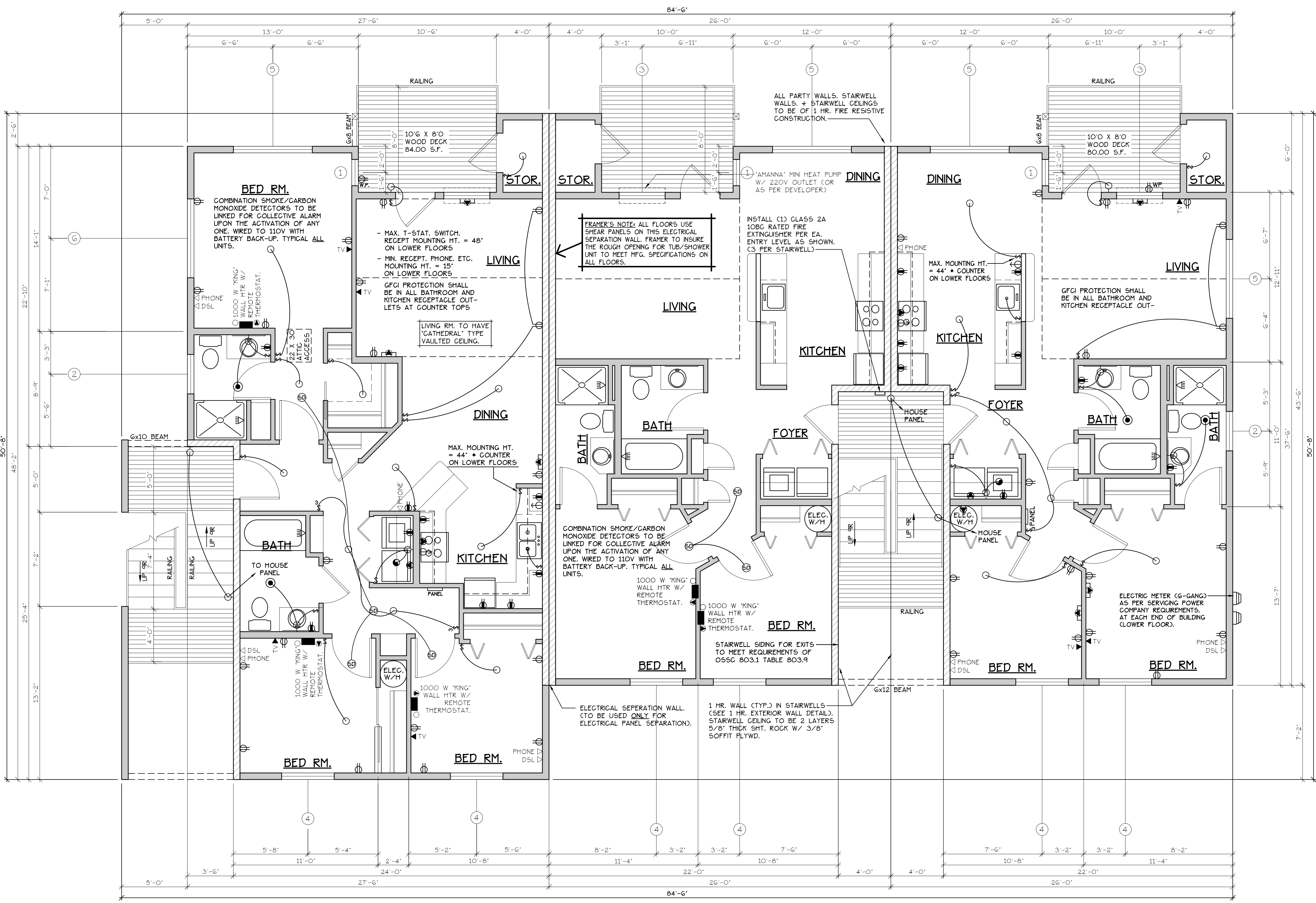
**HARDCASTLE APARTMENTS**

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Drawn: A.R.B.  
Checked: M.D.G.  
Date: Sep-22  
Scale: AS SHOWN  
JOB # 7447

REGISTERED PROFESSIONAL ENGINEER  
MARK D. GREY  
RENEW DATE: JUN 30, 2021

**A1.50**



CADET HEATING + SMOKE/ CARBON MONOXIDE DETECTORS ELECTRICAL ● = HEATER/LIGHT/FAN

- NOTES:**
1. ALL DOOR AND WINDOW HEADERS TO BE #2 4x12 UNLESS NOTED OTHERWISE ON PLANS.
  2. ALL 6x12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
  3. ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6'-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
  2. FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OS5C 718.2.2 AND OS5C 718.2.3.
  3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
  4. ALL BATH FANS TO HAVE MN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MN. 150 CFM.
  5. ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
  6. ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'S.
  7. AS PER OS5C HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
  8. ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
'A' UNIT = 952 S.F.  
'D' UNIT = 1209 S.F.

**TYPE D UNIT**

**TYPE A UNITS**

DOOR SCHEDULE										
DOORS					FRAMES					REMARKS
ID	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TYP.	MATL.	FIN.	
11	3'-0"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT A	METAL	PAINT	G. PANEL 60 MN RATED ASSY. W/ THRESHOLD WEATHERSTRIP CLOSURE.	
12	3'-0"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT B	METAL	PAINT	G. PANEL W/ THRESHOLD WEATHERSTRIP AND KEYPED LOCK.	
13	3'-0"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT C	METAL	PAINT	FULL LITE TEMP. GLASS LOCK THRESHOLD + WEATHERSTRIP W/ THRESHOLD WEATHERSTRIP AND KEYPED LOCK.	
14	2'-6"	6'-8"	1 3/4"	M.T.L.	GLAD	PAINT D	METAL	PAINT		
15	3'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN		
16	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN		
17	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN		
18	2'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN		
19	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	POCKET DOOR	
20	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	POCKET DOOR **	
21	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	BI-PASS DOOR	
22	5'-8"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	BI-PASS DOOR	
23	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN G	HEMLOCK	STAIN	BI-PASS DOOR	
24	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	BI-FOLD DOOR	
25	5'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	BI-FOLD DOOR	
26	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN H	HEMLOCK	STAIN	BI-FOLD DOOR	
27	1'-8"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN F	HEMLOCK	STAIN	BI-FOLD DOOR	

WINDOW SCHEDULE									
ID	SIZE	TYPE	MFG.	COLOR	INSUL	REMARKS	HEADERS		
1	2'0" X 3'0"	VINYL SGL.	MILGARD	WHITE	YES	STATIONARY	DF #1 4x12		
2	3'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
3	3'6" X 4'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
4	4'0" X 5'0"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 6x8 (SEE ALT. HEADER DETAIL SHT. A2.40)		
5	6'0" X 4'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
6	6'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY	DF #1 4x12		

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) OESG U=0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 OS5C SECTIONS 1015.8.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION' DETAIL ON SHEET A24.0.

**CONSTRUCTION TYPE V B SPRINKLED.**  
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:  
BED RM. = 2'-6" DOOR  
BATH RM. = 2'-4" DOOR.

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A6.20 BEFORE BEGINNING ANY CONSTRUCTION.

**CONSTRUCTION TYPE V B SPRINKLED.**

\* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.  
\*\* TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.



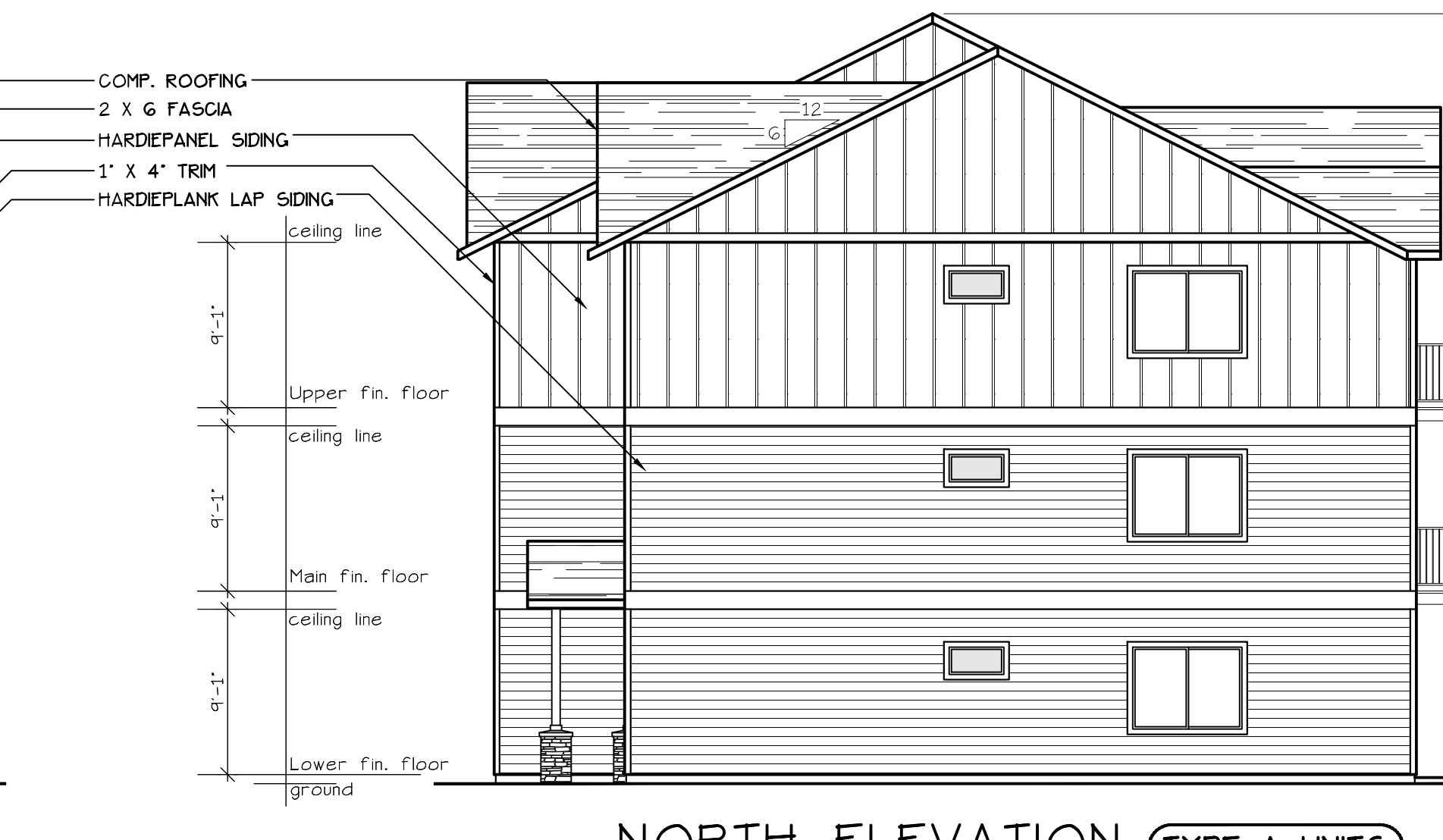
WEST ELEVATION (BLD. 1)  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (TYPE D UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 1



EAST ELEVATION (BLD. 1)  
SCALE: 1/8" = 1'-0"

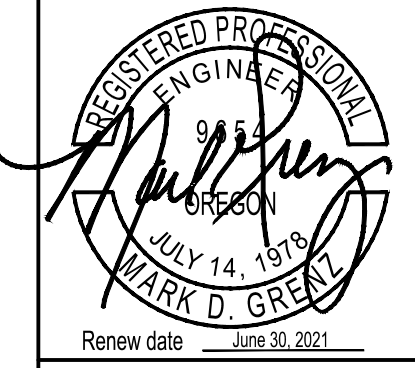


NORTH ELEVATION (TYPE A UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 1

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGNER: P.L.M.  
DRAWN: A.R.B.  
CHECKED: M.D.G.  
DATE: Sep-22  
SCALE: AS SHOWN













JOB # 7447

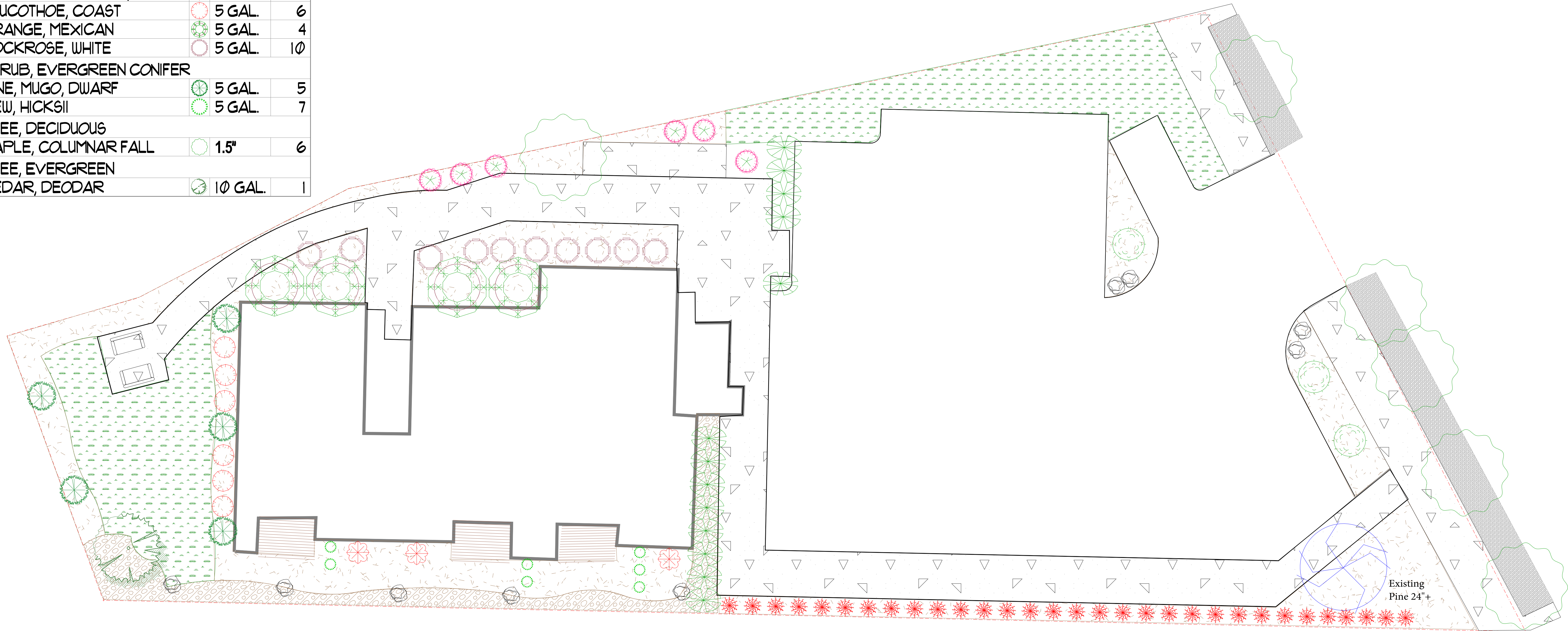


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# LEGEND

COMMON NAME	SIZE	QTY
FLOWER, GRASS		
GRASS, JAPANESE BLOOD	 EACH	31
GRASS, ZEBRA	 EACH	13
SHRUB, DECIDUOUS		
SPIREA	 5 GAL.	6
WEIGELA, FINE WINE	 5 GAL.	3
SHRUB, EVERGREEN BROADLEAF		
HEAVENLY BAMBOO, DWARF	 5 GAL.	3
LEUCOTHOE, COAST	 5 GAL.	6
ORANGE, MEXICAN	 5 GAL.	4
ROCKROSE, WHITE	 5 GAL.	10
SHRUB, EVERGREEN CONIFER		
PINE, MUGO, DWARF	 5 GAL.	5
YEW, HICKSII	 5 GAL.	7
TREE, DECIDUOUS		
MAPLE, COLUMNAR FALL	 1.5"	6
TREE, EVERGREEN		
CEDAR, DEODAR	 10 GAL.	1

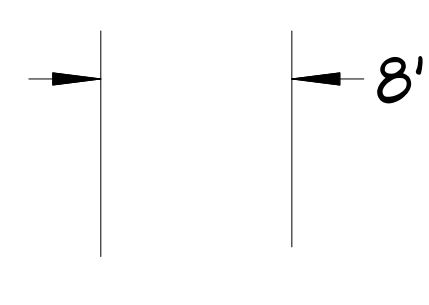


Revision #:

Date: 11/8/2022

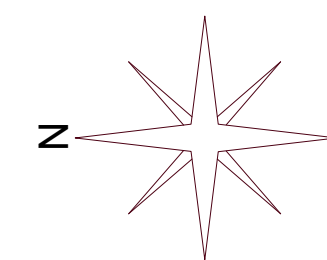
Scale:

1/8" = 1'



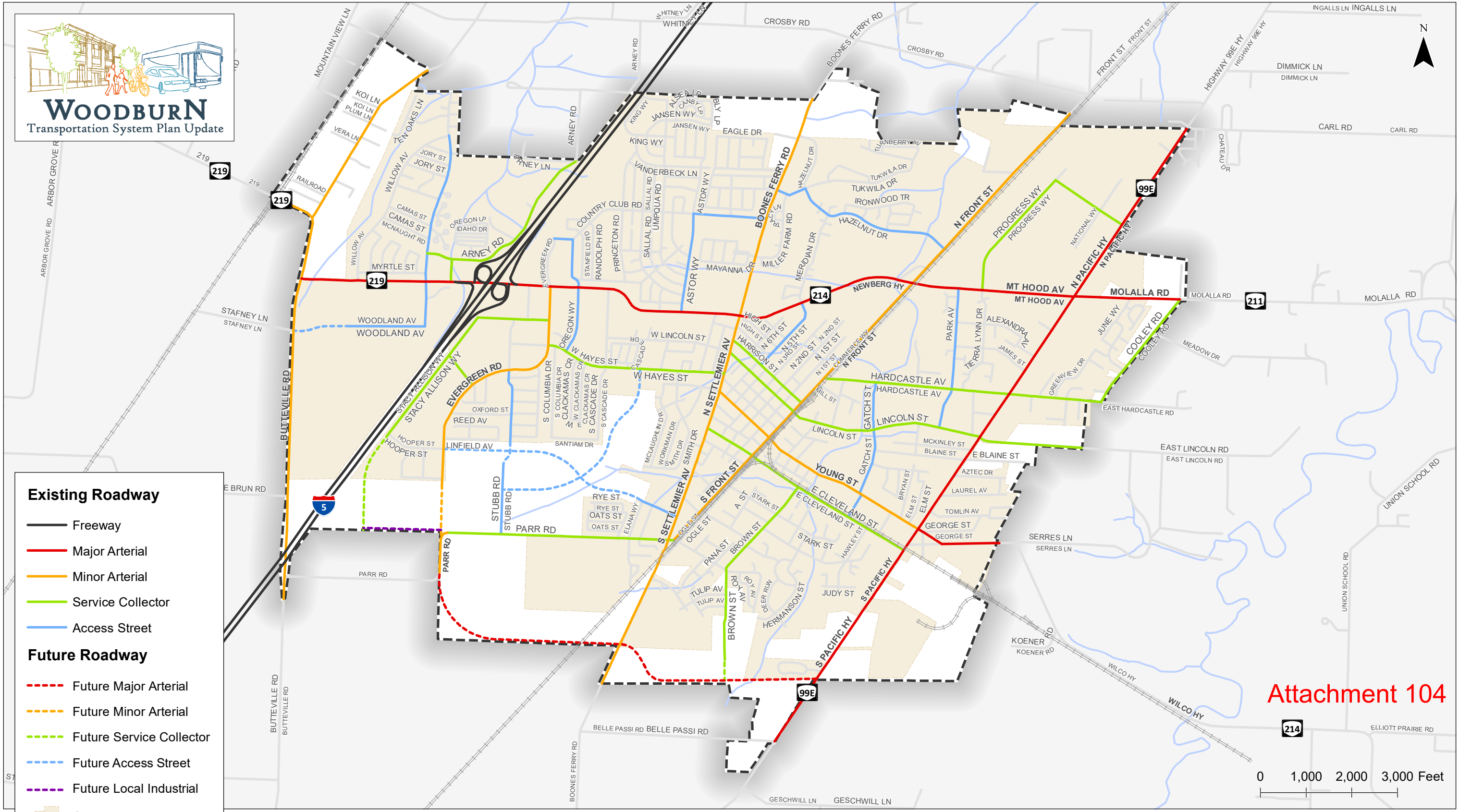
Landscape Plan: L1.0

**Hardcastle**



Landscape Design by: sfriedman

**GT Landscape Solutions**



**Existing Roadway**

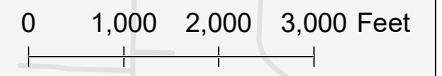
- Freeway
- Major Arterial
- Minor Arterial
- Service Collector
- Access Street

**Future Roadway**

- - - Future Major Arterial
- - - Future Minor Arterial
- - - Future Service Collector
- - - Future Access Street
- - - Future Local Industrial

- City Boundary
- Urban Growth Boundary

Attachment 104



**Functional Roadway Classification  
Woodburn, Oregon**

**Figure  
2**

Note: Future roadway alignments are approximate and subject to further refinement.

Coordinate System: NAD 1983 HARN StatePlane Oregon North FIPS 3601 Feet Intl  
Data Source: City of Woodburn, Oregon Department of Transportation

H:\1212\1071 - Woodburn TSP Update\GIS\TSP02 Functional Roadway Classification.mxd - mmcormick - 5:25 PM 9/18/2019

## CU 22-04 Hardcastle Apts.:

### Attachment 201: Dictionary & Glossary

This document defines and explains abbreviations, acronyms, phrases, and words particularly in the context of conditions of approval.

- “ADA” refers to the federal Americans with Disabilities Act of 1990.
- “apt” refers to apartment.
- “C of O” refers to building certificate of occupancy.
- “CAE” refers to cross access easement.
- “CEP” refers to civil engineering plan review, which is a review process independent of land use review led by the Community Development Department Planning Division and that is led by the Public Works Department Engineering Division through any application forms, fees, and review criteria as the Division might establish. A staff expectation is that CEP follows land use review and approval, that is, a final decision, and precedes building permit application.
- “County” refers to Marion County.
- “Director” refers to the Community Development Director.
- “exc.” means excluding.
- “EV” refers to electric vehicle.
- “FOC” refers to face of curb.
- “ft” refers to feet.
- “Hardcastle” refers to Hardcastle Avenue.
- “highway” refers to Oregon Highway 99E / N. Pacific Highway.
- “inc.” means including.
- “max” means maximum.
- “min” means minimum.
- “Modal share” means the percentage of travelers using a particular type of transportation or number of trips using a type, as examples walking, cycling, riding transit, and driving.
- “Modal shift” means a change in modal share.
- “MUTCD” refers to *Manual on Uniform Traffic Control Devices* of the U.S. Department of Transportation (U.S. DOT) Federal Highway Administration (FHWA).
- “NE” means northeast.
- “NW” means northwest.
- “OAR” refers to Oregon Administrative Rules.
- “o.c.” refers to on-center spacing, such as of trees or shrubs.
- “ODOT” refers to the Oregon Department of Transportation.
- “OR 99E” refers to Oregon Highway 99E / N. Pacific Highway.

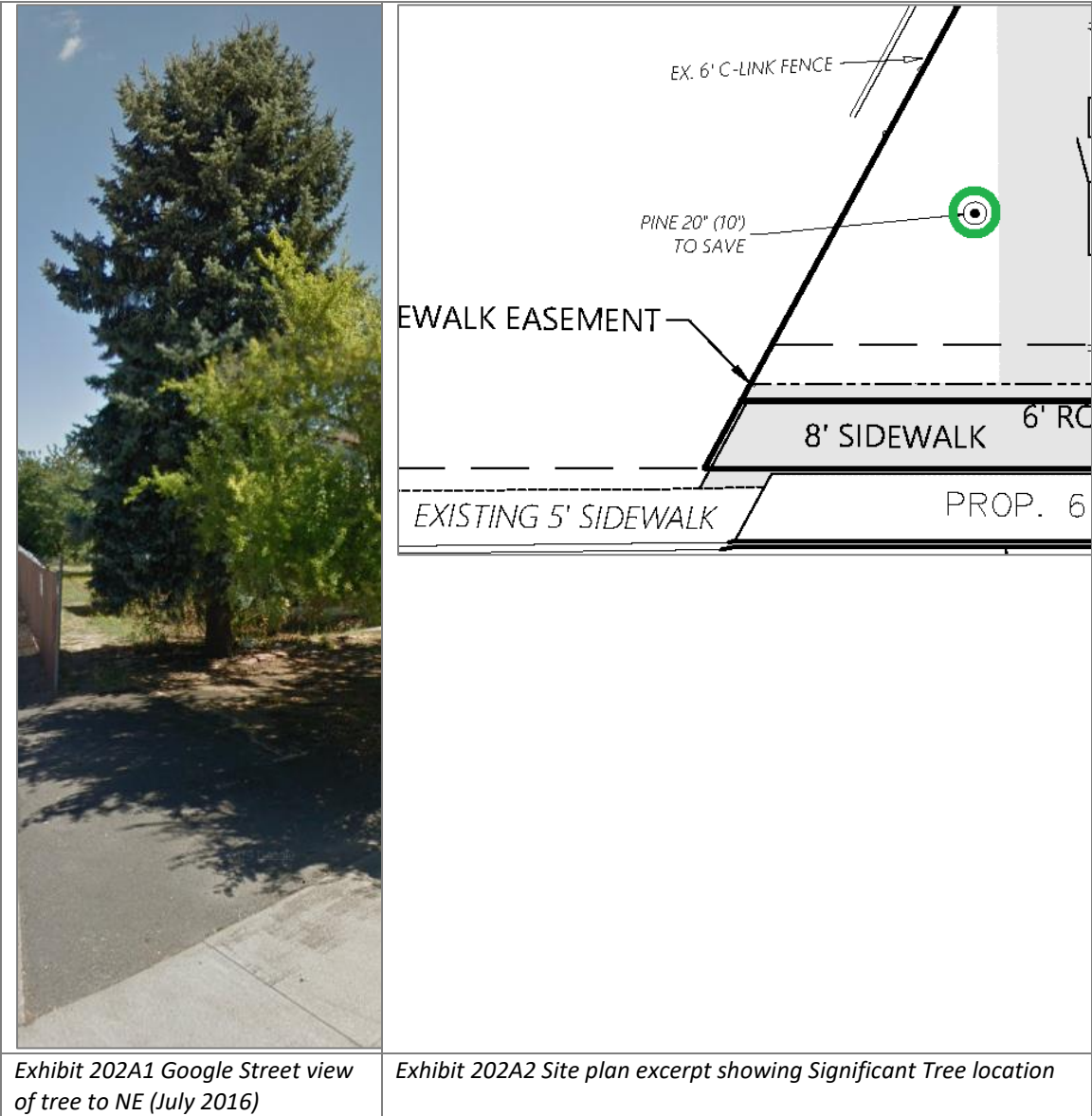
- “ORS” refers to Oregon Revised Statutes.
- “PGE” refers to electric utility Portland General Electric.
- “PLA” refers to property line adjustment.
- “PU” refers to plant unit as WDO Table 3.06B describes.
- “PUE” refers to public utility easement, whether along and abutting public ROW (“streetside” PUE) or extending into or across the interior of private property (“off-street” PUE). In the context of property line adjustment, partition, or subdivision, the developer records through the plat with drawings and notes on the face of the plat. Absent this context, recordation is separate from land use review pursuant to a document template or templates established by PW. PW is the project manager for receiving, reviewing, accepting, obtaining City Council approval for, and recording public easement materials that a developer submits.
- “PW” refers to Public Works (the department).
- “Root barrier” refers to that illustrated by PW SS&Ds, [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “ROW” refers to right-of-way.
- “RPZ” refers to root protection zone in the context of tree preservation.
- “SDCs” refers to system development charges, also known as impact fees.
- “SE” means southeast.
- “SDA” refers to site development area, the entire territory that is the subject of the land use application package.
- “sq ft” refers to square feet.
- “SS&Ds” refers to PW [standard specifications and drawings](#).
- “Street trees” refer to trees that conform to the WDO, including 3.06.03A and Tables 3.06B & C, and that have root barriers where applicable per PW [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “SW” means southwest.
- “Tot.” means total.
- “TPU” means the [Transit Plan Update](#) Approved Final Report dated November 8, 2010.
- “TDM” refers to transportation demand management, which means according to the TSP (p. 82), “a policy tool as well as a general term used to describe any action that removes single occupant vehicle trips from the roadway during peak travel demand periods”, and according to Wikipedia as of October 13, 2020, “the application of strategies and policies to reduce travel demand, or to redistribute this demand in space or in time.”
- “TSP” means the [Woodburn Transportation System Plan \(TSP\)](#).
- “UGB” means urban growth boundary.
- “Walkway” refers to what would otherwise be called sidewalk except the paved walking surface is on private property outside of any of ROW or an easement granting public access. Also, see WDO 3.04.06.
- “Wide walkway”: See WDO 3.04.06C & D.1.

- “WDO” refers to the [Woodburn Development Ordinance](#).
- “WFD” refers to the Woodburn Fire District.
- “Woodburn Place Apts.” refers to Woodburn Place Apartments at 2145 Molalla Rd approved through ANX 2019-01 and developed through the same applicant (Multi/Tech Engineering) as CU 22-04 Hardcastle Apts. at 1755 Hardcastle Ave.
- “WTS” refers to the Woodburn Transit System.
- “w/i” means within.
- “w/o” means without.
- “VCA” refers to vision clearance area as WDO 1.02 and 3.03.06 establish or as a specific condition establishes.

CU 22-04 Hardcastle Apts.:  
Attachment 202: Tree Protection

**Part A. Tree preservation**

1. The developer shall preserve the Significant Tree, a 24-inch pine at the site SW corner.



2. Protection during construction: The developer shall follow this Attachment 202, Part B.
3. Any removal would trigger a Significant Tree removal fine per Attachment 204.

## Part B. Tree preservation During Construction

Tree preservation: Protection during construction:

The applicant shall protect the preserved trees pursuant similar to City of Portland Title [11.60.030](#), specifically either the subsections set of C.1.a.(1), (3) and C.1.b., e., & f. (clear and objective) and D.; or, the subsections set of C.2.a., b., & d.-f. (arborist's discretion) and D. as modified below and shall do so between Design Review approval and issuance of certificate of occupancy (C of O):

C. Protection methods. The Tree Plan shall show that the contractor adequately protects trees to be preserved during construction using one of the methods described below:

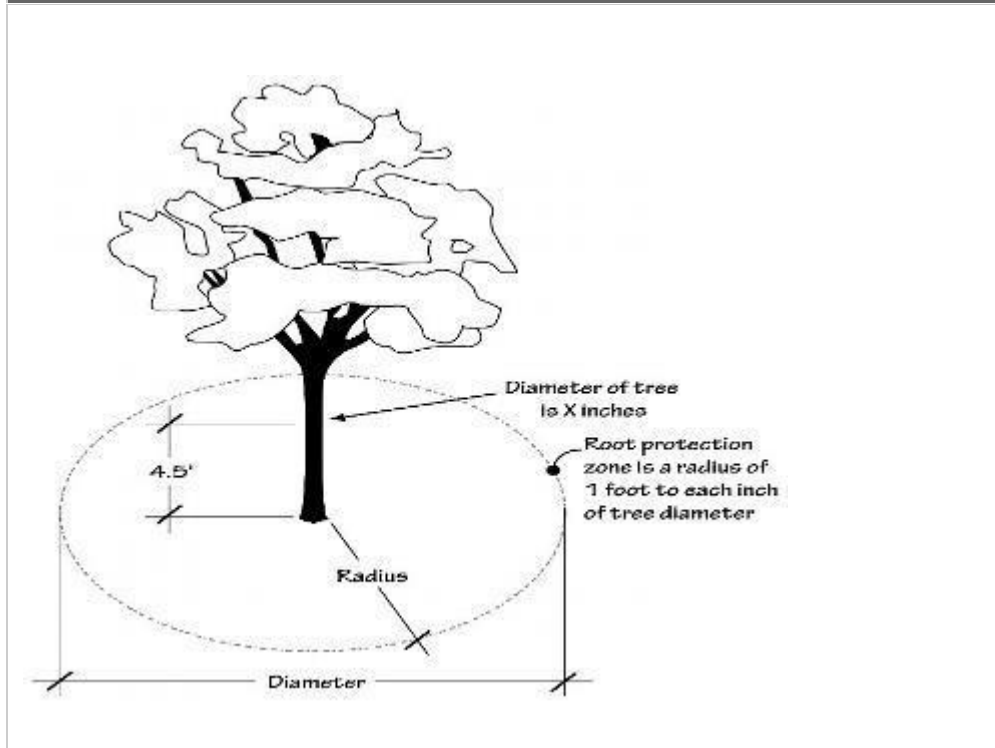
1. Clear & Objective Path.

a. A root protection zone is established as follows:

(1) For trees on the development site - a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter (see Figure 80-2)

Figure 80-2

Root Protection Zone



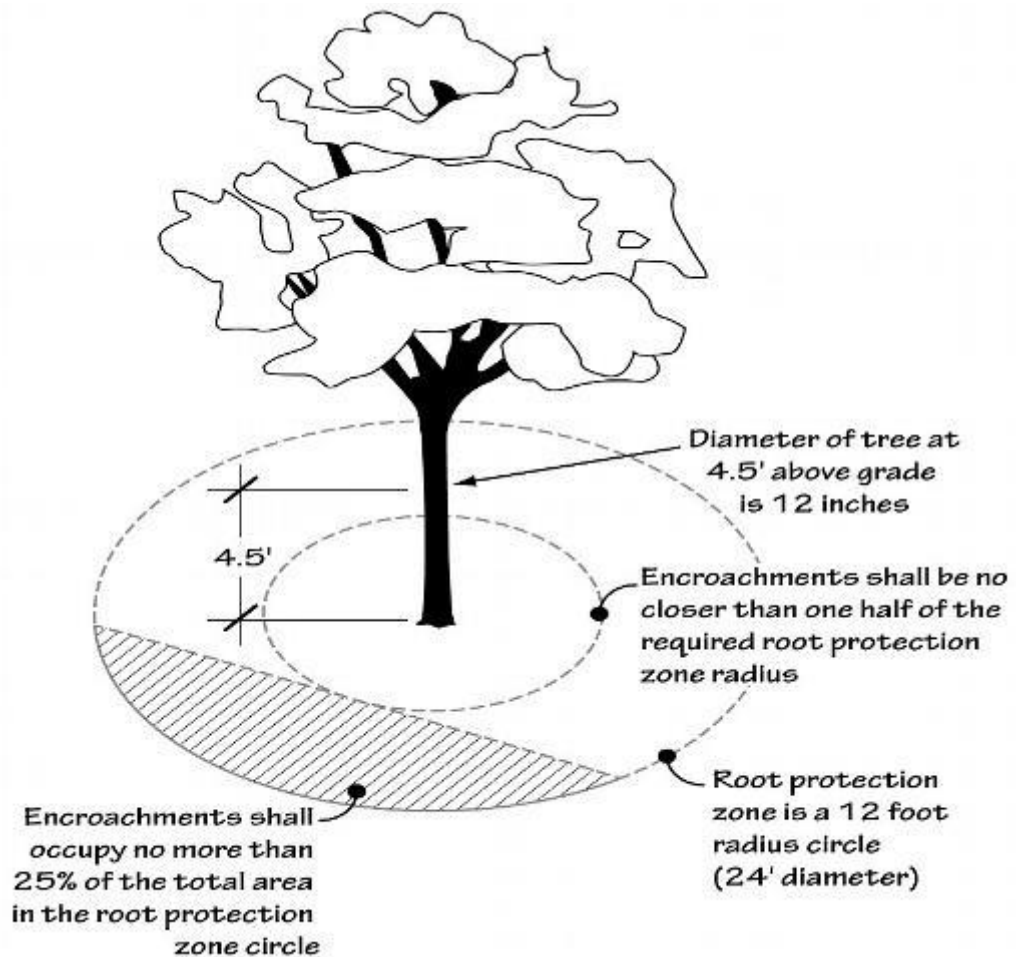
(3) Existing encroachments into the root protection zone, including structures, paved surfaces and utilities, may remain. New encroachments into the root protection zone are allowed provided:

- (a) the area of all new encroachments is less than 25 percent of the remaining root protection zone area when existing encroachments are subtracted; and
- (b) no new encroachment is closer than  $1/2$  the required radius distance (see Figure 60-1);



Figure 60-1

Permissible RPZ Encroachments



b. Protection fencing

(1) Protection fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 2-foot metal posts shall be established at the edge of the root protection zone and permissible encroachment area on the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.



(2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

e. The following is prohibited within the root protection zone of each tree or outside the limits of the development impact area: ground disturbance or construction activity including vehicle or equipment access (but excluding access on existing streets or driveways), storage of equipment or materials including soil, temporary or permanent stockpiling, proposed buildings, impervious surfaces, underground utilities, excavation or fill, trenching or other work activities; and

f. The fence shall be installed before any ground disturbing activities including clearing and grading, or construction starts; and shall remain in place until final inspection by Planning Division staff.

2. Arborist's Discretion. When the prescriptive path is not practicable, the applicant may propose alternative measures to modify the clear and objective root protection zone (RPZ), provided the following standards are met:

a. The alternative RPZ is prepared by an arborist who has visited the site and examined the specific tree's size, location, and extent of root cover, evaluated the tree's tolerance to construction impact based on its species and health, identified any past impacts that have occurred within the root zone, and forwarded a report through the developer to Planning Division staff;

b. The arborist has prepared a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site visit described above;

- d. If the alternative methods require the arborist be on site during construction activity, the applicant shall submit a copy of the contract for those services prior to permit issuance and a final report from the arborist documenting the inspections and verifying the viability of the tree(s) prior to final inspection by the Planning Division;
- e. If the alternative tree protection method involves alternative construction techniques, an explanation of the techniques and materials used shall be submitted;
- f. The arborist shall sign the tree preservation and protection plan and include contact information.

D. Changes to tree protection. Changes to the tree protection measures during the course of the development may be approved as a revision to a permit provided that the change is not the result of an unauthorized encroachment into a root protection zone (RPZ), and the applicant demonstrates that the tree protection standards of this Section continue to be met. When an unauthorized encroachment has occurred, the City may pursue an enforcement action or other remedy.

CU 22-04 Hardcastle Apts.:

Attachment 203: Open-Air Stairwell Details

This attachment supplements the Condition of Approval CU14a(3), about the south open-air stairwell Option (b).



*Exhibit 203A diagonal bar screening example*



*Exhibit 203B Example of railings having a bottom or near bottom horizontal member and a second horizontal member in addition to the top railing*

## CU 22-04 Hardcastle Apts.:

### Attachment 204: Conditioned Fees

All of the following conditioned fees are due as applicable, whether or not mentioned directly by a condition of approval.

Refer to Condition G3 and/or Attachment 201 for a dictionary/glossary, including acronyms and shorthand text.

#### **Part A. Fee Provisions**

1. Any and all conditioned fees are in addition to, and not in place or as discounts of, any existing charge or fee however termed ordinarily assessed based on any existing ordinance, resolution, or administrative policy, inc. adopted fee schedules. If and when the City amends any ordinance, resolution, or administrative policy, inc. a fee schedule, to increase a charge or fee that is (a) the same kind of charge or fee that is conditioned, (b) the amended charge or fee amount would exceed the amount conditioned, and (c) the increase takes effect before the conditioned fee is due, then the developer shall pay the greater amount.
2. Payments of conditioned fees shall reference a final decision case file number and the condition of approval letter/number designation, be it in a check memo field or through a cover or transmittal letter.
3. For fees due by building permit issuance, a developer may request the Director to allocate payments the same as allowed for fees in-lieu by WDO 4.02.12A.2, specifically, to pay across issuance of two or more structural building permits for the subject development.

For all administrative and logistical questions about payment of land use conditioned fees outside the context of assessment and payment through building permit, the developer is to contact the Administrative Assistant at (503) 982-5246 and refer to this attachment within the CU 22-04 Hardcastle Apartments final decision.

For payment method policy details, the developer is to contact the Finance Department at (503) 982-5222, option zero, for payment method policy details.

**Part B. Fee Table**

<i>Table 204B. Fee Table</i>					
<i>Condition Reference</i>	<i>Fee Type</i>	<i>Amount</i>	<i>Context</i>	<i>Timing</i>	<i>Staff Tracking:</i>
CU1c	Street tree fee in-lieu for street trees omitted through civil engineering plan (CEP) review, or, inspection missing tree fee	\$950 per tree	Applies to omitted street trees, or, ones missing from required number upon inspection; 4.02.12A	If CEP context, then by building permit issuance; if in inspection context, then prior to passing final inspection / obtaining certificate of occupancy	
CU1e(2)	Electric power pole(s) and line(s)	Per cost estimate stamped by a licensed professional and with which City and PGE agree.	Applies only if the front yard pole (PGE pole PL 3080) not removed and its connecting lines over Hardcastle not removed; see condition.	Building permit issuance	
CU7b	Significant Tree removal fine	\$253 per tree assessed	Significant Tree removal. Because the condition does not allow for removal of the 1 Significant Tree, fine would apply only to violation and supplement the fine that is per Ordinance No. 2592 (2021), §3.	Building permit issuance or, if violation after issuance, by certificate of occupancy (C of O)	
T-T1	Bus transit / transit service fee	\$418 per dwelling	See condition.	Building permit issuance	
G6c through this 200 series attachment	Public Works Dept. (PW), or ODOT as applicable, civil engineering plan (CEP) review: Review by Planning Division	\$250; \$346	Original/1 <sup>st</sup> submittal; each subsequent inc. deferral/piecemeal	Upon CEP application to PW	
	Inspections by Planning Division	\$75; \$346	1st inspection or “walkthrough”; each subsequent	Inspection requests related to public (street) improvements and building permits	

*Table 204B. Fee Table*

<i>Condition Reference</i>	<i>Fee Type</i>	<i>Amount</i>	<i>Context</i>	<i>Timing</i>	<i>Staff Tracking:</i>
G6c through this 200 series attachment	Any of (1) Bond / bonding / performance guarantee or (2) public improvements deferral through PW per WDO 3.01.02E: Specifically any that would allow or allows the developer to delay construction of street improvements beyond either final plat, as applicable, or building permit issuance, with the exception of street trees.	\$4,474	Serves as bond or deferral application review request min fee and isn't a bond amount itself. Fee not applicable to warranty bonds or ordinary construction bonds if they do not authorize delay of construction of street improvements beyond building permit issuance. (See WDO 3.01.02E.)	If CEP context, then payment (through Planning Division) upon CEP application to PW; if developer applies for building permit review and there has been no CEP application to PW, then building permit issuance	

[General ledger (GL) account 363-000 3678 "Developer Contributions".]