



Land Use Final Decision

Planning Commission

File number(s): DR 22-26 & VAR 22-15

Project name: 

Date of decision: July 27, 2023

Applicant: Steve Schwartz, Principal Development Lead, Chick-fil-A, Inc., 105 Progress, Suite 100, Irvine, CA 92618-0327

Landowner: 300 Woodland Avenue LLC, PO Box FF, Springfield, OR 97477-0082 (Travis Miller and Robin Merrell, members; Hutchinson Cox LLC, Eugene, OR, registered agent)

Site location: 300 [S.] Woodland Ave; Tax Lot 052W110000106

Summary: The Planning Commission held a public hearing on July 27, 2023 and unanimously approved the consolidated applications package (Type III) with the conditions recommended by staff through the staff report published July 20 – except revising Conditions D1b, D9, T-A2, & T-A3 and striking Conditions T-A4 & V11. (The Conditions section below shows the strikethrough-and-underline edits.)

Through a Design Review application type, the applicant proposed development through a building of 2,872 square feet (sq ft) with two drive-through lanes for a Chick-fil-A fast-food restaurant.

Development comes with upgrading the [S.] Woodland Avenue and Hillyer Lane frontages each to have a landscape strip with street trees and new sidewalk.

Incidentally, the proposed restaurant has no interior dining area and so no dine-in service. Along with the drive-through of two lanes, the applicant proposes a south walk-up window and four picnic tables in the form of two 2-tops at the east and two 4-tops at the south.

Variance

There was one variance request, and it related to *maximum* off-street parking. The applicable parking ratio is for “limited-service eating place”, i.e. fast-food restaurant or quick-service restaurant as known within the industry. The math of 2,872 sq ft of proposed building / 250 = 11.4 → 11 stalls minimum parking. The site plan proposes more than this, exceeding the minimum standard.

Woodburn Development Ordinance (WDO) 3.05.03A.2 specifies a cap or maximum for all land uses of twice the minimum, which for the proposal equals $11.4 \times 2 = 22.8 \rightarrow 23$ stalls maximum parking; however, the applicant submitted a variance request to have 43 total stalls, 20 more than the maximum.

The subject property is in the Commercial General (CG) zoning district and approximately 1.39 acres.

No one testified (besides members of the applicant's team). See the table below in the "Testifiers" section. Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

Conditions of Approval:

General

G1. Prior to or as part of [building permit application](#), the applicant shall submit revised site plans meeting the conditions of approval and obtain Planning Division approval through sign-off on permit issuance. The applicant shall submit a cover letter indicating what specific plans sheets or document page numbers demonstrate how the submittal meets each condition.

G2. The applicant or successors and assigns shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G3. References: Attachment 201 serves as a dictionary or glossary defining certain abbreviations, acronyms, phrases, terms, and words in the context of the conditions of approval. The 200 series of attachments are as binding as the conditions of approval in the main body of the final decision.

G4. Due dates / public improvements:

- a. When public street improvements, and any fees in lieu of public improvements, are due shall be per WDO 3.01.02E and 4.02.12.
- b. ROW/easements: Recordation of required right-of-way (ROW) and public easements is due by building permit issuance. See Note A below.
- c. Where a Phasing Plan per WDO 5.03.05 is relevant, building permit issuance means issuance for the phase in which the conditioned improvement is located.
- d. Where changes to street addresses are necessary, the developer shall apply through the Planning Division for and obtain approval of an [Address Assignment Request](#). This is due prior to building permit application, and if and where land division is relevant, then also after recordation with County.

G5. Recordation due dates: The applicant shall apply to the County for recordations of items that the City requires no later than 6 months prior to expiration of the land use approval as WDO 4.02.04B establishes, and shall complete recordations no later than three years past the land use “final decision” date. The due date to complete recordations shall not supersede when recordations are due relative to the building permit stage. See Note A below.

G6. Administration:

- a. Conformance: That a land use approval does not reiterate any and each particular detail, provision, requirement, rule, spec, or standard from any of the WDO, other ordinances, resolutions, public works construction code, or department policies does not exempt development from conformance with them.

- b. Review: Prior to beginning recordations of public easements or other legal instruments granting public bicycle/pedestrian access, cross access, ingress/egress, public access, or shared access, as well as those that identify, memorialize, and reserve future street corridors prior to recordation, the developer or developer's surveyor shall submit drafts to the City for review in a way that not only meets the needs of the Public Works Department (PW) Engineering Division but also alerts the Community Development Department Planning Division of timely need to review for conformance with the WDO and conditions of approval and identify needed revisions prior to recordations. See Note A below.
- c. Copies: The developer, inc. any succeeding contract purchaser, shall provide copies of documentation, especially recorded documents, that a City staff person requests regardless if the documentation source or copies are another City staff person or department.
- d. Fees: The developer shall pay fees per Attachment 202.

G7. Grading: If WDO 5.01.04B is applicable, then prior to building permit issuance the applicant shall apply for and obtain a grading permit from the Planning Division.

G8. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. At least 3 City business days prior to a desired date of planning and zoning inspection of site improvements, either contact Planning Division staff directly first or proceed to make a planning inspection request (noting desired time on the requested date) through Oregon ePermitting for the applicable building permit record number.

G9. Public Works: See also Attachment 102A "Public Works Conditions of Land Use Approval" (July 13, 2023).

Note A: Absent platting or re-platting, dedication of ROW and granting of public easements necessitates a process through Public Works (PW) and City Council acceptance separate from land use approval, which could take several weeks. Upon tentative land use approval by the Planning Commission, contact PW to begin and finish dedication and granting sooner. The City Council usually meets second and fourth Mondays, and agenda packet materials are due to the City Recorder by the prior Tuesday at noon.

D1. Street cross sections: To conform with WDO 3.01.01A, B, & D; 3.01.02A, 3.01.03C.1, and 3.01.04:

- a. OR Hwy 219: No change required other than (1) what other separate conditions might require such as regarding electric power pole removal and line burial, and (2) replacing the dead or deformed street tree located second from the west – a dead leaning trunk near an existing electric power pole – with a tree conforming to WDO 3.06.03A.2. Otherwise, per subsection d1 below.



Exhibit D1a: OR Hwy 219 street tree stump

- b. Woodland: Regarding a parking lane, the developer shall:
 - ~~(1) Provide a parking lane minimum extent 110 ft (equal to five 22 ft long spaces); or~~
 - ~~(2) Provide a parking lane of lesser extent per subsection d3 below, and~~ pay a fee in lieu of omitted spaces. Otherwise, Per subsection d1 below. ~~This includes variable width ROW dedication if and where accommodating the left turn lane pushes the parking lane past where it would have fit along existing curb as well as resulting curb demolition, additional asphalt pavement, new curb along the widened asphalt within the parking lane, and meander of landscape strip and sidewalk.~~
- c. Hillyer: Per subsection d1 below.
- d. General:
 - (1) Half-streets shall conform with WDO Figures 3.01B, E, & G respectively except where and as (a) variance conditions supersede or (b) ODOT has jurisdiction and documented application of its permitting process necessitates deviation.
 - (2) Landscape strips shall conform with the WDO 3.01.04B last paragraph.
 - (3) Where ODOT application of its permitting process necessitates deviation, document where and how and submit notice to the Planning Division and Public Works Department (PW) Engineering Division. If there would be two or more deviations, wait until ODOT identifies them before notifying the City to avoid piecemeal notices.
 - (4) The developer or developer's civil engineer shall courtesy copy Planning Division and PW Engineering Division staff of (a) application to ODOT for permit to construct the street improvements, prior to City building permit issuance, and (b) a copy of the permit(s) that the agency issues with the construction drawings it issued as approved, prior to City building permit final inspection.

D2. Street trees: To conform with WDO 3.01.01B, 3.01.01D, 3.01.02A, 3.01.03C.1e, 3.01.04B, and 3.06.03A:

- a. OR Hwy 219: Plant for 15 trees or pay a fee in lieu of max 2 trees per Attachment 202.
- b. Woodland: Plant for 8 trees or pay a fee in lieu of max 3 trees per Attachment 202.
- c. Hillyer: Plant for 17 trees or pay a fee in lieu of max 5 trees per Attachment 202.

Plan revisions are due prior to building permit issuance. Street tree plantings are due by building permit final inspection, and fee in-lieu payment is due per Attachment 202.

D3. East unnamed Boundary Street ROW: To conform with WDO 3.01.01B & D, 3.01.02A, and 3.01.03F, the developer shall:

- a. Alter the existing path – or remove it and pave a new path – to be a paved bicycle/pedestrian path min 8 ft wide and to the specifications of [WDO interpretation](#) memo INT 22-0608 “Off-Street Public Bicycle/Pedestrian Facility Specifications”, Parts A & B.1-4, which include trees, and assuming Class C.
- b. Implement ADA compliance, to which WDO 3.01.03G refers, through and with ODOT, and including the City PW Engineering Division if and where relevant.
- c. Include curb ramp at Hillyer Lane, if one would not already exist by the time of development thanks to another party, as a counterpart to the existing curb ramp at the SE corner of Hillyer ROW.
- d. Conformance with this condition allows the improved path to serve as and be considered as the required walkway for the OR Hwy 219 frontage per WDO 3.04.06C and the other two frontages having wide walkways, and the applicant to revise the site plans to remove the proposed highway walkway.
- e. See Condition D6.

The condition is due the same as WDO 3.01.02E.

D4. Bus shelter / enhanced bus stop: To conform with WDO 3.01.09B, the developer shall pay a an enhanced bus stop fee per Attachment 202.

D5. PUEs, streetside: To conform with WDO Figure 3.01B and Sections 3.02.01B & F.2 regarding streetside public utility easements (PUEs), the developer shall delineate and label dimension at a width or widths per the WDO sections either:

- a. Prior to granting of streetside PUEs and prior to building permit application, revising the site and composite utility plans; or
- b. Upon granting of conforming streetside PUEs through correct recordation per general Condition G4b, G5, & G6b and prior to building permit issuance, revising the site, composite utility, and landscape plans – or equivalent sheets within a building permit application plan set through the Building Division and/or a civil engineering review application civil plan set through the PW Engineering Division – and including within a label, call-out, or note the Marion County reel and page numbers and dates of recordation.

D6. Electric power poles:

- a. To conform with WDO 3.02.04B, the developer remove the electric power poles and bury the lines, or, pay fee in lieu per Attachment 202. Improvement is due the same as WDO 3.01.02E, and fee in-lieu payment is due per Attachment 202.
- b. Regarding the electric power pole within the east unnamed Boundary Street ROW, because of Condition D3, because the pole is not considered one of the OR Hwy 219 frontage poles, and because the pole lines go not only east-west but also spur north across the highway to another pole, this condition makes explicit that neither its removal nor fee in-lieu is required *per se*. Its removal would be applicable only if the developer would conform with condition subsection D6a above through removal of the highway poles and burial of the lines and if materially necessary because of Portland General Electric (PGE) application of agency standards.

D7. Drive-through landscaping and streetside PUE: To conform with WDO 3.04.02A.3, anticipating that ODOT and/or the City PW would preclude planting of new trees within streetside PUEs, with both WDO Figure 3.01B and 3.02.01B establishing a different minimum width along each of the highway and Woodland, and with WDO 3.02.01F.2 establishing max width, the developer shall revise the site, composite utility, and landscape plan sheets prior to building permit issuance and along the drive-through segment that is parallel with:

- a. OR Hwy 219: (1) Widen the highway drive-through site perimeter planting area from 11 to 13 ft, and (2) shift the row of trees to be planted o.c. along the edge of the streetside PUE, i.e. 10 ft from the highway ROW boundary.
- b. Woodland: Shift the row of trees to be planted o.c. along the edge of the streetside PUE, i.e. 5 ft from the Woodland ROW boundary.

D8. Driveway max width: To conform with WDO Table 3.04A maximum regarding paved width of two-way driveways in a commercial context, the developer shall revise the site and composite utility plans – or equivalent sheets within a building permit application plan set through the Building Division and/or a civil engineering review application civil plan set through the PW Engineering Division – either to illustrate and dimension the approach, apron, curb cut, or ramp of the middle of the three driveways (Driveway 2) at 24 ft max width or to document if and how Table 3.04A footnote 7 about Woodburn Fire District OFC administration is applicable. For the latter, documentation shall include at least either (a) a letter or equivalent from the District or (b) revision of the fire access plan, which Exhibit D8 excerpts, to narrow the driveway to that necessary to accommodate the illustrated fire apparatus outside turning radius and to dimension the narrowed driveway apron. If through building permit review, then this is due prior to issuance, or if through civil engineering plan review, then due prior to ODOT or PW issuance of an approved civil plan set.

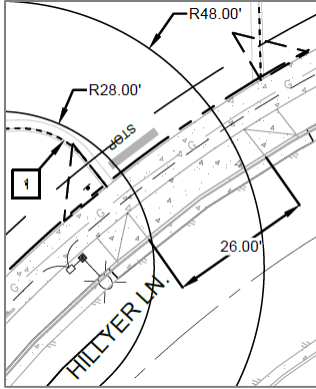


Exhibit D8 Sheet C5.1 Fire access plan excerpt

D9. Wheel stops: To conform with WDO 3.05.02H and Table 3.05B footnote 3, the developer shall revise the site plans prior to building permit issuance and install wheel stops **or bollards** in the parking stalls along the building east perimeter wide walkway.

D10. Bicycle parking: To conform with WDO 3.05.06C.4-6, the developer shall revise the site plans per WDO 3.05.06C.8c prior to building permit issuance and install signage per C.4, relocate bicycle parking to be within max 50 ft of the main entrance per C.5, and cover or shelter min 50% per C.6.

D11. Double-striping: To conform with WDO Figure 3.05C, the developer shall revise the site plans prior to building permit issuance and double-stripe parking stalls.

D12. Landscaping notes: To conform with WDO 3.06.02J, the developer shall revise landscape plan Sheet L1.0 general note 2 to correct jurisdictional references prior to building permit issuance.

D13. Walkway landscaped islands: To conform with WDO 3.06.03C.4, the developer shall revise site and landscape plans prior to building permit issuance and plant minimum area parking area landscaped islands at each of two drive aisle crossings of wide walkways:

- a. Woodland wide walkway crossing of drive-through, east end, south side.
- b. Hillyer wide walkway crossing of drive-through, north end, west side.

D14. Trash enclosure Architectural Wall: To conform with WDO 3.06.06B.6 & 7, the developer shall revise architectural sheets prior to building permit issuance, including to revise Sheet A-103 to add color and material legend information so that it would not be necessary to turn to Sheet A-301. Specifically:

- a. 3.06.06B.6 regarding having, “an earth tone coloration other than grey on at least eighty percent (80%) of the surface”: For both the grayscale and color elevations, either clarify that the bottom, larger area of color is not grey or revise to other than grey.
- b. 3.06.06B.7 regarding the wall being, “architecturally treated with scoring, texture, or pattern on at least eighty percent (80%) of the surface”: Brick itself is not texture, and default stretcher bond does not count as a pattern. Either use another brick bond, any of header stretcher, English, or Flemish, or in the bottom area that is the majority of wall area use two colors, with one laying out a diamond pattern similar to any of the examples that the exhibit below illustrates. Stucco would be acceptable as a means of texture.

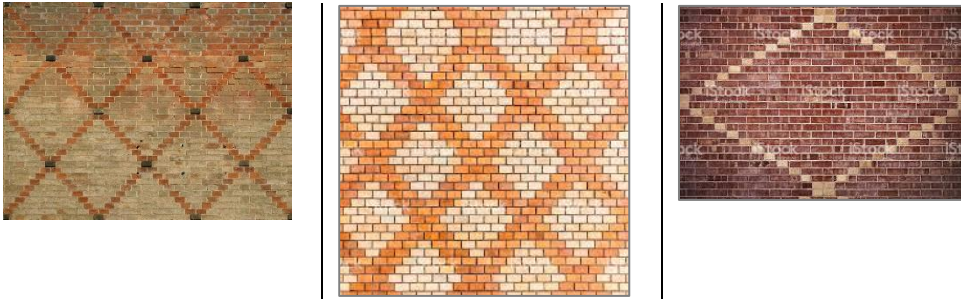


Exhibit D14

Design Review 22-26: Transportation

T-A1: Traffic management: Prior to requesting building permit final inspection, the developer or the manager of the Chick-fil-A shall meet or discuss with (a) ODOT, (b) City police, (c) and if and as needed the Public Works Department (PW), (d) a representative of Hillyer's Mid-City Ford car dealership (3000 Hillyer Ln), and (e) a representative of WinCo Foods warehouse and distribution center (400 [S.] Woodland Ave), a plan for min the first 12 day that the Chick-fil-A is open to customers to minimize traffic queue extending into public ROW, especially Woodland and OR Hwy 219, to avoid blocking traffic to and from other properties along Hillyer, and engage police or other appropriate personnel to manage traffic. Prior to passing final inspection, the developer shall submit to the attention of the Planning Division and the PW Engineering Division a written statement confirming that the communication(s) occurred and on what date(s).

T-A2: Traffic management: During ~~min~~ the first 12 days that the Chick-fil-A is open to customers:

- a. Hours of operation: ~~Temporary hours of operation shall be (1) on Sundays and Saturdays, as early as 6:30 a.m. and as late as 11:30 p.m., and (2) on weekdays, as early as 9:30 a.m. and as late as 4:30 p.m.~~ Within a permanent monument or pole sign, any electronic changing image, if and where WDO 3.10 allows such and is installed and operational by the first day, shall display the ~~temporary~~ hours of operation per WDO 3.10.12A at regular intervals totaling min half the time the sign is on for the day.
- b. Delivery vehicles: Delivery vehicles shall arrive when Chick-fil-A is closed to customers and depart from the parking area prior to opening hours.
- ~~c. Employee parking off-site: All employees who drive and would arrive or depart within a half-hour of the start of hours of operation or during hours of operation, including the general manager and any visiting managers and staff from company offices, shall park off-site. Though there is always the ODOT Woodburn Memorial Transit Center / Woodburn park and ride at the northwest corner of OR Highway 214 & Evergreen Road, employees may park in any private parking lot for which Chick-fil-A or franchisee can obtain landowner permission. Chick-fil-A or franchisee may arrange for a shuttle. Employees with valid state of Oregon disabled person parking permits are exempted and so may park on site any time. Also exempt is any employee carpools or vanpools, which may park on site in the carpool/vanpool (C/V) stalls that Condition V5a requires.~~

- d. Traffic management: If publicly apparent traffic congestion or dangerous queuing or maneuvering in public ROW arises, either the developer or the manager of the Chick-fil-A, continuing through ~~at least days 13-19~~ **the first 12 days** that the Chick-fil-A is open to and serving customers, shall cooperate with ODOT and, if and where involved, City Police and/or PW, to identify and implement measures to mitigate opening period traffic and, if asked, provide a status update to City Administration.
- e. Traffic pattern change: If ODOT were to permit, Hillyer on-street parking lanes may cease to operate as on-street parking to allow for the full curb-to-curb width of travel way to be used such that there are two eastbound lanes, one for entering Chick-fil-A and one for access to other properties along Hillyer, and two westbound lanes, one for exiting Chick-fil-A and one for access from other properties along Hillyer.

Any of ODOT or City Police or PW may administer this condition as they see fit.

T-A3: Traffic management: During ~~min~~ **the first 12** days that the Chick-fil-A is open to customers:

- a. Mark min 3 stalls within any of the east or south parking aisle closest to the building for convenient parking and pick-up by customers who ordered online and by third-party food delivery workers.
- b. Signage, whether temporary traffic control signage within ROW and/or on-site temporary or permanent signage, shall direct motorists not to idle (gasoline) engines.

~~T-A4: Director traffic management discretion: If the threat of opening period traffic as the above conditions anticipate either fails to materialize within 3 days or materializes for fewer than 12 days, then Chick-fil-A or the franchisee may request in writing that regarding above Conditions T-A2 & T-A3 that the Public Works Director do any of the following, with this condition authorizing the Public Works Director to approve such administratively and in writing:~~

- ~~a. Lessen the degree or severity of a condition or subsection;~~
- ~~b. Waive one or more condition subsections; or~~
- ~~c. Waive one or both conditions.~~

~~A request shall be courtesy copied to the Community Development Director.~~



Variance 22-15

The Variance request is approved per the following conditions:

V1. Variance: This condition documents that the variance request was to vary from WDO 3.05.03A.2, that off-street vehicle parking spaces shall not exceed two times the amount required in WDO Table 3.05A use 11 for “limited-service eating place”, such that instead of max parking of 23 stalls total based on min parking for a building of 2,872 sq ft of 11.4 stalls (prior to rounding), there may be max 43 parking stalls total.

V2. Streetscape: The developer shall revise site plans to indicate and construct in the field

- a. Landscape strip: Min width 6.5 inc. curb width along Woodland.
- b. Sidewalk: Sidewalks min width 8 ft along (1) Woodland and (2) the west segment of Hillyer between Woodland sidewalk and the Hillyer wide walkway.

V3. The developer shall pay a bus transit / transit service fee per Attachment 202.

V4. Walkways: The OR Hwy 219 walkway and Woodland wide walkway crossings of the drive-through shall be patterned, stamped, or treated to be visually and tactilely distinct from adjacent concrete, that is, seen and felt by motorists. The developer shall revise site plans prior to building permit issuance.

V5. C/V & EV: The developer shall revise site plans to indicate the below and install in the field, specifically within any of the east or south parking aisle closest to the building:

- a. Min 2 carpool/vanpool stalls that meet the standards of WDO 3.05.03H; and
- b. Min 2 electric vehicle stalls that meet the standards of WDO 3.05.03I.

V6. Landscaping: The developer shall revise landscape plans prior to building permit issuance and plant or act as follows:

- a. Bark dust: By the end of the time period per WDO 3.06.02C, 5.0% max of unpaved landscaped area may be non-living material such as bark dust, mulch, wood chips, cobbles, gravel, or pebbles.

b. Evergreen: Min 2 trees:

(1) They shall be 2 min of the following coniferous or evergreen species:

Cedar, deodar	Madrone, Pacific
Cedar, incense	Oak, Oregon White
Cedar, Western Red	Pine, Lodgepole
Douglas-fir	Pine, Ponderosa
Fir, Grand	Pine, Western white; and
Hemlock, Western	Yew, Pacific

(2) Distribution: Among the min, 1 near the site SW corner and 1 near the east corner.

- c. Hillyer yard trees: That as proposed, there remain proposed and be planted min 18 trees within the first 35 ft of yard abutting Hillyer.
- d. Retaining walls: If and where there are retaining walls, WDO 3.06.06C shall be applicable as a standard.
- e. Screening: Evergreen hedge or shrubbery shall be screen at-grade electrical and mechanical equipment, including a transformer, along min two sides, min 1 shrub per 2 ft of screened side and of min medium size category at maturity per WDO Table 3.06B.
- f. Significant Tree removals: The developer shall upon building permit application submit documentation as to whether each of the 10 existing on-site trees is significant per WDO 1.02 or not and for all trees shall be a removal fee per Attachment 202.

V7. Architecture: The developer shall revise architectural plans prior to building permit issuance and act as follows:

- a. Fenestration/glass/glazing/windows: Transparency required, except along a kitchen, and as follows:
 - (1) WDO 3.07.06B.2b(1) shall be applicable as a standard to each of min 2 facades of the developer's choice among all 4.
 - (2) Of the remaining 2 facades, each min 15% window area.
- b. Awnings/canopies: That as proposed, there shall remain proposed and be installed door canopies or fixed awnings that shelter from precipitation, are 8 ft narrowest dimension, min 9 ft height clearance, and per the following remaining min dimensions:
 - (1) East façade main entrance / south facade: 955 sq ft min area total (similar to as proposed).
 - (2) Restrooms foyer door: 64 sq ft min area.
 - (3) Employee north door: 40 sq ft min area.

Min dimension is applicable to any of dimension parallel with or perpendicular to the building. If and where there are posts, min dimension is measured between main wall plane and inside edges of posts.
- c. Roof-top screening: WDO 3.07.06B.4 regarding screening of roof-mounted equipment shall be applicable as a standard.

V8. Signage:

- a. In addition to WDO 3.10.06A, permanent signage, inc. supports and sign faces, shall not encroach within any public easement.
- b. Electronic changing image: In addition to WDO 3.10.12, based on the hours in Ordinance No. 2338, Section 5A Light Trespass, any sign electronic changing image, if and where WDO 3.10 allows such, shall be off every evening or night during the hours of 9:00 p.m. to 7:00 a.m. Pacific time.

V9. Lighting: Exterior neon and any newer lighting technology that mimics neon are prohibited as accent of buildings, open-air shelters, or free-standing or retaining walls.

V10. Trash receptacle: There shall be min one combination of a trash receptacle and min one recycling receptacle along one of the highway walkway, Woodland wide walkway, or Hillyer wide walkway, set min 1 ft from walkway edge and within 5-30 ft of ROW, for intended use by customers and remaining privately maintained and serviced. The developer shall revise site plans prior to building permit issuance.

~~V11. Employee/worker count: Following the developer's variance narrative and application materials parking demand analysis (Exhibit H) having stated that the Chick-fil-A will have 18 to 20 employees per shift, the developer shall submit the attention of the Planning Division:~~

- ~~a. Prior to building permit issuance, a written statement of the number, starting and ending times, and duration of shifts on each typical weekday and weekend day, the average, median, and most commonly recurring number (mode) of employees per shift.~~

~~Prior to passing final inspection, a written statement of the number, starting and ending times, and duration of shifts as scheduled for the first 12 days that the store is open to customers and the number of employees per shift.~~

Notes to the Applicant:

1. Records: Staff recommends that the applicant retain a copy of the subject approval.
2. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
3. Signage: The approval excludes any private signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
4. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
5. Mylar signature: The Community Development Director is the authority that signs plat Mylars and not any of the mayor, City Administrator, Public Works Director, or City Engineer. Only one City signature title block is necessary.
6. PLA Plat Tracker: Marion County maintains a plat tracking tool at <http://apps.co.marion.or.us/plattracker/>. Use it to check on the status of a recordation request to the County. City staff does not track County plat recordation.
7. Technical standards:
 - a. Context: A reader shall not construe a land use condition of approval that reiterates a City technical standard, such as a PW standard, to exclude remaining standards or to assert that conditions of approval should have reiterated every standard the City has in order for those standards to be met.
 - b. Utilities: A condition involving altered or additional sidewalk or other frontage/street improvement that would in the field result in displacement or relocation of any of utility boxes, cabinets, vaults, or vault covers does not exempt the developer from having to move or pay to move any of these as directed by the City Engineer and with guidance from franchise utilities.
8. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
9. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.

10. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current [Public Works construction specifications, Standard Drawings, Standard Details](#), and general conditions of a permit type issued by the Public Works Department.
11. ROW:
 - a. Dedication: The Public Works Department Engineering Division has document templates for ROW and easement dedications that applicants are to use.

ROW – and public utility easement (PUE) – dedications are due prior to building permit issuance per Public Works policy.
 - b. Absent platting or re-platting, dedication of ROW and granting of public easements necessitates a process through Public Works and City Council acceptance separate from land use approval, which could take several weeks. Upon tentative land use approval by the Planning Commission, contact Public Works to begin and finish dedication and granting sooner. The City Council usually meets second and fourth Mondays, and agenda packet materials are due to the City Recorder by the prior Tuesday at noon.
 - c. Work: All work within the public ROWs or easements within City jurisdiction must require plan approval and permit issuance from the Public Works Department. All public improvements construction work must be performed in accordance with the plans stamped “approved” by the City, and comply with the City’s Standard Specifications and Standard drawings.
12. Franchises: The applicant provides for the installation of all franchised utilities in any required easements.
13. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a “Hot Tap” method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
14. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in a communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
15. Fire: Fire protection requirements must comply with Woodburn Fire District standards and requirements, including how the District interprets and applies Oregon Fire Code (OFC). Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.

16. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.
17. Public Improvements Civil Plan Review: The process by which to receive, review, and approve drawings and other documents related to public improvements required by these conditions of approval may be paired with or incorporated into building permit review, or, if directed by the City Engineer, through a civil engineering plans (CEP) review process led by the Engineering Division. If opting for CEP, the applicant shall not only follow the direction of the Engineer Division, but also take some actions to facilitate tracking by Planning staff and coordination with Engineering:
 - a. Cover letter: Upon submitting application to the Engineering Division, simultaneously alert the Planning Division through a cover letter to the attention of the Planning Division referencing the intended or, if known, actual submittal date as well as the project name, project phase, tax lot number(s), street address(es), and the land use / planning / zoning final decision conditions of approval that require the public improvement that is the subject of the civil engineering plans. Referencing conditions may be by quotation or citing the identification numbers (e.g., T-A1). Identify the specific sheet (by number) or document page number that illustrates or notes how each subpart of a condition is met.
 - b. Contact information: State the applicant's name, company, phone number, e-mail, and desired date for City staff to respond with review comments. The cover letter may include these.
 - c. Plan copies: Submit to the attention of the Planning Division at least two plan size copies of plan sets (24 by 36 inches). Within the cover sheet title block(s), include the phrase "civil engineering plans" or "public improvements civil plans". Submit also Adobe PDFs using a fileshare service.
 - d. Re-submittal fee: If there are multiple re-submittals, beginning with a third submittal / second revised submittal and continuing with each subsequent submittal, the applicant likely must pay through the Planning Division into City general revenue a fee.Where public improvements involve the jurisdiction of an outside agency such as the Oregon Department of Transportation (ODOT), the developer must account for that when interacting with the City Engineer and City Public Works Department process.
18. Trucks: The Public Works Department may administratively regulate time, place, and manner of freight and truck access (ingress/egress) to and from the development and adjacent public streets. This condition shall not be construed to preclude the City from regulating development freight and truck access via ordinances that are applicable generally to properties that happen to include the subject property.

Appeals: Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact Cassandra Martinez, Administrative Specialist, at (503) 982-5246 or cassandra.martinez@ci.woodburn.or.us.

Expiration: Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

Regarding subsection B.1 above, if by 10 years past the final decision date there is no substantial construction as Section 1.02 defines following issuance of a building permit, the final decision shall expire and fail to vest.

Regarding subsection B.2 above as applies to Property Line Adjustment, Consolidation of Lots, and Partition and Subdivision Final Plat Approval application, the developer shall complete recordation no later than the land use expiration date.

Testifiers:

<i>Name</i>	<i>Address</i>	<i>Planning Commission</i>	
		<i>Written</i>	<i>Verbal</i>
n/a*			

*Other than members of the applicant's team, no one testified.

Attachments:

- Planning Commission July 27, 2023 Staff Report Attachment 101. Marked Tax Map
- 102A. Public Works comments (July 13, 2023)
- 103. Site plans (submitted June 9, 2023; 13 sheets)
- 104. Transportation System Plan (TSP) Fig. 2 “Functional Roadway Classification”
- 106A. Transit Development Plan (TDP) p. 80 (Figure 63)
- 108. TSP Fig. 7 “Existing Transit Routes and Facilities”
- 201.* DR 22-26 Chick-fil-A: Dictionary & Glossary
- 202. DR 22-26 Chick-fil-A: Conditioned Fees

*The 200 series of attachments are details for the conditions of approval.

Sincerely,



Colin Cortes, AICP, CNU-A

Senior Planner

Affirmed,

Lisa Ellsworth, Planning Commission Chair

_____, 2023
Date

cc: Chris Kerr, Community Development Director [e-mail]
Curtis Stultz, Public Works Director [e-mail]
Dago Garcia, P.E., City Engineer [e-mail]
Melissa Gitt, Building Official [e-mail]
Jason Space, GIS Technician [e-mail]
Steve Schwartz, Principal Development Lead, Chick-fil-A, Inc., 105 Progress, Suite 100, Irvine, CA 92618-0327 [applicant] [mail & e-mail]
Andrew Hunt, Project Manager, 4G Development & Consulting, Inc., P.O. Box 270571, San Diego, CA 92198-2571 [applicant’s representative] [mail & e-mail]
300 Woodland Avenue LLC, PO Box FF, Springfield, OR 97477-0082 (Travis Miller and Robin Merrell, members; Hutchinson Cox LLC, Eugene, OR, registered agent) [landowner] [mail & e-mail]
Testifiers: Per the table above. [mail]
Casey Knecht, P.E., Development Review Coordinator, Oregon Dept. of Transportation (ODOT) Region 2 [e-mail]
Marion County Assessor’s Office <assessor@co.marion.or.us>

Marion County Geographic Information System (GIS) <gis@co.marion.or.us>

Marion County Land Development Engineering & Permits <mcldep@co.marion.or.us>

Marion County Planning Division <planning@co.marion.or.us>

Marion County Public Works Dept. <mcdpw@co.marion.or.us>

05 2W 11

05 2W 11 WOODBURN



MARION COUNTY, OREGON
SEC 11 T5S R2W W.M.
SCALE 1" = 400'

LEGEND

- LINE TYPES**
- Taxlot Boundary
 - Road Right-of-Way
 - Railroad Right-of-Way
 - Private Road ROW
 - Subdivision/Plat Bndry
 - Waterline - Taxlot Bndry
 - Historical Boundary
 - Easement
 - Railroad Centerline
 - Taxcode Line
 - Map Boundary
 - Waterline - Non Bndry

- CORNER TYPES**
- + 1/16TH Section Cor.
 - ⊙ DLC Corner
 - ⊕ 1/4 Section Cor.
 - ⊕ 16, 15 Section Corner
 - ⊕ 21, 22

NUMBERS

Tax Code Number
00 00 0

Acreege
0.25 AC

All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

NOTES

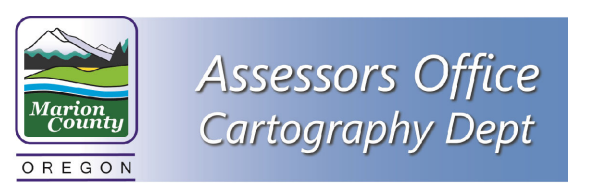
Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW

CANCELLED NUMBERS

105	
300	
400	
500	
600	

Attachment 101

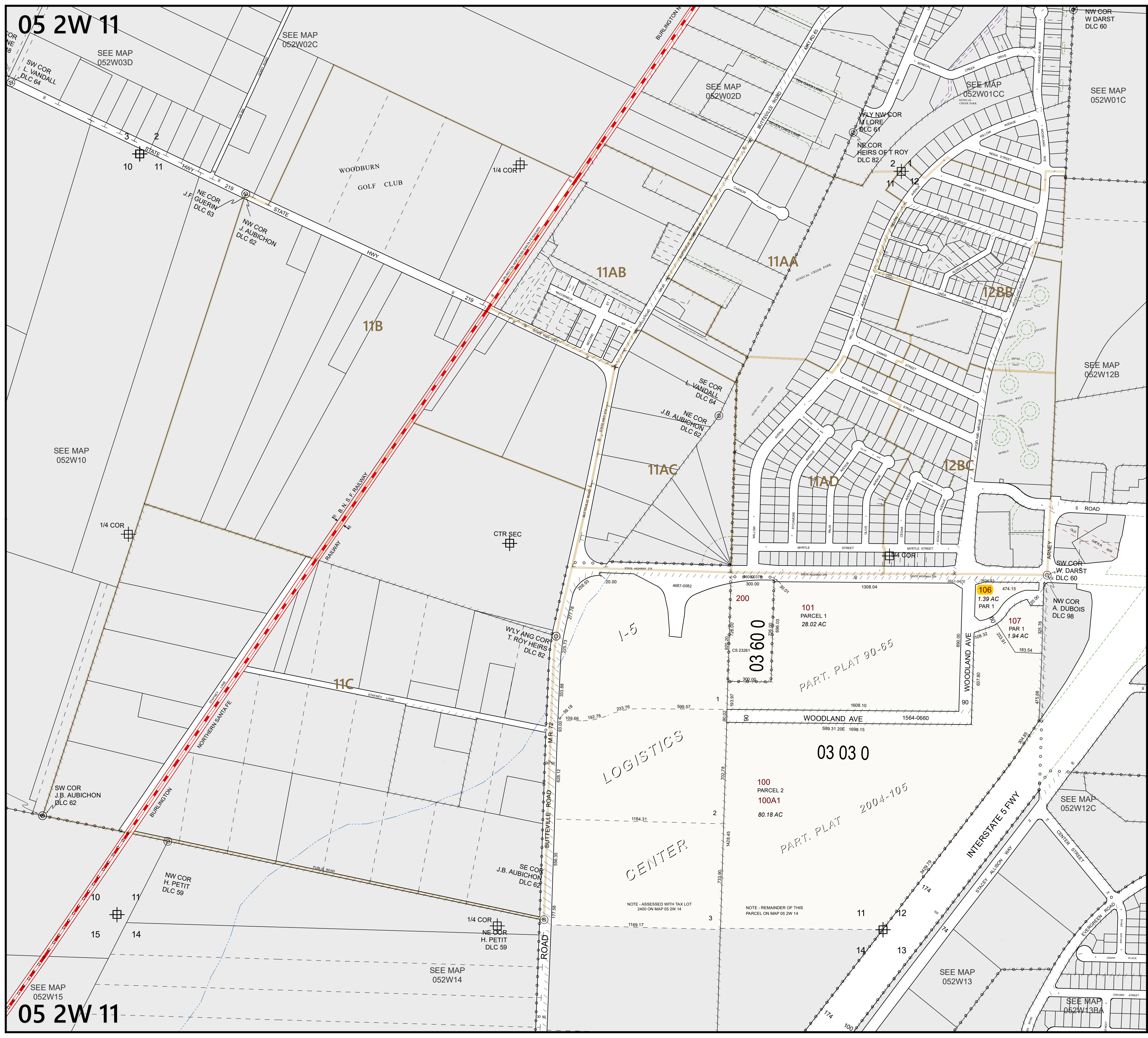
DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



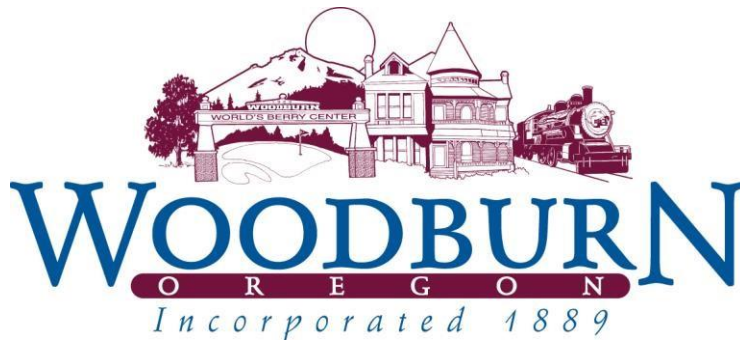
FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT www.co.marion.or.us

PLOT DATE: 3/14/2023

WOODBURN 05 2W 11



05 2W 11



**DR 22-26 Chick-Fill-A
300 Woodland Avenue
July 13, 2023**

PUBLIC WORKS CONDITIONS OF LAND USE APPROVAL

1. The Applicant, not the City, is responsible for obtaining permits from state, county and/or federal agencies that may require such permit or approval. All work within the Oregon Department of Transportation (ODOT) right-of-way requires the applicant to obtain approval and permits from ODOT.
2. The Applicant shall obtain approval from the Oregon Department of Transportation (ODOT) for the storm drainage analysis that will impact ODOT's system. Provide a final storm drainage analysis for detention and conveyance system. The storm drainage hydraulic analysis shall comply with both ODOT and City's requirements as necessary.
3. The applicant shall obtain approval from the Oregon Department of Transportation (ODOT) for all required improvements along Highway 219, included but not limited to street improvements, Highway signage, and additional improvements as required by ODOT's review/approval of the applicants' traffic study.
4. The Applicant shall obtain the required 1200C Erosion Control Permit from the Department of Environmental Quality prior to City issuance of permit(s), if applicable.
5. Provide and record required right-of-way and public utility easements dedications prior to building permit issuance if required.
6. Applicant to construct private storm sewer systems, including detention facilities in accordance with approved plans and drainage reports (onsite and offsite reports). All required on-site and off-site detention area(s) for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The property owner shall maintain all on-site detention areas in perpetuity.
7. The applicant is responsible for public and franchise utility relocations if necessary for the construction of approved public improvements. Contractor/Developer shall notify and coordinate with City and Franchise Utilities for relocation of power poles, vaults, valves, etc.
8. Applicant to provide street lighting in accordance with street lighting plan approved by the City and ODOT conforming to Portland General Electric installation and plan under option B.
9. All City-maintained facilities located on private property shall require a minimum of 16-foot-wide utility easement conveyed to the City by the property owner. This is the applicant's responsibility to provide, not the City's. Utilities of unusual depth, size or location may require a larger width.
10. All sanitary sewer and storm drainage laterals serving the proposed developments are private up to the main public line. Sewer laterals connection to the main shall be done using insert tee method.

Attachment 102A

11. Fire hydrants locations and fire protection requirements shall be as per the Woodburn Fire Districts and City of Woodburn requirements.
12. All driveway connections and street intersections shall meet requirements for sight distances and ADA pedestrian crossing as per national, state and City guidelines.
13. A final review of the Civil Plans will be done during the building permit application, plans to be prepared by a registered professional engineer in Oregon.
14. The owner/applicant shall be required to enter into an improvement agreement if required.
15. Applicant to provide a performance bond for City right-of-way improvements, for 120% of the construction cost prior to permits being issued for the Civil Plans approval.
16. Applicant to pay all public improvements (right-of-way) fees for all public improvements that are to be maintained by the city as per Ordinance #1795.
17. Developer/owner to provide to the city a one-year maintenance bond for 10% of the construction cost for all city-maintained facilities constructed prior to final building permit inspection.
18. The Developer's Engineer of record shall certify that all the improvements within the city's rights-of-way have been constructed in accordance with the approved plans and City of Woodburn standards and specifications, and other Agencies requiring approvals and permits. All required inspections and testing reports shall be verified and certified by the Engineer of record. At project completion, the Developer shall provide the City with a copy of the daily construction inspections reports.
19. All public improvements shall be deemed complete prior to building permit issuance.
20. All system development charges shall be paid prior to the time the building permits are issued. The development is in the Interchange Management Area Overlay District which is subject to transportation IDC (Interchange Development Charge) and SDC fees.

CHICK-FIL-A WOODBURN AT HIGHWAY 219 & WOODLAND

300 S WOODLAND AVENUE
WOODBURN, OREGON 97071, MARION COUNTY
LAND USE DOCUMENTS



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



309 SW 6TH AVENUE, #700
PORTLAND, OREGON 97204
971-280-8641



CHICK-FIL-A
219 AND WOODLAND
WOODBURN, OREGON

FSR# 05192

NO.	DATE	DESCRIPTION

Attachment 103
Sheet 1 of 13

CIVIL PROJECT #	14866.01
PRINTED FOR	LAND USE
DATE	06/05/2023
DRAWN BY	JLG

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COVER SHEET

SHEET NUMBER

C0.0

SHEET INDEX

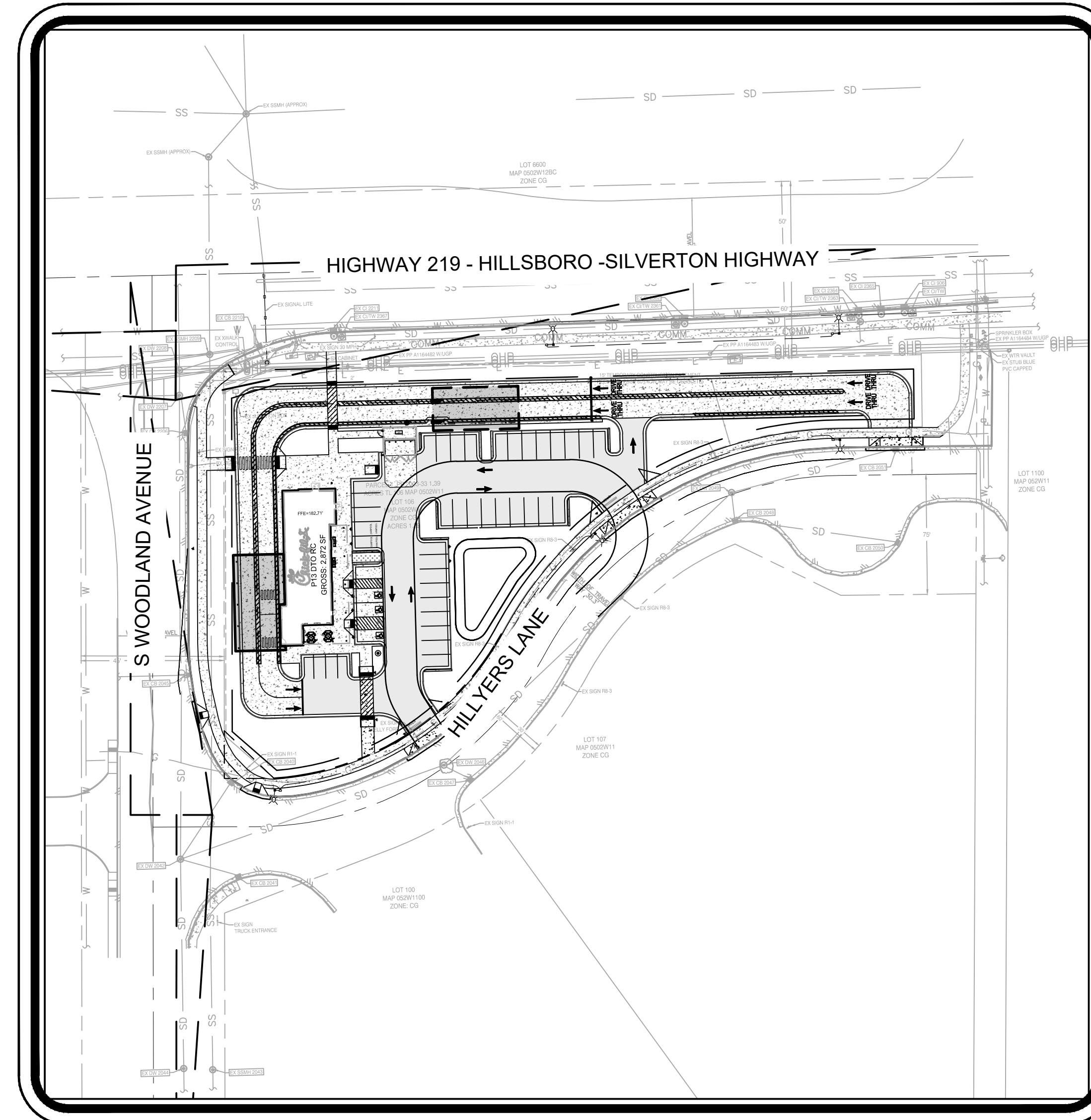
SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	STORM PLAN
C5.0	UTILITY PLAN
C5.1	FIRE SERVICE PLAN
L1.0	PLANTING PLAN
L1.1	PLANTING LEGEND & NOTES
IL-1.0	ILLUMINATION LEGEND
IL-2.0	ILLUMINATION PLAN

SITE STATISTICS

PRE-DEVELOPMENT:		
SITE IMPERVIOUS AREA:	0.0 AC	(00.00%)
SITE PERVIOUS AREA:	1.39 AC	(100.0%)
POST-DEVELOPMENT:		
SITE IMPERVIOUS AREA:	0.95 AC	(68.4%)
SITE PERVIOUS AREA:	0.44 AC	(31.6%)

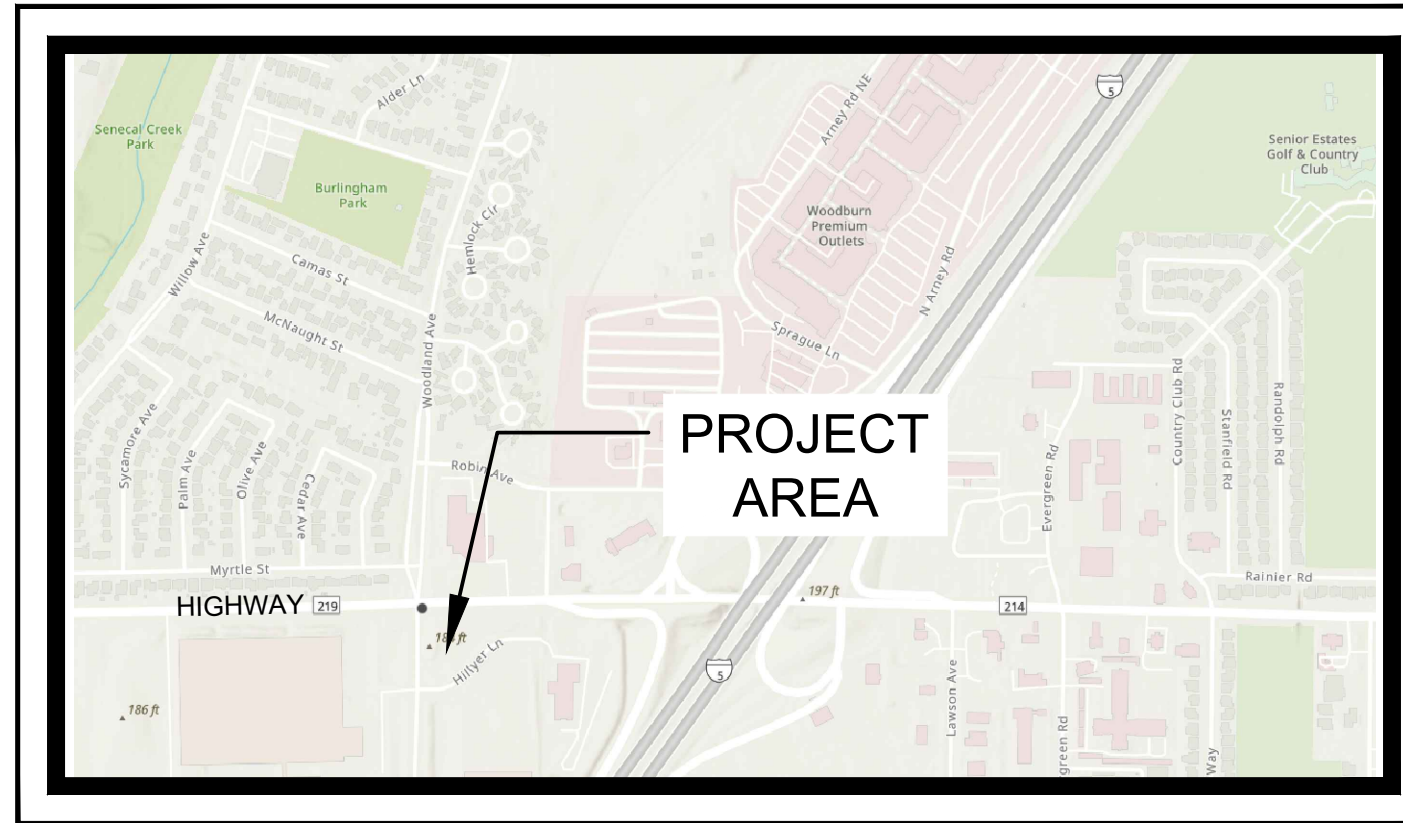
SITE PARKING STATISTICS

PROPOSED BUILDING AREA:	2,872 SF
TOTAL STALLS PROVIDED:	43
STANDARD STALLS	32
COMPACT STALLS	4
ELECTRICAL VEHICLE STALLS	2
VAN/CARPOOL STALLS	2
ADA STALLS	1
ADA VAN ACCESSIBLE STALLS	2
BIKE STALLS	6
STAPLE STYLE BIKE RACKS	3



SITE MAP

SCALE: 1" = 60'



VICINITY MAP

SCALE: NTS



PROJECT DESCRIPTION

THE PROJECT SITE CONSISTS OF A 1.39 ACRES PARCEL DEVELOPMENT THAT WILL INCLUDE A 2,872 SF BUILDING FOOTPRINT WITH A CONCRETE-PAVED DRIVE-THRU, ASPHALT-PAVED PARKING AND DRIVING AREAS, TRASH ENCLOSURE, UTILITIES FOR STORM WATER (AND TREATMENT FACILITY), WATER, SANITARY SEWER, GAS, POWER.

BASIS OF BEARING

THIS SURVEY UTILIZES A LOW DISTORTION PROJECTION (LDP) WHICH IS RELATIVE TO THE OREGON COORDINATE REFERENCE SYSTEM (OCRS) OF 1983 (2011), WITH RESPECT TO THE LOCAL LATITUDE AND GROUND ELEVATION. THE LDP COORDINATES DEFINE TRUE GROUND DISTANCES.

BEARINGS BASED ON OREGON COORDINATE REFERENCE SYSTEM SALEM ZONE, NORTH AMERICAN DATUM OF NAD83/2011 (EPOCH 2010.0000) UNITS IN INTERNATIONAL FEET.

SITE LOCATION

THE SITE HAS A DESIGNATED STREET ADDRESS OF 300 S WOODLAND AVENUE AND IS LOCATED IN THE SW QUARTER OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN IN THE CITY OF WOODBURN, MARION COUNTY, OREGON.

TAXLOT ACCOUNT 335289
TAXLOT NUMBER 052W110000106

DATUM

ELEVATIONS ARE BASED OFF A BENCHMARK 9432, BEING A 2 1/2" MARION COUNTY BRASS CAP MARKED T5S R2W S01 9432 1994, SET IN THE TOP OF CURB. ELEVATION = 184.79'.

OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987.)

EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140-209.155

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WOODBURN DESIGN STANDARDS AND STANDARD CONSTRUCTION SPECIFICATIONS.

PROJECT TEAM

DEVELOPER

CHICK-FIL-A
ATTN: STEVE SCHWARTZ
15635 ALTON PARKWAY, SUITE 350
IRVINE, CALIFORNIA 92618
PHONE: (404) 305-4407
STEVE.SCHWARTZ@CFACORP.COM

ARCHITECT

WARE MALCOMB
ATTN: NONY RIVERA
3015 112TH AVE NE #205
BELLEVUE, WA 98004
PHONE: (425) 582-5517
NRIVERA@WAREMALCOMB.COM

CIVIL ENGINEER

DOWL
ATTN: MIKE TOWLE, PE
309 SW 6TH AVENUE, SUITE 700
PORTLAND, OREGON 97204
PHONE: (971) 280-8645
MTOWLE@DOWL.COM

GEOTECHNICAL ENGINEER

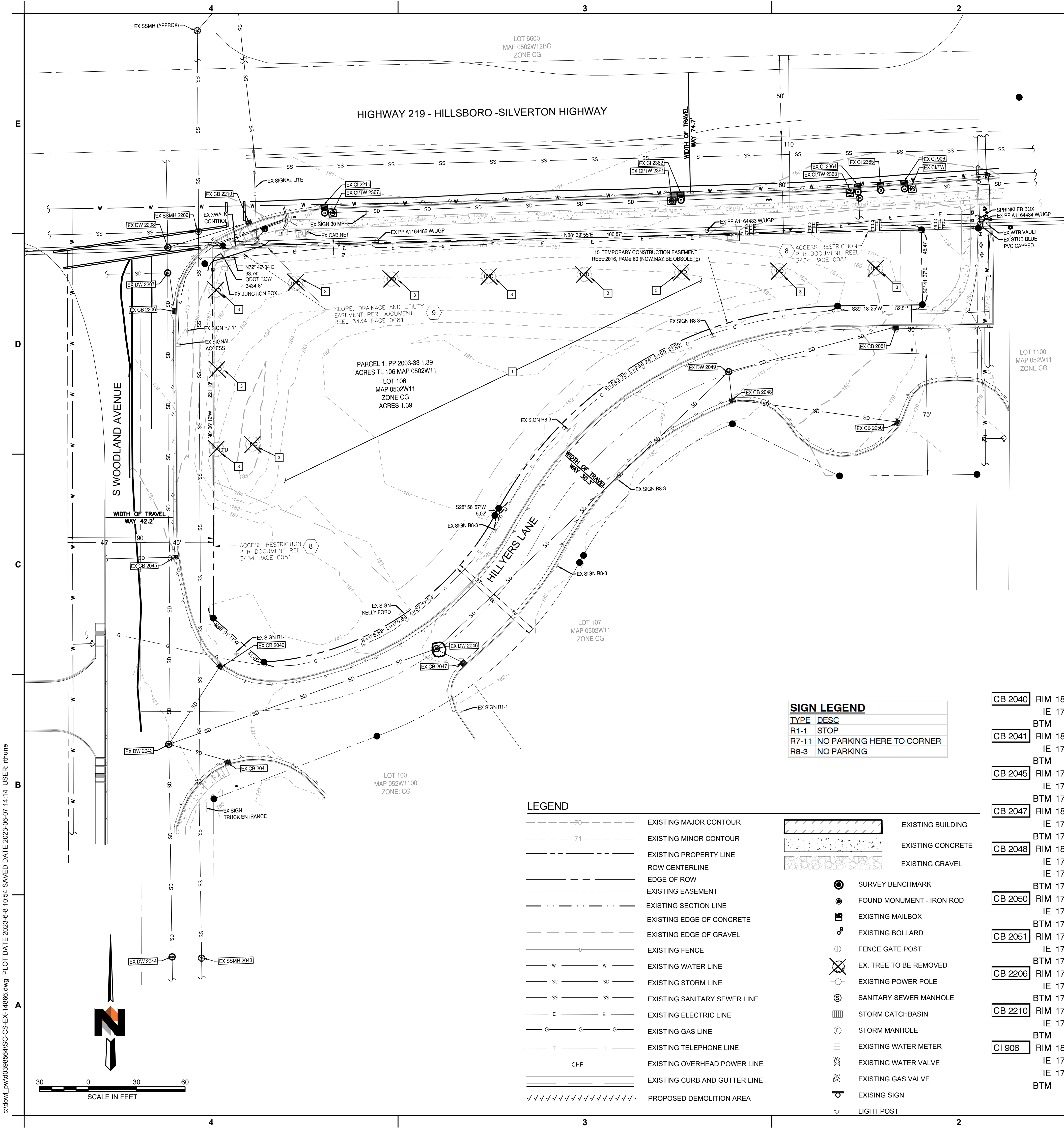
TERRACON CONSULTANTS
ATTN: KRISTOPHER T. HAUCK, PE
700 NE 55TH AVE
PORTLAND, OREGON 97213
PHONE: (503) 742-7181
KRISTOPHER.HAUCK@TERRACON.COM

SURVEY

S&F LAND SERVICES
ATTN: CHRIS SHERBY, PLS
4858 SW SCHOLLS FERRY RD, STE 'A'
PORTLAND, OREGON 97225
PHONE: (503) 345-0328
JERED.MCGRATH@SFLANDS.COM

LANDSCAPE ARCHITECT

DOWL
ATTN: WAYNE IAZZETTI, RLA
309 SW 6TH AVENUE, SUITE 700
PORTLAND, OREGON 97204
PHONE: (971) 280-8656
WIAZZETTI@DOWL.COM



- GENERAL NOTES:**
- THE LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES SHOWN HEREON ARE BASED ON LOCATE MARKS REQUESTED FOR THIS SURVEY PER ONE CALL PUBLIC LOCATE TICKET 21307327. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR FOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THE PLAN. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - FIELD WORK WAS COMPLETED ON NOVEMBER 10, 2021. STORM DRAINAGE AND SANITARY SEWER PIPE SIZES WERE OBSERVED FROM THE SURFACE WHERE VISIBLE. SIZES MAY VARY. REFER TO CITY OF SALEM PROVIDED PLANS OR CONTRACTOR TO VERIFY.
 - EASEMENTS SHOWN HEREON WERE PROVIDED BY FIRST AMERICAN TITLE INSURANCE CO. COMMITMENT NCS-1090997-SD DATED SEPTEMBER 24, 2021
 - THIS DOES NOT REPRESENT A BOUNDARY SURVEY UNDER ORS 209.250. PRELIMINARY SURVEY INVESTIGATION MAY HAVE DETERMINED THE LOCATION OF RECORD BOUNDARY LINES AS THEY FIT UPON FOUND AND SHOWN MONUMENTS.

- DEMOLITION NOTES**
- CONTRACTOR TO CLEAR AND GRUB AREA OF ALL DEBRIS, VEGETATION, AND ANY OTHER DELETERIOUS MATERIAL IN PREPARATION FOR GRADING OPERATIONS.
 - PROTECT IN PLACE EXISTING STORMWATER MANHOLE. CONTRACTOR TO ADD GRADE RING IF NECESSARY.
 - REMOVE EXISTING TREE IN PREPARATION FOR GRADING OPERATIONS.

SIGN LEGEND

TYPE	DESC
R1-1	STOP
R7-11	NO PARKING HERE TO CORNER
R8-3	NO PARKING

LEGEND

---	EXISTING MAJOR CONTOUR	▨	EXISTING BUILDING
---	EXISTING MINOR CONTOUR	▨	EXISTING CONCRETE
---	EXISTING PROPERTY LINE	▨	EXISTING GRAVEL
---	ROW CENTERLINE	●	SURVEY BENCHMARK
---	EDGE OF ROW	●	FOUND MONUMENT - IRON ROD
---	EXISTING EASEMENT	✉	EXISTING MAILBOX
---	EXISTING SECTION LINE	⦿	EXISTING BOLLARD
---	EXISTING EDGE OF CONCRETE	⊕	FENCE GATE POST
---	EXISTING EDGE OF GRAVEL	⊗	EX. TREE TO BE REMOVED
---	EXISTING FENCE	⊙	EXISTING POWER POLE
---	EXISTING WATER LINE	⊙	SANITARY SEWER MANHOLE
---	EXISTING STORM LINE	⊙	STORM CATCHBASIN
---	EXISTING SANITARY SEWER LINE	⊙	STORM MANHOLE
---	EXISTING ELECTRIC LINE	⊙	EXISTING WATER METER
---	EXISTING GAS LINE	⊙	EXISTING WATER VALVE
---	EXISTING TELEPHONE LINE	⊙	EXISTING GAS VALVE
---	EXISTING OVERHEAD POWER LINE	⊙	EXISTING SIGN
---	EXISTING CURB AND GUTTER LINE	⊙	LIGHT POST
---	PROPOSED DEMOLITION AREA		

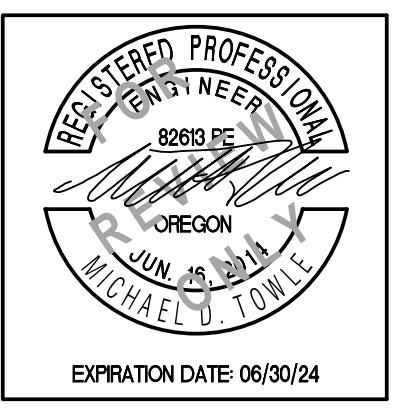
CB 2040	RIM 180.53 IE 178.20 12" PVC (SW) BTM 180.41	C1 2211	RIM 180.41 IE 176.16 12" PVC (E) BTM 180.41	DW 2207	RIM 178.65 IE 174.45 12" PVC (W) IE 174.45 12" PVC (SE)
CB 2041	RIM 180.74 IE 178.01 12" PVC (NW) BTM 178.52	C1 2362	RIM 180.24 IE 175.89 12" PVC (W) IE 175.89 12" PVC (E)	DW 2208	RIM 178.96 12" METAL (E) IE 174.71 14" CONC (N) IE 174.66 14" CONC (S)
CB 2045	RIM 179.91 IE 177.11 12" CONC (W) BTM 176.51	CI 2364	RIM 180.16 IE 175.16 12" PVC (E) IE 175.06 12" PVC (S)	DW 2366	RIM 180.23 IE 175.08 12" PVC (W) IE 175.03 12" PVC (N) IE 174.88 12" PVC (E)
CB 2047	RIM 181.82 IE 176.52 12" PVC (NW) BTM 176.52	CI 2365	RIM 180.17 IE 175.22 12" PVC (W) IE 175.22 12" PVC (E)	BTM	
CB 2048	RIM 180.89 IE 175.89 8" PVC (E) IE 175.84 12" PVC (N)	DW 2042	RIM 181.11 IE 173.81 14" CONC (N) IE 173.81 12" PVC (E) IE 173.81 12" PVC (NE)	CI/TW 2361	RIM 180.91
CB 2050	RIM 178.56 IE 176.36 8" PVC (W) BTM 176.31	CI/TW 2363	RIM 180.14	CI/TW 2367	RIM 181.16
CB 2051	RIM 179.26 IE 176.11 12" PVC (W) BTM 176.16	CI/TW	(APPROXIMATE)	CI/TW	
CB 2206	RIM 178.22 IE 176.32 12" PVC (N) BTM 176.32	DW 2044	RIM 181.64 14" CONC (N) IE 173.39 14" CONC (S)	SSMH 2043	RIM 182.28 CL 158.38 14" PVC (N) CL 158.38 14" PVC (S)
CB 2210	RIM 179.67 IE 175.67 12" METAL (W) BTM 176.16	DW 2046	RIM 182.19 IE 176.49 12" PVC (NE) IE 175.84 12" PVC (SE) IE 174.54 12" PVC (SW)	SSMH 2209	RIM 179.27 IE 158.72 15" PVC (N) IE 158.72 10" UNK (W) IE 158.67 15" PVC (S)
CI 906	RIM 180.09 IE 176.44 12" PVC (W) IE 175.14 12" PVC (E) BTM	DW 2049	RIM 181.45 IE 175.85 12" PVC (E) IE 175.80 12" PVC (S) IE 175.80 12" PVC (SW)		



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



309 SW 6TH AVENUE, #700
PORTLAND, OREGON 97204
971-280-8641



CHICK-FIL-A
219 AND WOODLAND
WOODBURN, OREGON

FSR# 05192

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CIVIL'S PROJECT # 14866.01
PRINTED FOR LAND USE
DATE 06/05/2023
DRAWN BY JLG
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SHEET
EXISTING CONDITIONS & DEMO
SHEET NUMBER

C1.0

c:\dowl_p\p\0398564\SC-CS-EX-14866.dwg PLOT DATE 2023-06-05 10:54 SAVED DATE 2023-06-07 14:14 USER: rthune



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



309 SW 6TH AVENUE, #700
PORTLAND, OREGON 97204
971-280-8641



LOT 1100
MAP 052W11
ZONE CG

CHICK-FIL-A 219 AND WOODLAND WOODBURN, OREGON

FSR# 05192

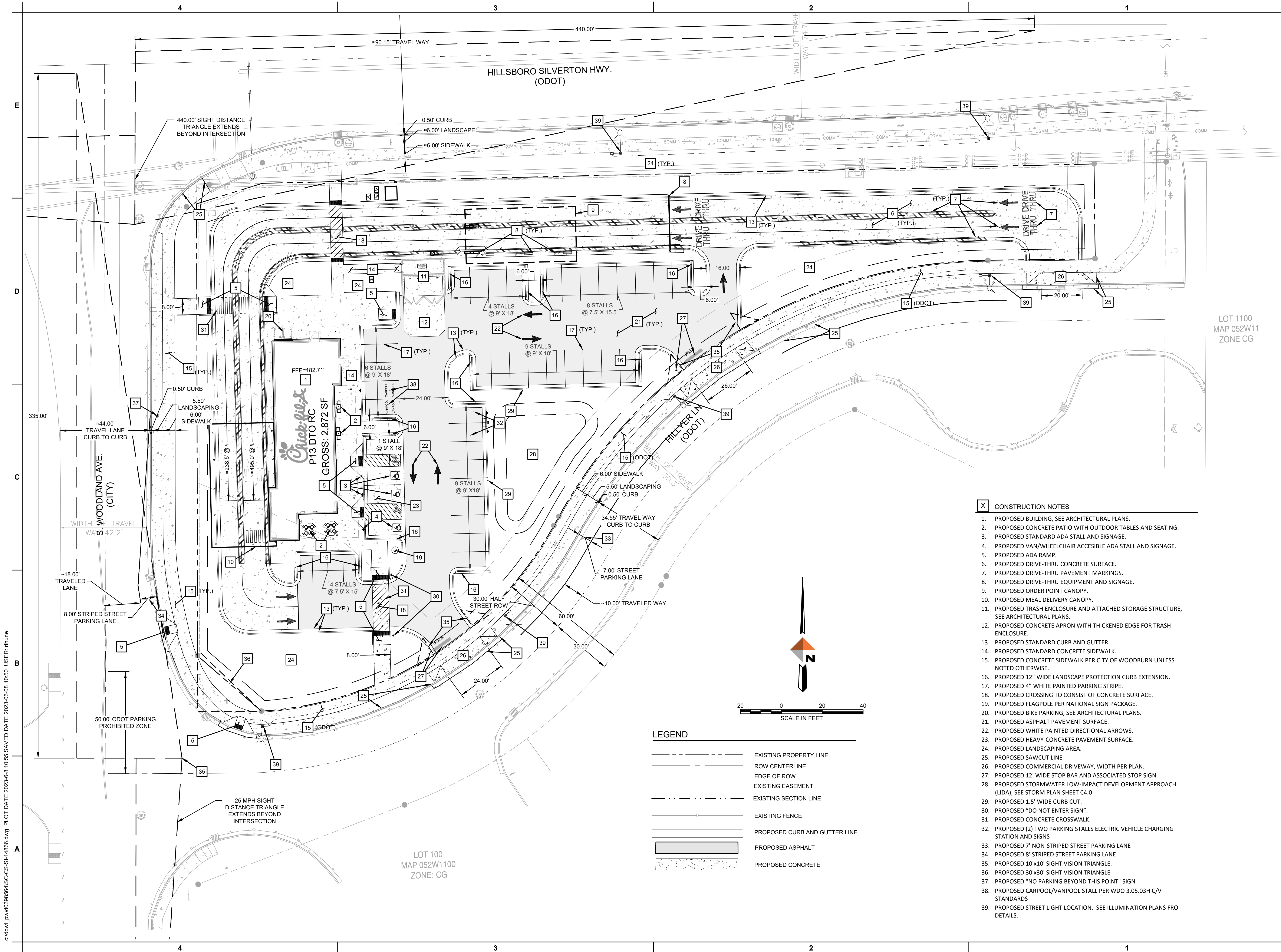
REVISION SCHEDULE
NO. DATE DESCRIPTION

CIVIL'S PROJECT # 14866.01
PRINTED FOR LAND USE
DATE 06/05/2023
DRAWN BY JLG
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SHEET

SITE PLAN

SHEET NUMBER

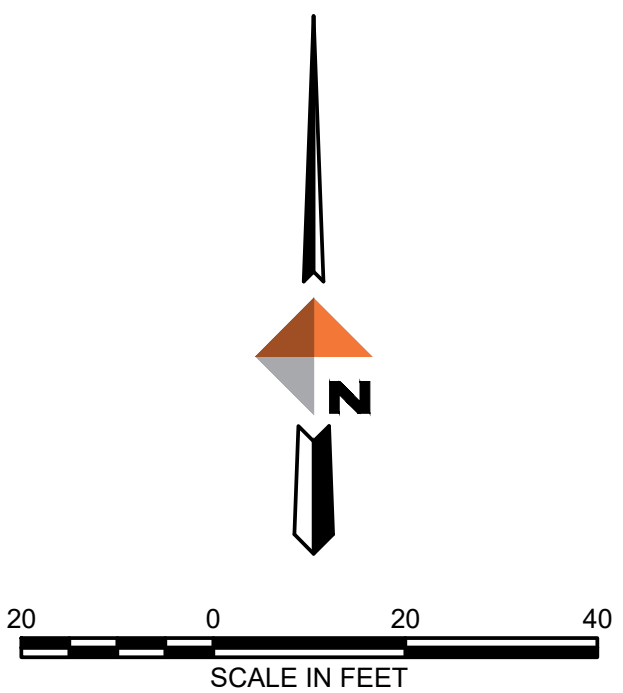
C2.0



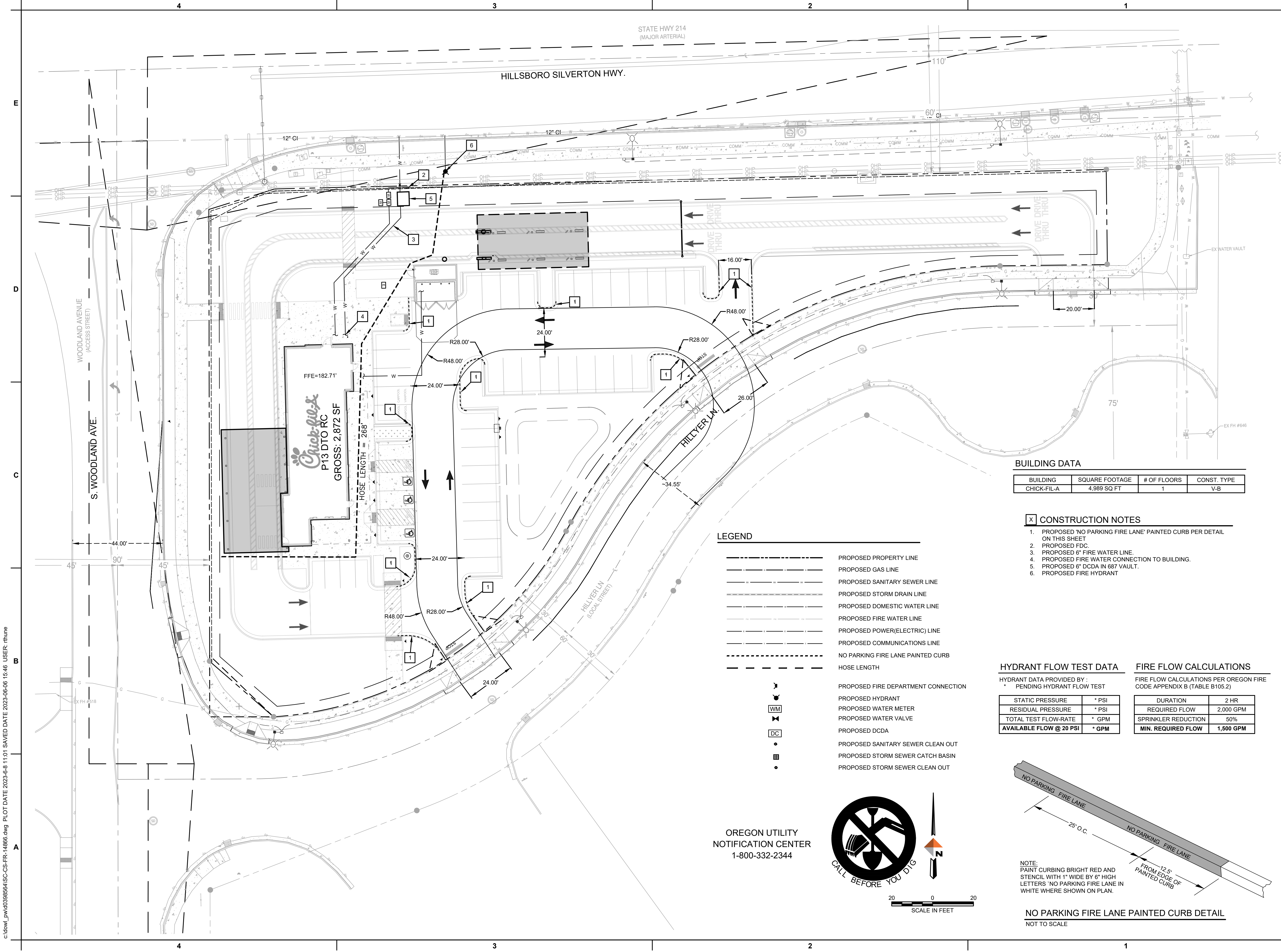
- X CONSTRUCTION NOTES**
1. PROPOSED BUILDING, SEE ARCHITECTURAL PLANS.
 2. PROPOSED CONCRETE PATIO WITH OUTDOOR TABLES AND SEATING.
 3. PROPOSED STANDARD ADA STALL AND SIGNAGE.
 4. PROPOSED VAN/WHEELCHAIR ACCESSIBLE ADA STALL AND SIGNAGE.
 5. PROPOSED ADA RAMP.
 6. PROPOSED DRIVE-THRU CONCRETE SURFACE.
 7. PROPOSED DRIVE-THRU PAVEMENT MARKINGS.
 8. PROPOSED DRIVE-THRU EQUIPMENT AND SIGNAGE.
 9. PROPOSED ORDER POINT CANOPY.
 10. PROPOSED MEAL DELIVERY CANOPY.
 11. PROPOSED TRASH ENCLOSURE AND ATTACHED STORAGE STRUCTURE, SEE ARCHITECTURAL PLANS.
 12. PROPOSED CONCRETE APRON WITH THICKENED EDGE FOR TRASH ENCLOSURE.
 13. PROPOSED STANDARD CURB AND GUTTER.
 14. PROPOSED STANDARD CONCRETE SIDEWALK.
 15. PROPOSED CONCRETE SIDEWALK PER CITY OF WOODBURN UNLESS NOTED OTHERWISE.
 16. PROPOSED 12" WIDE LANDSCAPE PROTECTION CURB EXTENSION.
 17. PROPOSED 4" WHITE PAINTED PARKING STRIPE.
 18. PROPOSED CROSSING TO CONSIST OF CONCRETE SURFACE.
 19. PROPOSED FLAGPOLE PER NATIONAL SIGN PACKAGE.
 20. PROPOSED BIKE PARKING, SEE ARCHITECTURAL PLANS.
 21. PROPOSED ASPHALT PAVEMENT SURFACE.
 22. PROPOSED WHITE PAINTED DIRECTIONAL ARROWS.
 23. PROPOSED HEAVY-CONCRETE PAVEMENT SURFACE.
 24. PROPOSED LANDSCAPING AREA.
 25. PROPOSED SAWCUT LINE.
 26. PROPOSED COMMERCIAL DRIVEWAY, WIDTH PER PLAN.
 27. PROPOSED 12" WIDE STOP BAR AND ASSOCIATED STOP SIGN.
 28. PROPOSED STORMWATER LOW-IMPACT DEVELOPMENT APPROACH (LIDA), SEE STORM PLAN SHEET C4.0
 29. PROPOSED 1.5' WIDE CURB CUT.
 30. PROPOSED "DO NOT ENTER SIGN".
 31. PROPOSED CONCRETE CROSSWALK.
 32. PROPOSED (2) TWO PARKING STALLS ELECTRIC VEHICLE CHARGING STATION AND SIGNS
 33. PROPOSED 7' NON-STRIPED STREET PARKING LANE
 34. PROPOSED 8' STRIPED STREET PARKING LANE
 35. PROPOSED 10'x10' SIGHT VISION TRIANGLE.
 36. PROPOSED 30'x30' SIGHT VISION TRIANGLE
 37. PROPOSED "NO PARKING BEYOND THIS POINT" SIGN
 38. PROPOSED CARPOOL/VANPOOL STALL PER WDO 3.05.03H C/V STANDARDS
 39. PROPOSED STREET LIGHT LOCATION. SEE ILLUMINATION PLANS FRO DETAILS.

LEGEND

	EXISTING PROPERTY LINE
	ROW CENTERLINE
	EDGE OF ROW
	EXISTING EASEMENT
	EXISTING SECTION LINE
	EXISTING FENCE
	PROPOSED CURB AND GUTTER LINE
	PROPOSED ASPHALT
	PROPOSED CONCRETE



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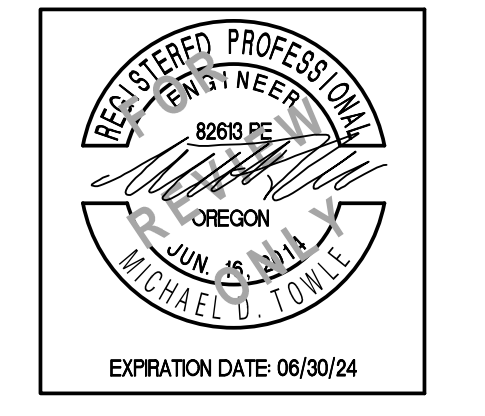


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CHICK-FIL-A 219 AND WOODLAND WOODBURN, OREGON

FSR# 05192

REVISION SCHEDULE
NO. DATE DESCRIPTION

CIVIL'S PROJECT # 14866.01
PRINTED FOR LAND USE
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DRAWN BY JLG

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SHEET

FIRE ACCESS PLAN
SHEET NUMBER

C5.1

BUILDING DATA

BUILDING	SQUARE FOOTAGE	# OF FLOORS	CONST. TYPE
CHICK-FIL-A	4,989 SQ FT	1	V-B

- CONSTRUCTION NOTES**
- PROPOSED 'NO PARKING FIRE LANE' PAINTED CURB PER DETAIL ON THIS SHEET
 - PROPOSED FDC
 - PROPOSED 6" FIRE WATER LINE
 - PROPOSED FIRE WATER CONNECTION TO BUILDING
 - PROPOSED 6" DCDA IN 687 VAULT
 - PROPOSED FIRE HYDRANT

- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED GAS LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED STORM DRAIN LINE
 - PROPOSED DOMESTIC WATER LINE
 - PROPOSED FIRE WATER LINE
 - PROPOSED POWER(ELECTRIC) LINE
 - PROPOSED COMMUNICATIONS LINE
 - NO PARKING FIRE LANE PAINTED CURB
 - HOSE LENGTH
 - PROPOSED FIRE DEPARTMENT CONNECTION
 - PROPOSED HYDRANT
 - PROPOSED WATER METER
 - PROPOSED WATER VALVE
 - PROPOSED DCDA
 - PROPOSED SANITARY SEWER CLEAN OUT
 - PROPOSED STORM SEWER CATCH BASIN
 - PROPOSED STORM SEWER CLEAN OUT

HYDRANT FLOW TEST DATA

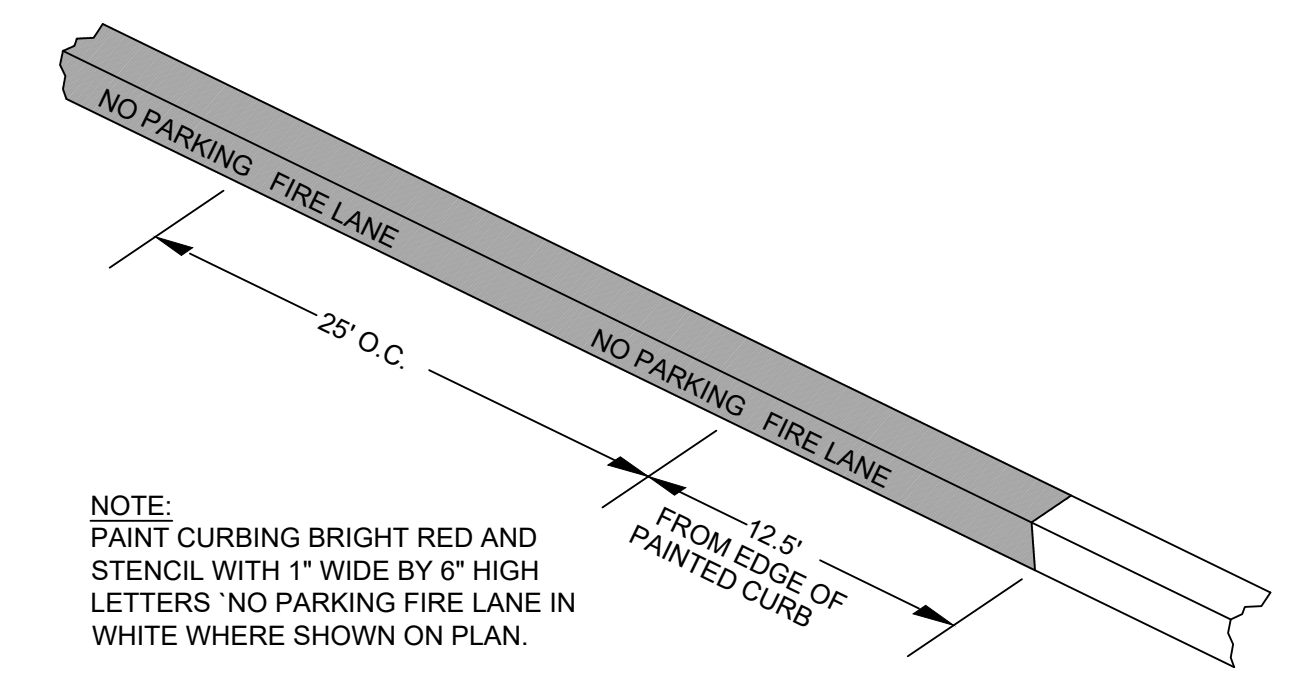
HYDRANT DATA PROVIDED BY :
* PENDING HYDRANT FLOW TEST

STATIC PRESSURE	* PSI
RESIDUAL PRESSURE	* PSI
TOTAL TEST FLOW-RATE	* GPM
AVAILABLE FLOW @ 20 PSI	* GPM

FIRE FLOW CALCULATIONS

FIRE FLOW CALCULATIONS PER OREGON FIRE CODE APPENDIX B (TABLE B105.2)

DURATION	2 HR
REQUIRED FLOW	2,000 GPM
SPRINKLER REDUCTION	50%
MIN. REQUIRED FLOW	1,500 GPM



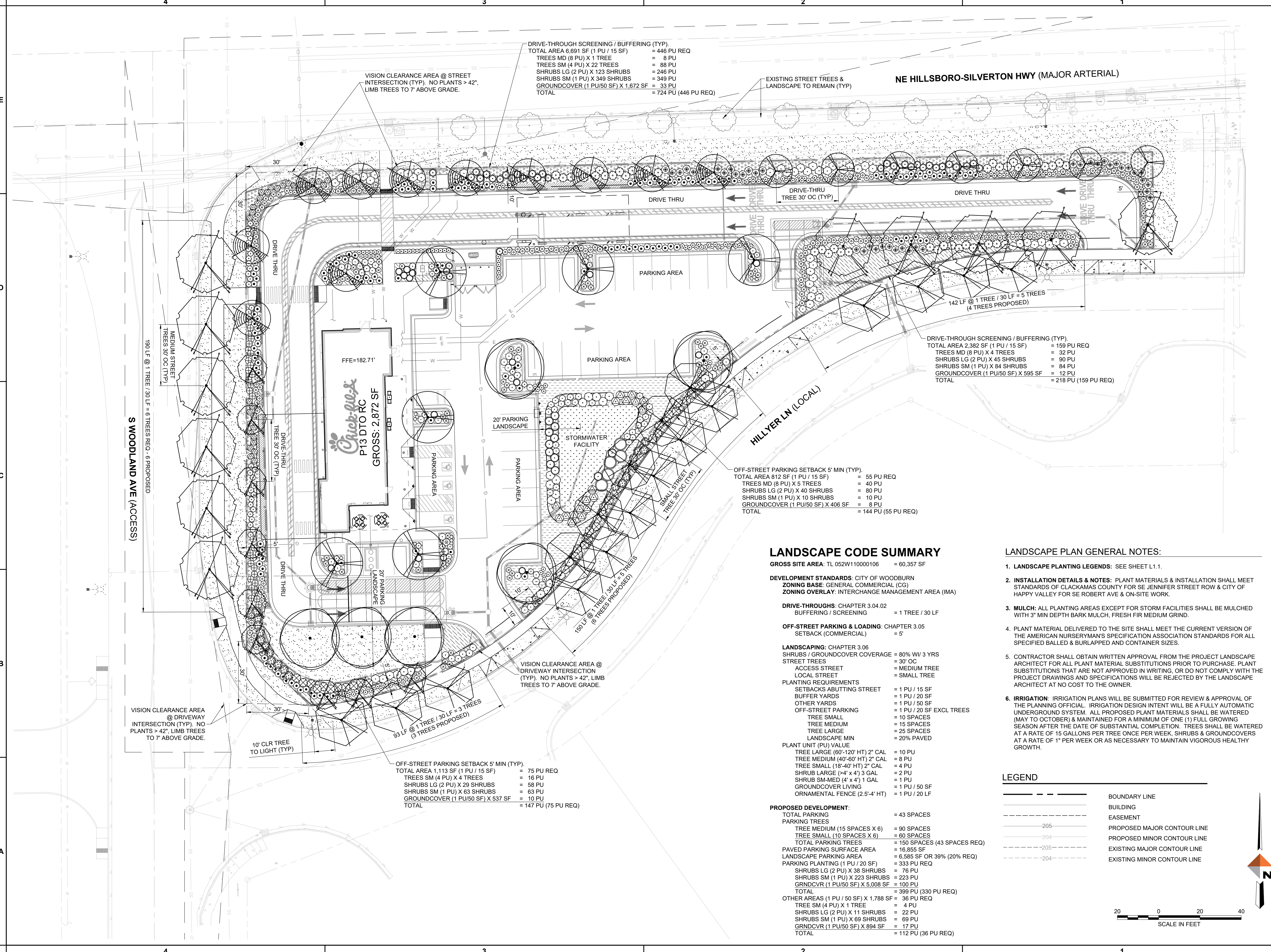
NO PARKING FIRE LANE PAINTED CURB DETAIL
NOT TO SCALE

OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



SCALE IN FEET

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DRIVE-THROUGH SCREENING / BUFFERING (TYP.)
 TOTAL AREA 6,691 SF (1 PU / 15 SF) = 446 PU REQ
 TREES MD (8 PU) X 1 TREE = 8 PU
 TREES SM (4 PU) X 22 TREES = 88 PU
 SHRUBS LG (2 PU) X 123 SHRUBS = 246 PU
 SHRUBS SM (1 PU) X 349 SHRUBS = 349 PU
 GROUNDCOVER (1 PU/50 SF) X 1,672 SF = 33 PU
 TOTAL = 724 PU (446 PU REQ)

VISION CLEARANCE AREA @ STREET INTERSECTION (TYP). NO PLANTS > 42". LIMB TREES TO 7' ABOVE GRADE.

EXISTING STREET TREES & LANDSCAPE TO REMAIN (TYP)

NE HILLSBORO-SILVERTON HWY (MAJOR ARTERIAL)

DRIVE-THROUGH SCREENING / BUFFERING (TYP.)
 TOTAL AREA 2,382 SF (1 PU / 15 SF) = 159 PU REQ
 TREES MD (8 PU) X 4 TREES = 32 PU
 SHRUBS LG (2 PU) X 45 SHRUBS = 90 PU
 SHRUBS SM (1 PU) X 84 SHRUBS = 84 PU
 GROUNDCOVER (1 PU/50 SF) X 595 SF = 12 PU
 TOTAL = 218 PU (159 PU REQ)

OFF-STREET PARKING SETBACK 5' MIN (TYP.)
 TOTAL AREA 812 SF (1 PU / 15 SF) = 55 PU REQ
 TREES MD (8 PU) X 5 TREES = 40 PU
 SHRUBS LG (2 PU) X 40 SHRUBS = 80 PU
 SHRUBS SM (1 PU) X 10 SHRUBS = 10 PU
 GROUNDCOVER (1 PU/50 SF) X 406 SF = 8 PU
 TOTAL = 144 PU (55 PU REQ)

OFF-STREET PARKING SETBACK 5' MIN (TYP.)
 TOTAL AREA 1,113 SF (1 PU / 15 SF) = 75 PU REQ
 TREES SM (4 PU) X 4 TREES = 16 PU
 SHRUBS LG (2 PU) X 29 SHRUBS = 58 PU
 SHRUBS SM (1 PU) X 63 SHRUBS = 63 PU
 GROUNDCOVER (1 PU/50 SF) X 537 SF = 10 PU
 TOTAL = 147 PU (75 PU REQ)

VISION CLEARANCE AREA @ DRIVEWAY INTERSECTION (TYP). NO PLANTS > 42". LIMB TREES TO 7' ABOVE GRADE.

VISION CLEARANCE AREA @ DRIVEWAY INTERSECTION (TYP). NO PLANTS > 42". LIMB TREES TO 7' ABOVE GRADE.

LANDSCAPE CODE SUMMARY

GROSS SITE AREA: TL 052W11000106 = 60,357 SF

DEVELOPMENT STANDARDS: CITY OF WOODBURN
 ZONING BASE: GENERAL COMMERCIAL (CG)
 ZONING OVERLAY: INTERCHANGE MANAGEMENT AREA (IMA)

DRIVE-THROUGHS: CHAPTER 3.04.02
 BUFFERING / SCREENING = 1 TREE / 30 LF

OFF-STREET PARKING & LOADING: CHAPTER 3.05
 SETBACK (COMMERCIAL) = 5'

LANDSCAPING: CHAPTER 3.06
 SHRUBS / GROUNDCOVER COVERAGE = 80% W/ 3 YRS
 STREET TREES = 30' OC
 ACCESS STREET = MEDIUM TREE
 LOCAL STREET = SMALL TREE

PLANTING REQUIREMENTS
 SETBACKS ABUTTING STREET = 1 PU / 15 SF
 BUFFER YARDS = 1 PU / 20 SF
 OTHER YARDS = 1 PU / 50 SF
 OFF-STREET PARKING = 1 PU / 20 SF EXCL TREES
 TREE SMALL = 10 SPACES
 TREE MEDIUM = 15 SPACES
 TREE LARGE = 25 SPACES
 LANDSCAPE MIN = 20% PAVED

PLANT UNIT (PU) VALUE
 TREE LARGE (60'-120' HT) 2" CAL = 10 PU
 TREE MEDIUM (40'-60' HT) 2" CAL = 8 PU
 TREE SMALL (18'-40' HT) 2" CAL = 4 PU
 SHRUB LARGE (>4' x 4') 3 GAL = 2 PU
 SHRUB SM-MED (4' x 4') 1 GAL = 1 PU / 50 SF
 GROUNDCOVER LIVING = 1 PU / 50 SF
 ORNAMENTAL FENCE (2.5'-4' HT) = 1 PU / 20 LF

PROPOSED DEVELOPMENT:
 TOTAL PARKING = 43 SPACES
 PARKING TREES = 90 SPACES
 TREE MEDIUM (15 SPACES X 6) = 90 SPACES
 TREE SMALL (10 SPACES X 6) = 60 SPACES
 TOTAL PARKING TREES = 150 SPACES (43 SPACES REQ)
 PAVED PARKING SURFACE AREA = 16,855 SF
 LANDSCAPE PARKING AREA = 6,585 SF OR 39% (20% REQ)
 PARKING PLANTING (1 PU / 20 SF) = 333 PU REQ
 SHRUBS LG (2 PU) X 38 SHRUBS = 76 PU
 SHRUBS SM (1 PU) X 223 SHRUBS = 223 PU
 GRNDCLR (1 PU/50 SF) X 5,008 SF = 100 PU
 TOTAL = 399 PU (330 PU REQ)
 OTHER AREAS (1 PU / 50 SF) X 1,788 SF = 36 PU REQ
 TREE SM (4 PU) X 1 TREE = 4 PU
 SHRUBS LG (2 PU) X 11 SHRUBS = 22 PU
 SHRUBS SM (1 PU) X 69 SHRUBS = 69 PU
 GRNDCLR (1 PU/50 SF) X 894 SF = 17 PU
 TOTAL = 112 PU (36 PU REQ)

LANDSCAPE PLAN GENERAL NOTES:

- LANDSCAPE PLANTING LEGENDS: SEE SHEET L1.1.
- INSTALLATION DETAILS & NOTES: PLANT MATERIALS & INSTALLATION SHALL MEET STANDARDS OF CLACKAMAS COUNTY FOR SE JENNIFER STREET ROW & CITY OF HAPPY VALLEY FOR SE ROBERT AVE & ON-SITE WORK.
- MULCH: ALL PLANTING AREAS EXCEPT FOR STORM FACILITIES SHALL BE MULCHED WITH 3" MIN DEPTH BARK MULCH, FRESH FIR MEDIUM GRIND.
- PLANT MATERIAL DELIVERED TO THE SITE SHALL MEET THE CURRENT VERSION OF THE AMERICAN NURSERYMAN'S SPECIFICATION ASSOCIATION STANDARDS FOR ALL SPECIFIED BALLED & BURLAPPED AND CONTAINER SIZES.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE PROJECT LANDSCAPE ARCHITECT FOR ALL PLANT MATERIAL SUBSTITUTIONS PRIOR TO PURCHASE. PLANT SUBSTITUTIONS THAT ARE NOT APPROVED IN WRITING, OR DO NOT COMPLY WITH THE PROJECT DRAWINGS AND SPECIFICATIONS WILL BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER.
- IRRIGATION: IRRIGATION PLANS WILL BE SUBMITTED FOR REVIEW & APPROVAL OF THE PLANNING OFFICIAL. IRRIGATION DESIGN INTENT WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. ALL PROPOSED PLANT MATERIALS SHALL BE WATERED (MAY TO OCTOBER) & MAINTAINED FOR A MINIMUM OF ONE (1) FULL GROWING SEASON AFTER THE DATE OF SUBSTANTIAL COMPLETION. TREES SHALL BE WATERED AT A RATE OF 15 GALLONS PER TREE ONCE PER WEEK, SHRUBS & GROUNDCOVERS AT A RATE OF 1" PER WEEK OR AS NECESSARY TO MAINTAIN VIGOROUS HEALTHY GROWTH.

LEGEND

---	BOUNDARY LINE
---	BUILDING
---	EASEMENT
-205	PROPOSED MAJOR CONTOUR LINE
-204	PROPOSED MINOR CONTOUR LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE



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CHICK-FIL-A
219 AND WOODLAND
 WOODBURN, OREGON

FSR# 05192

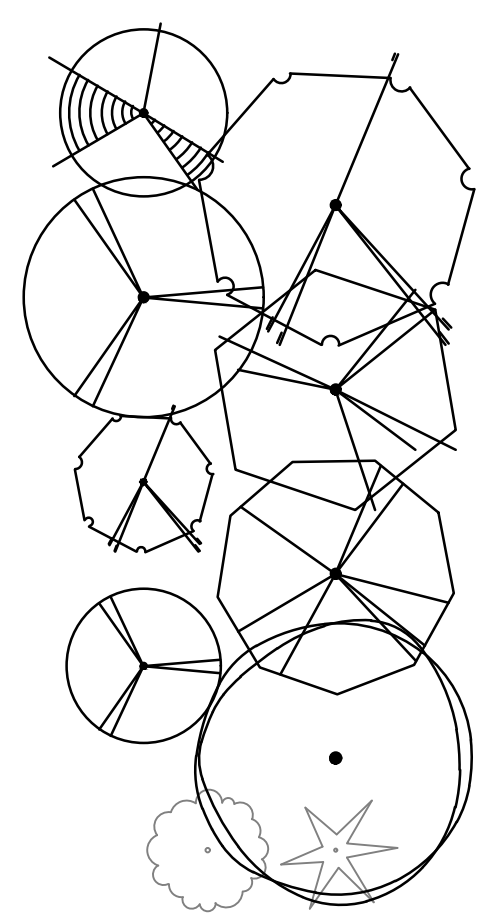
REVISION SCHEDULE
 NO. DATE DESCRIPTION

CIVIL'S PROJECT # 14886.01
 PRINTED FOR LAND USE
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 DRAWN BY WRI

PLANTING PLAN
 SHEET NUMBER

L1.0

PLANT & MATERIALS LEGEND



TREES ITEM	SIZE	QTY.	MATURE SIZE (H X W) / COMMENTS
ACER GRISEUM PAPERBARK MAPLE	2" CAL / B&B AS SHOWN	11	25' H X 20' W / SMALL / 4 PU 5' BRANCHING HT / DROUGHT TOLERANT
ACER RUBRUM 'FRANKSRED' RED SUNSET MAPLE	2" CAL / B&B AS SHOWN	11	45' H X 35' W / MEDIUM / 8 PU 5' BRANCHING HT / FLOOD TOLERANT
ACER TRUN. X PLAT. 'KEITHSFORM' NORWEGIAN SUNSET MAPLE	2" CAL / B&B AS SHOWN	6	35' H X 25' W / SMALL / UPRIGHT / 4 PU 5' MIN BRANCHING HT / HEAT RESISTANT
CARPINUS BETULUS 'FASTIGIATA' PYRAMIDAL EUROPEAN HORNBEAM	2" CAL / B&B AS SHOWN	13	35' H X 25' W / SMALL / 4 PU 5' BRANCHING HT / DROUGHT TOLERANT
GINKGO BILOBA 'PRINCETON SENTRY' PRINCETON SENTRY GINKGO	2" CAL / B&B AS SHOWN	9	40' H X 15' W / SEEDLESS MALE / SMALL / 4 PU 5' BRANCHING HT / DROUGHT TOLERANT
NYSSA SYLVATICA 'NSUHH' GREEN GABLE TUPELO	2" CAL / B&B AS SHOWN	5	40' H X 25' W / MEDIUM / 8 PU CENTRAL LEADER / DROUGHT TOLERANT
PARROTIA PERSICA 'INGE' RUBY VASE PERSIAN IRONWOOD	2" CAL / B&B AS SHOWN	7	28' H X 16' W / SMALL / 4 PU POWER LINES / DROUGHT TOLERANT
ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2" CAL / B&B AS SHOWN	6	45' H X 30' W / MEDIUM / 8 PU 5' BRANCHING HT / DROUGHT TOLERANT
EXISTING TREE TO REMAIN			CONTRACTOR TO PROTECT IN PLACE

SHRUBS & ACCENTS ITEM	SIZE	QTY.	MATURE SIZE (H X W) / COMMENTS
ABELIA 'EDWARD GOUCHER' EDWARD GOUCHER ABELIA	5 GAL CONT 4'-0" OC	68	5' H X 6' W / EVERGREEN / 2 PU DROUGHT TOLERANT
ARBUTUS UNEDO 'COMPACTA' COMPACT STRAWBERRY TREE	5 GAL CONT 4'-0" OC	45	5' H X 5' W / EVERGREEN / 2 PU DROUGHT TOLERANT
ARCTOSTAPHYLOS COLUMBIANA MANZANITA	5 GAL CONT 4'-0" OC	20	6' H X 6' W / HIGH SCREEN / 2 PU NATIVE EVERGREEN / DROUGHT TOLERANT
CALAMAGROSTIS x A. 'KARL FOERSTER' KARL FOERSTER REED GRASS	3 GAL CONT 2'-0" OC	184	5' H X 24" W / VERTICAL GRASS / 1 PU DROUGHT TOLERANT
CHAMAECYPARIS OBTUSA 'GRACILIS' SLENDER HINOKI FASLSE CYPRESS	7 GAL CONT 3'-6" OC	4	6' H X 5' W / EVERGREEN / 2 PU FULL SUN / LAYERED BRANCHES
CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	2 GAL CONT 3'-0" OC	26	2' H X 4' W / EVERGREEN / 1 PU FULL SUN / DROUGHT TOLERANT
LIGUSTRUM JAPONICUM 'TEXANUM' WAXLEAF PRIVET	5 GAL CONT 4'-0" OC	41	5' H X 6' W / GLOSSY EVERGREEN / 2 PU PT - FULL SUN / DROUGHT TOLERANT
MISCANTHUS 'PURPURASCENS' AUTUMN FLAME GRASS	3 GAL CONT 2'-6" OC	129	5' H X 3' W / UPRIGHT / 1 PU DROUGHT TOLERANT / ORANGE FALL COLOR
MISCANTHUS SINENSIS 'LITTLE MISS' LITTLE MISS MAIDEN GRASS	2 GAL CONT 3'-0" OC	155	3' H X 3' W / COMPACT HABIT / 1 PU 2-TONE FOLIAGE / DROUGHT TOLERANT
MYRICA CALIFORNICA PACIFIC WAX MYRTLE	5 GAL CONT 4'-0" OC	33	6' H X 6' W / HIGH SCREEN / 2 PU NATIVE EVERGREEN / DROUGHT TOLERANT
NANDINA DOMESTICA 'MOYER'S RED' MOYER'S RED HEAVENLY BAMBOO	5 GAL CONT 3'-0" OC	29	4' H X 3' W / EVERGREEN / 1 PU FULL SUN / DROUGHT TOLERANT
PENNISETUM A. 'HAMELN' HAMELN FOUNTAIN GRASS	2 GAL CONT 30" OC	113	30" H X 30" W / 1 PU DROUGHT TOLERANT
ROSA 'RADRAZZ' KNOCK OUT ROSE	3 GAL CONT 3'-0" OC	24	3' H X 3' W / 1 PU PEST FREE / DROUGHT TOLERANT
RUDBECKIA FULGIDA 'EARLY BIRD GOLD' EARLY BIRD GOLD BLACK EYED SUSAN	2 GAL 18" OC	21	2' H X 2' W / PERENNIAL / 1 PU YELLOW FLOWERS SPRING TO FALL
NARCISSUS 'TETE-A-TETE' 'TETE-A-TETE' DAFFODIL	16 CM + 4 PER AREA	100 BULBS	8" H X 6" W / BULB YELLOW FLOWERS - SPRING
ROSMARINUS OFFICINALIS 'ARP' ARP ROSEMARY	3 GAL CONT 3'-0" OC	32	3' H X 3' W / EVERGREEN / 1 PU DROUGHT TOLERANT
SPIRAEA JAPONICA 'NEON FLASH' NEON FLASH JAPANESE SPIREA	2 GAL CONT 3'-0" OC	15	3' H X 3' W / SMALL / 1 PU BRIGHT RED FLOWERS / DROUGHT TOLERANT
VIBURNUM DAVIDII DAVID'S VIBURNUM	3 GAL CONT 3'-0" OC	45	3' H X 3' W / EVERGREEN / 1 PU
VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET VIBURNUM	5 GAL CONT 4'-0" OC	30	6' H X 5' W / HIGH SCREEN SHRUB / 2 PU EVERGREEN / DROUGHT TOLERANT

GROUNDCOVERS & MISC ITEM	SIZE	QTY.	MATURE SIZE (H X W)
ARCTOSTAPHYLOS UVA-URSI 'MASS.' MASS KINNIKINICK	1 GAL CONT 2'-0" OC	5,778 SF 1,675 PLANTS	9" H X 3' W / EVERGREEN / 1 PU/50 SF NATIVE / DROUGHT TOLERANT
LAWN TURF 'JB SIGNATURE' JB INSTANT LAWN, SILVERTON, OR	FILL AREA	13,420 SF	THREE-WAY PERENNIAL RYEGRASS 1 PU/50 SF
MAHONIA REPENS CREEPING MAHONIA	1 GAL CONT 2'-0" OC	2,055 SF 596 PLANTS	18" H X 3' W / EVERGREEN / 1 PU/50 SF PNW NATIVE / DROUGHT TOLERANT
RUBUS CALY. 'EMERALD CARPET' EMERALD CARPET CREEPING BERRY	1 GAL CONT 2'-0" OC	5,675 SF 1,646 PLANTS	9" H X 3' W / EVERGREEN / 1 PU/50 SF DROUGHT TOLERANT
HEMEROCALLIS 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	1 GAL CONT 18" OC	344 SF 176 PLANTS	18" H X 18" W / DROUGHT TOLERANT FIRE RESISTANT / 1 PU/50 SF
NARCISSUS 'DUTCH MASTER' DUTCH MASTER TRUMPET DAFFODIL	16 CM + 9" OC	750 BULBS	20" H X 6" W / BULB YELLOW FLOWERS / DROUGHT TOLERANT
COLCHICUM GIGANTEUM 'THE GIANT' GIANT AUTUMN CROCUS	20 CM + 9" OC	750 BULBS	8" H X 6" W / BULB PURPLE FLOWERS - FALL
VIOLA X WITTROCKIANA 'CROWN GOLDEN' CROWN GOLDEN PANSY	4" CONT 9" OC	750 PLANTS	8" X 10" / WINTER ANNUAL CLEAR GOLDEN FLOWERS

STORMWATER FACILITY PLANT MATERIALS:

NOTE: QUANTITIES SHOWN ARE FOR ON-SITE STORMWATER FACILITIES ONLY

SHRUBS & ACCENTS ITEM	SIZE	QTY.	MATURE SIZE (H X W) / COMMENTS
CORNUS SERICEA RED-TWIG DOGWOOD	2 GAL. CONT. @ 4'-0" O.C.	12	6' H X 4' W / ZONE A/B NATIVE
MAHONIA AQUIFOLIUM OREGON GRAPE	2 GAL. CONT. 3'-0" OC	27	4' H X 3' W / ZONE B NATIVE
RIBES SANGUINEUM RED-FLOWERING CURRRANT	2 GAL. CONT. @ 4'-0" O.C.	10	8' H X 4' W / ZONE B NATIVE
SALIX STICHENSIS SITKA WILLOW	2 GAL. CONT. @ 6'-0" O.C.	5	20' H X 6' W / ZONE A NATIVE
SPIRAEA DOUGLASII DOUGLAS SPIREA	2 GAL. CONT. @ 4'-0" O.C.	18	7' H X 4' W / ZONE A/B NATIVE
		72 TOTAL	

GROUNDCOVERS ITEM	SIZE	QTY.	POTENTIAL HEIGHT / PLANTING ZONE
ARCTOSTAPHYLOS UVA-URSI KINNIKINICK	1 GAL. CONT. 70 / 100 SF	1,023 SF 716 PLANTS	6" H X 12" W / ZONE B / EVERGREEN NATIVE
RUSH / SEDGE MIX 50% JUNCUS PATENS 50% CAREX OBNUPTA	80 / 100 SF 1 GAL CONT / 24" HT 1 GAL CONT / 24" HT	1,202 SF 481 481	NATIVE 36" H / ZONE A / EVERGREEN 48" H / ZONE A / EVERGREEN

STORMWATER FACILITIES (PDX STORMWATER MANAGEMENT MANUAL):
 GROWING MEDIUM = SEE CIVIL SHEETS
 STORMWATER FACILITY = BASIN
 ZONE A TOTAL = 1,202 SF
 ZONE A HERBACEOUS (80 / 100 SF) = 962 PLANTS (962 PLANTS REQ)
 ZONE B TOTAL = 1,023 SF
 ZONE B SHRUBS (7 / 100 SF) = 72 SHRUBS (72 SHRUBS REQ)
 ZONE B GROUNDCOVER (70 / 100 SF) = 716 PLANTS (716 PLANTS REQ)

STORMWATER FACILITY NOTES:

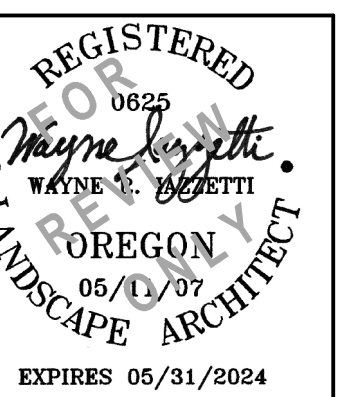
- STORMWATER FACILITY CONSTRUCTION TO BE INSPECTED BY CONSTRUCTION INSPECTOR.
- CONTRACTOR SHALL CONTACT CITY CONSTRUCTION 48-HOURS PRIOR TO STARTING CONSTRUCTION ON THE STORMWATER FACILITY. ANY WORK ON THE FACILITY WITHOUT INSPECTIONS WILL BE REJECTED.
- CONTRACTOR SHALL PROVIDE CITY CONSTRUCTION WITH TESTING DATA AS PER CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS SECTION 01040.13 - SOIL TESTING 14 DAYS PRIOR TO CONSTRUCTION.
- SEE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS SECTION 01040.14(D) - STORMWATER FACILITY TOPSOIL.
- INSTALL TOPSOIL IN A MANNER THAT ENSURES ADEQUATE INFILTRATION. PLACE IN TWO EQUAL LIFTS. (IF NO DRAIN ROCK IS SPECIFIED, ADD THE FOLLOWING NOTE: ROTO-TILL THE FIRST LIFT INTO NATIVE SOIL.) LIFTS SHOULD NOT BE COMPACTED, BUT RATHER PLACED IN A MANNER TO REDUCE EXCESSIVE EROSION OR SETTLEMENT. LIFTS MAY BE LIGHTLY WATERED TO ENCOURAGE NATURAL COMPACTION OR, IF NECESSARY ROLLED WITH A WATER-FILLED LANDSCAPE ROLLER. SLIGHTLY OVERFILL THE FACILITY ABOVE PROPOSED FINISHED GRADE TO ACCOMMODATE NATURAL SETTLEMENT.
- AFTER THE STORMWATER FACILITY CONSTRUCTION STARTS, THE CITY INSPECTOR IS REQUIRED TO CHECK ON THE PROGRESS OF THE JOB AS NECESSARY UNTIL THE FACILITY HAS BEEN PLANTED. CONSTRUCTION DELAY WILL RESULT IN ADDITIONAL FEES.
- FOLLOWING SWALE CONSTRUCTION, PLANTING SHALL OCCUR BETWEEN SEPTEMBER 1 AND NOVEMBER 1, OR BETWEEN FEBRUARY 1 AND APRIL 15. IF CONSTRUCTION IS COMPLETED DURING THESE TIME PERIODS, PLANTING SHALL OCCUR IMMEDIATELY. IF CONSTRUCTION IS COMPLETED OUTSIDE OF THESE TIME PERIODS, TOPSOIL SHALL BE COVERED ENTIRELY WITH NORTH AMERICAN GREEN C125BN EROSION CONTROL FABRIC, SECURED WITH 12" WOODEN ECOSTAKE (18" ON-CENTER). PLANTS SHALL BE INSTALLED THROUGH HOLES CUT IN THE EROSION CONTROL FABRIC, AND FABRIC SHALL BE RESTAKED SECURELY FOR STABILITY AND SOIL COVERAGE FOLLOWING PLANTING.
- CONTRACTOR TO PLACE EROSION CONTROL FABRIC OVER STORMWATER FACILITY AND SURROUNDING AREA TO PREVENT EROSION DURING WET WEATHER CONDITIONS. FABRIC SHALL BE 100% BIODEGRADABLE COIR FABRIC (NORTH AMERICAN C125BN OR APPROVED EQUAL).
- PLANTS SHALL BE INSPECTED AND APPROVED BY CITY REVEGETATION PROGRAM PRIOR TO PLANTING. CONTACT THE CITY PUBLIC WORKS INSPECTOR.
- PERMITTEE AND/OR CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PUBLIC WORKS O&M FORM. SURVIVAL OF ALL PLANT MATERIAL DURING MAINTENANCE WARRANTY PERIOD OF 2 CALENDAR YEARS.



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Atlanta, Georgia
30349-2998



309 SW 6TH AVENUE, #700
PORTLAND, OREGON 97204
971-280-8641



CHICK-FIL-A
219 AND WOODLAND
WOODBURN, OREGON

FSR# 05192

REVISION SCHEDULE	
NO.	DESCRIPTION

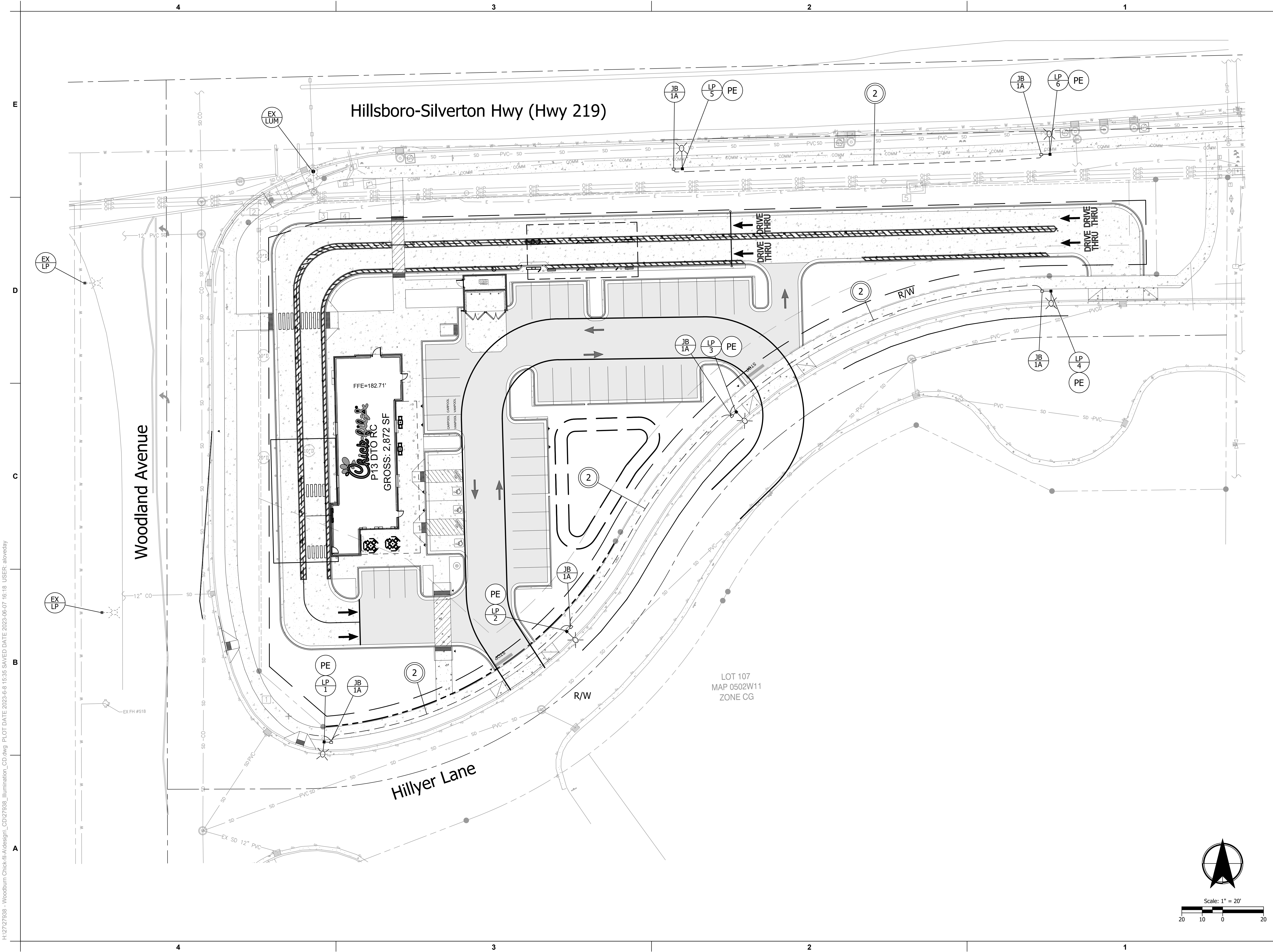
CIVIL'S PROJECT #	14666.01
PRINTED FOR	LAND USE
DATE	06/05/2023
DRAWN BY	WRI

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PLANTING LEGENDS & NOTES

SHEET NUMBER

L1.1



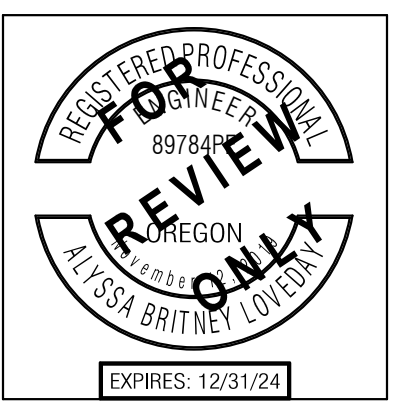
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Atlanta, Georgia
30349-2998



851 SW 6TH AVENUE, SUITE 600
PORTLAND, OR 97204
P 503.228.5230



CHICK-FIL-A 219 AND WOODLAND WOODBURN, OREGON

FSR# 05192

REVISION SCHEDULE

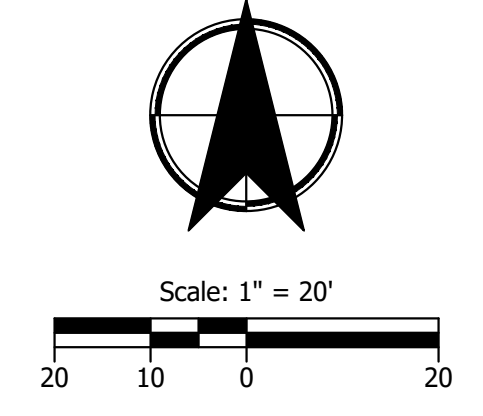
NO.	DATE	DESCRIPTION

CIVIL'S PROJECT # 14866.01
PRINTED FOR LAND USE
DATE 06/17/2023
DRAWN BY ABL

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SHEET ILLUMINATION PLAN

SHEET NUMBER



GOVERNMENTAL AGENCIES

BUILDING DEPARTMENT
 City of Woodburn
 Community Development Department
 270 Montgomery Street
 Woodburn, OR 97071
 Phone: (503) 982-5250
 Contact Name: TBD
 Contact Email: TBD

BUILDING DATA
BUILDING CODE:
 2019 Oregon Structural Specialty
 Code (OSSC)
PLUMBING CODE:
 2021 State of Oregon Plumbing
 Specialty Code (OPSC)

FIRE DEPARTMENT
 Woodburn Fire District
 1776 Newberg Hwy
 Woodburn, OR, 97071
 Phone: (503) 982-2360
 Contact Name: Korin Petersen
 Contact Email:
 Korin.petersen@woodburnfire.com

MECHANICAL CODE:
 2019 Oregon Mechanical Specialty
 Code (OMSC)

ELECTRICAL CODE:
 2021 State of Oregon Electrical
 Specialty Code (OESC)

HEALTH DEPARTMENT
 Marion County Health Department
 302 West Hayes Street
 Woodburn, OR 97071
 Phone: (503) 981-5851
 Fax: (225) 625-2359

FIRE CODE:
 2019 Oregon Fire Code (OFC)

ACCESSIBILITY CODE:
 2017 ANSI Standard A117.1
 with (yyyy) State Amendments

ENERGY CODE:
 2021 Oregon Energy Efficiency
 Specialty Code (OEESC)



05192
P14 DTO RC
Hwy 219 & Woodland Ave

300 S WOODLAND AVE
WOODBURN, OR 97071



SHEET INDEX

SHEET NUMBER	COVER SHEET	SHEET NAME	ISSUED FOR BID	ISSUED FOR PERMIT	ISSUED FOR CONSTRUCTION
G-000	COVER SHEET				
A-100	SITE PLAN				
A-103	REFUSE ENCLOSURE				
A-201	FLOOR PLAN				
A-230	ROOF PLAN				
A-301	EXTERIOR ELEVATIONS COLOR				
A-302	EXTERIOR ELEVATIONS B&W				
A-303	LINE OF SIGHT STUDY				



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WARE MALCOMB
 Leading Design for Commercial Real Estate

900 S. BROADWAY, SUITE 320
 DENVER, CO 80209
 P 303.561.3333

CHICK-FIL-A
Hwy 219 & Woodland Ave
300 S WOODLAND AVE
WOODBURN, OR 97071

FSR#05192

BUILDING TYPE / SIZE: P14 DTO RC
 RELEASE: 22.08
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PROJECT STATUS

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # SEA22-0026-00

DATE MM/DD/YY

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SHEET COVER SHEET

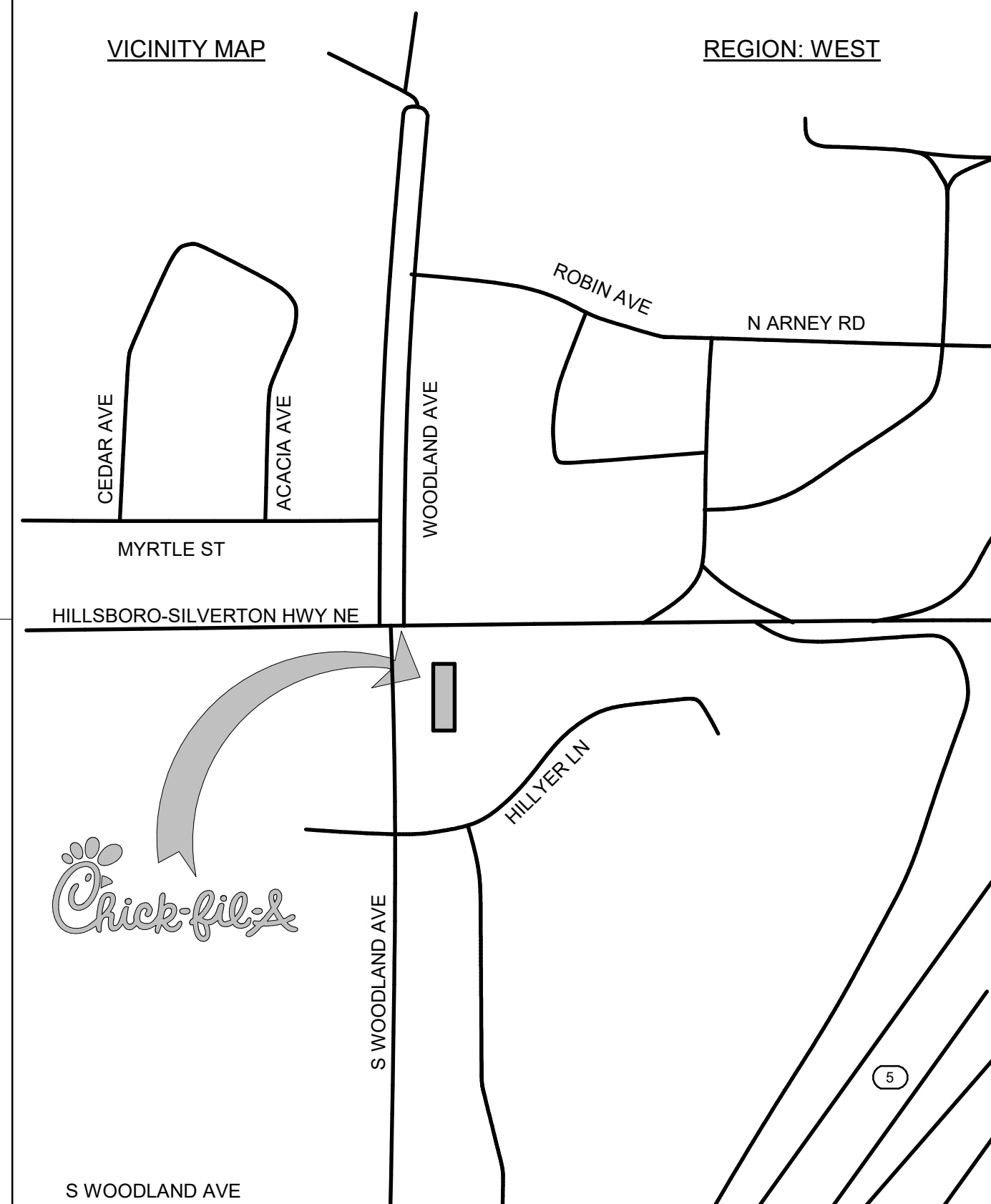
SHEET NUMBER

G-000

Entitlement Package

VICINITY MAP

REGION: WEST



DESIGNOTES APPLIED IN CURRENT PROJECT

DESIGNNOTE #	REV #	DESCRIPTION
2022-014	0	SRI A - BUILDING LIGHTING
2022-015	0	EXPANDED DIGITAL COCKPIT
2022-016	0	DRIVE - THRU COCKPIT CLEARANCE
2022-017	0	SRI EXTERIOR PAINT
2022-018	0	PROJECT DESIGN WORKFLOW
2022-019	0	ACT CEILING RISER ROOM
2022-020	0	ADD CHEROKEE BRICK AS PREFERRED SUPPLIER & BRICK REGIONAL STRATEGY MAP
2022-021	0	UPDATES TO SOIL-PRETREATMENT PROGRAM AND CONTACT INFO
2022-022	0	DRIVE-THRU DUMP SINK AND HAND SINK

ITEMS OF IMPORTANCE

INCLUDED IN PROJECT	ITEM NUMBER	ITEMS OF IMPORTANCE	ITEM DESCRIPTION
Yes	1	ITEMS OF IMPORTANCE	

*NOTE: REVISION SCHEDULE ABOVE MAY NOT LIST REVISIONS TO ALL DISCIPLINES. REFER TO REVISED DRAWINGS FOR CHANGES TO SHEETS NOT LISTED HERE.

ARCHITECT
WARE MALCOMB
 Street Address
 City, State, Zip Code
 Phone:
 Fax:
 Contact Name:
 Contact Email:

STRUCTURAL
CTS
 1215 W Rio Salado Pky #200
 Tempe, AZ 85281
 Phone: 480.774.1700
 Contact Name: Richard Dahlmann
 Contact Email:
 rdahlmann@ctsaz.com

MEP
RTM
 14901 Quorum Drive
 Dallas, TX, 75254
 Phone: 972.387.3500
 Contact Name: Ryan Pilarcik
 Contact Email:
 ryan.pilarcik@rtmec.com

CIVIL
DOWL
 Phone: 917.280.8654
 Contact Name: Jenn Glueck
 Contact Email: jglueck@dowl.com



Chick-fil-A

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5200 Buffington Road
Atlanta, Georgia
30349-2998

SITE
ADAPT
LOGO
AND
ADDRESS

PROTOTYPICAL SET

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REGULATORY
APPROVAL,
BIDDING, OR
CONSTRUCTION

CHICK-FIL-A
Hwy 219 & Woodland

300 S WOODLAND AVE
WOODBURN, OR 97071

#05192

BUILDING TYPE / SIZE: P14 DTO RC
RELEASE: 22.08

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PROJECT STATUS

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # SEA22-0026-00

DATE 04/11/2023

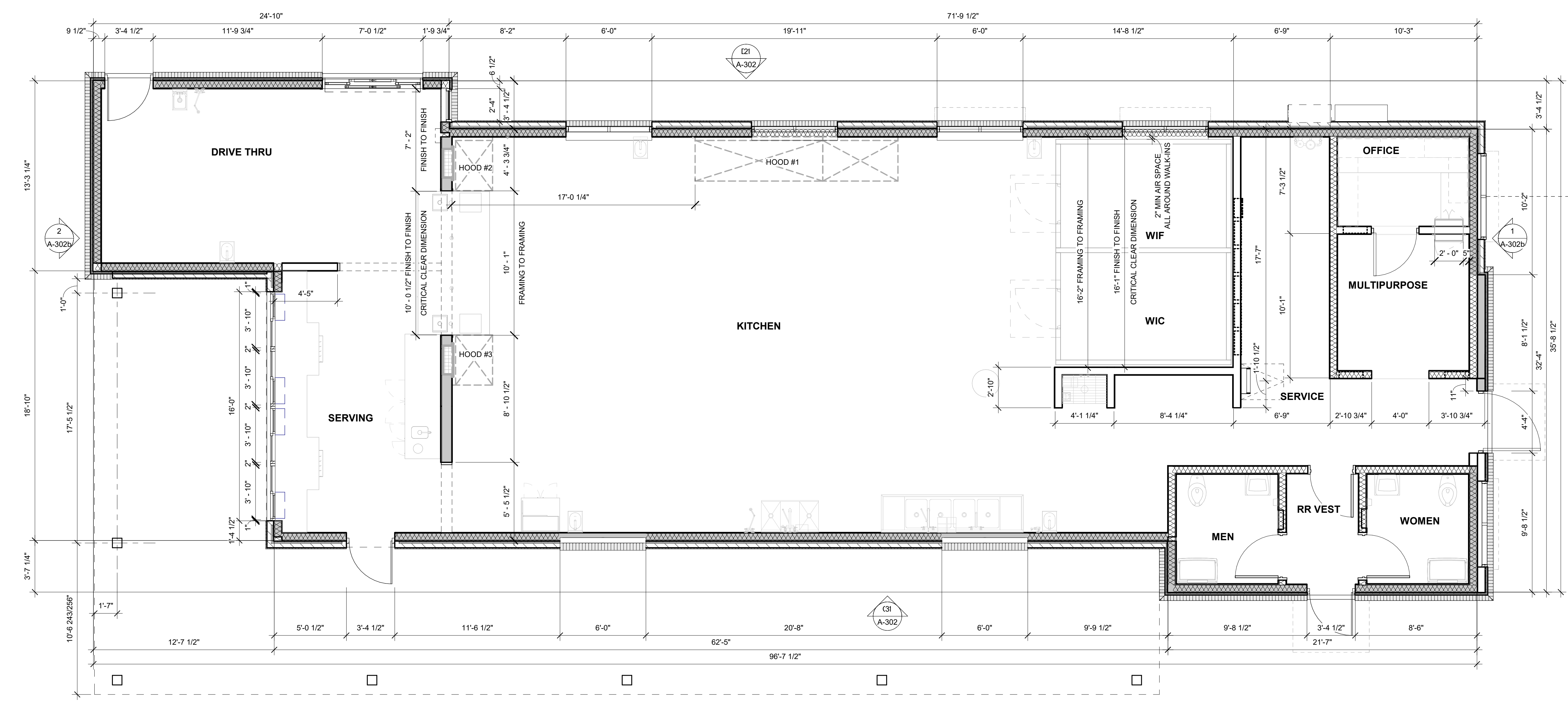
DRAWN BY Designer

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SHEET
FLOOR PLAN

SHEET NUMBER

A-201



1 FLOOR PLAN
1/4" = 1'-0"

Autodesk Docs//OR_051922_Hwy 219 & Woodland Avenue FSU_2022.3_BTS/05192_Hwy 219 & Woodland Avenue FSU_ARC.rvt
4/13/2023 9:53:21 AM
10-DTO-05192-A-201-FLOOR PLAN



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SITE
ADAPT
LOGO
AND
ADDRESS

PROTOTYPICAL SET

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APPROVAL,
BIDDING, OR
CONSTRUCTION

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Hwy 219 & Woodland
300 S WOODLAND AVE
WOODBURN, OR 97071

#05192

BUILDING TYPE / SIZE: P14 DTO RC
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PROJECT STATUS

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # SEA22-0026-00

DATE 04/11/2023

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SHEET

EXTERIOR ELEVATIONS

COLOR

SHEET NUMBER

A-301



D1 EXTERIOR ELEVATION
1/4" = 1'-0"



C1 EXTERIOR ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

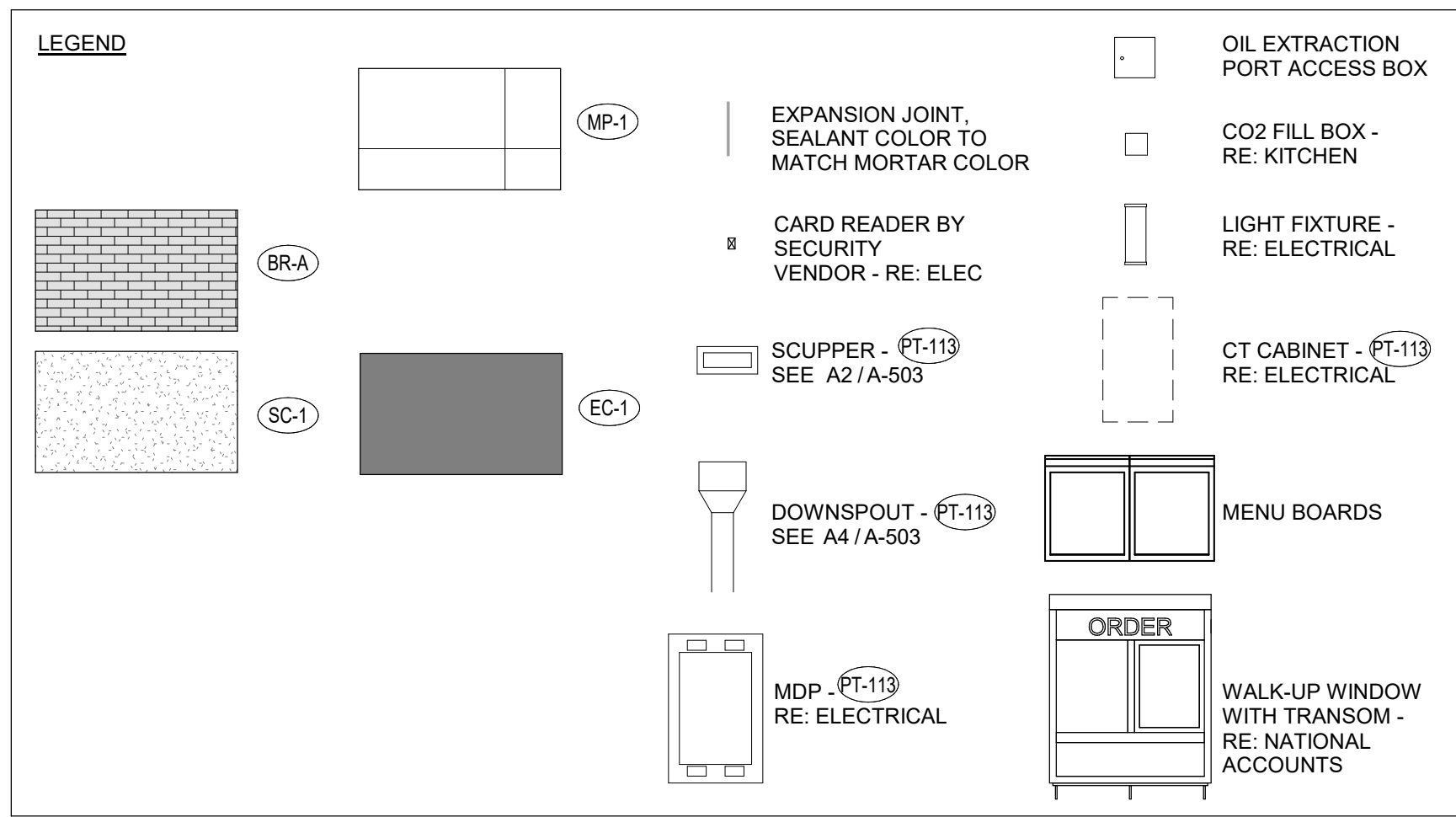
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)		MODULAR			SEE APPROVED BRICK ALTERNATES
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
MP-1	METAL PANEL	EN-V	HORIZONTAL PANEL STACKED, WITH CORNER WRAP	SW 6172	HARDWARE	LT726-70CL 70% 3-COAT NON IN-HOUSE BLENDABLE
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
SC-1	STUCCO	STO	POWERWALL		WEST HIGHLAND WHITE	FINISH: SAND MEDIUM
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTIE)	

GENERAL NOTES
1. ALL SIGNAGE PROVIDED BY OTHERS
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

CANOPY NOTES:
BUILDING MOUNTED CANOPIES - 8" THICK CANOPY - KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)
COLUMN MOUNTED CANOPIES - 10" THICK CANOPY - FINISH OF STRUCTURE TO BE (CP-1) - FINISH OF DECKING TO BE (CP-2)

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	4	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	2	5'-4"	4'-0"	2'-4"	Yes
Grand total		6				



APPROVED BRICK ALTERNATES
(SEE NATIONAL ACCOUNTS LIST FOR CONTACT INFORMATION)

FINISH	MANUFACTURER	MODEL	MORTAR	PLANT LOCATION	PREFERRED REGION(S)
BR-A (PRIMARY BRICK)					
BR-27	ACME BRICK	SLATE GRAY	ARGOS, SAN TAN	ELGIN, TX	ALL

Autodesk Docs://OR_05192_Hwy 219 & Woodland Avenue FSU_2022.3_BTS/05192_Hwy 219 & Woodland Avenue FSU_ARC.rvt
4/13/2023 9:53:37 AM
10-DTO-05192-A-301-EXTERIOR ELEVATIONS COLOR



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SITE
 ADAPT
 LOGO
 AND
 ADDRESS

PROTOTYPICAL SET

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 REGULATORY
 APPROVAL,
 BIDDING, OR
 CONSTRUCTION

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 Hwy 219 & Woodland
 300 S WOODLAND AVE
 WOODBURN, OR 97071

#05192

BUILDING TYPE / SIZE: P14 DTO RC
 RELEASE: 22.08

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PROJECT STATUS

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # SEA22-0026-00

DATE 04/11/2023

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SHEET

EXTERIOR ELEVATIONS

COLOR

SHEET NUMBER

A-301b



1 EXTERIOR ELEVATION
 1/4" = 1'-0"



2 EXTERIOR ELEVATION
 1/4" = 1'-0"



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Atlanta, Georgia
30349-2998

SITE
ADAPT
LOGO
AND
ADDRESS

PROTOTYPICAL SET

NOT FOR
REGULATORY
APPROVAL,
BIDDING, OR
CONSTRUCTION

CHICK-FIL-A
Hwy 219 & Woodland
300 S WOODLAND AVE
WOODBURN, OR 97071

#05192

BUILDING TYPE / SIZE: P14 DTO RC
RELEASE: 22.08

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PROJECT STATUS

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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CONSULTANT PROJECT # SEA22-0026-00

DATE 04/11/2023

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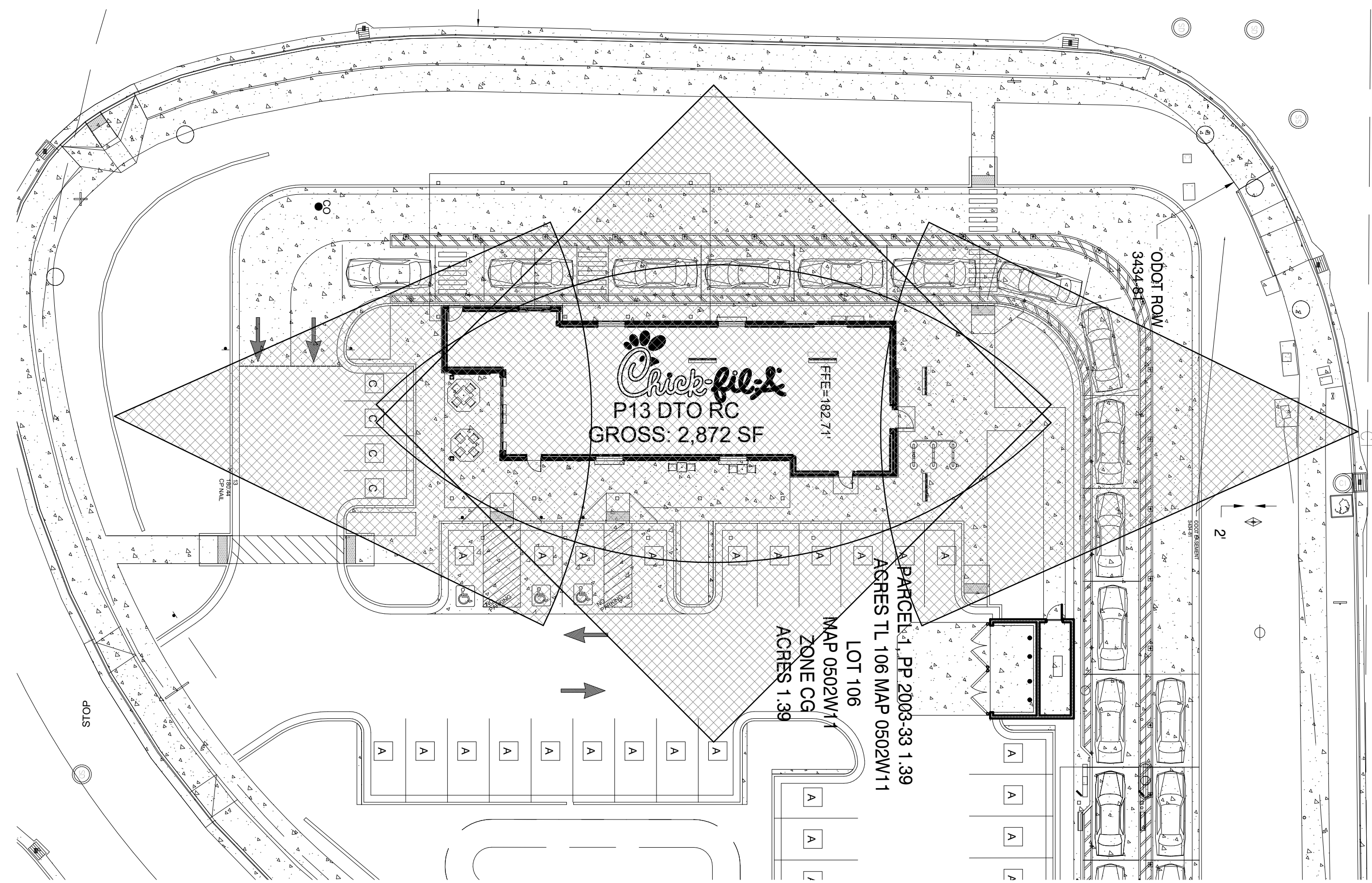
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SHEET

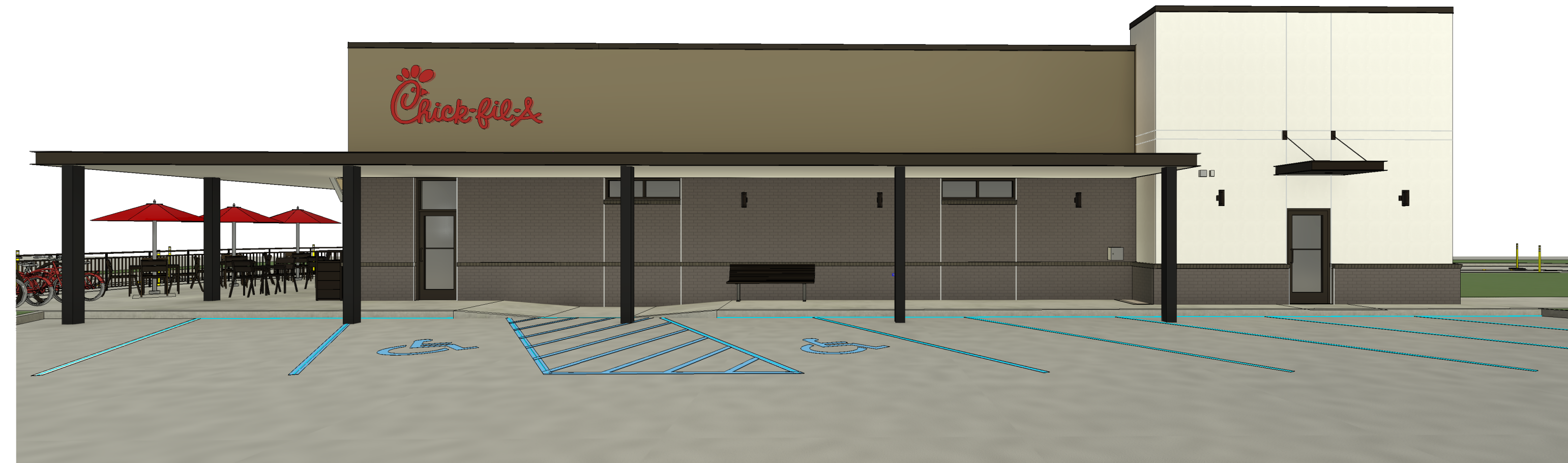
LINE OF SIGHT STUDY

SHEET NUMBER

A-303



1 SITE LEGEND
1" = 20'-0"



PERSPECTIVE VIEW 1
N.T.S.



PERSPECTIVE VIEW 2
N.T.S.



PERSPECTIVE VIEW 3
N.T.S.



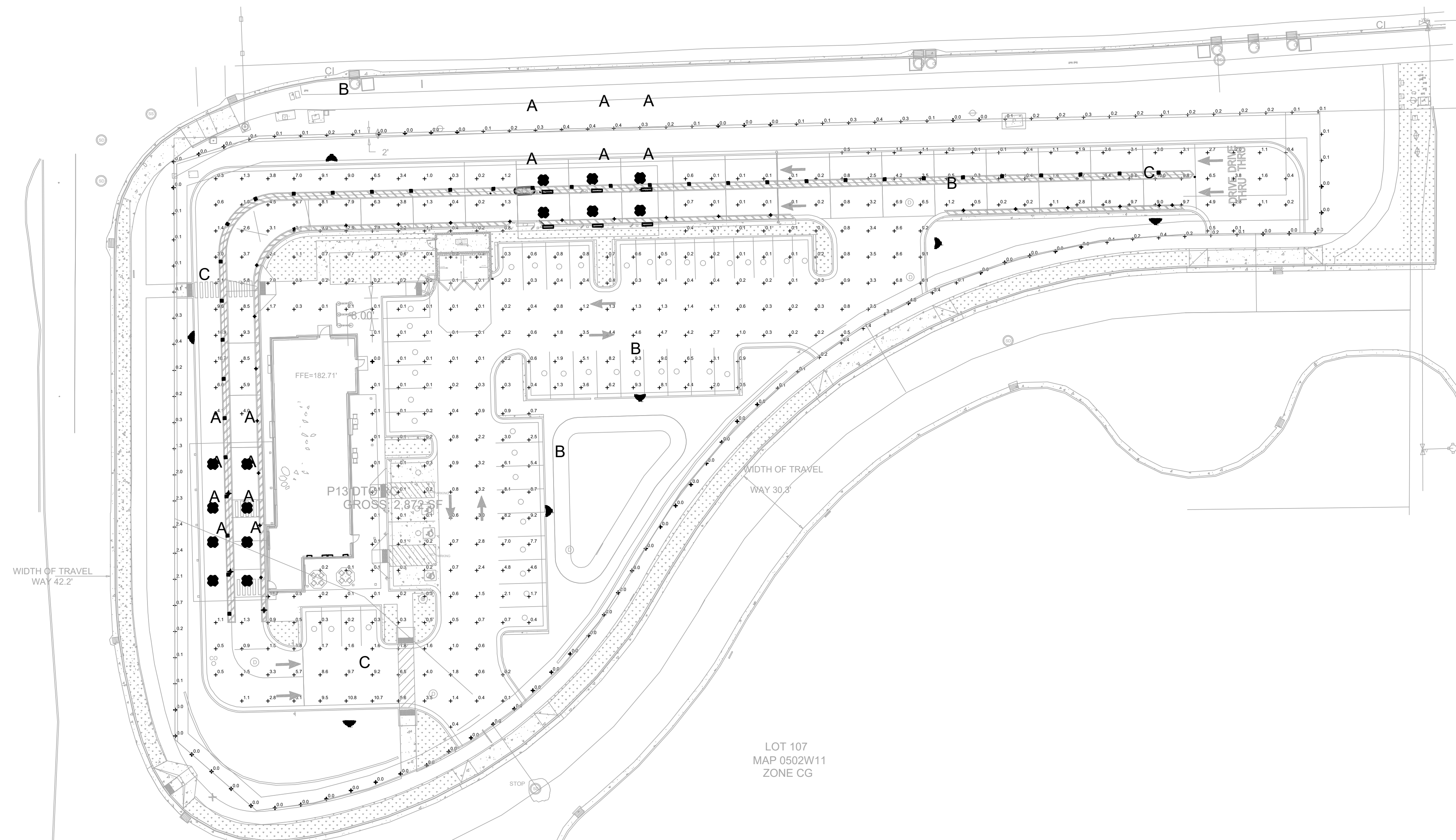
PERSPECTIVE VIEW 4
N.T.S.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	10	Lithonia Lighting	DSXSC LED 30C 1000 30K T5E MVOLT	DSX SURFACE CANOPY FIXTURE WITH 3 LIGHT ENGINES, 1000mA DRIVER, 3000K LEDs, T5E OPTIC.	LED	1	DSXSC_LED_30C_1000_30K_T5E_MV.OLT.ies	10725	1	107
	B	4	LSI LIGHTING	MRM-LED-18L-SIL-FT-30-70CRI	MIRADA MEDIUM (MRM) OUTDOOR LED AREA LIGHT, 18L LUMEN PACKAGE, TYPE "FT" LIGHT DISTRIBUTION, 70CRI, 3000K LEDs MOUNTED AT 14.5' W/ 6" EXTERNAL HOUSE SIDE SHIELD #EHS-MRM-BLK-60	LED	1	MRM-LED-18L-SIL-FT-30-70CRI.ies	ABS.	1	135
	C	3	LSI LIGHTING	MRM-LED-18L-SIL-3-30-70CRI	MIRADA MEDIUM (MRM) OUTDOOR LED AREA LIGHT, 18L LUMEN PACKAGE, TYPE "3" LIGHT DISTRIBUTION, 70CRI, 3000K LEDs MOUNTED AT 14.5' W/ 6" EXTERNAL HOUSE SIDE SHIELD #EHS-MRM-BLK-60	LED	1	MRM-LED-18L-SIL-3-30-70CRI.ies	ABS.	1	135

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	2.3 fc	17.7 fc	0.1 fc	177.0:1	23.0:1
Property Line	+	0.3 fc	4.6 fc	0.0 fc	N/A	N/A

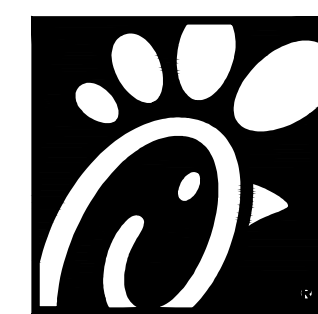
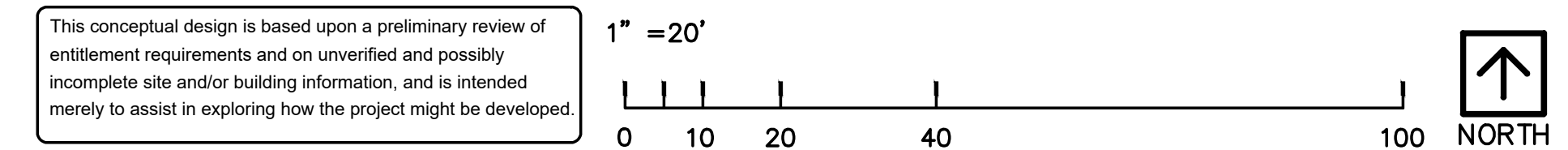
PHOTOMETRIC DISCLAIMER

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.



PRINTED BY: JONATHAN HOFFMAN Feb 10, 2023 - 2:53pm
 DRAWING: 22.WMA.202 CHICK-FIL-A 05192 - WOODLAND AVE WOODBURN OR\03 DESIGN DRAWINGS\22.WMA.202 - E-1.0.DWG
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Attachment 103
Sheet 13 of 13



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

E-1.0

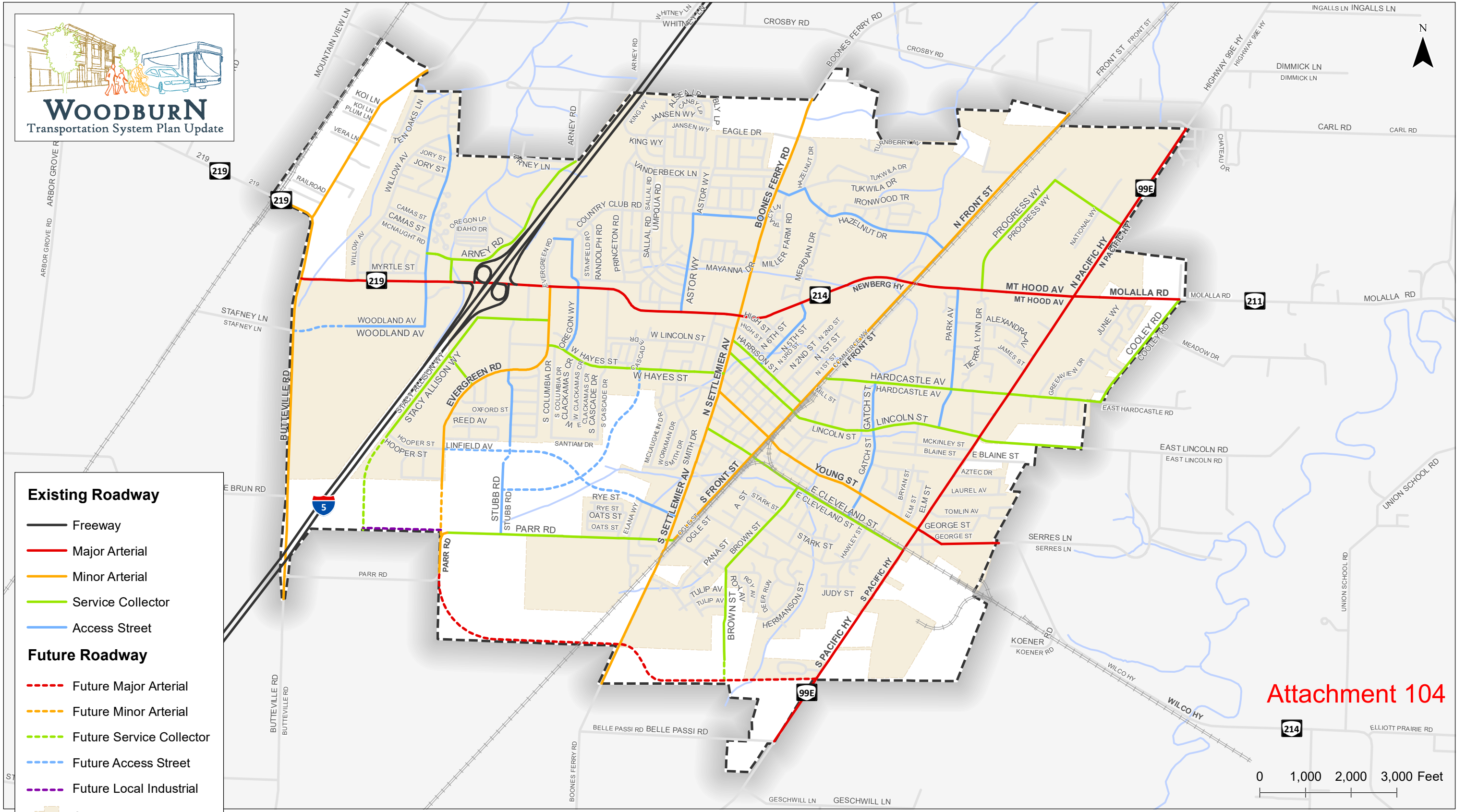
Photometric Site Plan

HWY 219 & WOODHAVEN
WOODBURN, OREGON

WARE MALCOMB

12.16.2022

SHEET
E-1.0



Existing Roadway

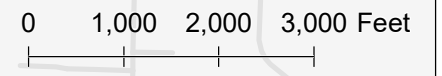
- Freeway
- Major Arterial
- Minor Arterial
- Service Collector
- Access Street

Future Roadway

- Future Major Arterial
- Future Minor Arterial
- Future Service Collector
- Future Access Street
- Future Local Industrial

- City Boundary
- Urban Growth Boundary

Attachment 104



**Functional Roadway Classification
Woodburn, Oregon**

**Figure
2**

Note: Future roadway alignments are approximate and subject to further refinement.

Coordinate System: NAD 1983 HARN StatePlane Oregon North FIPS 3601 Feet Intl
Data Source: City of Woodburn, Oregon Department of Transportation

H:\1212\1071 - Woodburn TSP Update\GIS\TSP02 Functional Roadway Classification.mxd - mmcormick - 5:25 PM 9/18/2019

BUS STOP CHANGES

Figure 63 Preferred Service Plan Bus Stop Changes

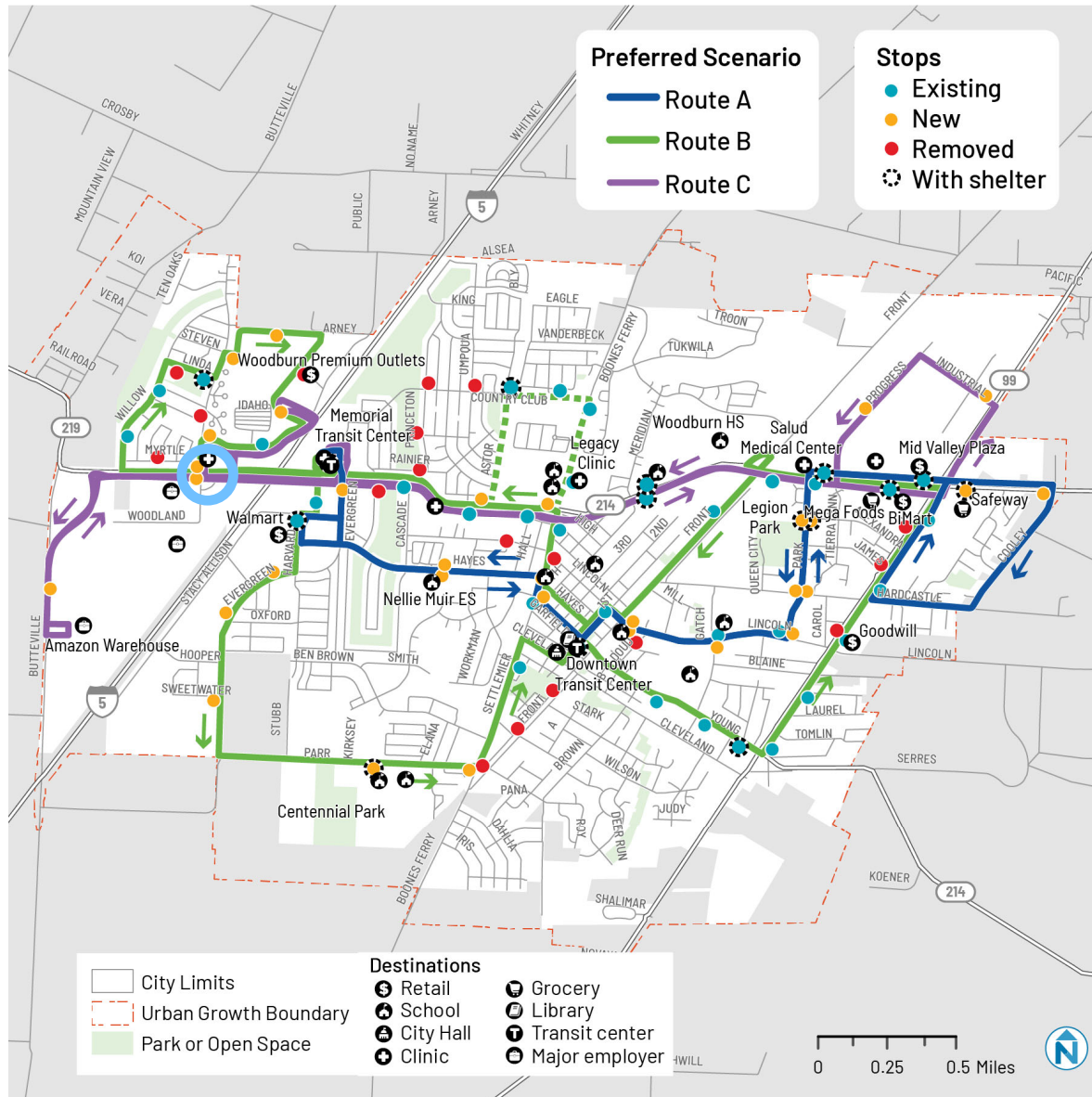


Figure 63 shows all existing, new, and removed bus stops that correspond to the Preferred Service Plan. New stops are required in areas where service is added and stops where service is eliminated would need to be removed. The following is a summary of where stops are added or removed.

- 33 existing stops (teal) are maintained. All of the existing stops with a shelter are maintained.
- 18 stops (red) are removed. None of the stops recommended for removal has a shelter.
- 31 new stops (orange) are added. Most stops would just have a sign pole and concrete pad.

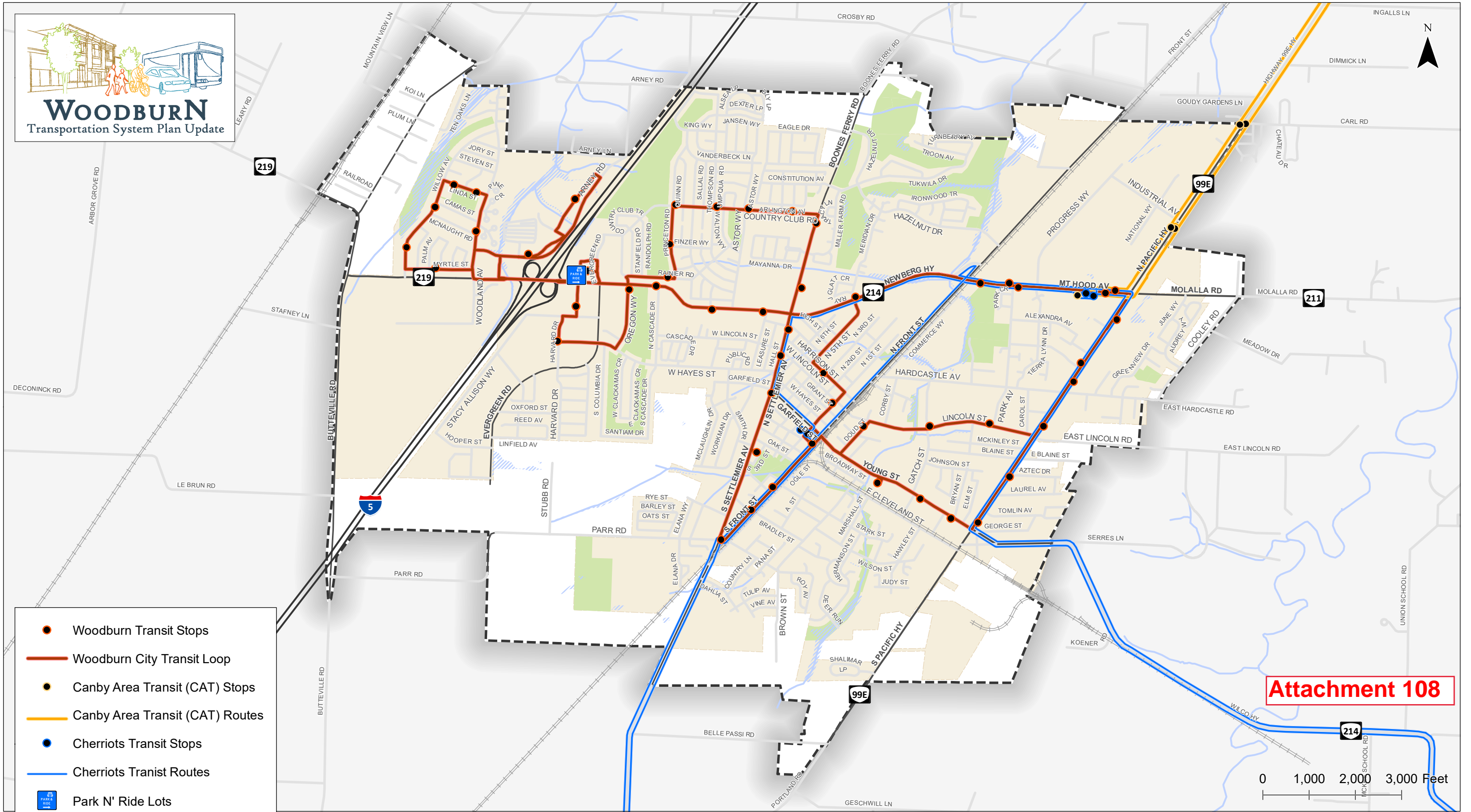
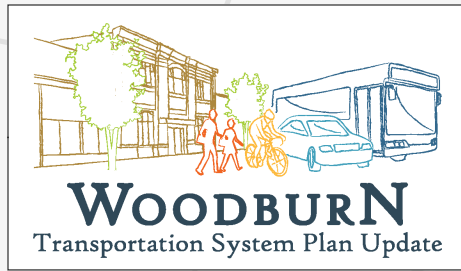
Four new stops would include shelters in key locations:

- Centennial Park / Valor MS (south side of Parr Road)
- Legion Park (both sides of the street)
- Safeway (south side of Molalla Road/Highway 214)

It is important to note that all new stop locations presented on this map are for planning purposes only and are subject to change. Specific locations will be determined by WTS staff.

Subject property and vicinity circled in light blue

Attachment 106A



- Woodburn Transit Stops
- Woodburn City Transit Loop
- Canby Area Transit (CAT) Stops
- Canby Area Transit (CAT) Routes
- Cherriots Transit Stops
- Cherriots Transit Routes
- P Park 'N' Ride Lots
- City Boundary
- Urban Growth Boundary

Attachment 108

0 1,000 2,000 3,000 Feet

**Existing Transit Routes and Facilities
Woodburn, Oregon**

**Figure
7**

H:\12121071 - Woodburn TSP Update\GIS\TSP07 Existing Transit Facilities.mxd - rmmccormick - 5:47 PM 9/16/2019

Coordinate System: NAD 1983 HARN StatePlane Oregon North FIPS 3601 Feet Intl
Data Source: City of Woodburn, Oregon Department of Transportation

DR 22-26 Chick-fil-A:
Attachment 201: Dictionary & Glossary

This document defines and explains abbreviations, acronyms, phrases, and words particularly in the context of conditions of approval.

- “ADA” refers to the federal Americans with Disabilities Act of 1990.
- “C of O” refers to building certificate of occupancy.
- “CAE” refers to cross access easement.
- “CEP” refers to City civil engineering plan review, which is a review process independent of land use review led by the Community Development Department Planning Division and that is led by the Public Works Department Engineering Division through any application forms, fees, and review criteria as the Division might establish. A staff expectation is that CEP follows land use review and approval, that is, a final decision, and precedes building permit application.
- “County” refers to Marion County.
- “Director” refers to the Community Development Director.
- “exc.” means excluding.
- “EV” refers to electric vehicle.
- “FOC” refers to face of curb.
- “ft” refers to feet.
- “highway” refers to OR 219.
- “Hillyer” refers to Hillyer Lane. (Note that though the County assessor might label it “Hillyers”, it is “Hillyer” and signed as such in the field.)
- “inc.” means including.
- “max” means maximum.
- “min” means minimum.
- “Modal share” means the percentage of travelers using a particular type of transportation or number of trips using a type, as examples walking, cycling, riding transit, and driving.
- “Modal shift” means a change in modal share.
- “MUTCD” refers to *Manual on Uniform Traffic Control Devices* of the U.S. Department of Transportation (U.S. DOT) Federal Highway Administration (FHWA).
- “NE” means northeast.
- “NW” means northwest.
- “OAR” refers to Oregon Administrative Rules.
- “o.c.” refers to on-center spacing, such as of trees or shrubs.
- “ODOT” refers to the Oregon Department of Transportation.
- “OR 219” refers to Oregon Highway 219 / Hillsboro-Silverton Highway / Newberg Highway.

- “ORS” refers to Oregon Revised Statutes.
- “PGE” refers to electric utility Portland General Electric.
- “PU” refers to plant unit as WDO Table 3.06B describes.
- “PUE” refers to public utility easement, whether along and abutting public ROW (“streetside” PUE) or extending into or across the interior of private property (“off-street” PUE). In the context of property line adjustment, partition, or subdivision, the developer records through the plat with drawings and notes on the face of the plat. Absent this context, recordation is separate from land use review pursuant to a document template or templates established by PW and adapted by the developer to conform to land use conditions of approval. PW is the project manager for receiving, reviewing, accepting, obtaining City Council approval for, and recording public easement materials that a developer submits.

Note: Absent platting or re-platting, dedication of ROW and granting of public easements necessitates a process through Public Works (PW) and City Council acceptance separate from land use approval, which could take several weeks. Upon tentative land use approval by the Planning Commission (or City Council, where applicable such as for annexation), contact PW to begin and finish dedication and granting sooner. The City Council usually meets second and fourth Mondays, and agenda packet materials are due to the City Recorder by the prior Tuesday at noon.

- “PW” refers to Public Works (the department).
- “Root barrier” refers to that illustrated by PW SS&Ds, [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “ROW” refers to right-of-way.
- “RPZ” refers to root protection zone in the context of tree preservation.
- “SDCs” refers to system development charges, also known as impact fees.
- “SE” means southeast.
- “SDA” refers to site development area, the entire territory that is the subject of the land use application package.
- “sq ft” refers to square feet.
- “SS&Ds” refers to City PW [standard specifications and drawings](#).
- “Street trees” refer to trees that conform to the WDO, including 3.06.03A and Tables 3.06B & C, and that have root barriers where applicable per PW [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “SW” means southwest.
- “Tot.” means total.
- “TDP” means the Woodburn [Transit Development Plan](#) dated June 2023 and adopted via Resolution No. 2213 on June 12, 2023.
- “TDM” refers to transportation demand management, which means according to the TSP (p. 82), “a policy tool as well as a general term used to describe any action that removes single occupant vehicle trips from the roadway during peak travel demand periods”, and

according to Wikipedia as of October 13, 2020, “the application of strategies and policies to reduce travel demand, or to redistribute this demand in space or in time.”

- “TSP” means the Woodburn [Transportation System Plan \(TSP\)](#).
- “UGB” means urban growth boundary.
- “Walkway” refers to what would otherwise be called sidewalk except the paved walking surface is on private property outside of any of ROW or an easement granting public access. Also, see WDO 3.04.06.
- “Wide walkway”: See WDO 3.04.06C & D.1.
- “WDO” refers to the [Woodburn Development Ordinance](#).
- “WFD” refers to the Woodburn Fire District.
- “WTS” refers to the Woodburn Transit System.
- “Woodland” refers to [S.] Woodland Avenue. (The “S.” is in brackets because most maps indicate Woodland as North and South, but ODOT or the City hadn’t signed the street as such in the field.)
- “w/i” means within.
- “w/o” means without.
- “VCA” refers to vision clearance area as WDO 1.02 and 3.03.06 establish or as a specific condition establishes. “Sight triangle” is a synonym.

DR 22-26 Chick-fil-A:

Attachment 202: Conditioned Fees

All of the following conditioned fees are due as applicable, whether or not mentioned directly by a condition of approval.

Refer to Condition G3 and/or Attachment 201 for a dictionary/glossary, including acronyms and shorthand text.

Part A. Fee Provisions

1. Any and all conditioned fees are in addition to, and not in place or as discounts of, any existing charge or fee however termed ordinarily assessed based on any existing ordinance, resolution, or administrative policy, inc. adopted fee schedules. If and when the City amends any ordinance, resolution, or administrative policy, inc. a fee schedule, to increase a charge or fee that is (a) the same kind of charge or fee that is conditioned, (b) the amended charge or fee amount would exceed the amount conditioned, and (c) the increase takes effect before the conditioned fee is due, then the developer shall pay the greater amount.
2. Payments of conditioned fees shall reference a final decision case file number and the condition of approval letter/number designation, be it in a check memo field or through a cover or transmittal letter.
3. For fees due by building permit issuance, a developer may request the Director to allocate payments the same as allowed for fees in-lieu by WDO 4.02.12A.2, specifically, to pay across issuance of two or more structural building permits for the subject development.

For all administrative and logistical questions about payment of land use conditioned fees outside the context of assessment and payment through building permit, the developer is to contact the Administrative Assistant at (503) 982-5246 and refer to this attachment within the final decision, citing the case file number.

For payment method policy details, the developer is to contact the Finance Department at (503) 982-5222, option zero, for payment method policy details.

Part B. Fee Table

<i>Table 202B. Fee Table</i>					
<i>Condition Reference</i>	<i>Fee Type</i>	<i>Amount</i>	<i>Context</i>	<i>Timing</i>	<i>Staff Tracking:</i>
D1b(2)	Woodland parking lane fee in-lieu	\$4,118.40 per parking space assessed at min 5 spaces	See condition.	By building permit issuance	
D2	Street tree fee in-lieu for street trees omitted through building permit review or civil engineering plan (CEP) review, or, inspection missing tree fee	Along OR Hwy 219: \$500 per tree; Other frontages: \$950 per tree	Applies to omitted street trees, or, ones missing from required number upon inspection; WDO 4.02.12A	If building permit or CEP context, then by building permit issuance; if in inspection context, then prior to passing final inspection / obtaining certificate of occupancy	
D4	Bus shelter / enhanced bus stop	\$15,000	Transit Development Plan (TDP) Figures 63 & 68; WDO 3.01.09B	By building permit issuance	
D6	Electric power pole removal and line burial	\$271.11 per lineal ft of frontage assessed at min 441 ft	WDO 3.02.04B & 4.02.12A	By building permit issuance	
V3	Bus transit / transit service fee	\$166 per parking stall assessed for all stalls	See condition.	By building permit issuance	
V6f	Tree removal	Significant Tree: See context note; Insignificant tree: 50% of Significant Tree, per tree.	Per the Planning Division fee schedule , row "Significant Tree mitigation fee", per tree.	By building permit issuance	

Condition Reference	Fee Type	Amount	Context	Timing	Staff Tracking:
G6d through this 200 series attachment	Public Works Dept. (PW), or ODOT as applicable, civil engineering plan (CEP) review: Review by Planning Division.	See context note	Per the Planning Division fee schedule .	Upon CEP application to PW, or to ODOT as applicable; in any case no later than building permit issuance	
	Inspections by Planning Division	Public (street) improvements: zero; zero Building permit: zero; \$75	1st inspection or “walkthrough”; 2nd. 3rd is per the Planning Division fee schedule .	Inspection requests related to public (street) improvements and building permits	
	Any of (1) Bond / bonding / performance guarantee or (2) public improvements deferral through PW per WDO 3.01.02E: Specifically any that would allow or allows the developer to delay construction of street improvements beyond either final plat, as applicable, or building permit issuance, with the exception of street trees.	\$4,474	Serves as bond or deferral application review request min fee and isn’t a bond amount itself. Fee not applicable to warranty bonds or ordinary construction bonds if they do not authorize delay of construction of street improvements beyond building permit issuance. (See WDO 3.01.02E.)	If CEP context, then payment (through Planning Division) upon CEP application to PW; if developer applies for building permit review and there has been no CEP application to PW, then building permit issuance	

[General ledger (GL) account 363-000 3678 “Developer Contributions”.]