



102-05-2024
Permit Number

May 7, 2024
Date

CITY OF WOODBURN APPLICATION & PERMIT TO CONSTRUCT A PUBLIC IMPROVEMENT

The undersigned hereby makes application to construct the following additions, alterations, or extensions to public facilities (separate applications are required for each type of improvement):

IMPROVEMENT (Plans must be submitted): 300 Hillyers Lane (Chick-Fil-A Woodburn)

LOCATION: 300 Hillyers Lane

CONTRACTOR(S): ESI Construction

CONTACT PERSON NAME AND PHONE NUMBER: Eric Quevedo
208-501-3496, ericquevedo@esiconstruction.com

ESTIMATED VALUE OF IMPROVEMENTS: SEE ATTACHED

<u>X</u> WATER	<u>X</u> SEWER	<u>X</u> STREET
<u>X</u> APPROACH/SIDEWALK	<u>X</u> STORM	<u>X</u> OTHER

DATES DURING WHICH IMPROVEMENT IS TO BE CONSTRUCTED:

5/20/24 - 10/17/24

The applicant agrees to abide by all standards, rules, regulations, ordinances, and policies of the City of Woodburn relating to public improvements as now exist and as hereafter change or are amended.

TOTAL FEE AMOUNT: \$ 3,527.10 (
(FEE CALCULATED AS PER ORDINANCE #1795)

SIGNATURE OF APPLICANT: [Signature]

ADDRESS: P.O. Box 270571
San Diego, CA 92198

PERMIT APPROVED BY: D. Garcia Date May 7, 2024

ADDITIONAL CONDITIONS:

1. Construct in accordance with approved plans
2. Construct in accordance with city standards and specifications
3. Obtain proper approval/permits from other agencies requiring such approval and or permits
4. Contact George K prior to commencing work, 503-980-2492

Receipt No. _____

300 Hillyers Lane (Chick-Fil-A Woodburn)

PUBLIC IMPROVEMENT PERMIT FEE CALCULATIONS:
IN ACCORDANCE WITH ORDINANCE 1795.

Contract Cost Provided by Engineer of Record

1. CONSTRUCTION PERMIT COST:

A. Construction Cost = Mobilization + Franchise + Street and Roads:
\$126,355

Permit fee = \$3000.00 + 2% of that amount over \$100,000.00

= \$3000.00 + 2% of \$26,355 = \$3,527.10 **\$3,527.10**

TOTAL PERMIT COST **\$3,527.10**

CFA Woodburn - City of Woodburn Improvements on Woodland Avenue & Hillyer Lar



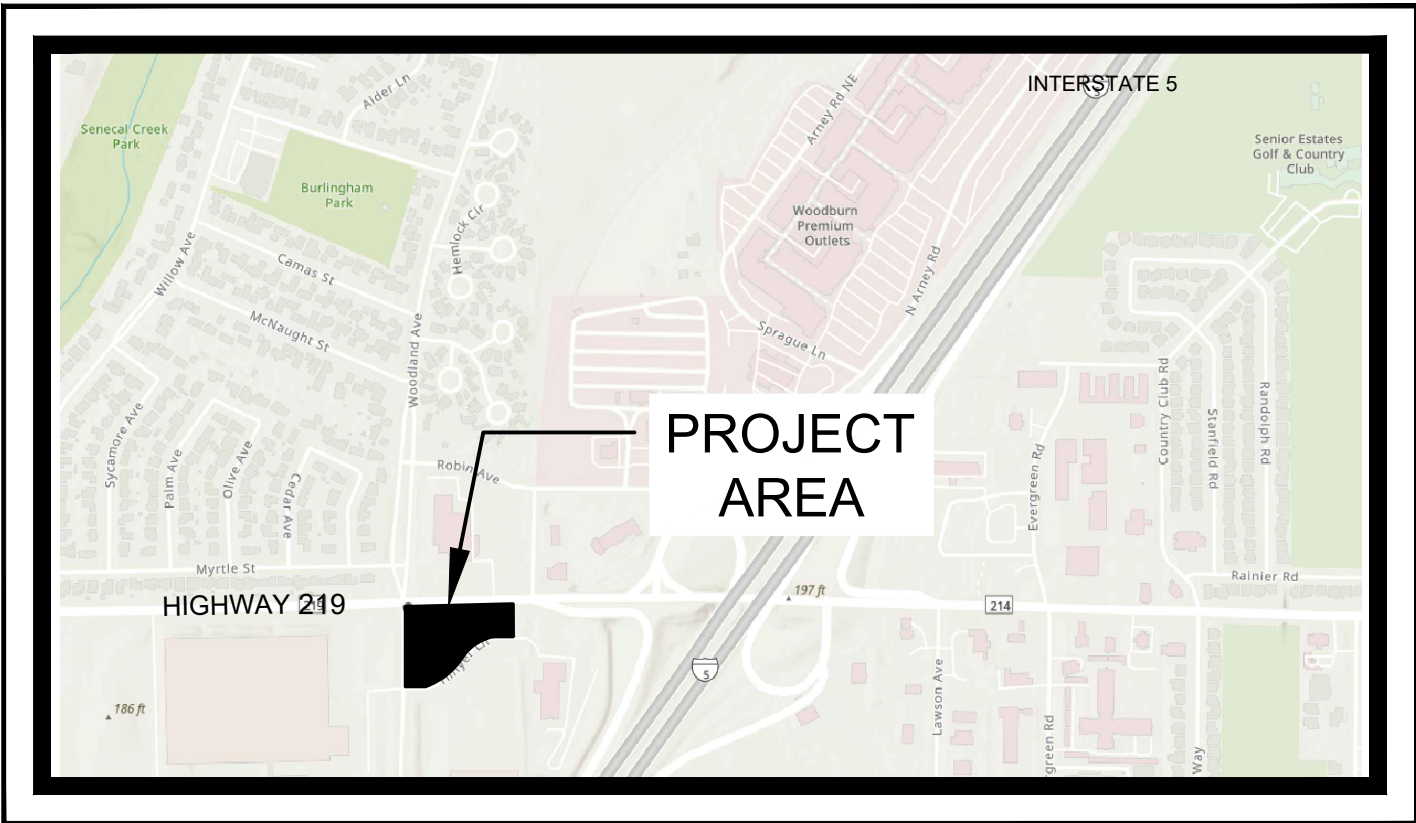
			Date: November 17, 2023		
Item #	Description (Furnish Labor, Materials and Equipment)	Quantity Take-off	Unit	Unit Price	Estimated Cost
Schedule A - City Public Improvements					
A-1	Mobilization	1	LS	\$ 2,500.00	\$ 2,500.00
A-2	Erosion Control	1	LS	\$ 5,000.00	\$ 5,000.00
A-3	Demolition of curb tight sidewalk, curb and gutter, ADA ramp	1	LS	\$ 10,000.00	\$ 10,000.00
A-4	Construct Standard Monolithic Curb and Gutter	166	LF	\$ 30.00	\$ 4,980.00
A-5	Construct Standard Concrete Sidewalk	5,414	SF	\$ 10.00	\$ 54,140.00
A-6	Construct ADA Ramp	3	EA	\$ 2,500.00	\$ 7,500.00
A-7	Relocate Existing two Street Signs & Stop Sign	1	LS	\$ 1,500.00	\$ 1,500.00
A-8	Construct Standard Concrete for Commercial Driveway	683	SF	\$ 25.00	\$ 17,075.00
A-9	Construct Asphalt Paving Restoration	16	SY	\$ 60.00	\$ 960.00
A-10	Install 4 Street Light Poles, Including Controls, Junction Boxes, Conduits, etc.	1	LS	\$ 16,000.00	\$ 16,000.00
A-11	Install 12" PVC Storm Sewer Connection to existing manholes	2	EA	\$ 2,000.00	\$ 4,000.00
A-12	Install 6" PVC Sanitary Sewer Connection to existing main	1	LS	\$ 1,200.00	\$ 1,200.00
A-13	Install Gas Utility Line Connection to existing main	1	LS	\$ 1,500.00	\$ 1,500.00
Total Estimated Construction Cost For Public Improvements					\$ 126,355

CHICK-FIL-A WOODBURN AT HIGHWAY 219 & WOODLAND

300 S WOODLAND AVENUE
WOODBURN, OREGON 97071, MARION COUNTY
CONSTRUCTION DOCUMENTS

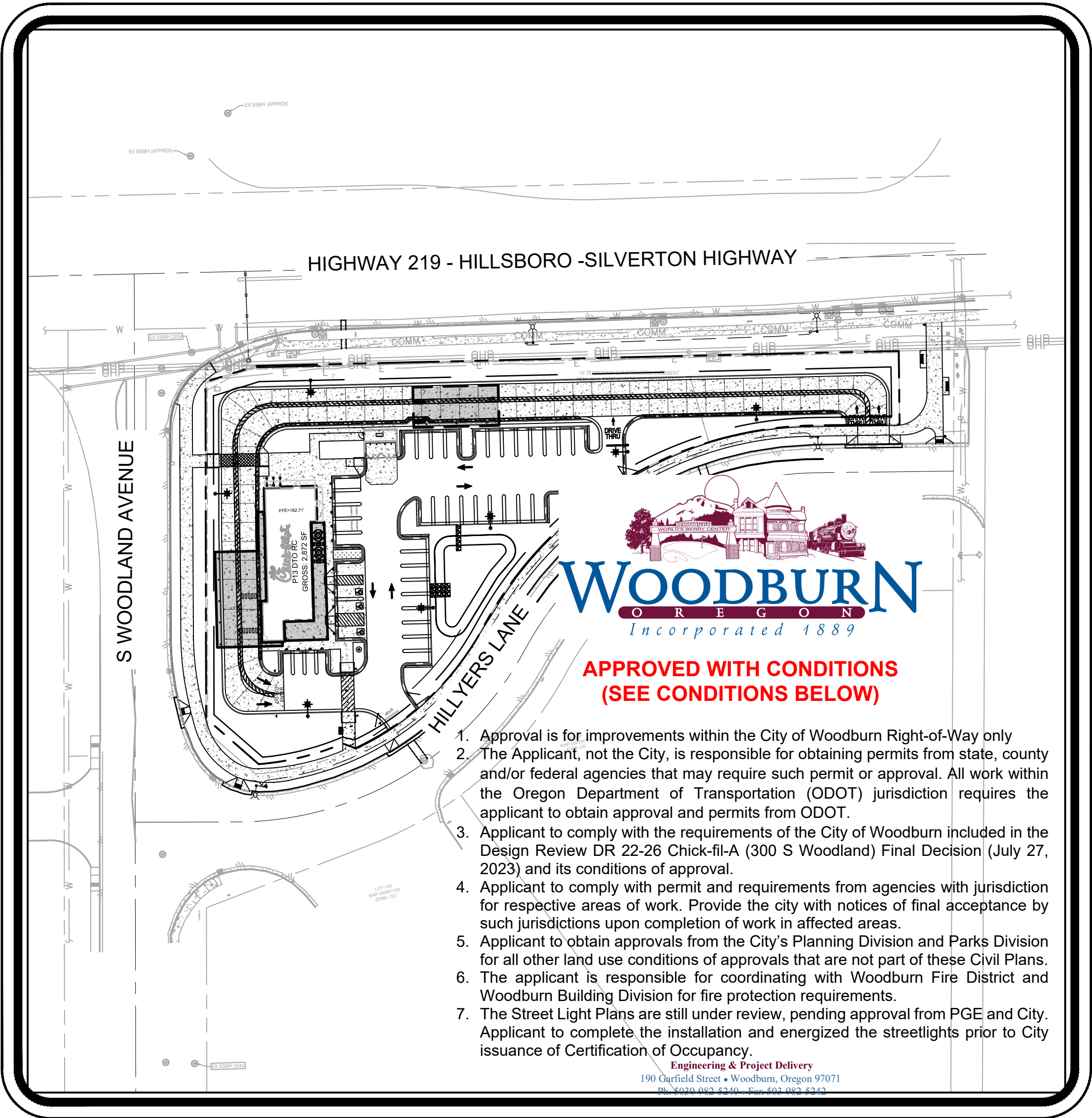
SHEET INDEX

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS & DEMO PLAN
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C6.3	STORM DETAILS 1
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L1.7	PLANTING SOIL SPECIFICATIONS
L1.8	TURF & GRASSES SPECIFICATIONS
L1.9	PLANTING SPECIFICATIONS
L2.0	IRRIGATION PLAN
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L2.5	IRRIGATION DETAILS & NOTES
L2.6	IRRIGATION DETAILS
L2.7	IRRIGATION SPECIFICATIONS
IL-1.0	ILLUMINATION LEGEND
IL-2.0	ILLUMINATION PLAN
ESC0.0	COVER
ESC0.2	ESCP NOTES
ESC1.0	EX. COND AND DEMO
ESC2.0	UTILITY LAYOUT
ESC3.0	VERTICAL CONSTRUCTION
ESC4.0	FINAL STABILIZATION
ESC5.0	ESCP DETAILS 1
ESC6.0	ESCP DETAILS 2



VICINITY MAP

SCALE: NTS



STORM DRAINAGE CONSTRUCTION NOTES

1. ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE REQUIREMENTS OF THE UNIFORM PLUMBING CODE, AND THE APPLICABLE REQUIREMENTS OF OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE CITY OF WOODBURN ENGINEERING DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS.
2. NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND, (EXCEPT IN AREAS WHERE DIP IS SPECIFIED), THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERS, ROOFED PATIOS, CARPORTS, COVERED WALKS, COVERED DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES.
3. LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
5. RIM ELEVATIONS OF MANHOLES AND CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE, FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
6. ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.
7. CHANGES IN DIRECTION OF DRAINAGE PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
8. INLET AND OUTLET CONNECTIONS SHALL BE MADE BY THE USE OF A FLEXIBLE COMPRESSION JOINT NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINT SHALL BE EMBEDDED IN THE MANHOLE BASE. MANHOLES HAVE A SMOOTH, UNIFORM WATERWAY WITH CHANGES OF DIRECTION MADE WITH THE APPROPRIATE SWEEP OFFSET AS PER THE OREGON PLUMBING SPECIALTY CODE. OPEN-GRATE LIDS WILL NOT BE ALLOWED ON ANY MANHOLE.

1. SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY, CITY OF WOODBURN ENGINEERING DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS, ODOT AND THE UNIFORM PLUMBING CODE. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC PIPE CONFORMING TO ASTM SPECIFICATION D3034 (SDR-35), UNLESS NOTED OTHERWISE.
2. NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS AND DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES. LATERALS SHALL BE INSTALLED AT A MIN. 2% SLOPE UNLESS NOTED ON THE PLANS.
3. HYDROSTATIC AND AIR TESTING OF SANITARY LINES AND MANHOLES SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE, OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY, AND CITY OF MEDFORD STANDARDS. ALL NECESSARY TESTS SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE ENGINEER.
4. LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
5. FINISHED RIM ELEVATIONS OF CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE, FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
6. PIPE BEDDING AND BACKFILL SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF MEDFORD STANDARDS.
7. SANITARY SEWER CLEANOUT CONSTRUCTION SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF MEDFORD STANDARDS.
8. A MINIMUM OF TWO FEET (2) HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERLINES AND SANITARY AND STORM MANHOLES. ALL CONSTRUCTION MUST MEET DEQ AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
9. ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.

THE WET WEATHER CONSTRUCTION SEASON IS BETWEEN OCTOBER 1 ST AND MAY 31ST. THE CONTRACTOR SHALL FOLLOW THE GUIDELINES FOR WET WEATHER CONSTRUCTION AS OUTLINED BELOW AND ALSO AS REQUIRED BY THE CITY.

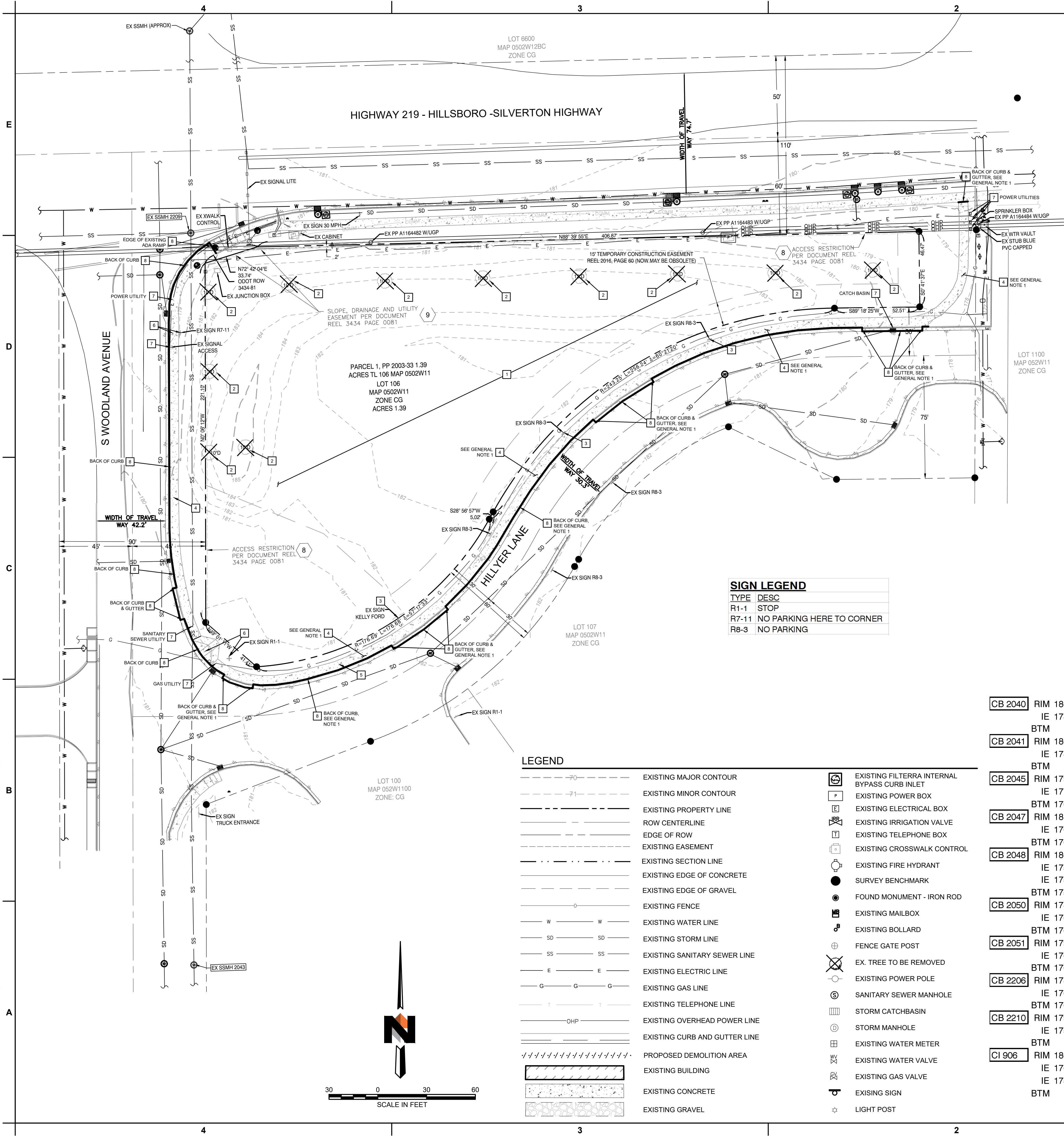
1. GROUND SURFACES EXPOSED DURING THE WET SEASON SHALL HAVE TEMPORARY GRASS COVER MEASURES FULLY ESTABLISHED BY OCTOBER 15, OR OTHER COVER MEASURES WILL HAVE TO BE IMPLEMENTED UNTIL ADEQUATE GRASS COVERAGE IS ACHIEVED. TO ESTABLISH AN ADEQUATE GRASS STAND FOR CONTROLLING EROSION BY OCTOBER 15, IT IS RECOMMENDED THAT SEEDING AND MULCHING OCCUR BY SEPTEMBER 1.
2. HYDROMULCH SHALL BE APPLIED WITH GRASS SEED AT A RATE OF 200 LB/ACRE ON SLOPES 2.5 TO 1 OR STEEPER. HYDROSEED AND MULCH SHALL BE APPLIED WITH A BONDING AGENT (BONDER). APPLICATION RATE AND METHODOLOGY TO BE IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.
3. MULCH SHALL BE SPREAD UNIFORMLY IMMEDIATELY FOLLOWING SEEDING.
4. SOIL PREPARATION - TOP SOIL SHALL BE PREPARED ACCORDING TO LANDSCAPE PLANS OR RECOMMENDATIONS OF GRASS SEED SUPPLIER. IT IS RECOMMENDED THAT SLOPES BE ROUGHENED BEFORE SEEDING BY "TRACH-K-WALKING," (DRIVING A CRAWLING TRACTOR UP AND DOWN SLOPES TO LEAVE A PATTERN OF CLEAT IMPRINTS PARALLEL TO SLOPE CONTOURS) OR OTHER METHOD TO PROVIDE MORE STABLE SITES FOR SEEDS TO REST.
5. SEEDING - RECOMMENDED EROSION CONTROL GRASS SEED MIXES ARE AS FOLLOWS. SIMILAR MIXES DESIGNED TO ACHIEVE EROSION CONTROL MAY BE SUBSTITUTED IF APPROVED BY JURISDICTION.
 1. DWARF GRASS MIX (LOW HEIGHT, LOW MAINTENANCE):
DWARF PERENNIAL RYEGRASS, 80% BY WEIGHT
CREEPING RED FESCUE, 20% BY WEIGHT
APPLICATION RATE: 200 POUNDS MINIMUM PER ACRE
6. FERTILIZATION FOR GRASS SEED - IN ACCORDANCE WITH SUPPLIER'S RECOMMENDATIONS. DEVELOPMENT AREAS WITHIN 50 FEET OF WATER BODIES AND WETLANDS MUST USE A NON-PHOSPHORUS FERTILIZER.
7. WATERING - SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE TO ESTABLISH GRASS. SUPPLY WATER AS NEEDED, ESPECIALLY IN ABNORMALLY HOT OR DRY WEATHER CONDITIONS OR ON ADVERSE SITES. WATER APPLICATION RATES SHOULD BE CONTROLLED TO PROVIDE ADEQUATE MOISTURE CAUSING RUNOFF.
8. RE-SEEDING - AREAS WHICH FAIL TO ESTABLISH GRASS COVER ADEQUATE TO PREVENT EROSION SHALL BE RESEED AS SOON AS SUCH AREAS ARE IDENTIFIED, AND ALL APPROPRIATE MEASURES TAKEN TO ESTABLISH ADEQUATE COVER. AREAS WITH LESS THAN 95% GERMINATION WILL BE REJECTED AND NEED TO BE RESEED.

- NOTIFY ENGINEER FIVE (5) BUSINESS DAYS BEFORE COMMENCEMENT OF WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES SHOWN HEREON ARE BASED ON LOCATE MARKS REQUESTED FOR THIS SURVEY PER ONE CALL PUBLIC LOCATE TICKET 21069910. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR FOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THE PLAN. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF OSHA.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY ALL APPROPRIATE CODES, LAWS AND REGULATIONS THAT GOVERN CONSTRUCTION WITHIN THE CITY OF WOODBURN.
- THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO CONSTRUCTION DOCUMENTS AND PROJECT SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS FOR INSPECTION AND TESTING.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION. CONCEALED CONSTRUCTION WITHOUT THE REQUIRED EXPOSURE SHALL BE SUBJECT TO INSPECTION AT THE CONTRACTOR'S EXPENSE.
- SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND WHAT IS REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON GRADED SLOPES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.
- DEMOLISH/REMOVAL NOT SPECIFICALLY LISTED, BUT REQUIRED TO COMPLETE SITE/UTILITY AND GRADING PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE AND RECYCLED/DISPOSED OF ACCORDING TO LOCAL REGULATIONS.
- FIELD WORK WAS COMPLETED ON FEBRUARY 21, 2022. STORM DRAINAGE AND SANITARY SEWER PIPE SIZES WERE OBSERVED FROM THE SURFACE WHERE VISIBLE. SIZES MAY VARY. REFER TO CITY OF WOODBURN PROVIDED PLANS OR CONTRACTOR TO VERIFY.
- EASEMENTS SHOWN HEREON WERE PROVIDED BY FIRST AMERICAN TITLE INSURANCE CO. COMMITMENT NCS-1105327-SD DATED DECEMBER 15, 2021
- THIS DOES NOT REPRESENT A BOUNDARY SURVEY UNDER ORS 209.250, PRELIMINARY SURVEY INVESTIGATION MAY HAVE DETERMINED THE LOCATION OF RECORD BOUNDARY LINES AS THEY FIT UPON FOUND AND SHOWN MONUMENTS.
- BOUNDARY RESOLUTION AND FOUND MONUMENTS ARE PER PARTITION PLAT NO. 2033-33

SHEET NUMBER

C0.1

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SIGN LEGEND	
TYPE	DESC
R1-1	STOP
R7-11	NO PARKING HERE TO CORNER
R8-3	NO PARKING

LEGEND	
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING PROPERTY LINE
	ROW CENTERLINE
	EDGE OF ROW
	EXISTING EASEMENT
	EXISTING SECTION LINE
	EXISTING EDGE OF CONCRETE
	EXISTING EDGE OF GRAVEL
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING CURB AND GUTTER LINE
	PROPOSED DEMOLITION AREA
	EXISTING BUILDING
	EXISTING CONCRETE
	EXISTING GRAVEL
	EXISTING FILTERRA INTERNAL BYPASS CURB INLET
	EXISTING POWER BOX
	EXISTING ELECTRICAL BOX
	EXISTING IRRIGATION VALVE
	EXISTING TELEPHONE BOX
	EXISTING CROSSWALK CONTROL
	EXISTING FIRE HYDRANT
	SURVEY BENCHMARK
	FOUND MONUMENT - IRON ROD
	EXISTING MAILBOX
	EXISTING BOLLARD
	FENCE GATE POST
	EX. TREE TO BE REMOVED
	EXISTING POWER POLE
	SANITARY SEWER MANHOLE
	STORM CATCHBASIN
	STORM MANHOLE
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING GAS VALVE
	EXISTING SIGN
	LIGHT POST

GENERAL NOTES

- HILLIER LANE AND HIGHWAY 219 (HILLSBORO-SILVERTON HIGHWAY) ARE UNDER ODOT JURISDICTION. NO WORK IS BEING PROPOSED ON HIGHWAY 219. ALL WORK BEING PROPOSED ALONG HILLIER LANE WILL BE PERFORMED UNDER A SEPARATE ODOT PERMIT.
- WOODLAND AVENUE IS UNDER CITY OF WOODBURN JURISDICTION.
- SEE DEMOLITION NOTES IN GENERAL NOTES SHEET C0.1.

DEMOLITION NOTES

- CONTRACTOR TO CLEAR AND GRUB AREA OF ALL DEBRIS, VEGETATION, AND ANY OTHER DELETERIOUS MATERIAL IN PREPARATION FOR GRADING OPERATIONS.
- REMOVE EXISTING TREE IN PREPARATION FOR GRADING OPERATIONS.
- REMOVE EXISTING SIGN.
- REMOVE EXISTING SIDEWALK WITHIN SAWCUT LIMITS.
- SIDEWALK TO BE REMOVED UNDER SEPARATE ODOT PERMIT.
- REMOVE, SAVE, AND RELOCATE EXISTING OBJECT. SEE PLAN FOR NEW LOCATION.
- PROTECT IN PLACE.
- PROPOSED SAWCUT SHALL BE PERFORMED IN A CLEAN VERTICAL MANNER. SEE PLANS FOR LOCATION OF SAWCUT.

STORM/SEWER STRUCTURE TABLE

CB 2040	RIM 180.53 IE 178.20 12" PVC (SW) BTM 180.41	C1 2211	RIM 180.41 IE 176.16 12" PVC (E) BTM 180.41	DW 2207	RIM 178.65 IE 174.45 12" PVC (W) IE 174.45 12" PVC (SE) IE 174.35 14" CONC (N) IE 174.25 14" CONC (S) BTM
CB 2041	RIM 180.74 IE 178.01 12" PVC (NW) BTM	C1 2362	RIM 180.24 IE 175.89 12" PVC (W) IE 175.89 12" PVC (E)	DW 2208	RIM 178.96 12" METAL (E) IE 174.71 14" CONC (N) IE 174.66 14" CONC (S) BTM 178.96
CB 2045	RIM 179.91 IE 177.11 12" CONC (W) BTM 176.51	C1 2364	RIM 180.16 IE 175.16 12" PVC (E) IE 175.06 12" PVC (S) BTM 175.06	DW 2366	RIM 180.23 IE 175.08 12" PVC (W) IE 175.03 12" PVC (N) IE 174.88 12" PVC (E) BTM
CB 2047	RIM 181.82 IE 176.52 12" PVC (NW) BTM 176.52	C1 2365	RIM 180.17 IE 175.22 12" PVC (W) IE 175.22 12" PVC (E) BTM	CI/TW 2361	RIM 180.91
CB 2048	RIM 180.89 IE 175.89 8" PVC (E) IE 175.84 12" PVC (N) BTM 175.79	DW 2042	RIM 181.11 IE 173.81 14" CONC (N) IE 173.81 12" PVC (E) IE 173.81 12" PVC (NE) IE 173.81 12" PVC (SE) IE 173.66 14" CONC (S) BTM	CI/TW 2363	RIM 180.14
CB 2050	RIM 178.56 IE 176.36 8" PVC (W) BTM 176.31	DW 2044	RIM 181.64 14" CONC (N) IE 173.39 14" CONC (S) BTM	CI/TW 2367	RIM 181.16
CB 2051	RIM 179.26 IE 176.11 12" PVC (W) BTM 176.16	DW 2046	RIM 182.19 IE 176.49 12" PVC (NE) IE 175.84 12" PVC (SE) IE 174.54 12" PVC (SW) BTM	CI/TW	(APPROXIMATE)
CB 2206	RIM 178.22 IE 176.32 12" PVC (N) BTM 176.32	DW 2049	RIM 181.45 IE 175.85 12" PVC (E) IE 175.80 12" PVC (S) IE 175.80 12" PVC (SW)	SSMH 2043	RIM 182.28 CL 158.38 14" PVC (N) CL 158.38 14" PVC (S)
CB 2210	RIM 179.67 IE 175.67 12" METAL (W) BTM			SSMH 2209	RIM 179.27 IE 158.72 15" PVC (N) IE 158.72 10" UNK (W) IE 158.67 15" PVC (S)
CI 906	RIM 180.09 IE 176.44 12" PVC (W) IE 175.14 12" PVC (E) BTM				



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



309 SW 6TH AVENUE, #700
PORTLAND, OREGON 97204
971-280-8641



CHICK-FIL-A
219 AND WOODLAND
WOODBURN, OREGON

FSR# 05192

REVISION SCHEDULE	
NO.	DATE
1	DECEMBER 2023

DESCRIPTION	
NO.	DESCRIPTION
1	DECEMBER 2023

CIVIL'S PROJECT #	14866.01
PRINTED FOR	BID SET
DATE	DECEMBER 2023
DRAWN BY	JLG

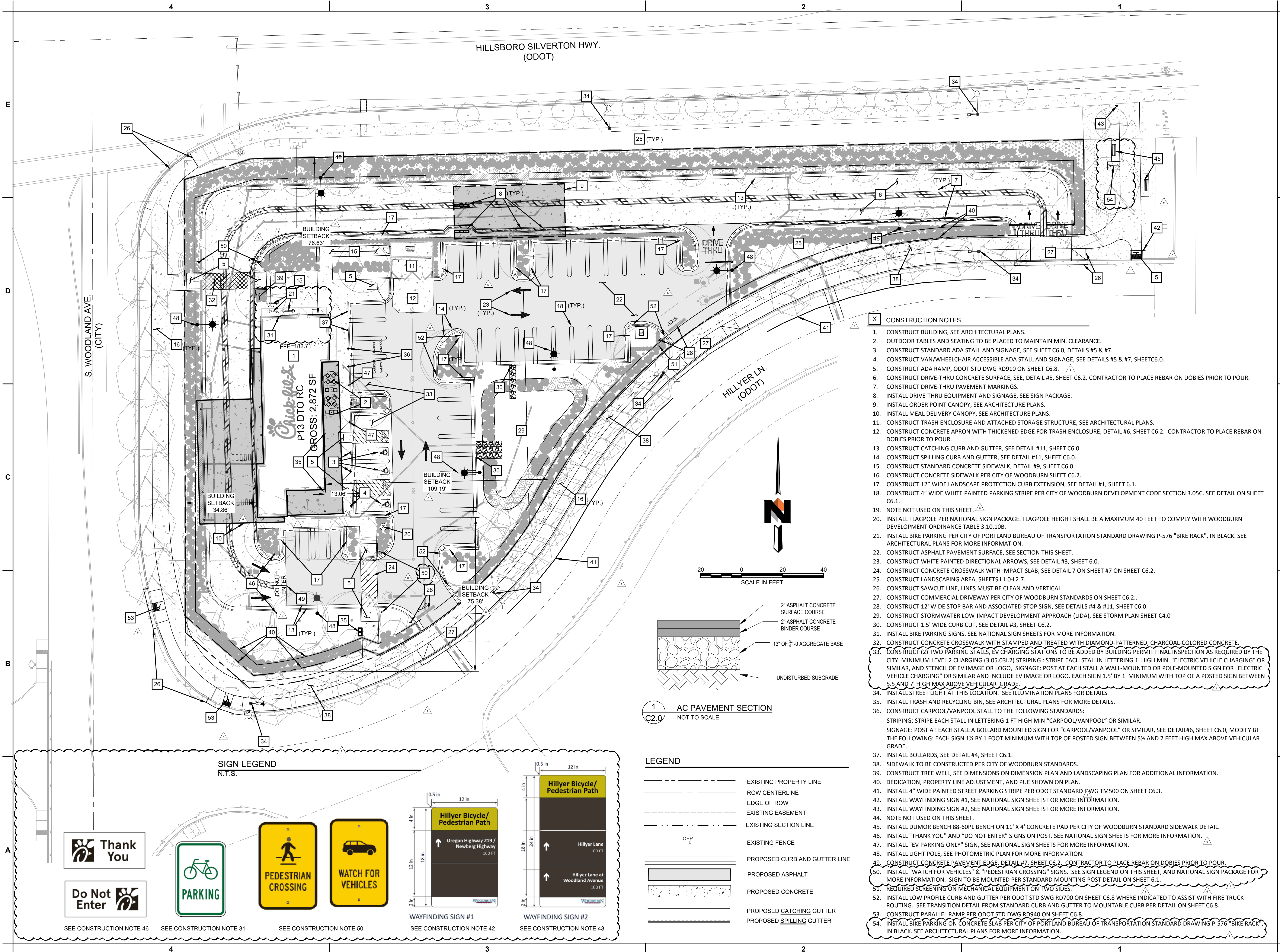
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SHEET
EXISTING CONDITIONS
& DEMO PLAN

SHEET NUMBER

C1.0

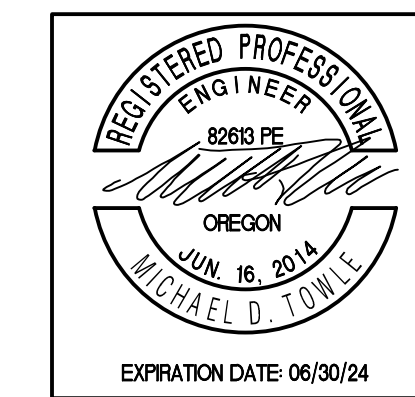
C:\dowl_p\dwg\0398563\SC-CS-SI-14866.dwg PLOT DATE 2024-4-25 11:48 SAVED DATE 2024-04-24 11:35 USER: rfhune



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



309 SW 6TH AVENUE, #700
PORTLAND, OREGON 97204
971-280-8641



CHICK-FIL-A
219 AND WOODLAND
WOODBURN, OREGON

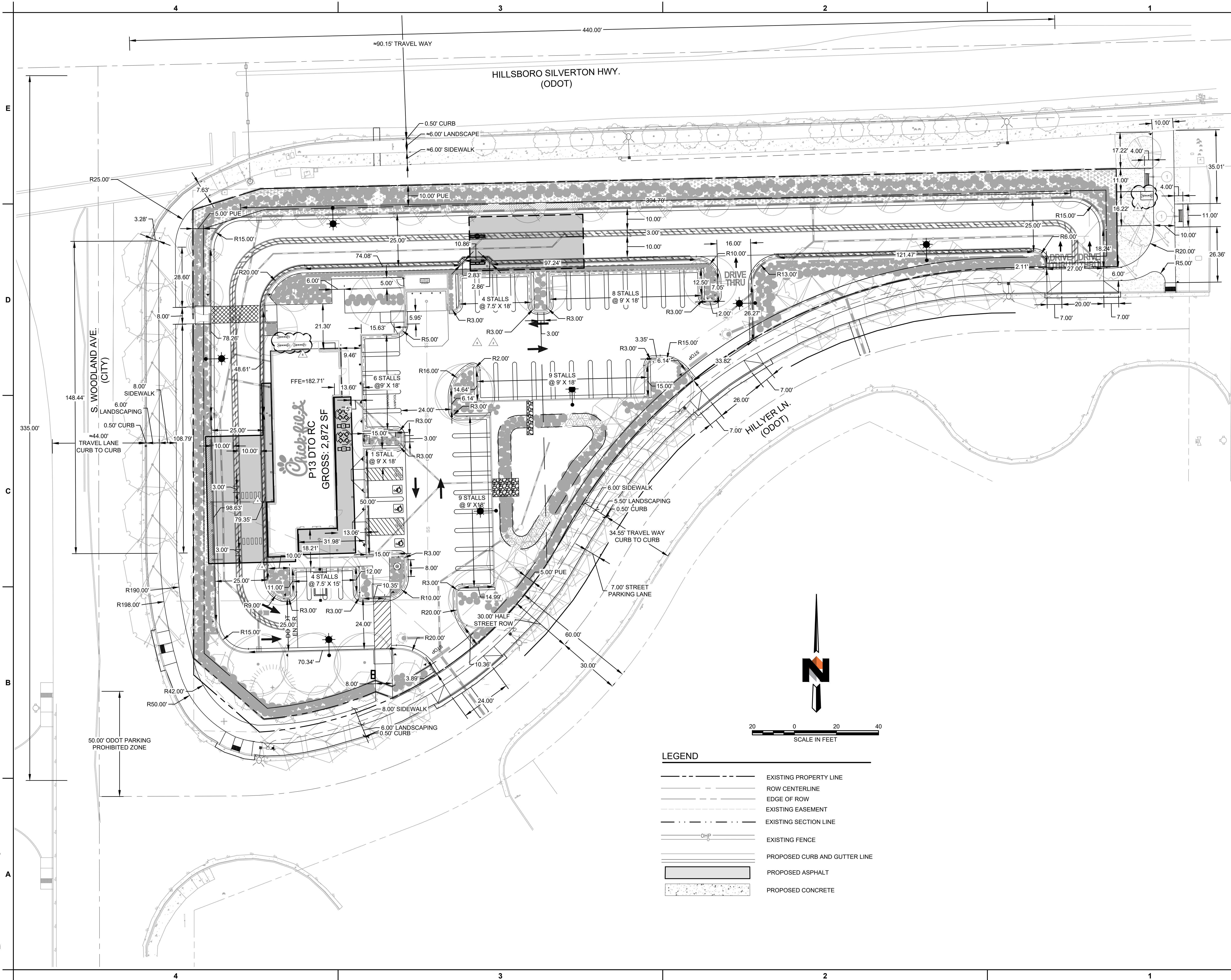
FSR# 05192

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
△	12/01/23	DESIGN REVISIONS
△	12/21/23	BID SET
△	01/10/24	BID SET
△	2/26/24	REVISION 2
△	4/25/24	REVISION 3

CIVIL'S PROJECT #		14866.01
PRINTED FOR	PERMIT	
DATE	DECEMBER 2023	
DRAWN BY	JLG	
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SHEET		

SITE PLAN
SHEET NUMBER
C2.0

C:\dowl_p\dwg\038563\SC-CS-SI-14866.dwg PLOT DATE 2024-4-5 11:45 SAVED DATE 2024-04-05 11:26 USER: rthune



LEGEND

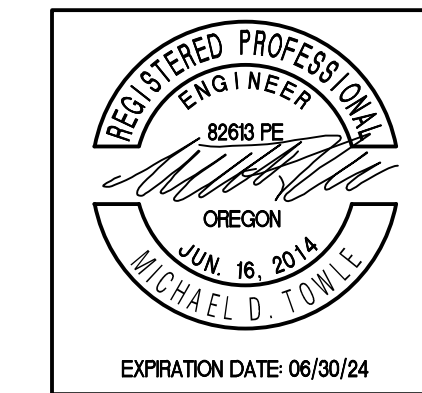
- EXISTING PROPERTY LINE
- ROW CENTERLINE
- EDGE OF ROW
- EXISTING EASEMENT
- EXISTING SECTION LINE
- EXISTING FENCE
- PROPOSED CURB AND GUTTER LINE
- PROPOSED ASPHALT
- PROPOSED CONCRETE



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CHICK-FIL-A
219 AND WOODLAND
WOODBURN, OREGON

FSR# 05192

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	11/13/23	CITY COMMENTS
2	12/21/23	BID SET
3	02/23/24	PERMIT SET
4	04/05/24	REVISION 3

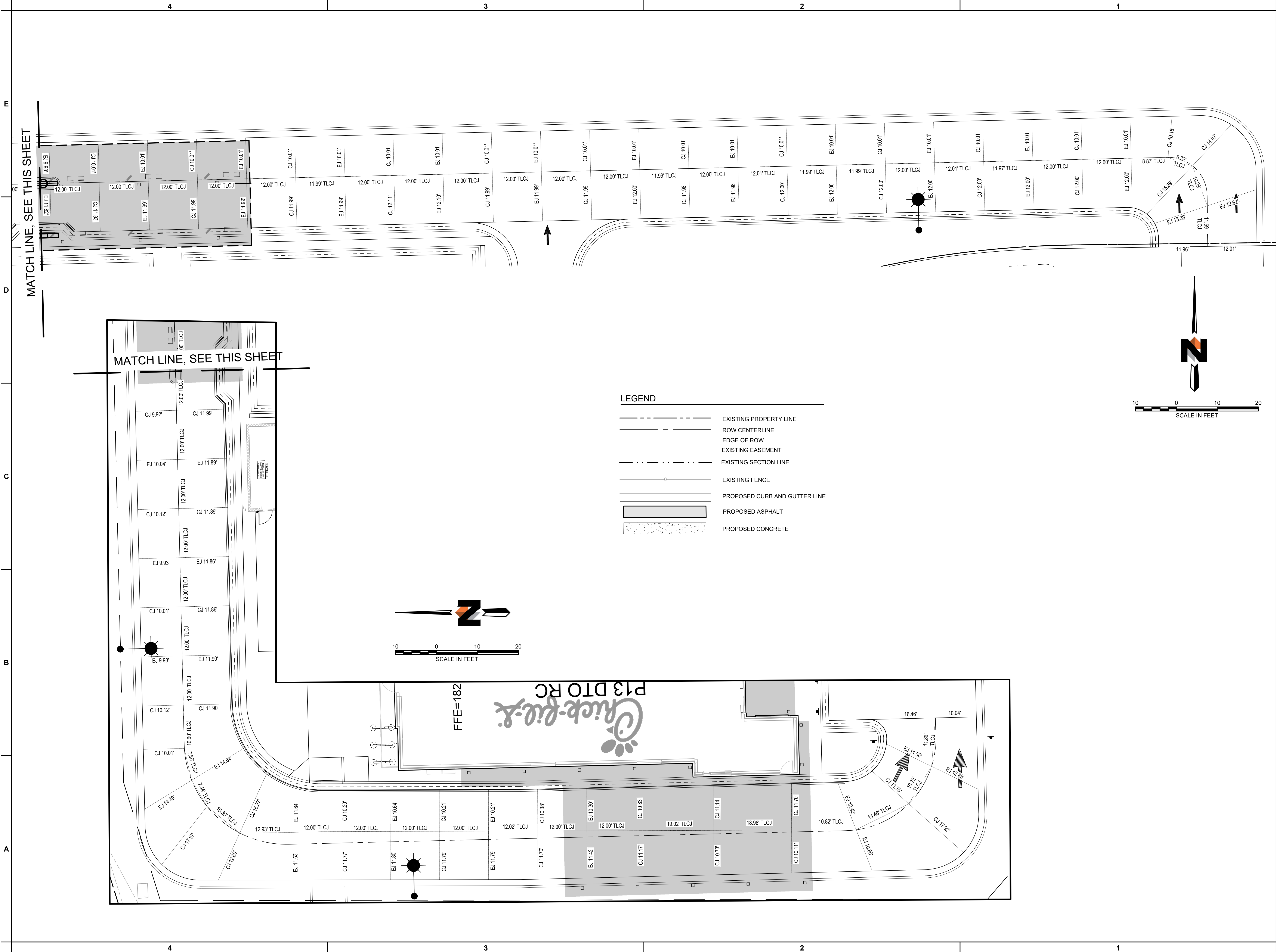
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DIMENSION PLAN
SHEET NUMBER

C2.1

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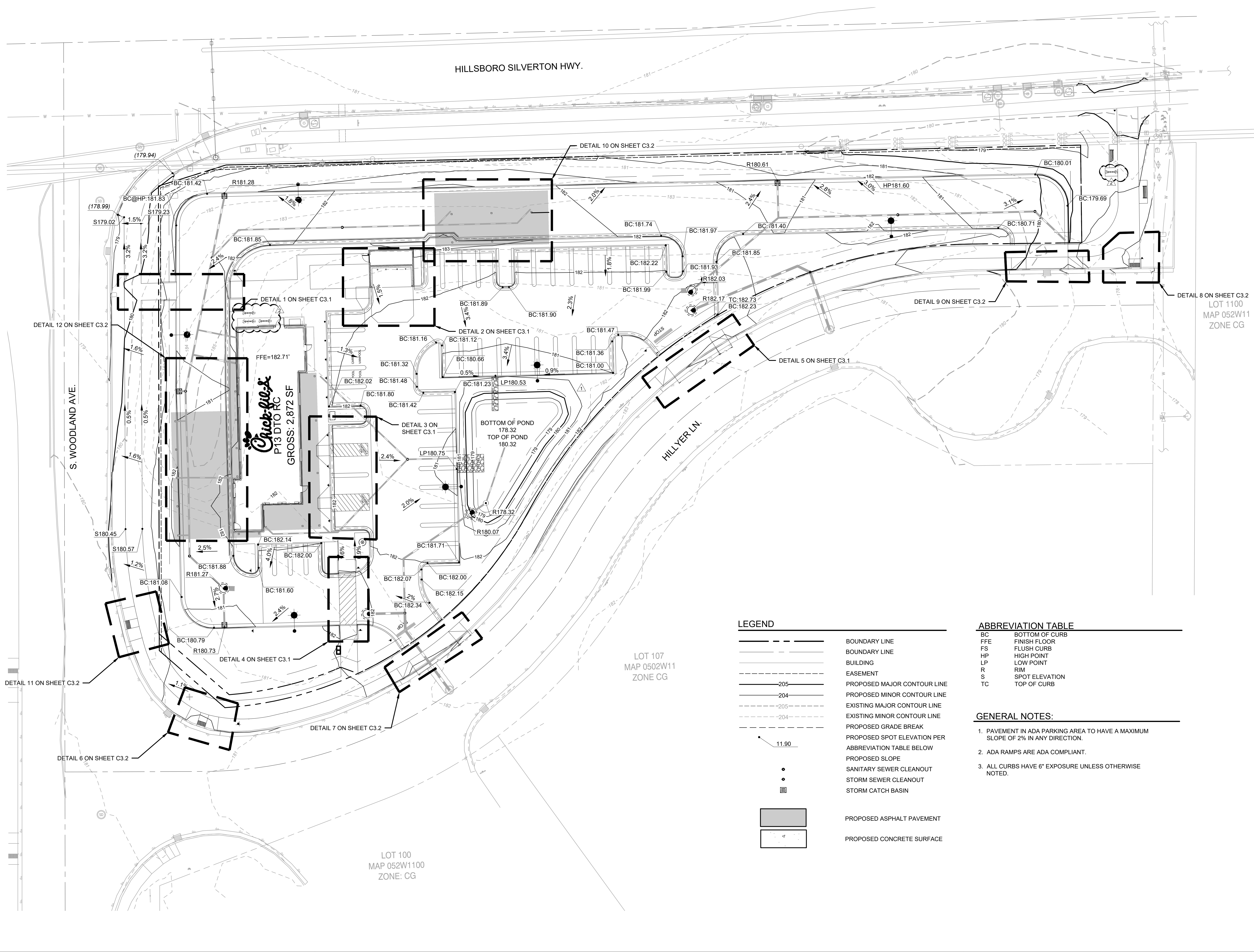
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SHEET

DRIVE-THRU PLAN

SHEET NUMBER

C2.2

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FSR# 05192

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	02/23/24	PERMIT SET
2	04/05/24	REVISION 2

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SHEET		

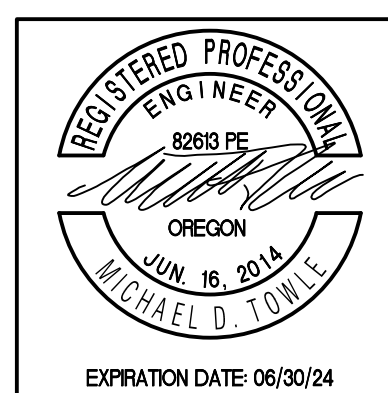
GRADING PLAN
PERMIT SET
SHEET NUMBER
C3.0



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WOODBURN, OREGON

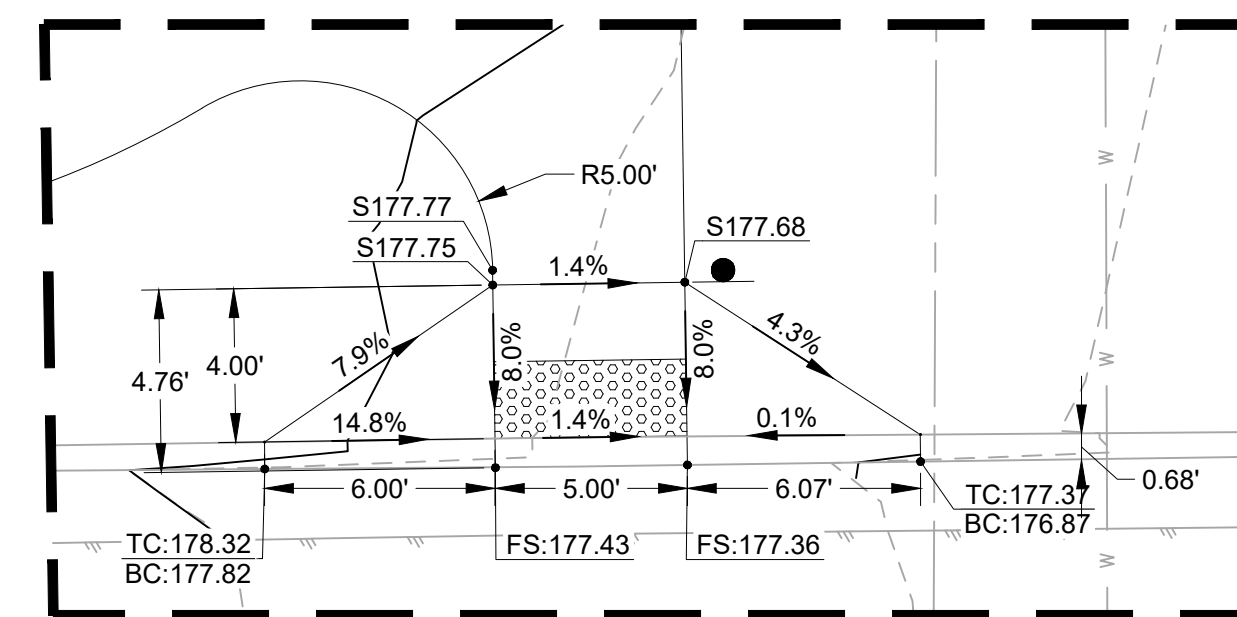
FSR# 05192

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

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SHEET

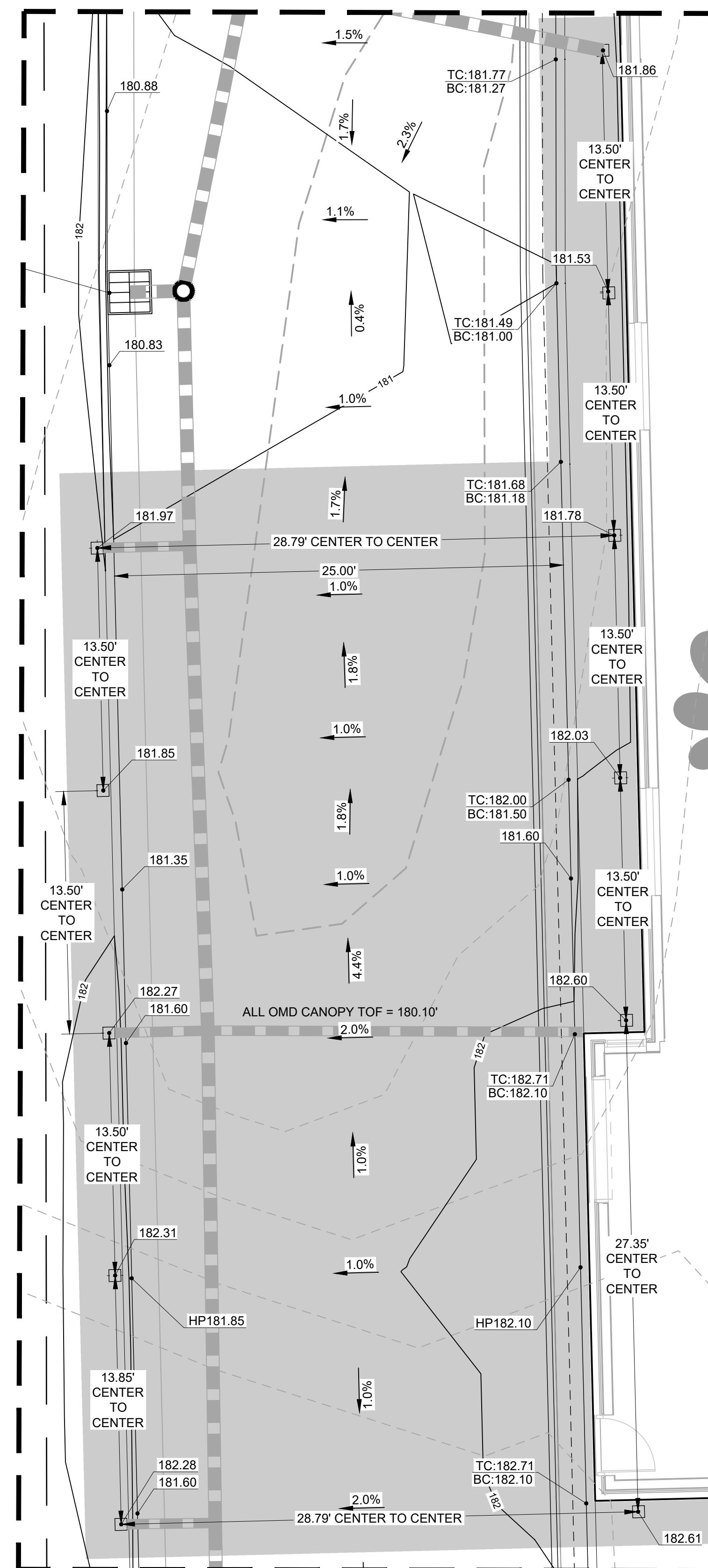
GRADING DETAILS 2

C3.2



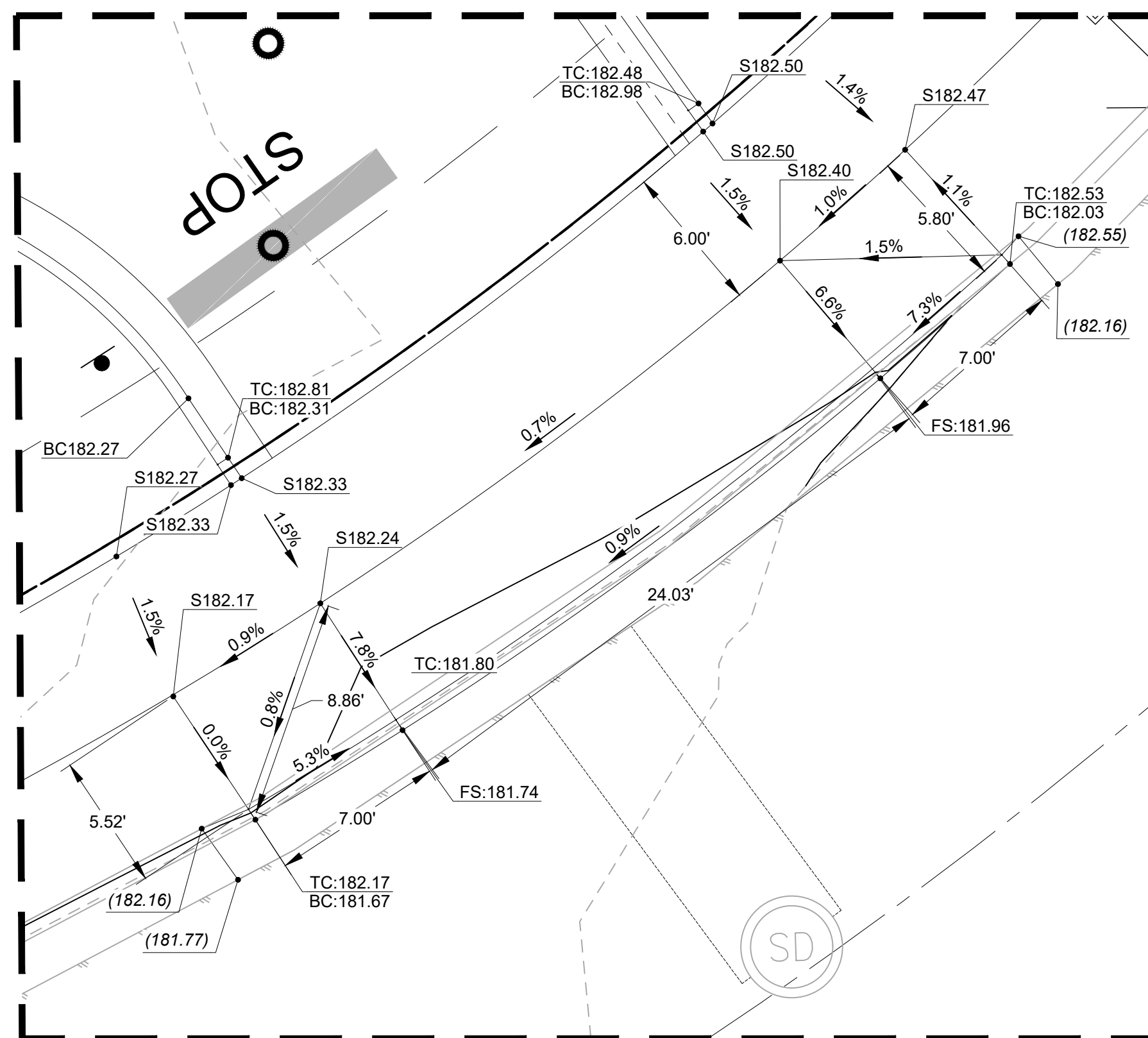
GRADING DETAIL 8

SCALE: 1" = 5'



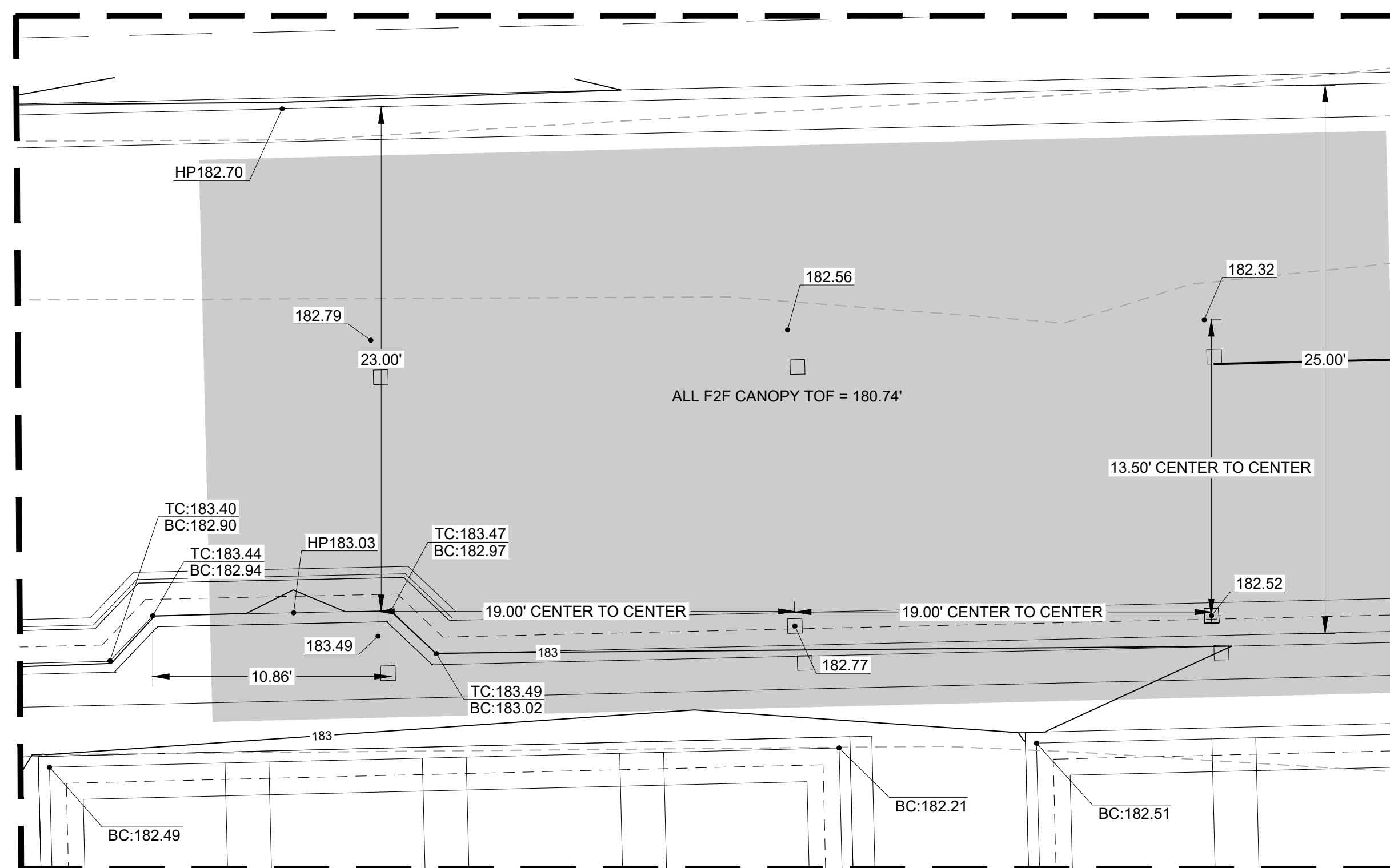
GRADING DETAIL 12

SCALE: 1" = 5'



GRADING DETAIL 7

SCALE: 1" = 5'



GRADING DETAIL 10

SCALE: 1" = 5'















ABBREVIATION TABLE

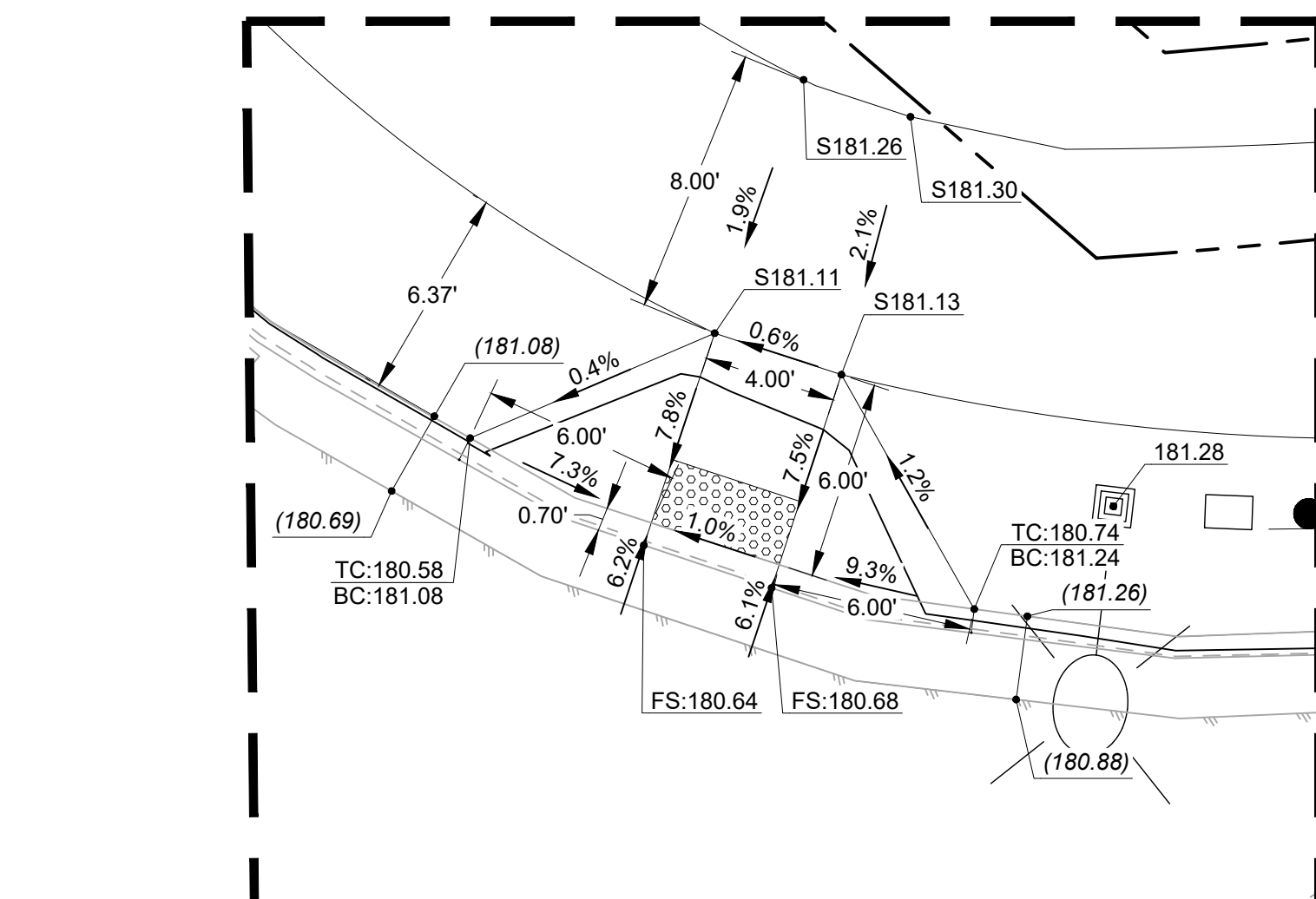
BC	BOTTOM OF CURB
FFE	FINISH FLOOR
FS	FLUSH CURB
HP	HIGH POINT
LP	LOW POINT
R	RIM
S	SPOT ELEVATION
TC	TOP OF CURB
TOF	TOP OF FOOTING

GENERAL NOTES:

1. PAVEMENT IN ADA PARKING AREA TO HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
2. ALL CURBS HAVE 6" EXPOSURE UNLESS OTHERWISE NOTED.

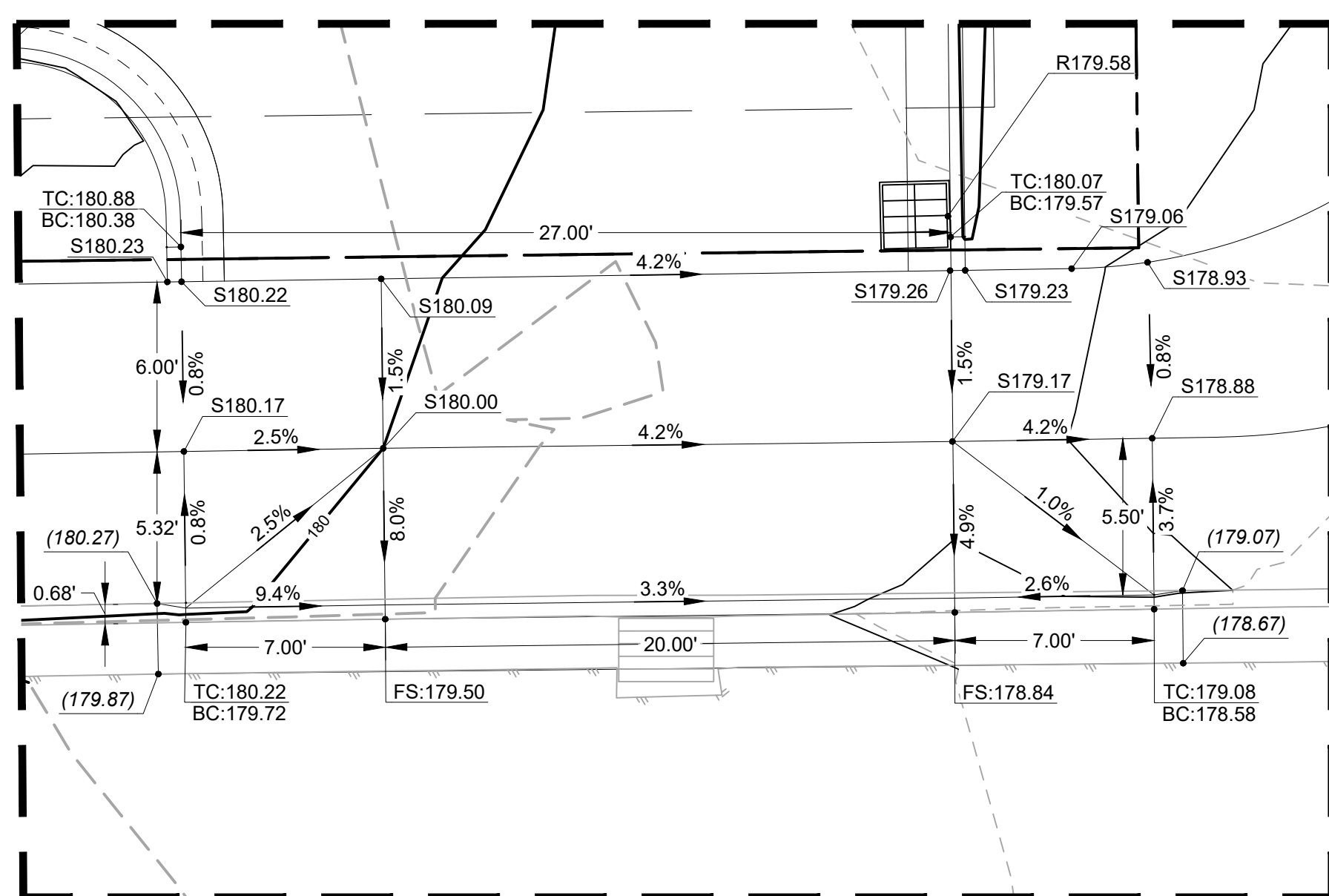
LEGEND

	BOUNDARY LINE
	BOUNDARY LINE
	BUILDING
	EASEMENT
	PROPOSED MAJOR CONTOUR LINE
	PROPOSED MINOR CONTOUR LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	PROPOSED GRADE BREAK
	PROPOSED SPOT ELEVATION PER ABBREVIATION TABLE BELOW
	PROPOSED SLOPE
	SANITARY SEWER CLEANOUT
	STORM SEWER CLEANOUT
	STORM CATCH BASIN



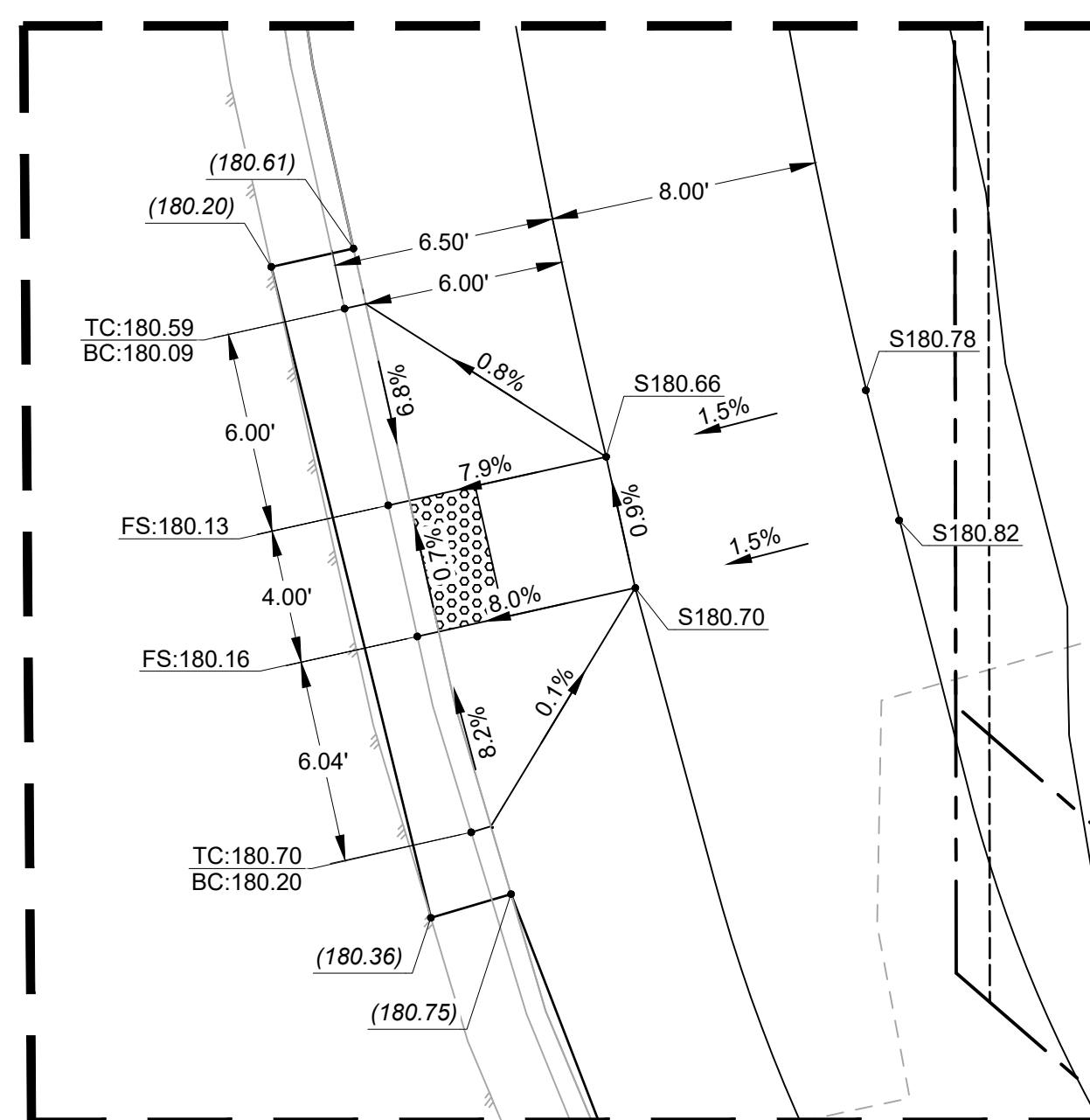
GRADING DETAIL 6

SCALE: 1" = 5'



GRADING DETAIL 9

SCALE: 1" = 5'



GRADING DETAIL 11

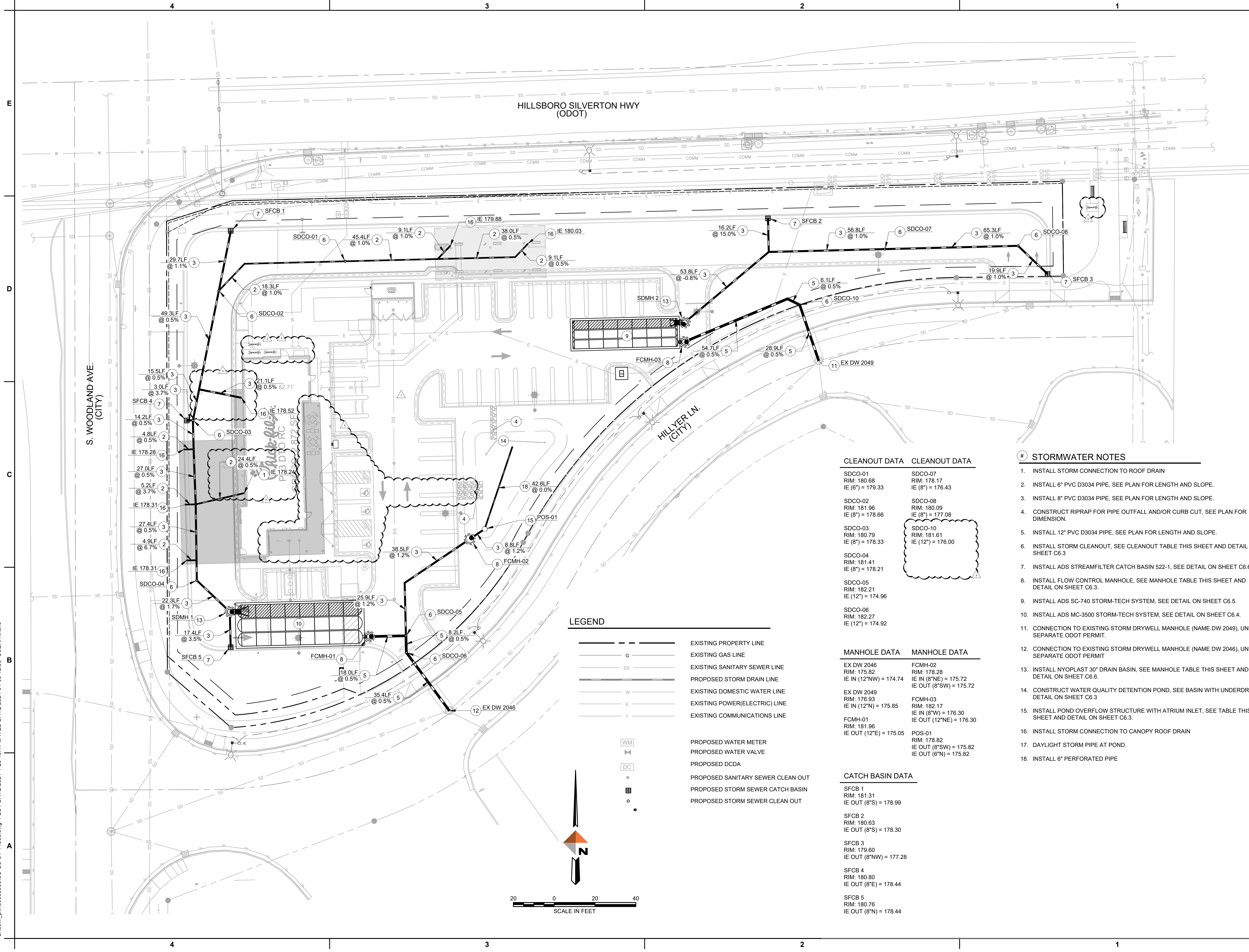
SCALE: 1" = 5'



SCALE IN FEET

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C:\dwg_pw\03038653\SC-CS-ST-14866.dwg PLOT DATE 2024-4-25 16:17 SAVED DATE 2024-04-05 12:30 USER: rthune



LEGEND

	EXISTING PROPERTY LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED STORM DRAIN LINE
	EXISTING DOMESTIC WATER LINE
	EXISTING POWER/ELECTRIC LINE
	EXISTING COMMUNICATIONS LINE
	PROPOSED WATER METER
	PROPOSED WATER VALVE
	PROPOSED DCDA
	PROPOSED SANITARY SEWER CLEAN OUT
	PROPOSED STORM SEWER CATCH BASIN
	PROPOSED STORM SEWER CLEAN OUT

CLEANOUT DATA

SDCO-01
RIM: 180.68
IE (6") = 179.33
SDCO-02
RIM: 181.96
IE (8") = 178.66
SDCO-03
RIM: 180.79
IE (8") = 178.33
SDCO-04
RIM: 181.41
IE (8") = 178.21
SDCO-05
RIM: 182.21
IE (12") = 174.96
SDCO-06
RIM: 182.27
IE (12") = 174.92

CLEANOUT DATA

SDCO-07
RIM: 178.17
IE (8") = 176.43
SDCO-08
RIM: 180.09
IE (6") = 177.08
SDCO-10
RIM: 181.61
IE (12") = 176.00

MANHOLE DATA

EX DW 2046
RIM: 175.82
IE IN (12"NW) = 174.74
EX DW 2049
RIM: 176.93
IE IN (12"SW) = 175.85
FCMH-01
RIM: 181.96
IE OUT (12"E) = 175.05

MANHOLE DATA

FCMH-02
RIM: 178.28
IE IN (8"NE) = 175.72
IE OUT (8"SW) = 175.72
FCMH-03
RIM: 182.17
IE IN (8"NW) = 176.30
IE OUT (12"NE) = 176.30
POS-01
RIM: 178.82
IE OUT (8"SW) = 175.82
IE OUT (6"N) = 175.82

CATCH BASIN DATA

SFCB 1
RIM: 181.31
IE OUT (8"S) = 178.99
SFCB 2
RIM: 180.63
IE OUT (8"S) = 178.30
SFCB 3
RIM: 179.60
IE OUT (8"NW) = 177.28
SFCB 4
RIM: 180.80
IE OUT (8"E) = 178.44
SFCB 5
RIM: 180.76
IE OUT (8"N) = 178.44

STORMWATER NOTES

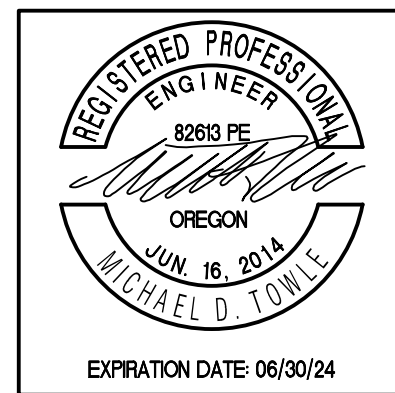
1. INSTALL STORM CONNECTION TO ROOF DRAIN
2. INSTALL 6" PVC D3034 PIPE, SEE PLAN FOR LENGTH AND SLOPE.
3. INSTALL 8" PVC D3034 PIPE, SEE PLAN FOR LENGTH AND SLOPE.
4. CONSTRUCT RIPRAP FOR PIPE OUTFALL AND/OR CURB CUT, SEE PLAN FOR DIMENSION.
5. INSTALL 12" PVC D3034 PIPE, SEE PLAN FOR LENGTH AND SLOPE.
6. INSTALL STORM CLEANOUT, SEE CLEANOUT TABLE THIS SHEET AND DETAIL ON SHEET C6.3
7. INSTALL ADS STREAMFILTER CATCH BASIN 522-1, SEE DETAIL ON SHEET C6.6.
8. INSTALL FLOW CONTROL MANHOLE, SEE MANHOLE TABLE THIS SHEET AND DETAIL ON SHEET C6.3.
9. INSTALL ADS SC-740 STORM-TECH SYSTEM, SEE DETAIL ON SHEET C6.5.
10. INSTALL ADS MC-3500 STORM-TECH SYSTEM, SEE DETAIL ON SHEET C6.4.
11. CONNECTION TO EXISTING STORM DRYWELL MANHOLE (NAME DW 2049), UNDER SEPARATE ODOT PERMIT.
12. CONNECTION TO EXISTING STORM DRYWELL MANHOLE (NAME DW 2046), UNDER SEPARATE ODOT PERMIT
13. INSTALL NYOPLAST 30" DRAIN BASIN, SEE MANHOLE TABLE THIS SHEET AND DETAIL ON SHEET C6.6.
14. CONSTRUCT WATER QUALITY DETENTION POND, SEE BASIN WITH UNDERDRAIN DETAIL ON SHEET C6.3
15. INSTALL POND OVERFLOW STRUCTURE WITH ATRIUM INLET, SEE TABLE THIS SHEET AND DETAIL ON SHEET C6.3.
16. INSTALL STORM CONNECTION TO CANOPY ROOF DRAIN
17. DAYLIGHT STORM PIPE AT POND.
18. INSTALL 6" PERFORATED PIPE



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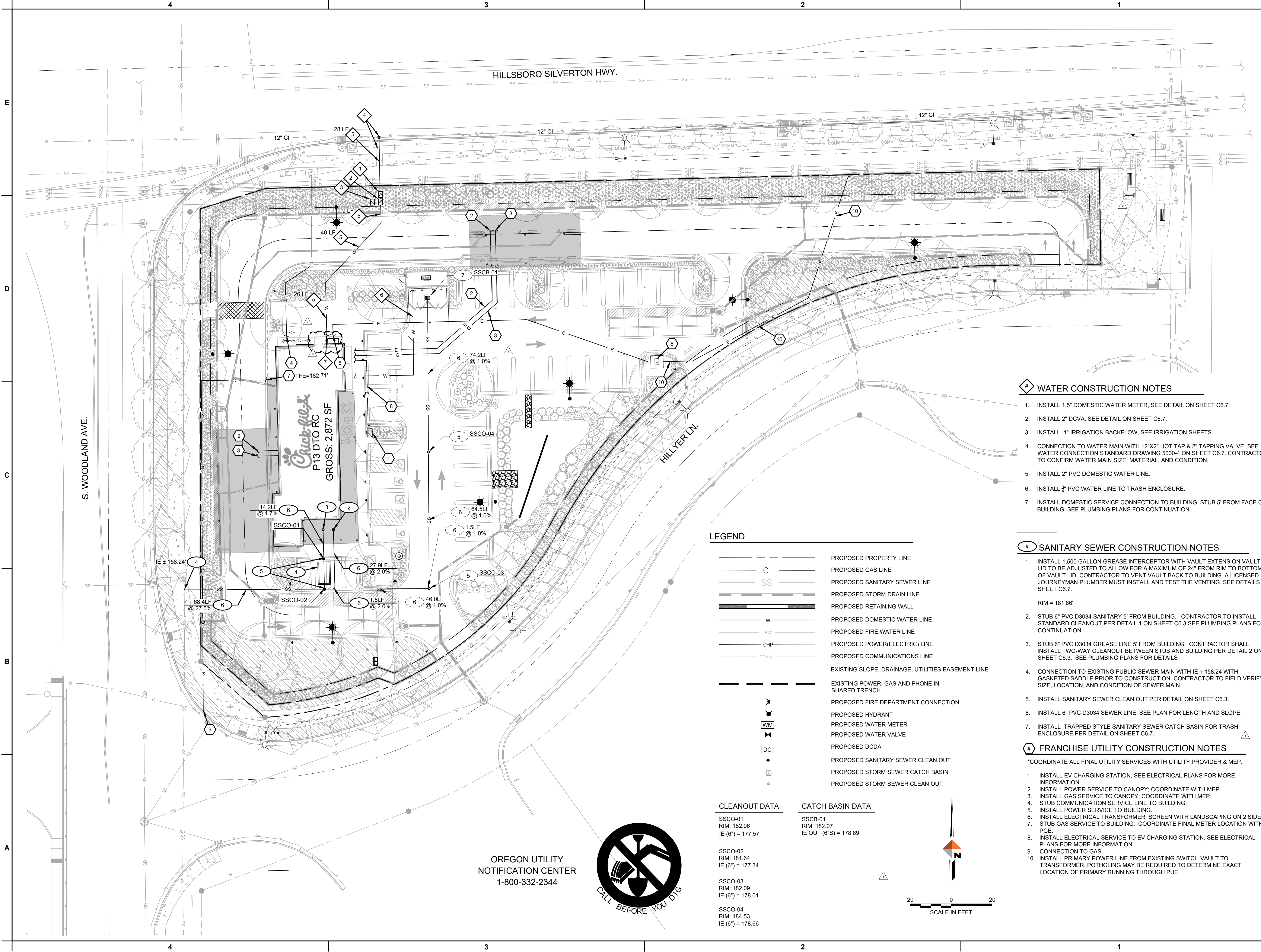
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	02/23/24	PERMIT SET
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3	04/25/24	REVISION 3

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SHEET		

STORM PLAN
SHEET NUMBER

C4.0

C:\dow_lpw\0398563\SC-CS-UT-14866.dwg PLOT DATE 2024-4-25 15:17 SAVED DATE 2024-04-05 12:52 USER: rthune



OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



CLEANOUT DATA

SSCO-01
RIM: 182.06
IE (6") = 177.57

SSCO-02
RIM: 181.64
IE (6") = 177.34

SSCO-03
RIM: 182.09
IE (6") = 178.01

SSCO-04
RIM: 184.53
IE (6") = 178.66

CATCH BASIN DATA

SSCB-01
RIM: 182.07
IE OUT (6"S) = 178.89

LEGEND

---	PROPOSED PROPERTY LINE
G	PROPOSED GAS LINE
SS	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM DRAIN LINE
---	PROPOSED RETAINING WALL
W	PROPOSED DOMESTIC WATER LINE
FW	PROPOSED FIRE WATER LINE
OHP	PROPOSED POWER(ELECTRIC) LINE
COMM	PROPOSED COMMUNICATIONS LINE
---	EXISTING SLOPE, DRAINAGE, UTILITIES EASEMENT LINE
---	EXISTING POWER, GAS AND PHONE IN SHARED TRENCH
✕	PROPOSED FIRE DEPARTMENT CONNECTION
WM	PROPOSED HYDRANT
WM	PROPOSED WATER METER
WM	PROPOSED WATER VALVE
DC	PROPOSED DCDA
•	PROPOSED SANITARY SEWER CLEAN OUT
•	PROPOSED STORM SEWER CATCH BASIN
•	PROPOSED STORM SEWER CLEAN OUT

WATER CONSTRUCTION NOTES

1. INSTALL 1.5" DOMESTIC WATER METER, SEE DETAIL ON SHEET C6.7.
2. INSTALL 2" DCVA, SEE DETAIL ON SHEET C6.7.
3. INSTALL 1" IRRIGATION BACKFLOW, SEE IRRIGATION SHEETS.
4. CONNECTION TO WATER MAIN WITH 12"X2" HOT TAP & 2" TAPPING VALVE, SEE WATER CONNECTION STANDARD DRAWING 5000.4 ON SHEET C6.7. CONTRACTOR TO CONFIRM WATER MAIN SIZE, MATERIAL, AND CONDITION.
5. INSTALL 2" PVC DOMESTIC WATER LINE.
6. INSTALL 2" PVC WATER LINE TO TRASH ENCLOSURE.
7. INSTALL DOMESTIC SERVICE CONNECTION TO BUILDING, STUB 5' FROM FACE OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.

SANITARY SEWER CONSTRUCTION NOTES

1. INSTALL 1,500 GALLON GREASE INTERCEPTOR WITH VAULT EXTENSION VAULT LID TO BE ADJUSTED TO ALLOW FOR A MAXIMUM OF 24" FROM RIM TO BOTTOM OF VAULT LID. CONTRACTOR TO VENT VAULT BACK TO BUILDING. A LICENSED JOURNEYMAN PLUMBER MUST INSTALL AND TEST THE VENTING. SEE DETAILS ON SHEET C6.7.
RIM = 181.86'
2. STUB 6" PVC D3034 SANITARY 5' FROM BUILDING. CONTRACTOR TO INSTALL STANDARD CLEANOUT PER DETAIL 1 ON SHEET C6.3. SEE PLUMBING PLANS FOR CONTINUATION.
3. STUB 6" PVC D3034 GREASE LINE 5' FROM BUILDING. CONTRACTOR SHALL INSTALL TWO-WAY CLEANOUT BETWEEN STUB AND BUILDING PER DETAIL 2 ON SHEET C6.3. SEE PLUMBING PLANS FOR DETAILS.
4. CONNECTION TO EXISTING PUBLIC SEWER MAIN WITH IE ≈ 158.24 WITH GASKETED SADDLE PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY SIZE, LOCATION, AND CONDITION OF SEWER MAIN.
5. INSTALL SANITARY SEWER CLEAN OUT PER DETAIL ON SHEET C6.3.
6. INSTALL 6" PVC D3034 SEWER LINE, SEE PLAN FOR LENGTH AND SLOPE.
7. INSTALL TRAPPED STYLE SANITARY SEWER CATCH BASIN FOR TRASH ENCLOSURE PER DETAIL ON SHEET C6.7.

FRANCHISE UTILITY CONSTRUCTION NOTES

*COORDINATE ALL FINAL UTILITY SERVICES WITH UTILITY PROVIDER & MEP.

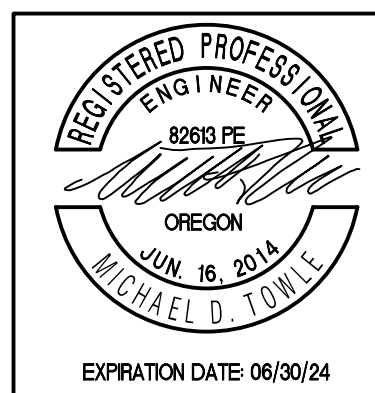
1. INSTALL EV CHARGING STATION, SEE ELECTRICAL PLANS FOR MORE INFORMATION.
2. INSTALL POWER SERVICE TO CANOPY; COORDINATE WITH MEP.
3. INSTALL GAS SERVICE TO CANOPY; COORDINATE WITH MEP.
4. STUB COMMUNICATION SERVICE LINE TO BUILDING.
5. INSTALL POWER SERVICE TO BUILDING.
6. INSTALL ELECTRICAL TRANSFORMER, SCREEN WITH LANDSCAPING ON 2 SIDES.
7. STUB GAS SERVICE TO BUILDING. COORDINATE FINAL METER LOCATION WITH PGE.
8. INSTALL ELECTRICAL SERVICE TO EV CHARGING STATION, SEE ELECTRICAL PLANS FOR MORE INFORMATION.
9. CONNECTION TO GAS.
10. INSTALL PRIMARY POWER LINE FROM EXISTING SWITCH VAULT TO TRANSFORMER, POT-HOLING MAY BE REQUIRED TO DETERMINE EXACT LOCATION OF PRIMARY RUNNING THROUGH PUE.



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REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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△	04/05/24	REVISION 2
△	04/24/24	REVISION 3

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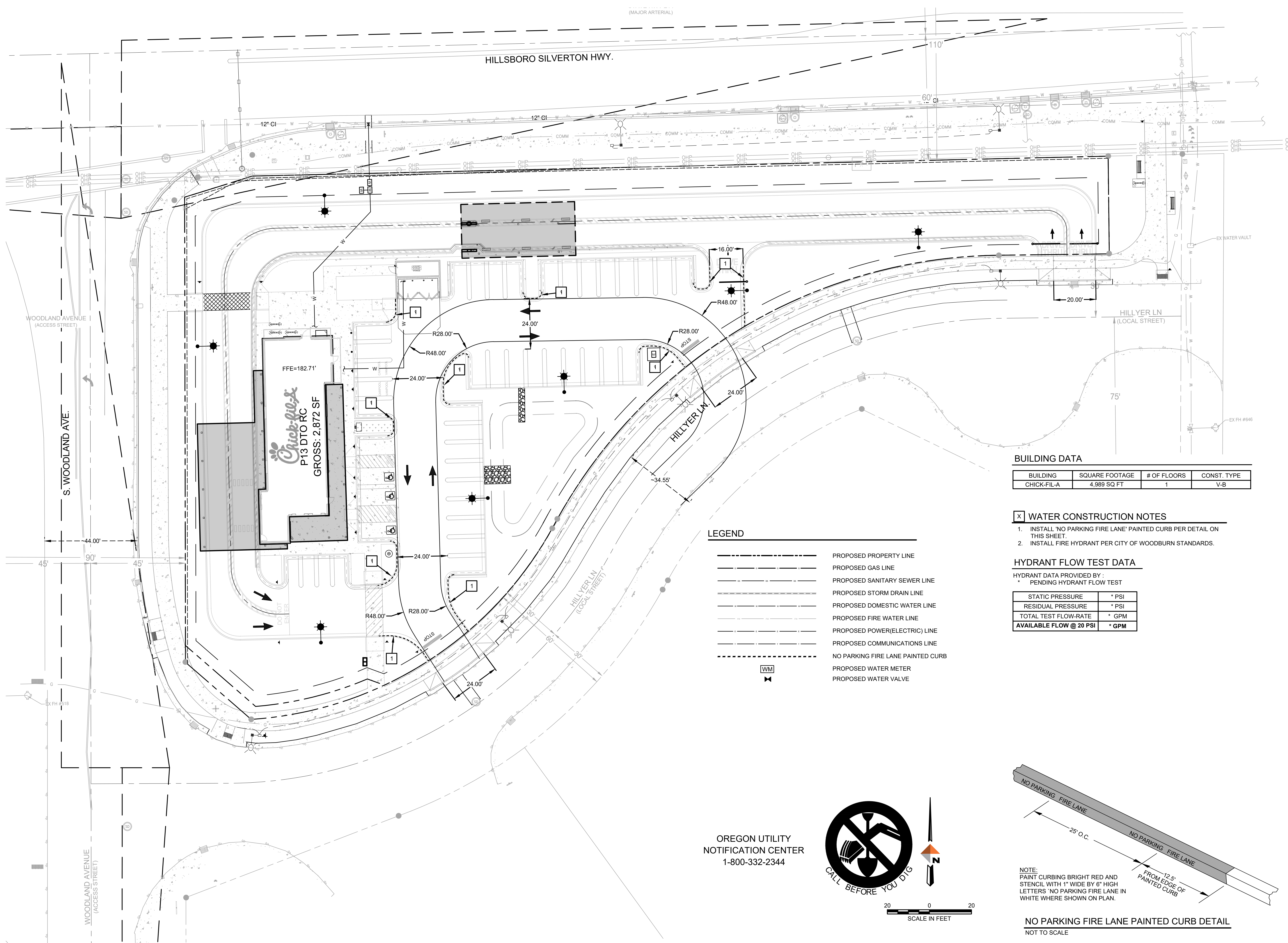
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SHEET

UTILITY PLAN
SHEET NUMBER

C5.0

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BUILDING DATA

BUILDING	SQUARE FOOTAGE	# OF FLOORS	CONST. TYPE
CHICK-FIL-A	4,989 SQ FT	1	V-B

☒ WATER CONSTRUCTION NOTES

1. INSTALL 'NO PARKING FIRE LANE' PAINTED CURB PER DETAIL ON THIS SHEET.
2. INSTALL FIRE HYDRANT PER CITY OF WOODBURN STANDARDS.

HYDRANT FLOW TEST DATA

HYDRANT DATA PROVIDED BY:
* PENDING HYDRANT FLOW TEST

STATIC PRESSURE	* PSI
RESIDUAL PRESSURE	* PSI
TOTAL TEST FLOW-RATE	* GPM
AVAILABLE FLOW @ 20 PSI	* GPM

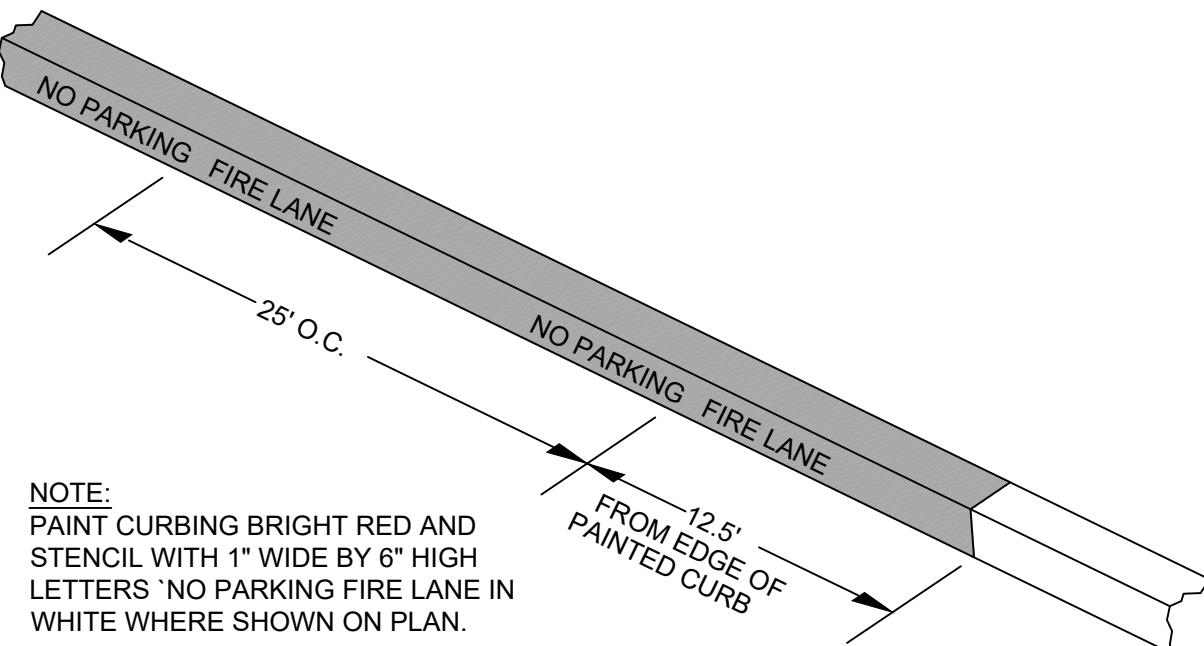
LEGEND

---	PROPOSED PROPERTY LINE
---	PROPOSED GAS LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM DRAIN LINE
---	PROPOSED DOMESTIC WATER LINE
---	PROPOSED FIRE WATER LINE
---	PROPOSED POWER(ELECTRIC) LINE
---	PROPOSED COMMUNICATIONS LINE
---	NO PARKING FIRE LANE PAINTED CURB
WM	PROPOSED WATER METER
WV	PROPOSED WATER VALVE

OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



20 0 20
SCALE IN FEET



NOTE:
PAINT CURBING BRIGHT RED AND
STENCIL WITH 1" WIDE BY 6" HIGH
LETTERS 'NO PARKING FIRE LANE' IN
WHITE WHERE SHOWN ON PLAN.

NO PARKING FIRE LANE PAINTED CURB DETAIL
NOT TO SCALE



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REVISION SCHEDULE	
NO.	DESCRIPTION

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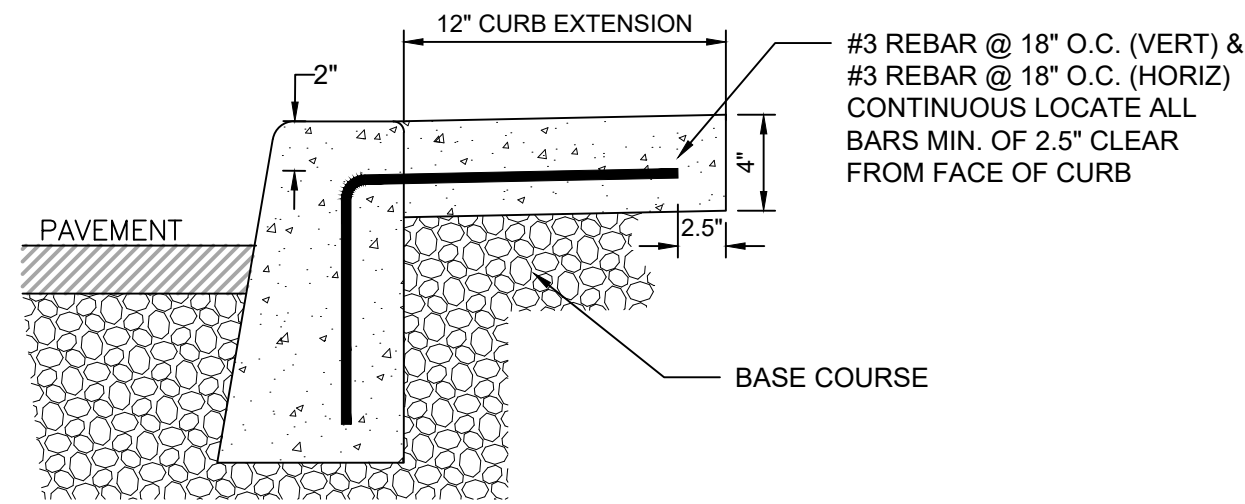
FIRE PLAN
SHEET NUMBER

C5.1

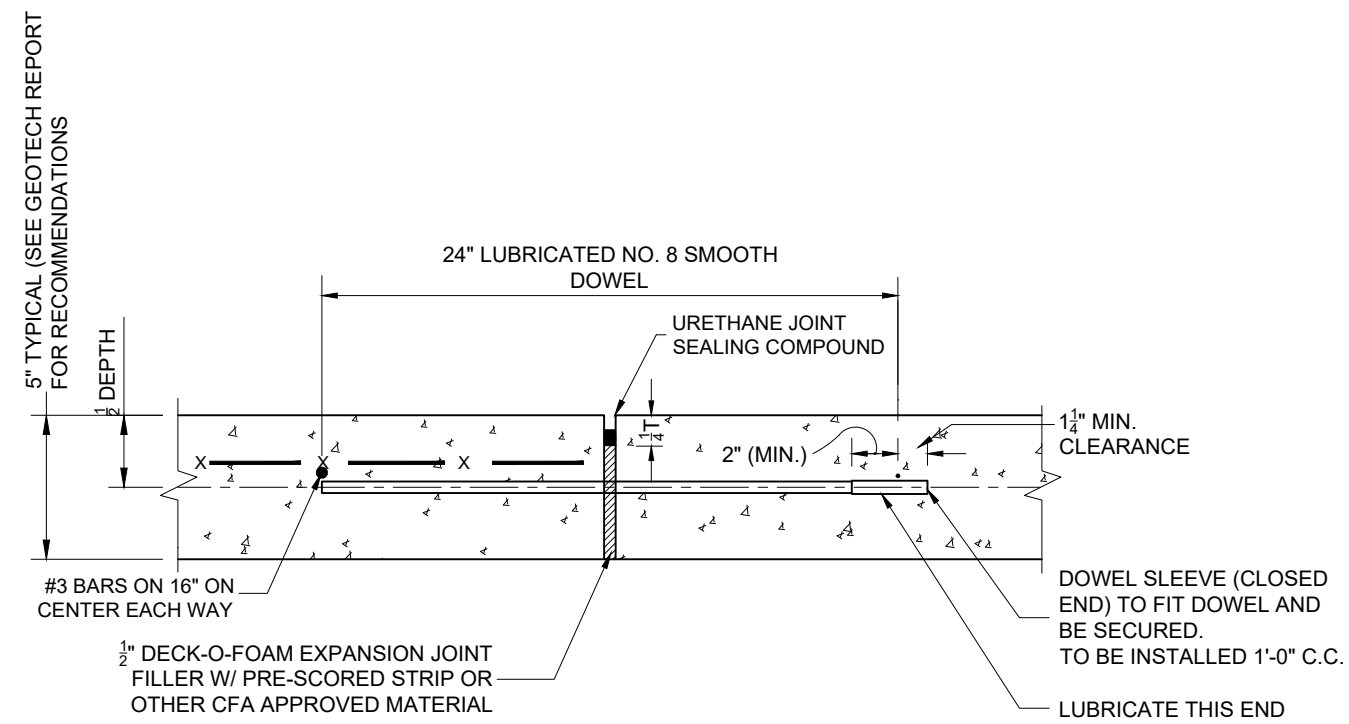
C6.0

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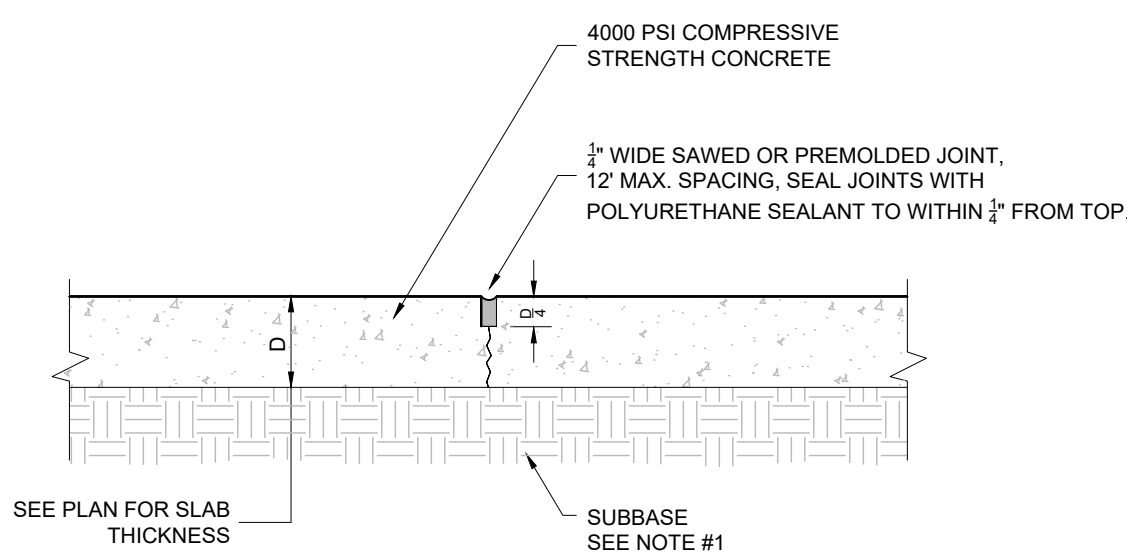
E
D
C
B
A



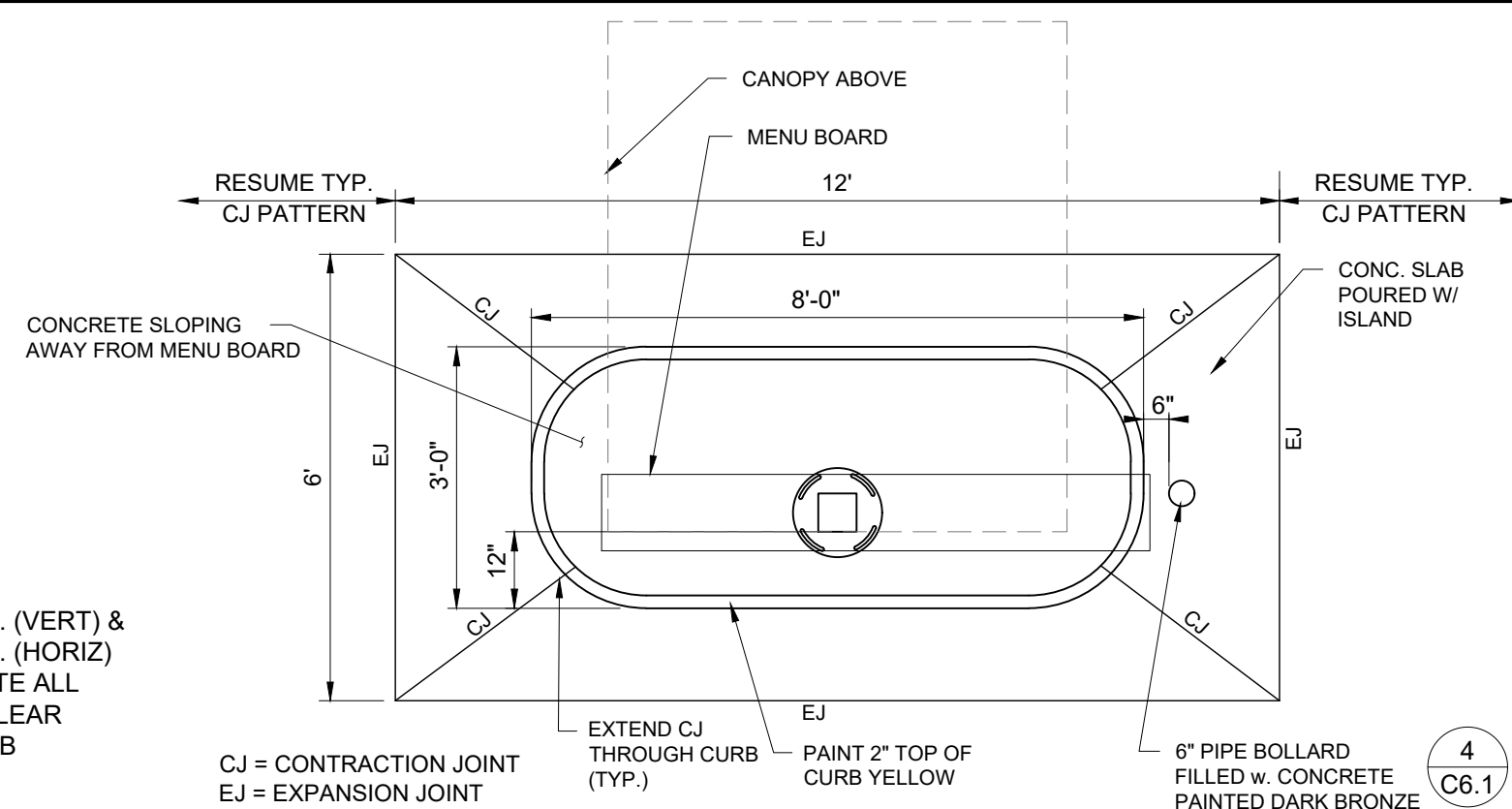
1 LANDSCAPE PROTECTION CURB EXTENSION
C6.1 NOT TO SCALE



5 EXPANSION JOINT
C6.1 NOT TO SCALE

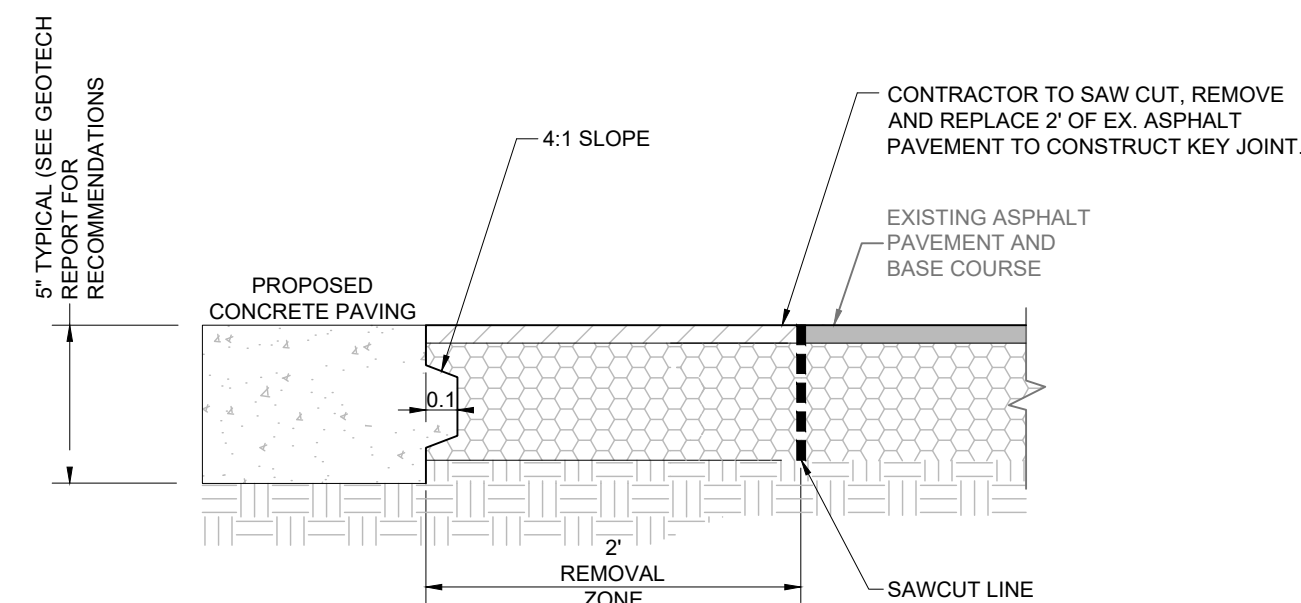


9 TRANSVERSE & LONGITUDINAL CONTRACTION JOINTS
C6.1 NOT TO SCALE

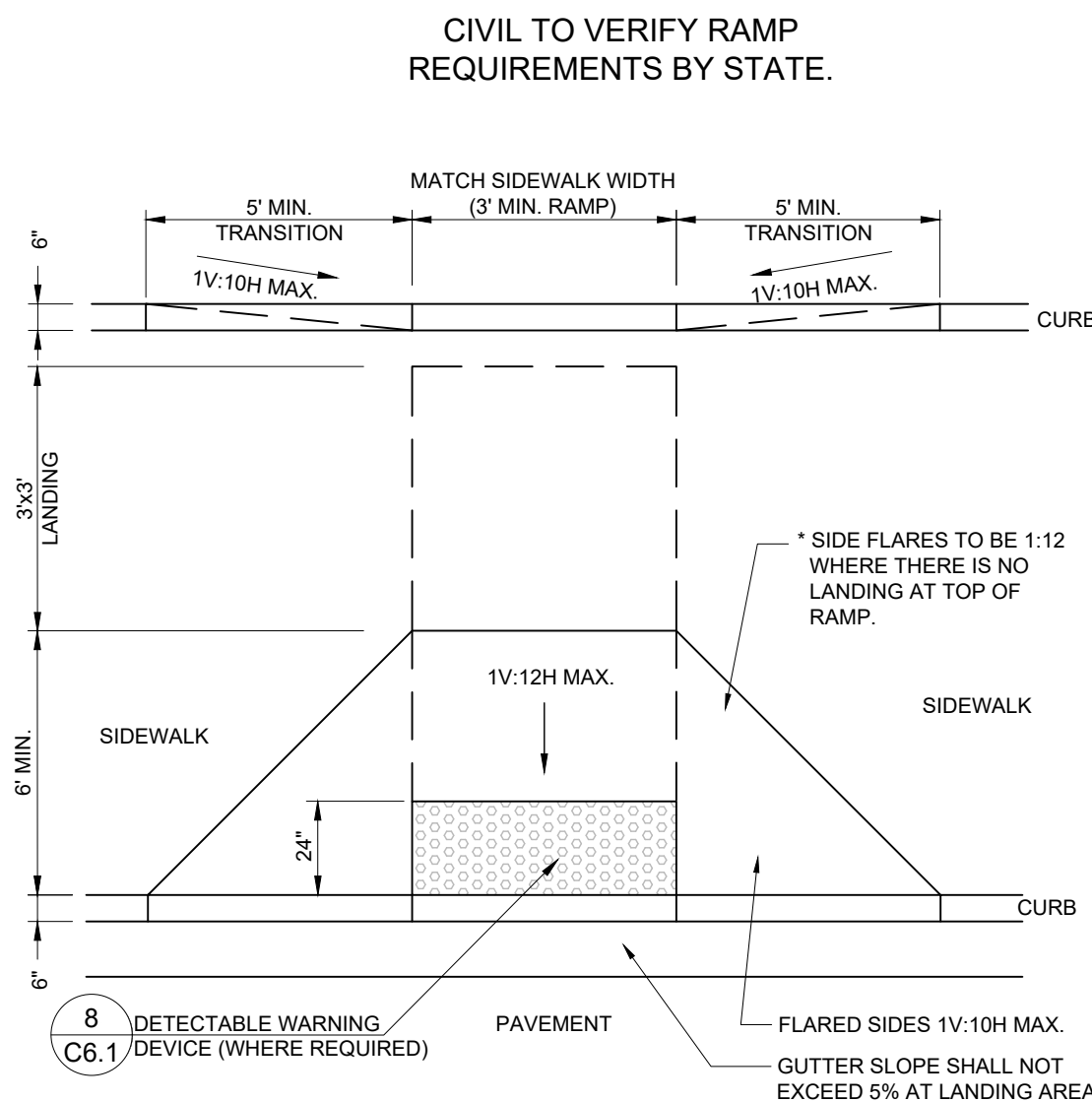


ISLAND PLAN
ISLAND CURB ELEVATION

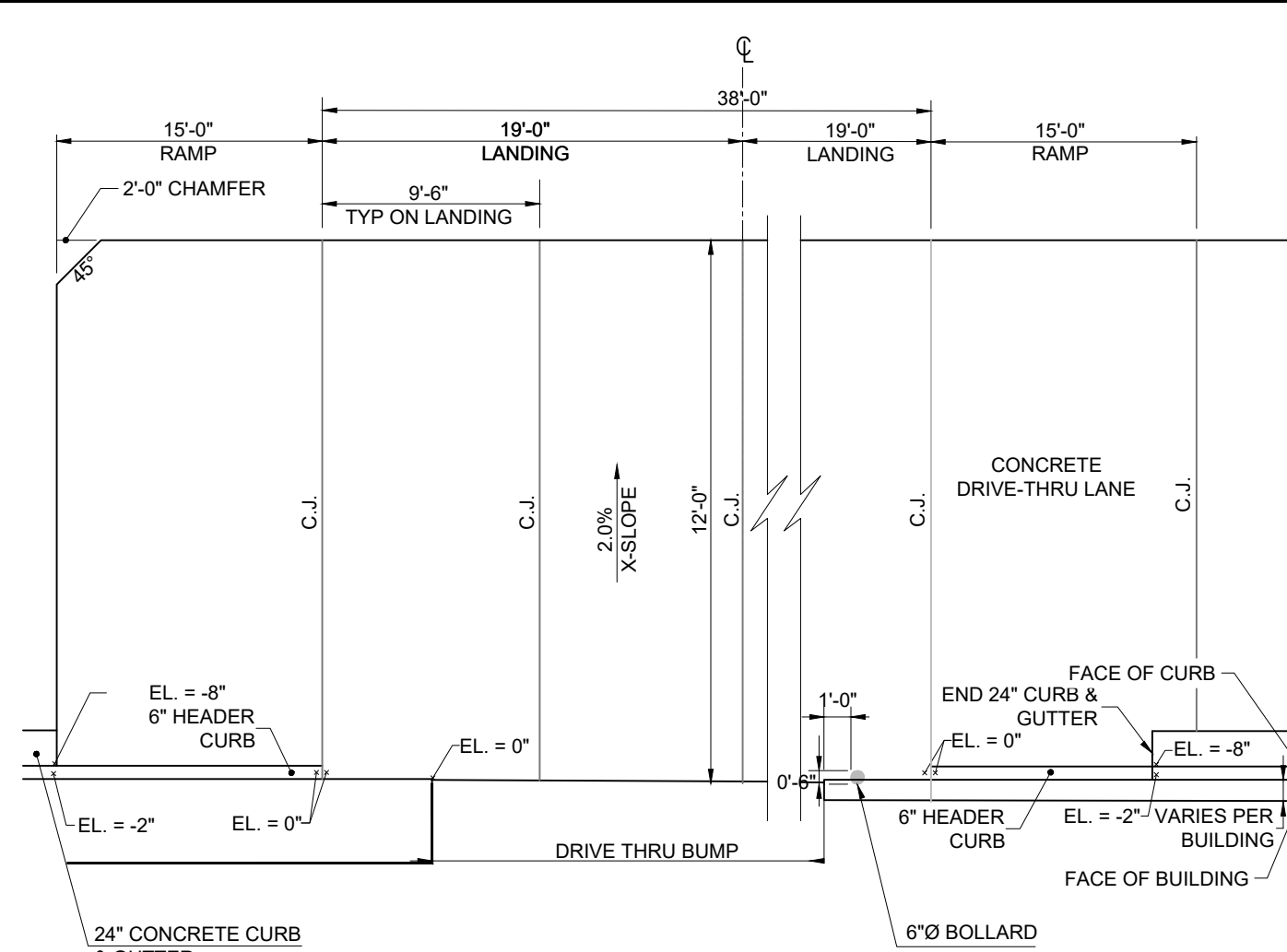
2 DRIVE-THRU ORDER POINT ISLAND
C6.1 NOT TO SCALE



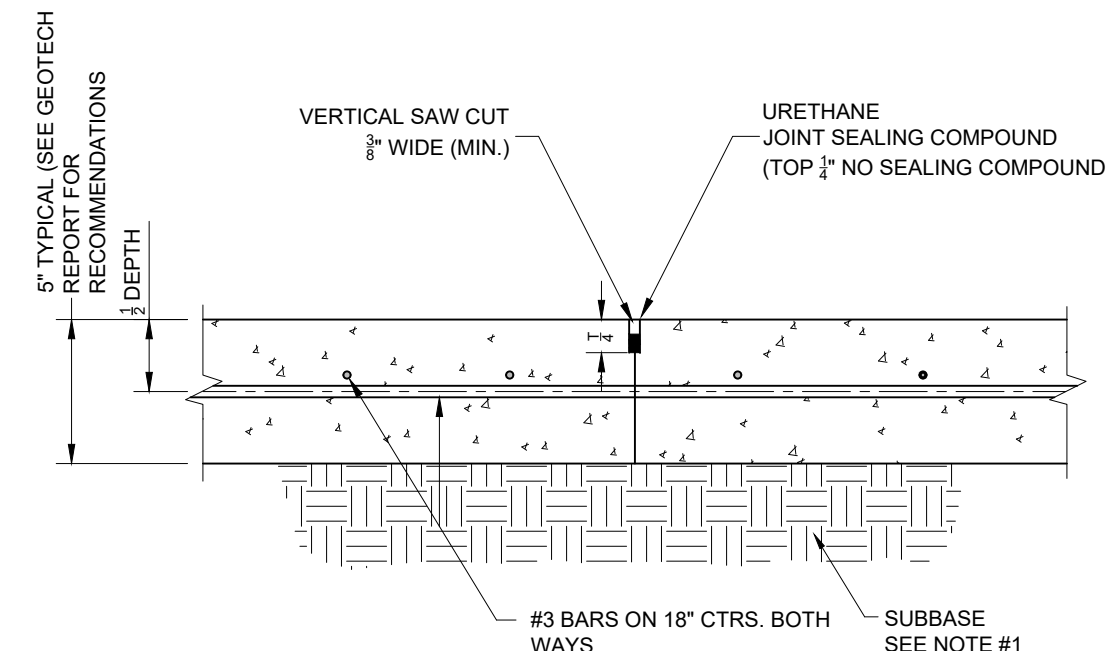
6 KEYED CONSTRUCTION JOINT
C6.1 NOT TO SCALE



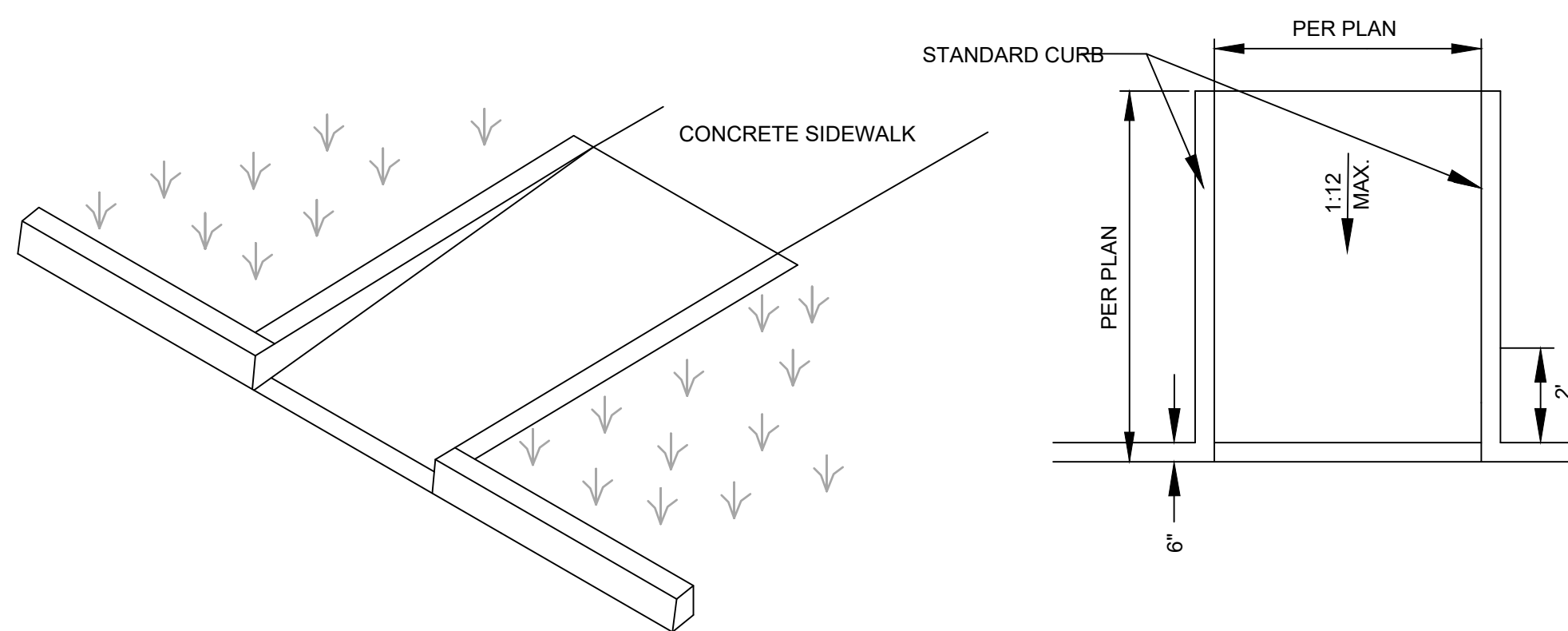
10 CURB RAMP W/ FLARED SIDES
C6.1 NOT TO SCALE



3 DRIVE-THRU PLAN - FLUSH WITH FFE
C6.1 NOT TO SCALE

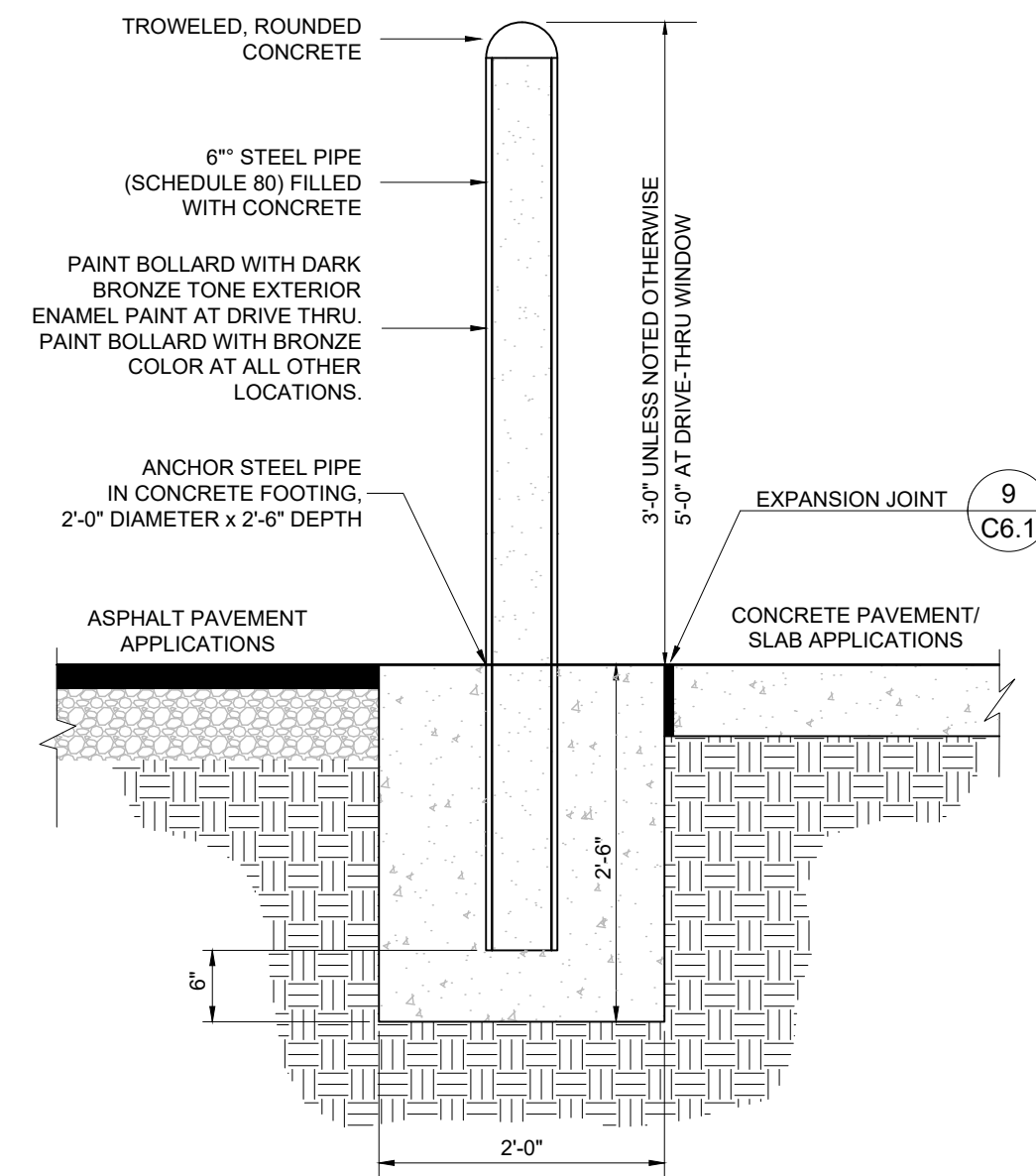


7 CONTRACTION JOINT
C6.1 NOT TO SCALE

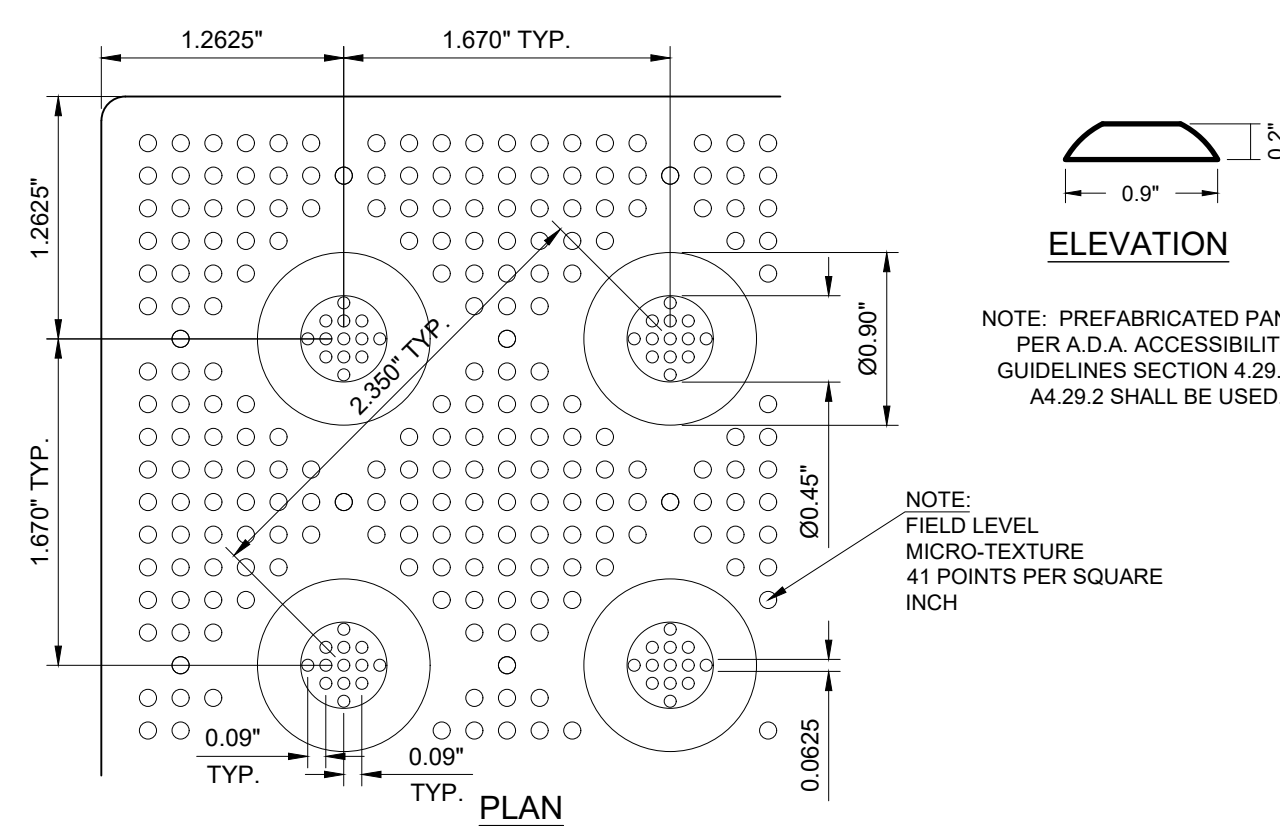


- NOTES:
- SEE DETECTABLE WARNING DETAIL ON THIS SHEET.
 - TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAK LINES.
 - TACTILE WARNING STRIP TO BE A MINIMUM OF 2' IN DEPTH AND SPANS THE FULL WIDTH OF THE RAMP.
 - RAMP TO BE CENTERED IN CROSSWALK.
 - RAMP TO BE CONSTRUCTED SEPARATELY FROM SIDEWALK AND ISOLATED BY EXPANSION JOINT MATERIAL.

11 ACCESSIBLE SIDEWALK RAMP DETAIL
C6.1 NOT TO SCALE

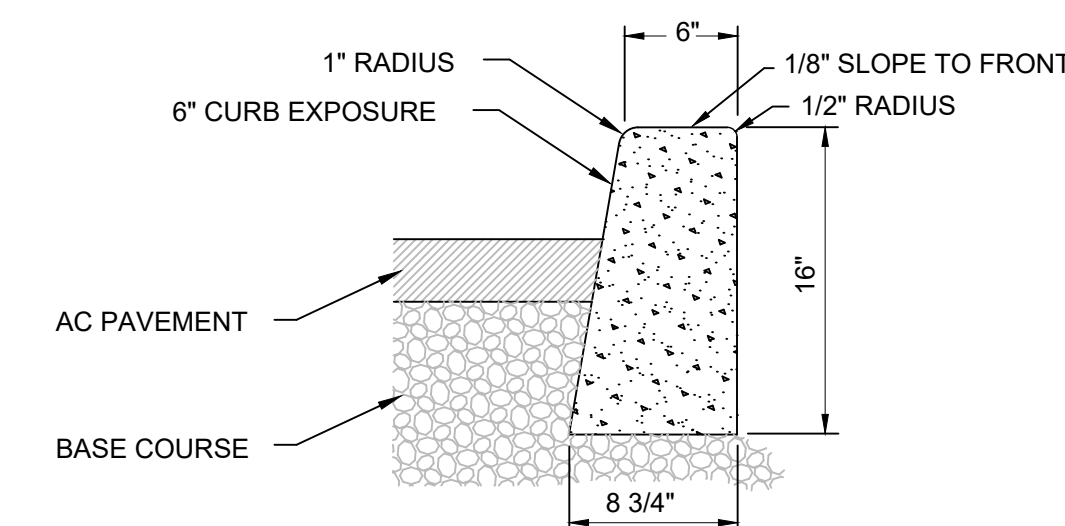


4 CONCRETE BOLLARD
C6.1 NOT TO SCALE



- NOTES:
- THE DETECTABLE WARNING DEVICE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS 6 TO 8 INCHES FROM THE FACE OF CURB LINE.
 - DETECTABLE WARNING DEVICE SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE RAMP OR FLUSH SURFACE.
 - DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING PRODUCTS CONFORMING TO PROWAG R304. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS. CONTRACTOR SHALL CONFIRM LOCAL CODES ARE MET.
 - WHERE A CURB RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB & GUTTER AND/OR SIDEWALK, THE EXISTING CURB & GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
 - THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT, OR LIGHT-ON-DARK. STANDARD DOME COLOR IS BRICK RED. TRUNCATED DOMES TO BE INSTALLED USING ARMOR TILE CAST IN PLACE DOME TACTILE TILE. PART NUMBER ADA-2424 OR OTHER EQUIVALENT APPROVED MATERIAL. PREFERRED MANUFACTURER ARMOR TILE TACTILE SYSTEMS LANCE MITCHELL(919)622-4615 UNLESS PAVERS ARE REQUIRED, CONTRACTOR TO VERIFY THAT CURB RAMPS MEET LOCAL CODES AND ADA REQUIREMENTS.
 - THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT, OR LIGHT-ON-DARK. STANDARD DOME COLOR IS BRICK RED. TRUNCATED DOMES TO BE INSTALLED USING ARMOR TILE CAST IN PLACE DOME TACTILE TILE. PART NUMBER ADA-2424 OR OTHER EQUIVALENT APPROVED MATERIAL. PREFERRED MANUFACTURER ARMOR TILE TACTILE SYSTEMS LANCE MITCHELL(919)622-4615 UNLESS PAVERS ARE REQUIRED, CONTRACTOR TO VERIFY THAT CURB RAMPS MEET LOCAL CODES AND ADA REQUIREMENTS.

8 DETECTABLE WARNING DEVICE
C6.1 NOT TO SCALE



- NOTES:
- CONCRETE TO HAVE A BREAKING STRENGTH OF 3,500 PSI AFTER 28 DAYS.
 - EXPANSION JOINTS.
A. TO BE PROVIDED:
1) AT EACH POINT OF TANGENCY OF THE CURB.
2) AT EACH COLD JOINT.
3) AT EACH SIDE OF INLET STRUCTURES.
4) AT EACH END OF DRIVEWAYS.
5) AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
B. MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
 - CONTRACTION JOINTS.
(A) SPACING TO BE NOT MORE THAN 15 FEET.
(B) THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES.
 - BASE ROCK TO BE 2'-0" OR 3'-0" COMPACTED TO 95% OF AASHTO T-99 AND SHALL BE TO SUBGRADE, STREET STRUCTURE, OR 4" IN DEPTH, WHICHEVER IS GREATER.

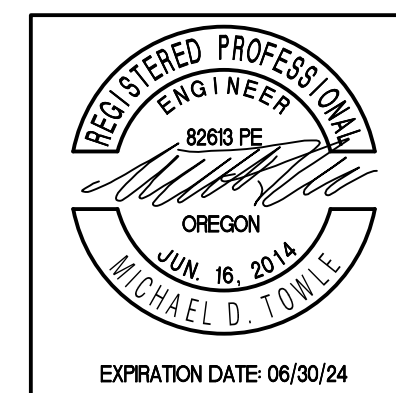
12 STANDARD CURB DETAIL
C6.1 NOT TO SCALE



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CHICK-FIL-A
219 AND WOODLAND
WOODBURN, OREGON

FSR# 05192

REVISION SCHEDULE	
NO.	DATE
1	DESCRIPTION

CIVIL'S PROJECT # 14866.01

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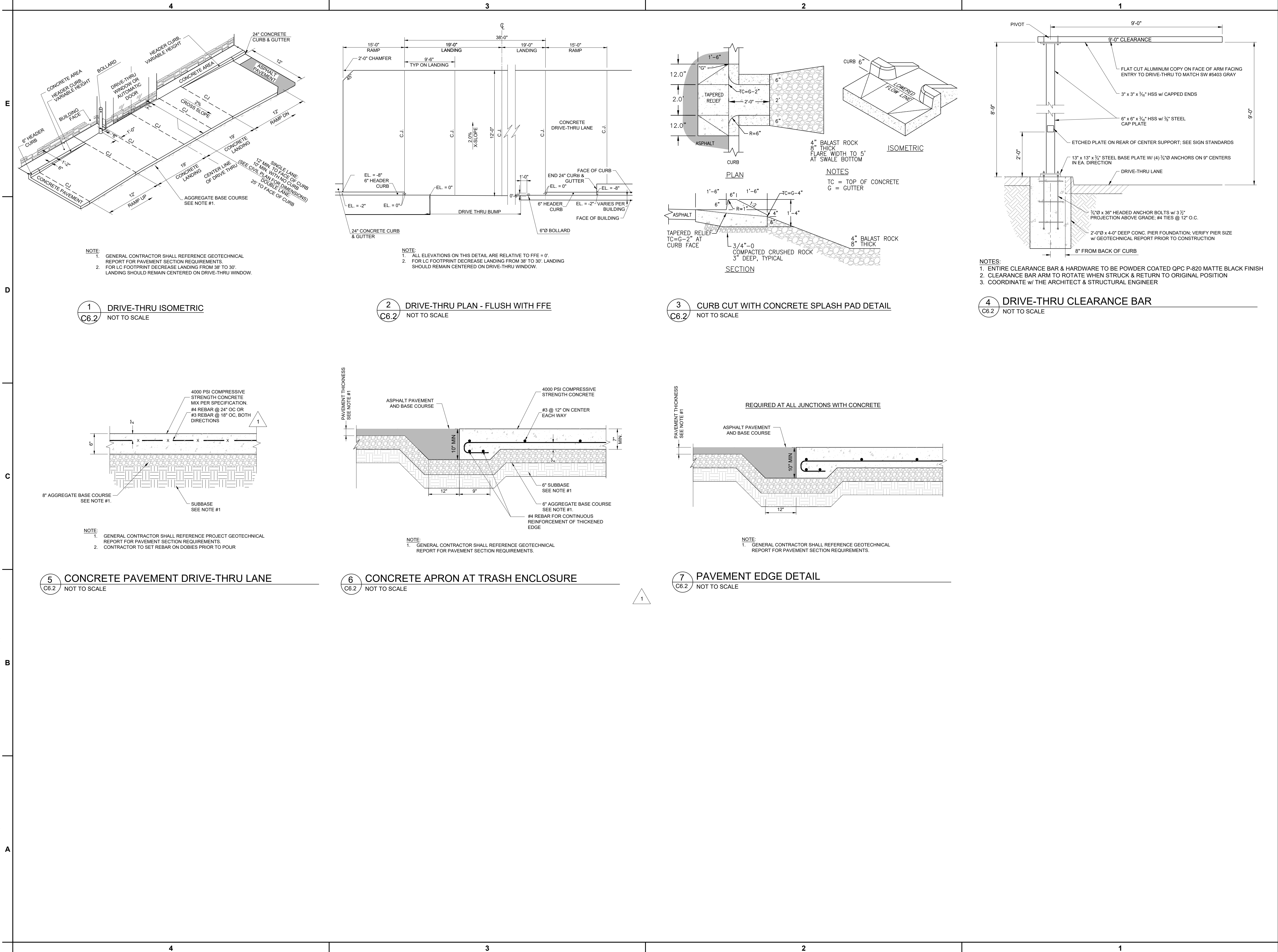
SHEET

SITE DETAILS 2

SHEET NUMBER

C6.1

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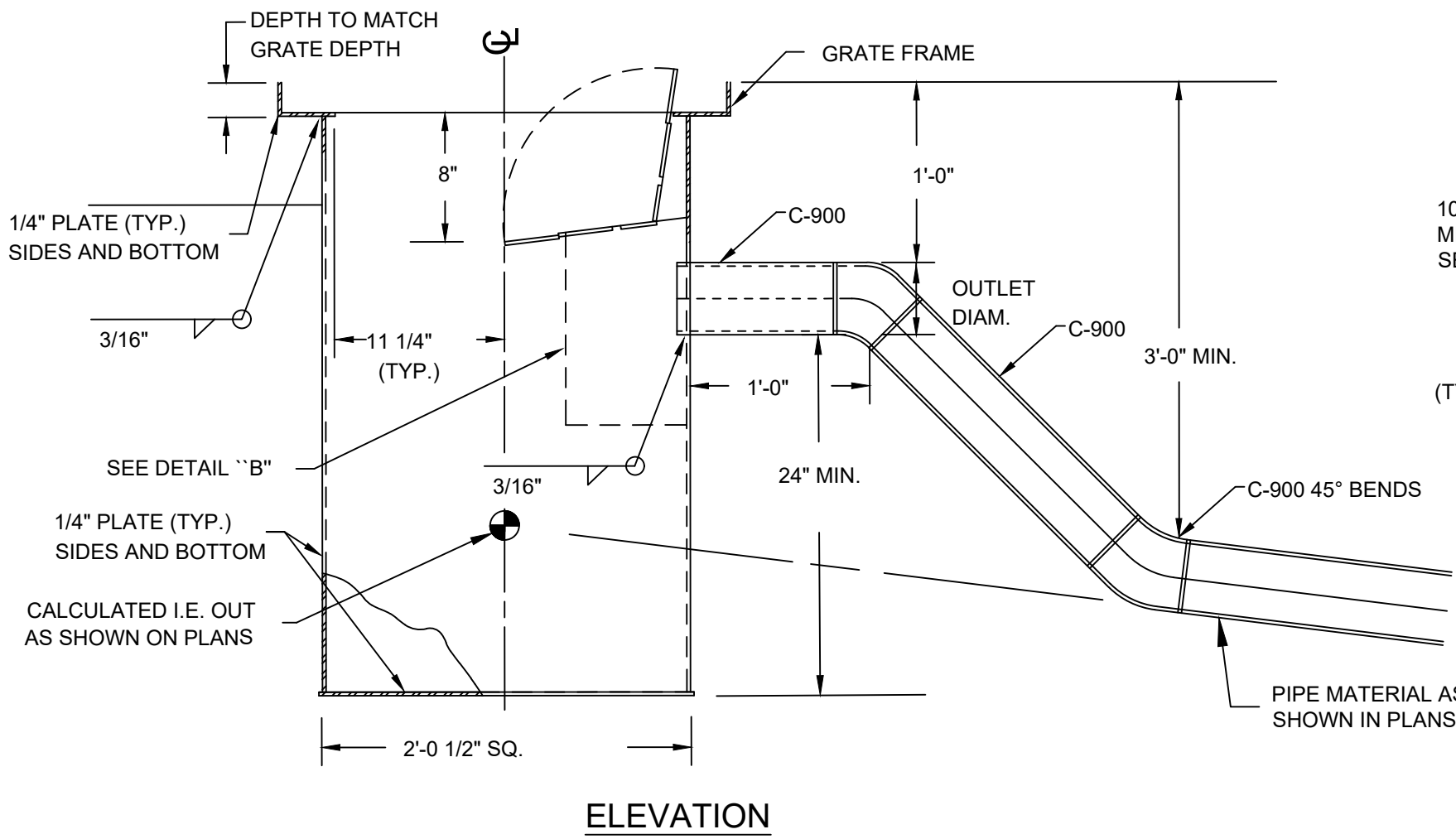
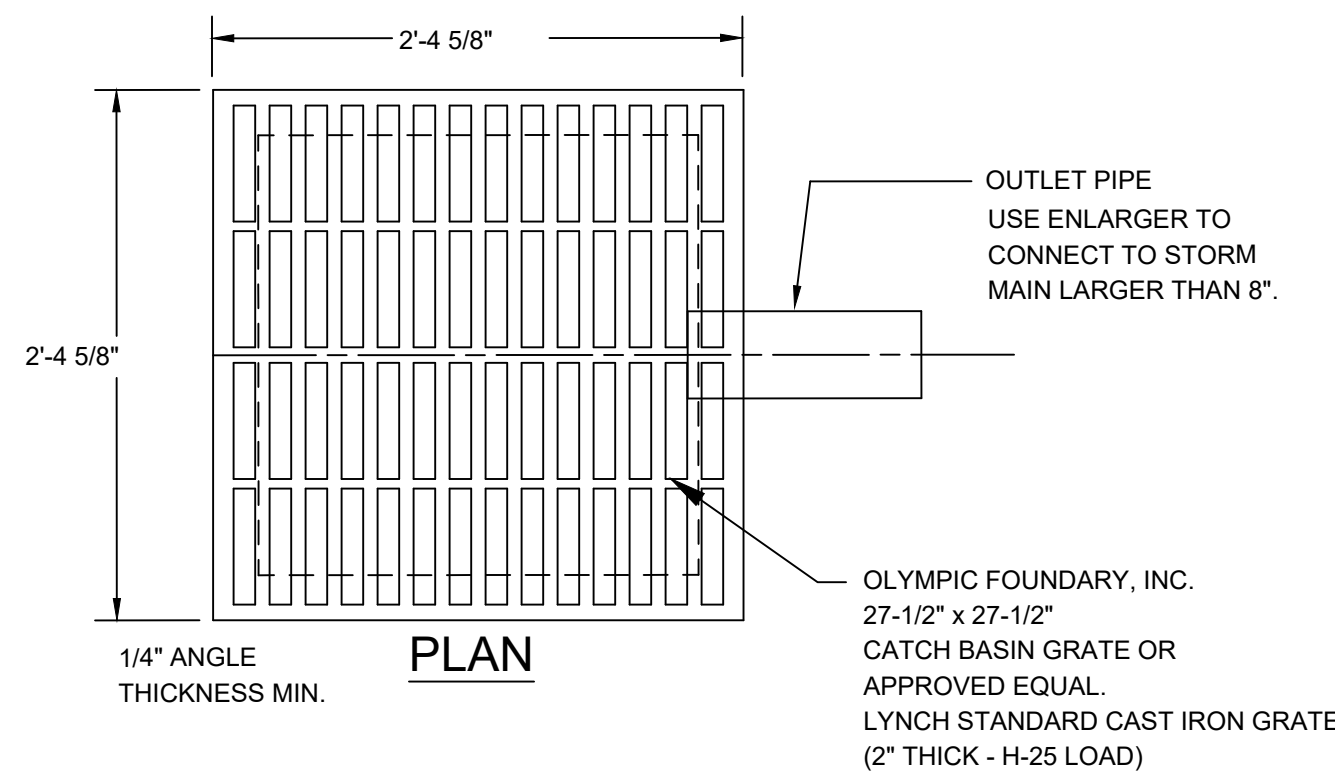
SITE DETAILS 3

SHEET NUMBER

C6.2

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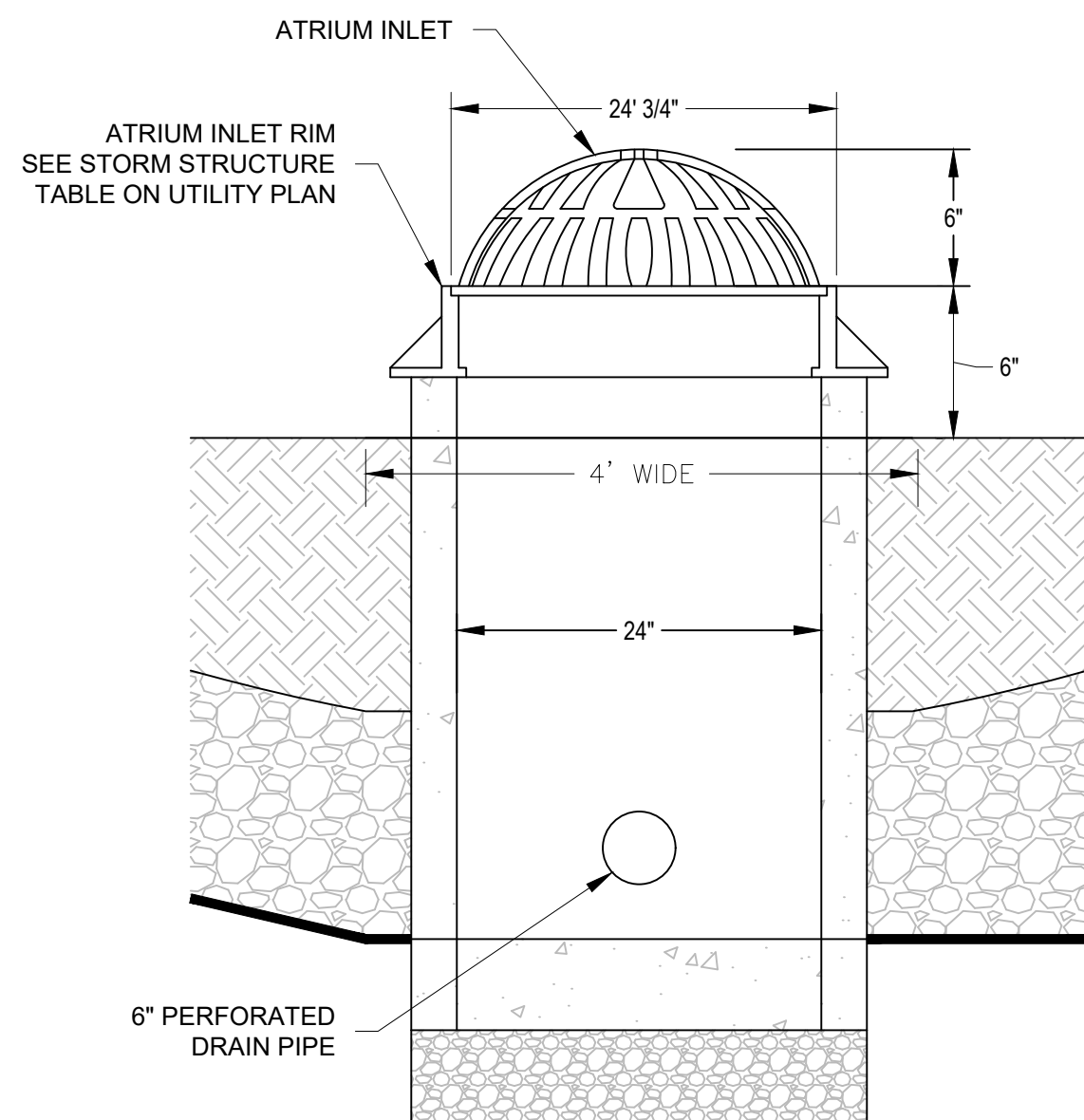
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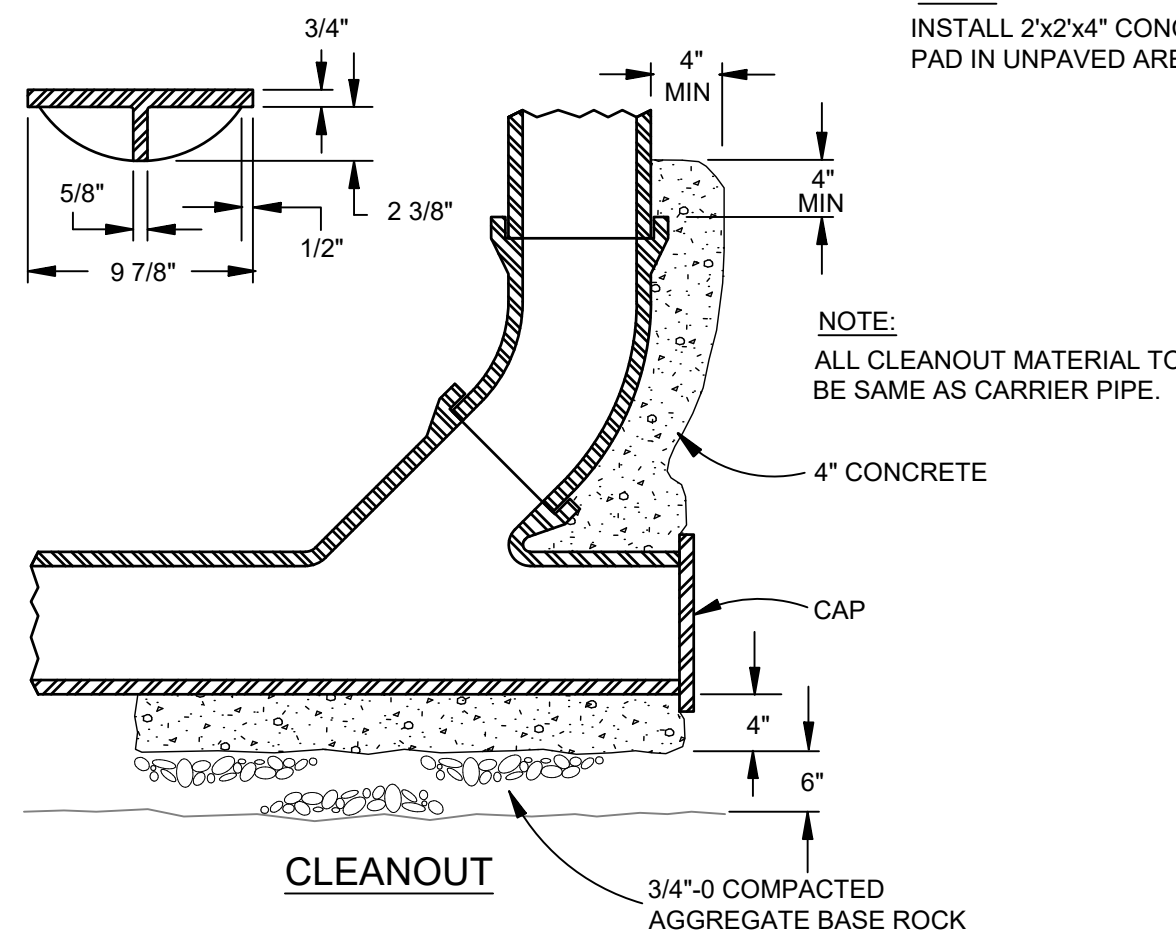
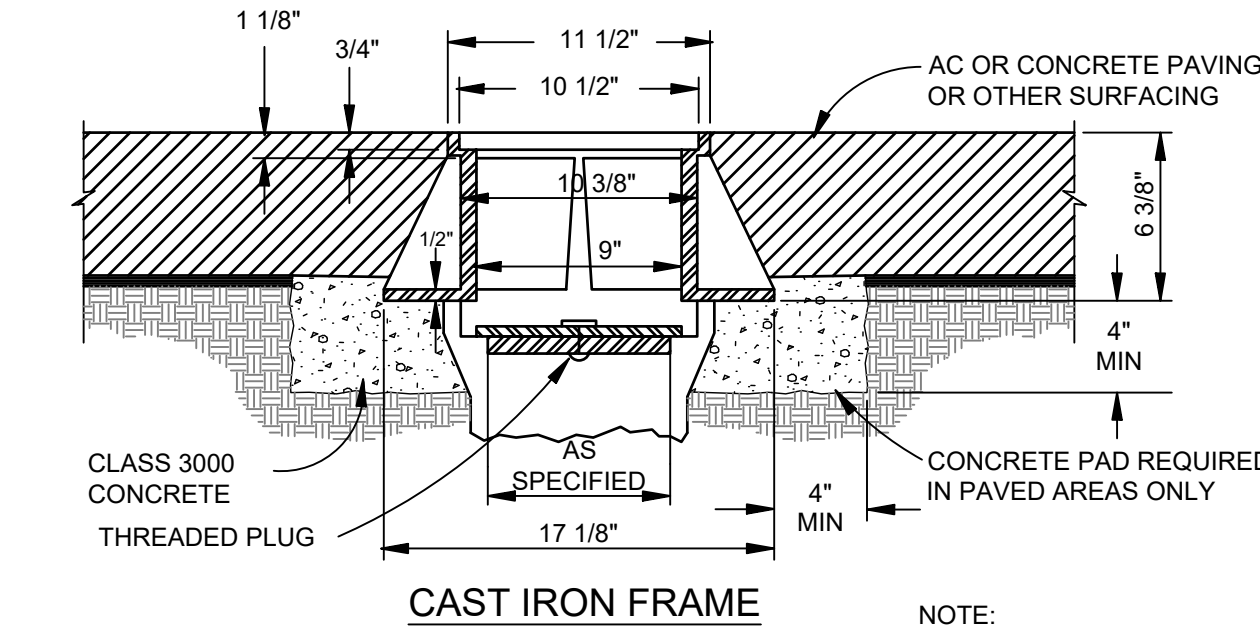
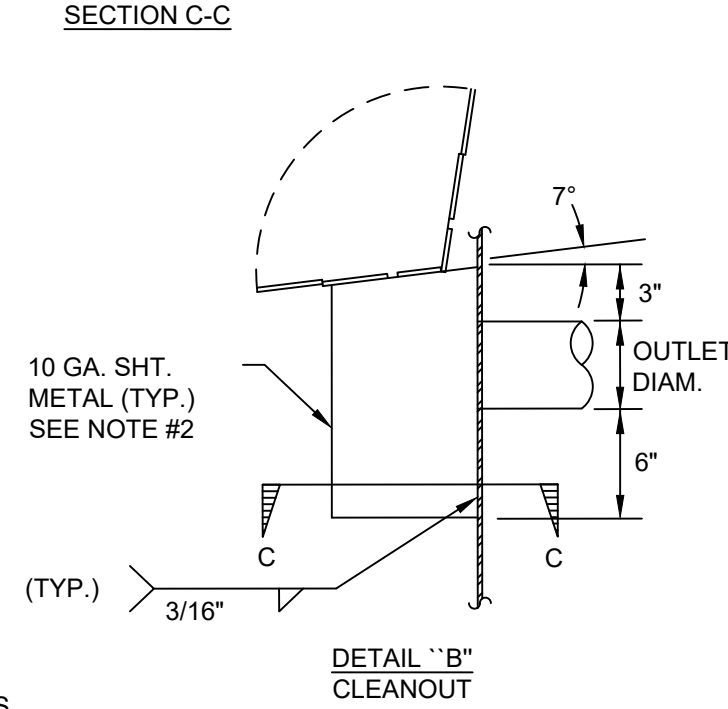
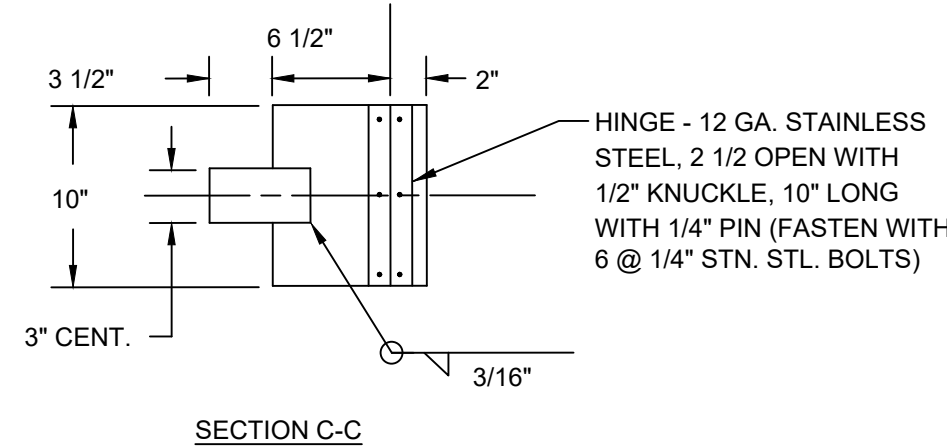
GENERAL NOTES:

1. BASIN SHALL BE CONTINUOUSLY WELDED. SIDES AND BOTTOM SHALL BE BUTT WELDED OR MEMBERS MAY BE OVERSIZED AND FILLET WELDED.
2. ASPHALT COAT OR GALVANIZE ALL SURFACED OF CATCH BASIN.
3. BREAK SHARP CORNERS AFTER WELDINGS.
4. ALL CATCH BASIN GRATES SHALL BE PAINTED BLACK AND SECURED TO THE BASINS USING BOLD OR APPROVED FASTENERS. ALL CATCH BASIN GRATES SUBMIT METHOD FOR REVIEW BY ENGINEER.
5. CONTRACTOR MAY SUBMIT FOR ALTERNATE SUMP CATCH BASIN.

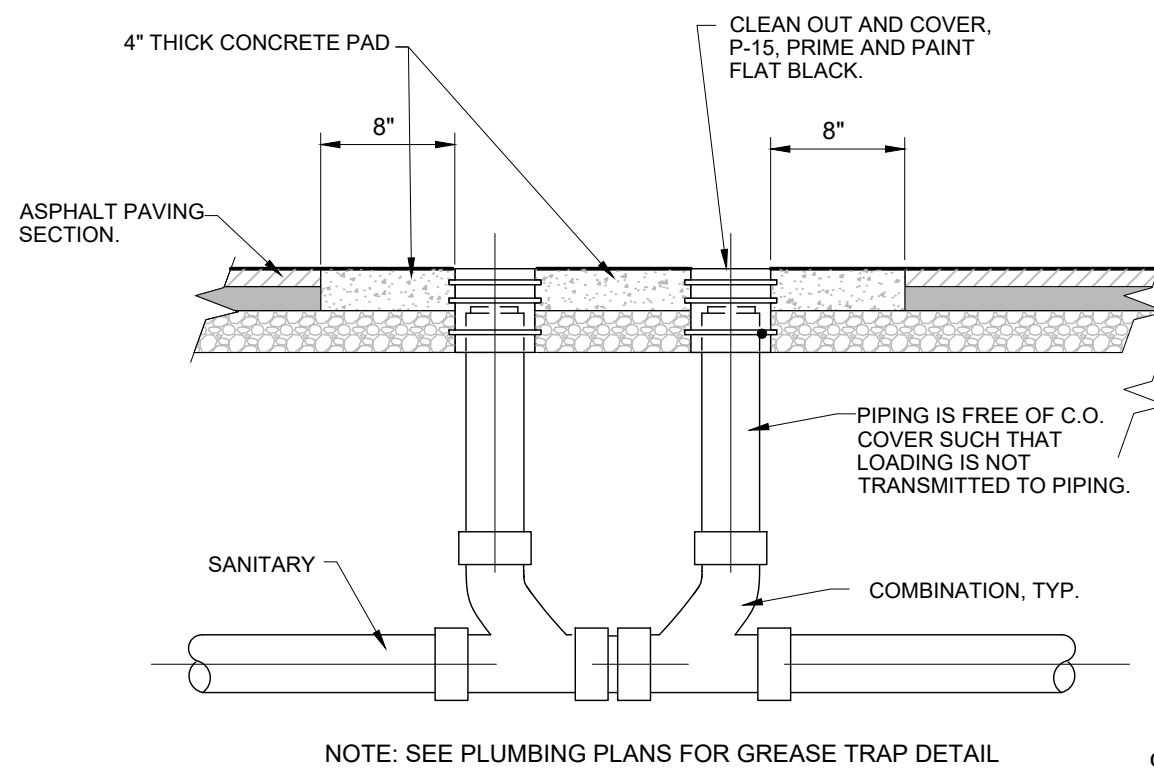
TYPICAL TRAPPED STYLE CATCH BASIN
NOT TO SCALE



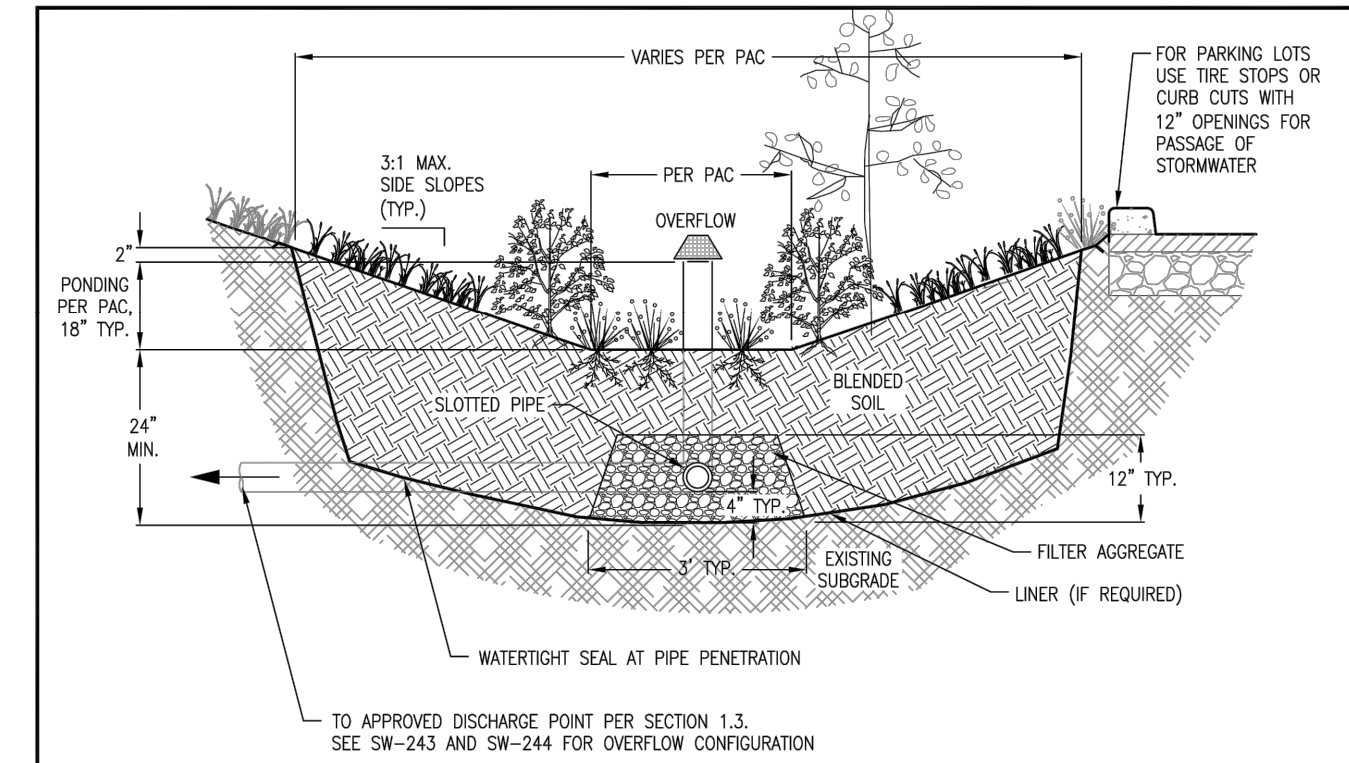
POND OVERFLOW STRUCTURE DETAIL
NOT TO SCALE



STANDARD CLEANOUT
NOT TO SCALE



CLEAN-OUT OUTSIDE OF BUILDING
NOT TO SCALE



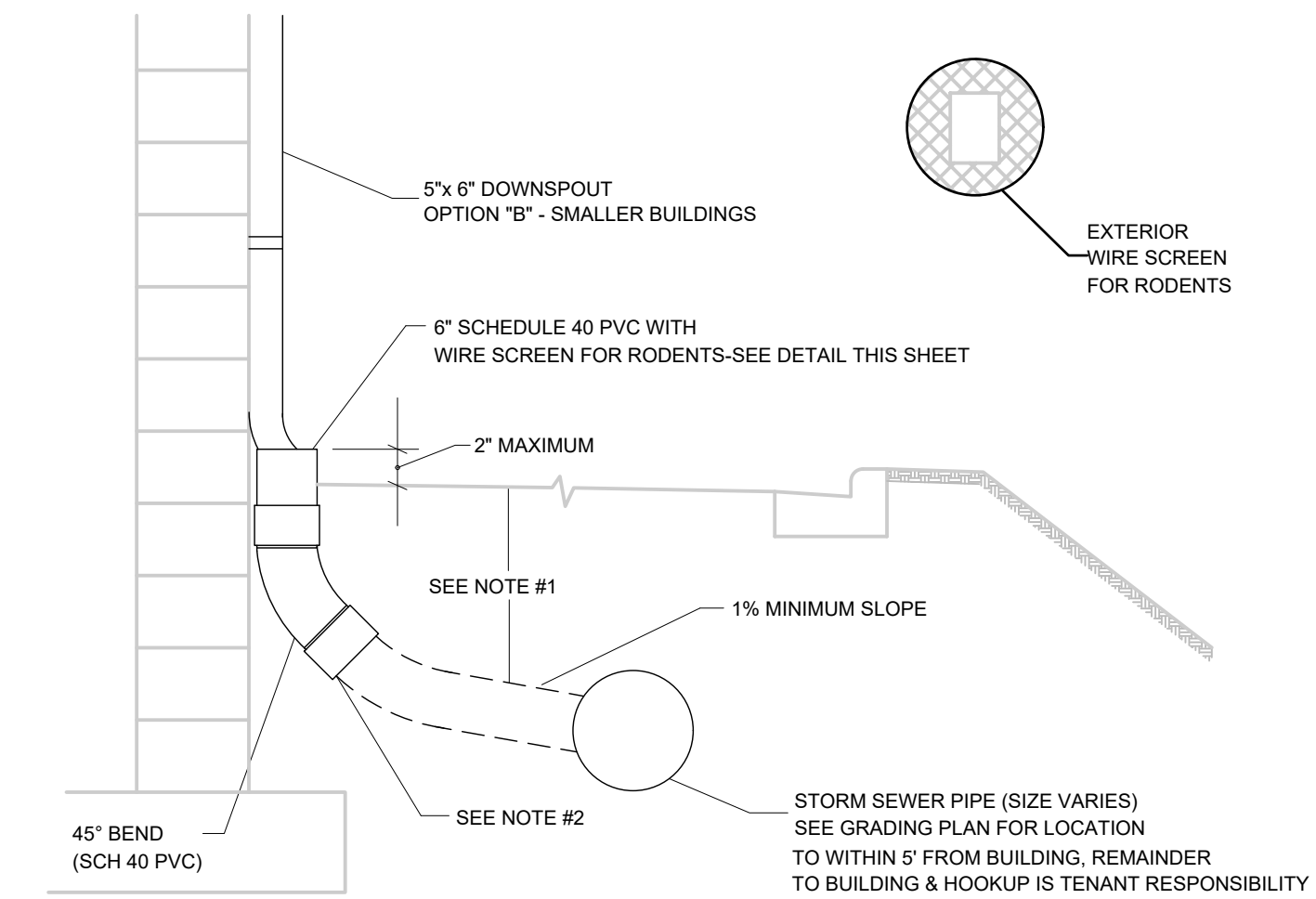
1. Detail intended as an example. Detail must match PAC assumptions and/or design report.
2. Setbacks: None required.
3. Overflow: Overflow elevation must allow for 2" of freeboard, minimum. Protect from debris and sediment with strainer or grate.
4. Underdrain System: Sizing is per the PAC. The underdrain must be 4" slotted schedule 40 PVC well casing pipe manufactured with .050" slots, 6 slots per row. See SW-243 for longitudinal section and SW-244 for office examples. Conform with Oregon Plumbing Specialty Code (OPSC) requirements. Alternative configurations and materials such as cellular storage systems, drainage mats, and non-standard aggregates may be used under the Performance Approach, with BES approval.
5. Vegetation: Refer to plant list in SWMM Section 3.5. Minimum container size is 1 gal. Number of plantings per 100sf of facility area:
 - Zone A (wet): 80 herbaceous plants OR 72 herbaceous plants and 4 small shrubs.
 - Zone B (moderate to dry): 7 large or small shrubs AND 70 groundcover plants.The delineation between Zone A and B shall be either at the outlet elevation or the check dam elevation, whichever is lowest. If project area is over 200sf consider adding a tree.
6. Blended Soil: Use BES standard soil blend for stormwater facilities (SWMM Section 6.3) unless otherwise approved. Install minimum of 24" of blended soil. Waterproof Liner: 30 mil EPDM, HDPE or approved equivalent.
7. Entrance Erosion Control: Install river rock, flagstone, or similar to dissipate the energy of incoming water at entrances and ends of downspout extensions.
8. Check Dams: Spacing per the PAC. Check dam ends must be keyed into the native soil a minimum of 12".
9. Inspections: Call BDS WR Inspection Line, (503) 823-7000, request 487. 3 inspections required.

CONSTRUCTION REQUIREMENTS

Do not allow temporary storage of construction waste or materials in the facilities. Do not allow entry of runoff or sediment during construction.

- DRAWING NOT TO SCALE -

		STORMWATER MANAGEMENT TYPICAL DETAILS FOR PRIVATE PROPERTY	BASIN WITH UNDERDRAIN	SW-241
9-8-20				



- NOTES:
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
 2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
 3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITERWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

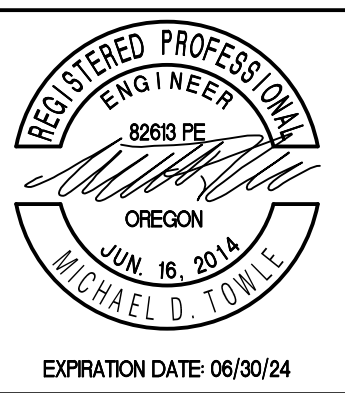
BUILDING DOWNSPOUT CONNECTION
NOT TO SCALE



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SHEET

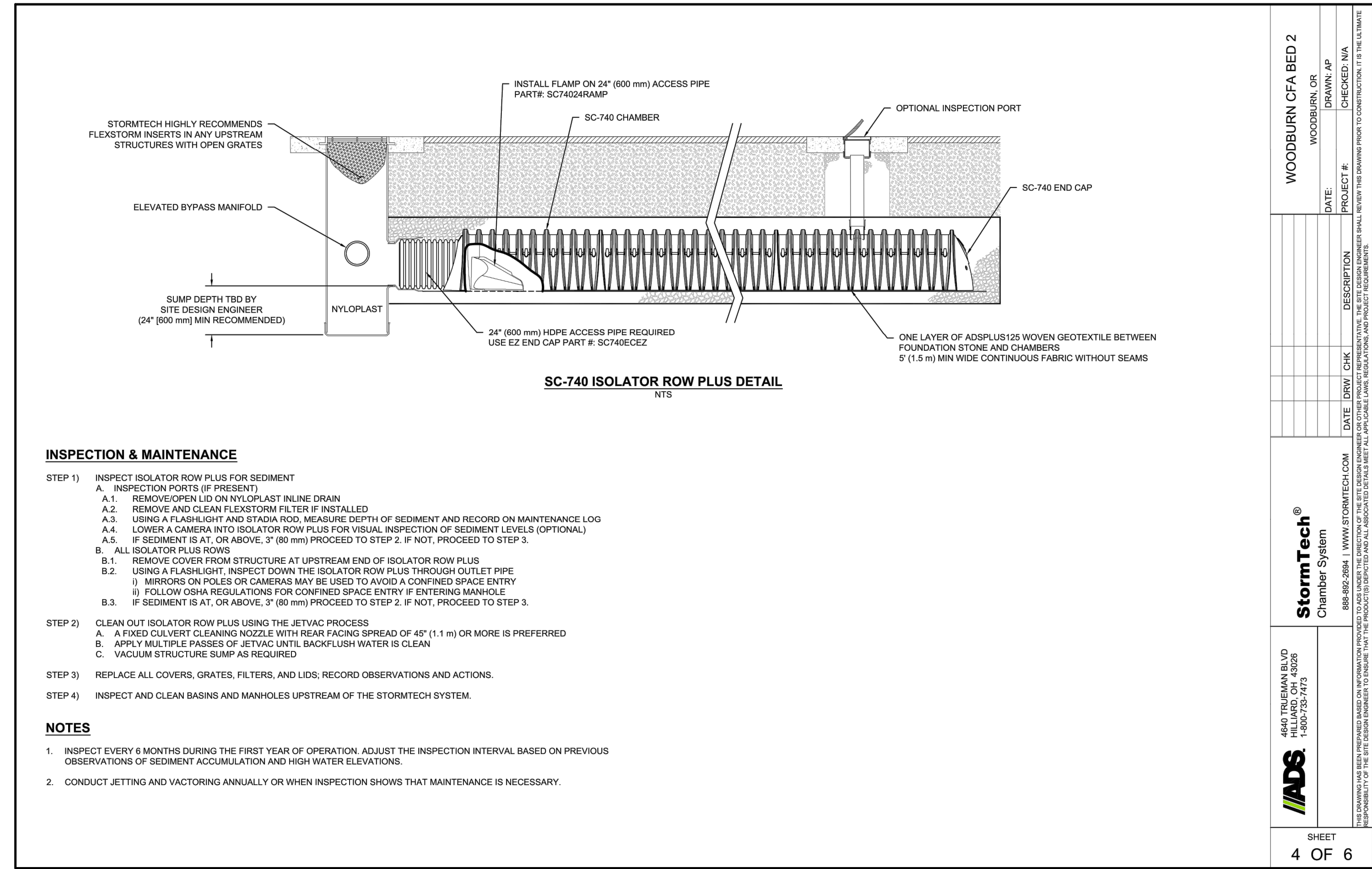
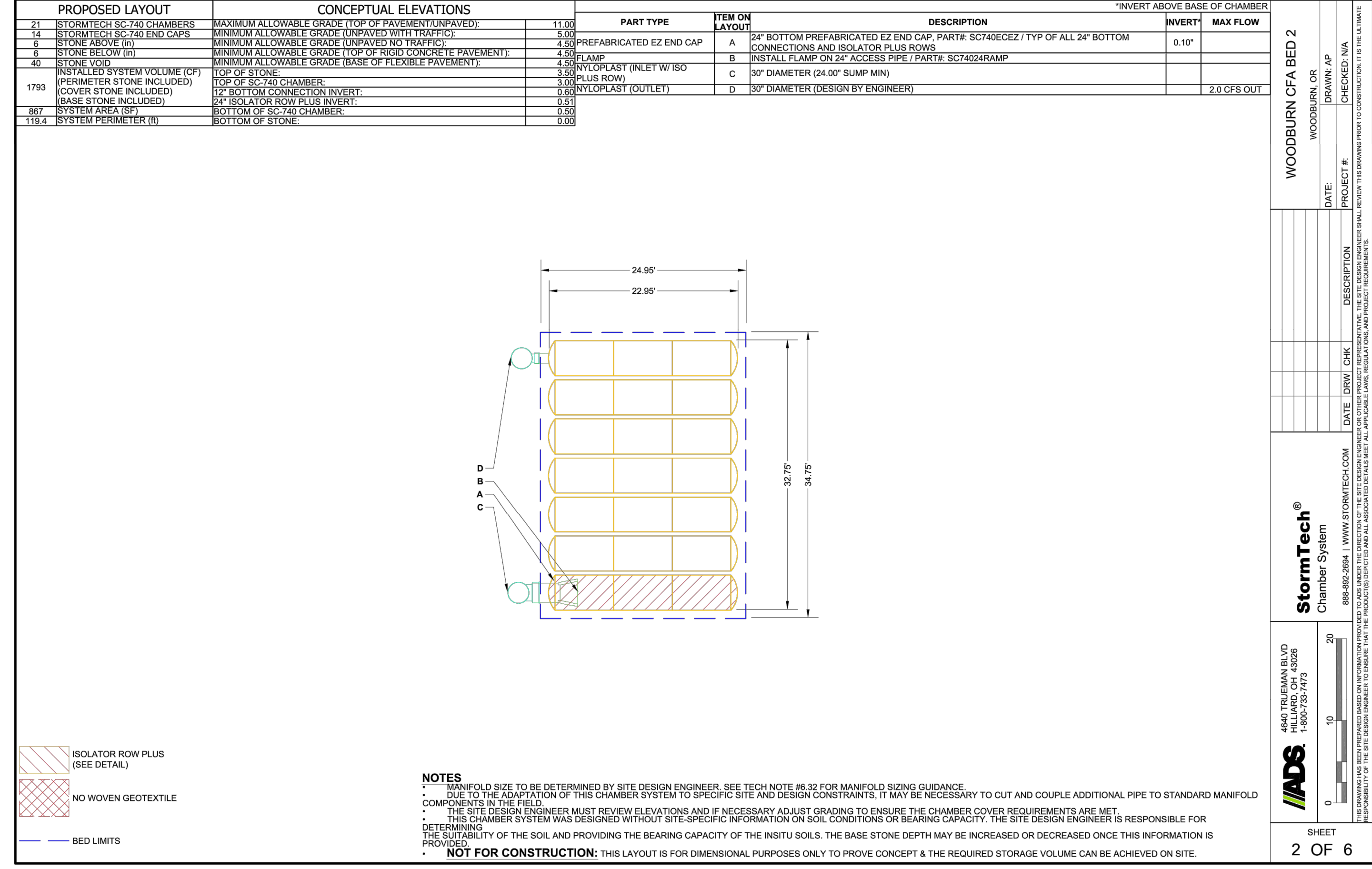
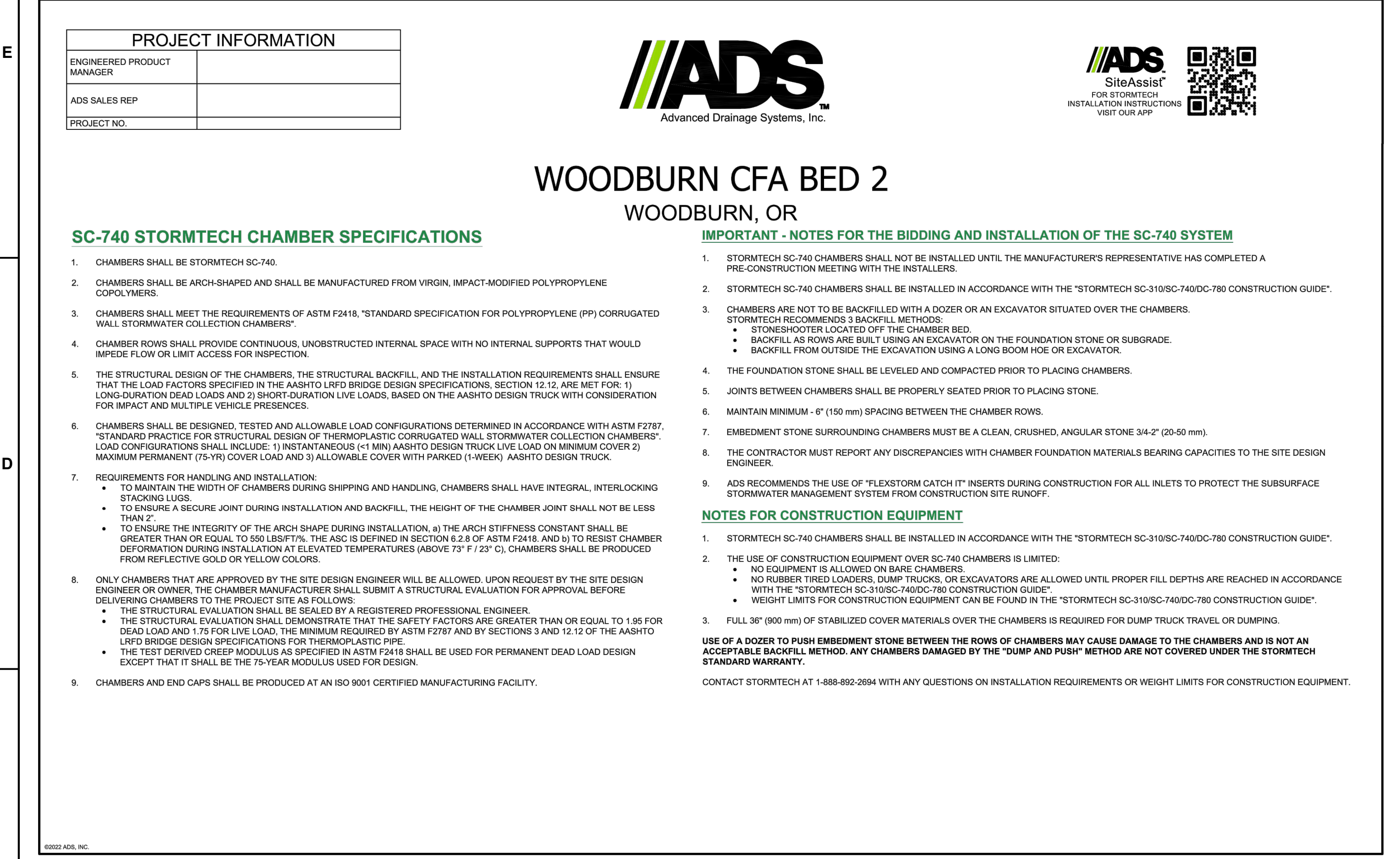
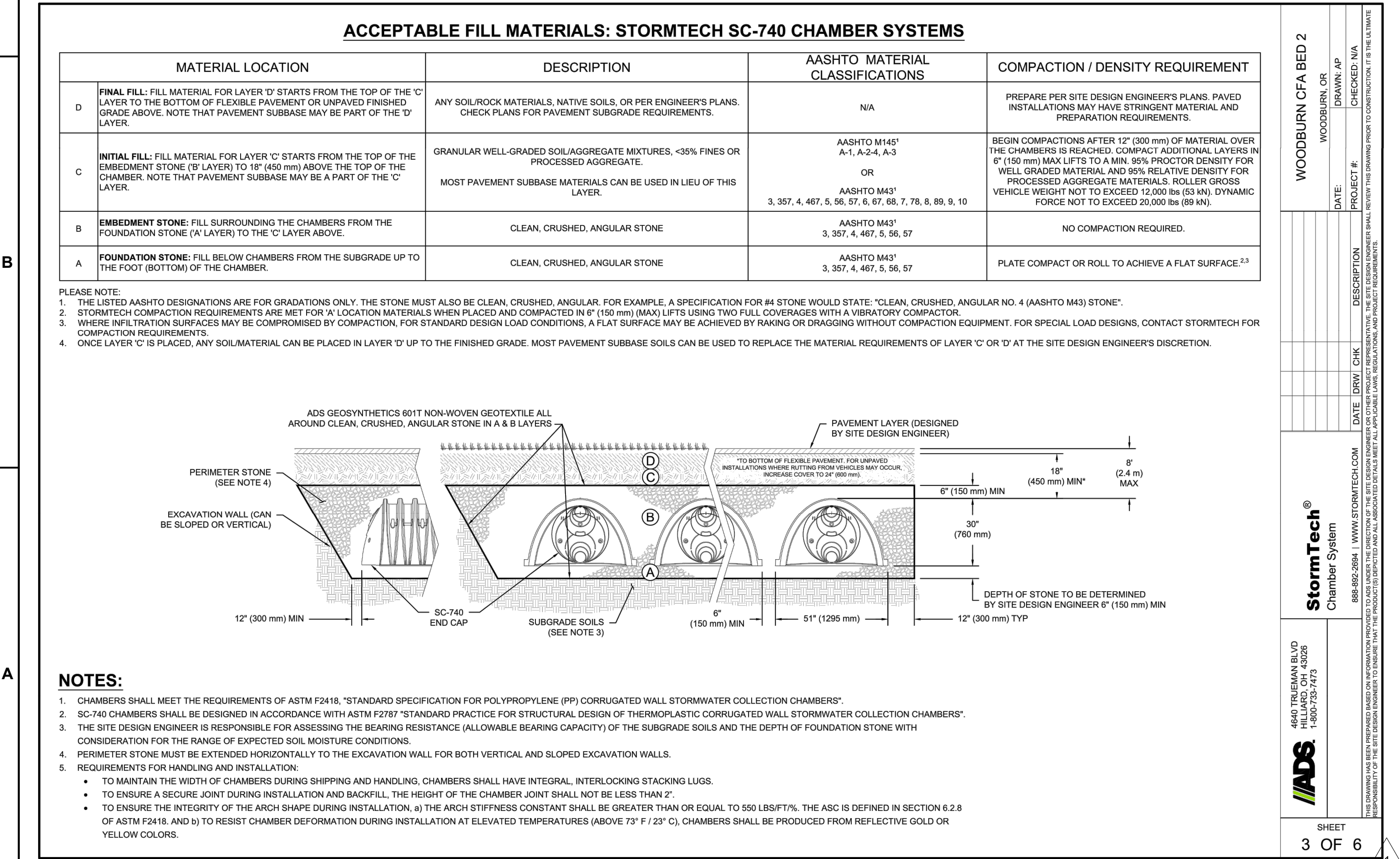
STORM DETAILS 1

SHEET NUMBER

C6.3

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STORM DETAILS 3

SHEET 4 OF 6

C6.5

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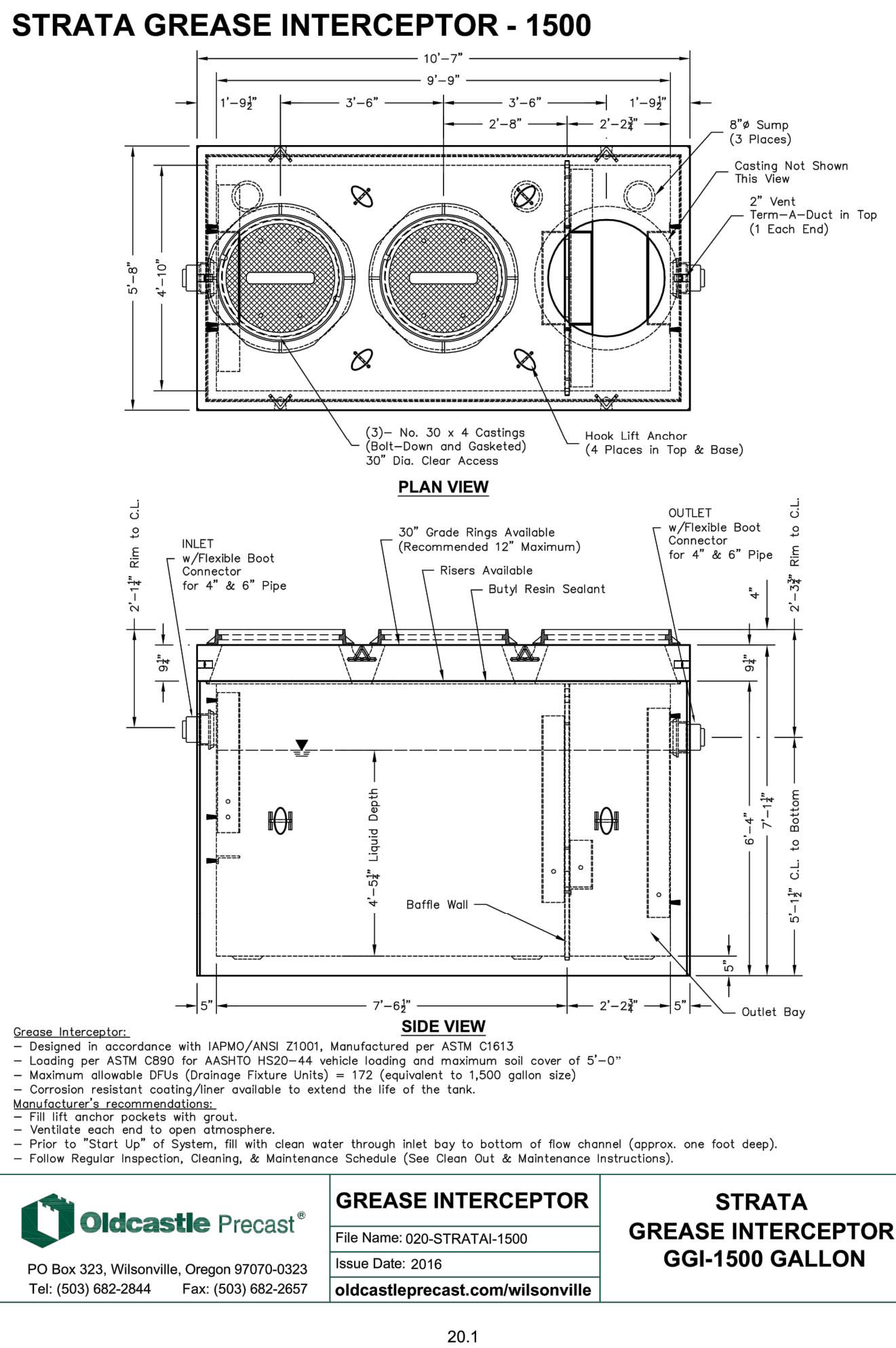
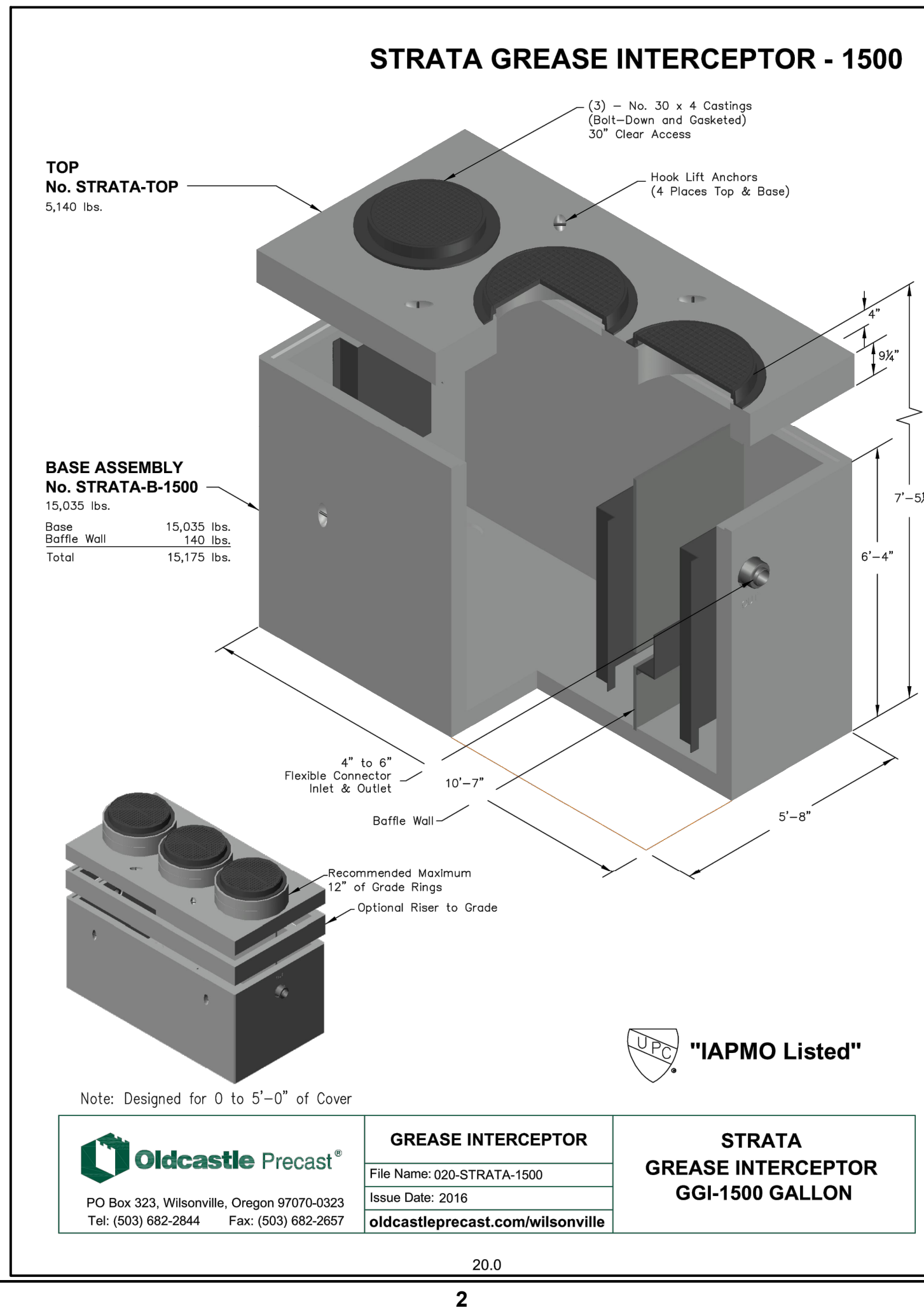
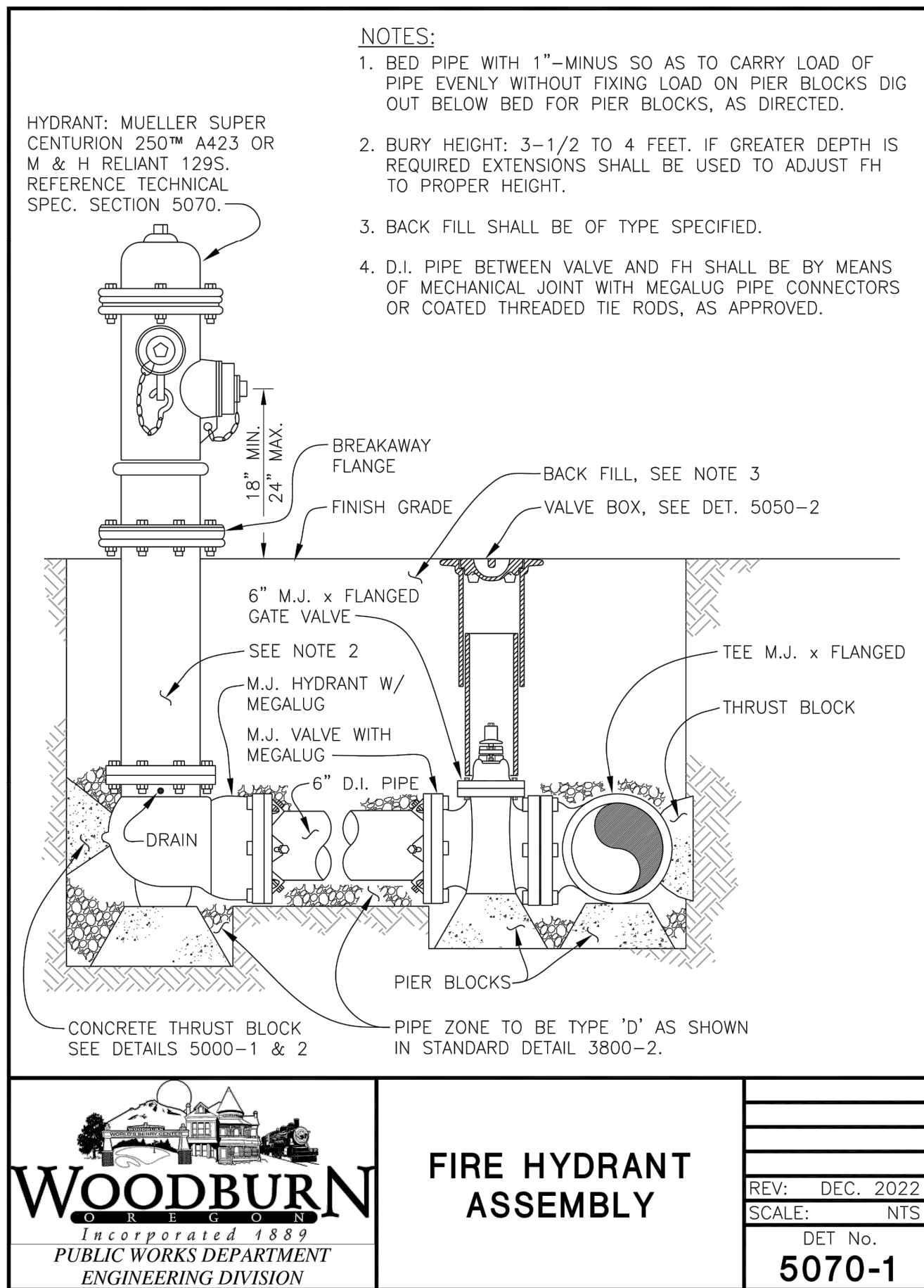
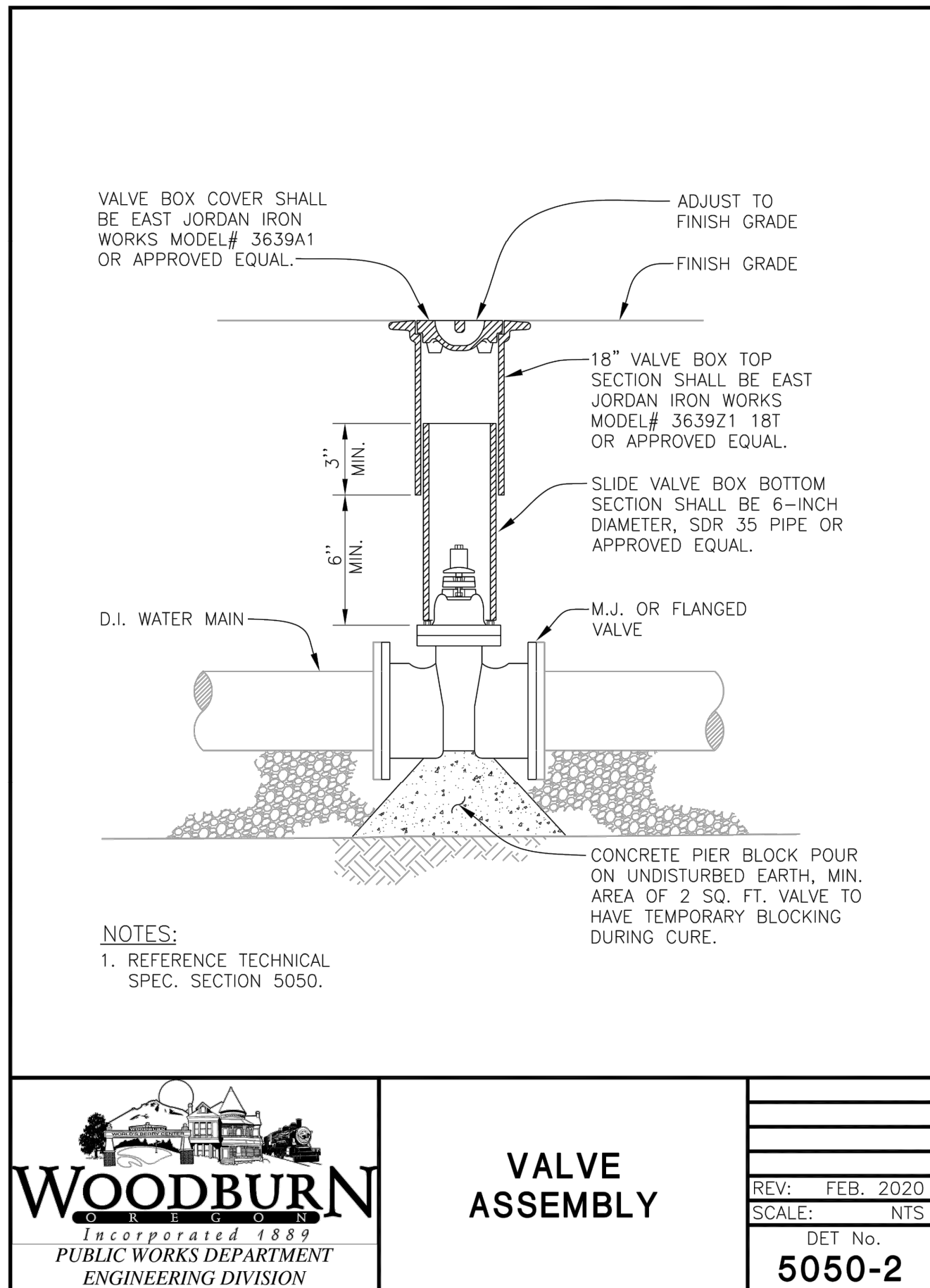
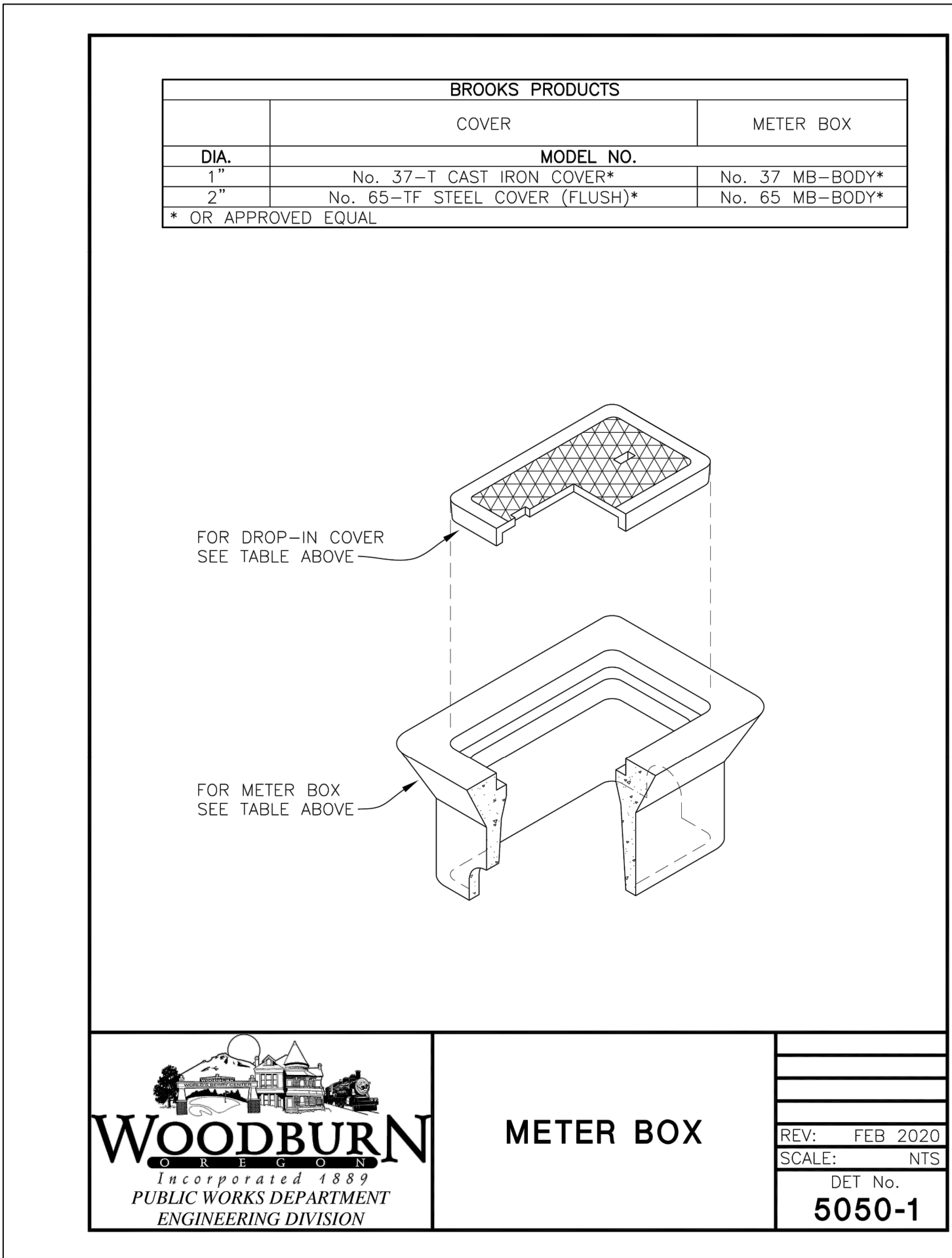
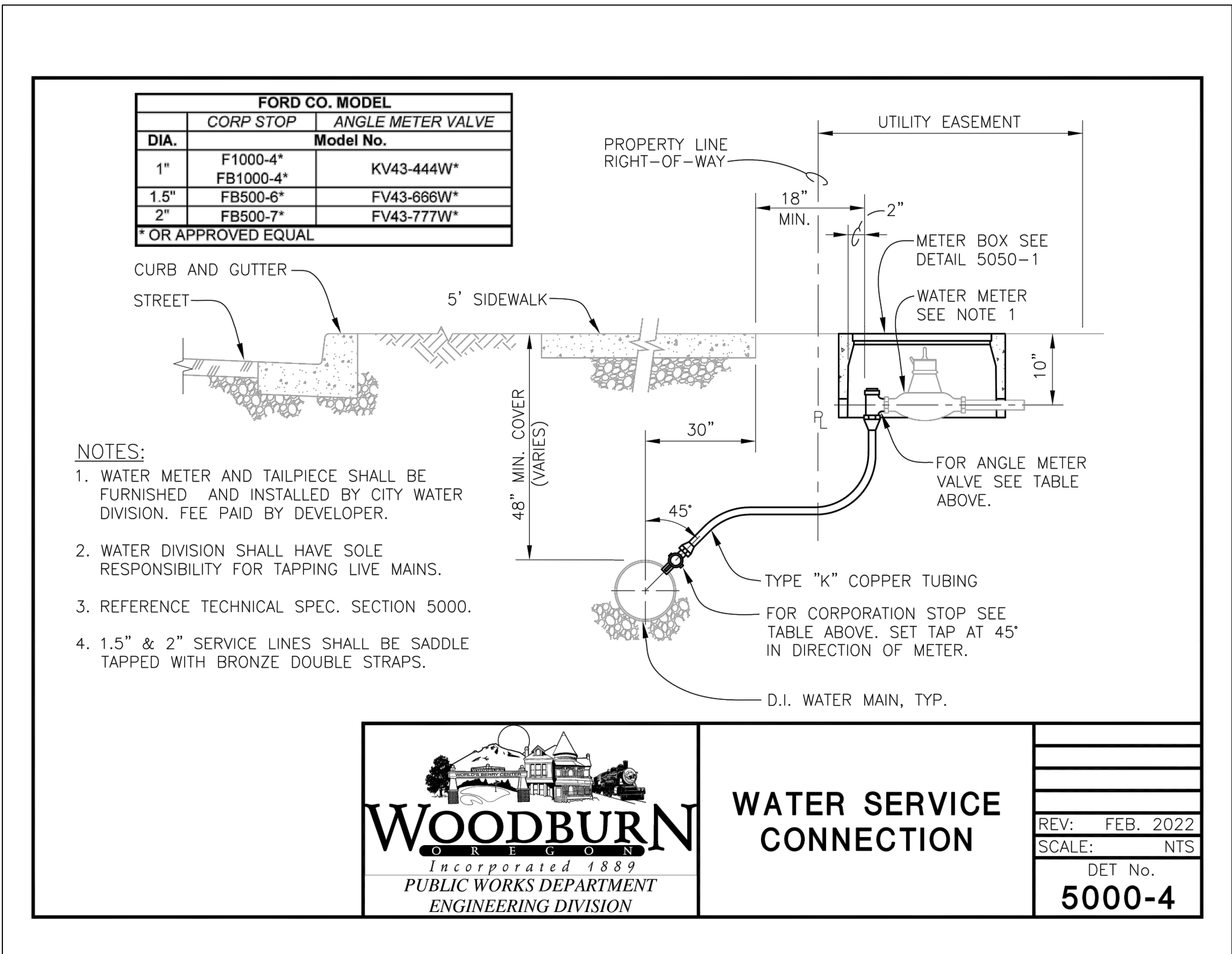
DOWL

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PORTLAND, OREGON 97204
971-280-8641

REGISTERED PROFESSIONAL ENGINEER
8260 P.E.
JUN. 16, 2016
MICHAEL D. FOWLE
EXPIRATION DATE: 06/30/24



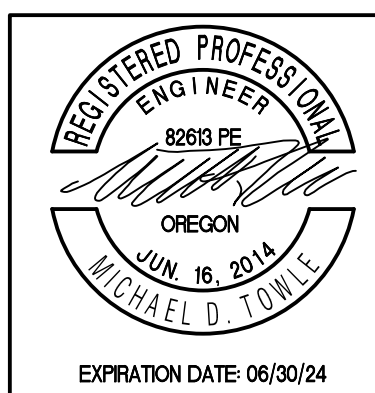
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UTILITY DETAILS

SHEET NUMBER

C6.7