



Final Decision

Planning Commission

File number(s): MOC 23-03 to CU 22-02, DR 22-11, & VAR 22-09



Project name:

Date of decision: January 11, 2024

Applicant: Chris Peck, Triumph Specialty Construction, Inc., 1001 E. Fork Dr, Flint, MI 48503

Landowner: Conroy LLC, 23400 NE Townsend Way, Fairview, OR 97024-4626 (Townsend Farms [Margaret Townsend, Vice President])

Site location: 960 Young St; Tax Lot 051W18AD08300

Summary: Regarding Modification of Conditions MOC 23-03, the Planning Commission held a public hearing on January 11, 2024 and unanimously acted upon the application (Type III) as follows:

1. Denying request 1 that was to not widen and improve Young Street frontage with asphalt, new curb, landscape strip with street trees, and wider sidewalk, and
2. Approving with condition a form of request 2, which was to not screen the east side of the north outdoor storage yard with shrubbery inside the east lot line, that though the developer remains required to plant the shrubbery, the developer may plant it on the Joyce Way side of the east lot line in exchange for a one-time fee towards parks maintenance irrigation and pruning -- \$2,257 – as staff had recommended in the addendum memo of January 11, 2024, page 2 item D, that staff distributed at hearing.

This MOC final decision document contains all the conditions and attachments from the CU 22-02 final decision document of January 26, 2023 and supersedes that document by indicating in strikethrough-and-underline the modified Condition CU5 and Attachment 203 per the Commission action on MOC 23-03.

The CU 22-02 request was for conditional use per Woodburn Development Ordinance Table 2.03A, row C4 “motor freight transportation and warehousing, including local or long-distance trucking or transfer services, storage of farm products, furniture, other household goods, or commercial goods, and mini-storage” – minus mini-storage – and is focused on “motor freight transportation and warehousing, including local or long-distance trucking or transfer services, storage of farm products ...” specifically, with an emphasis on trucking and warehousing of farm products (berries).

With the CU there was also a design review application type for net additional 2,400 square feet (sq ft) of building area by demolishing 8,000 sq ft and building 10,400 sq ft as an industrial freezer tunnel at the southeast corner of the subject property.

The subject property is in the Commercial General (CG) zoning district.

Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

¹“Joyce Way” refers to an unimproved unnamed City ROW 50 feet (ft) wide that runs northerly-southerly between 960 and 1030 Young Street (Tax Lots 051W18AD08300 & 051W18AD08400) and extends to Young at the north and Willamette Valley RR at the south. County Tax Map 051W18AD delineates it. (City Planning staff has referred to it as “Joyce Way” since the time of pre-application meeting PRE 2020-04 on February 27, 2020 because that is the same name as the nearest street to the north along an imaginary line, Joyce Street, and WDO 3.01.06C.1d lists the suffix “Way” as an acceptable one.)



Subject property outlined in green; approximate west half of “Joyce Way” ROW indicated by purple bar

Conditions of Approval:

General

G0. The applicant/developer shall comply with the general conditions in Attachment 202.



Conditional Use 22-02

Frontage/street improvements

CU1. Frontage/street improvements:

a. Young Street:

(1) ROW curvature: To accommodate potential improvement of the west side of Joyce Way and curvature for turning vehicles at the west/southwest corner of a T-intersection of Young and Joyce, the applicant shall dedicate a blunted area of the subject property east/northeast corner as ROW of a curvature per public works standards.

Note: See Note A below.

(2) Landscape strip and sidewalk: Based on WDO 5.03.01B.3c5), the landscape strip shall be minimum (min) width 6.5 ft including curb width, and the sidewalk min width 8 ft.

(3) Street tree fee in-lieu: If the developer opts for street tree fee in-lieu, it shall be for maximum (max) 3 of the min 5 street trees that WDO 3.06.03A.1 (1:30) requires and with a fee per Attachment 203.

(4) Fence/fencing: The developer shall remove any existing north yard fencing from within the widened Joyce Way ROW prior to building permit final inspection.

Note: See also Condition D1.

b. Joyce Way: Because of Variance VAR 22-09, see Conditions V1 & V1.

Trash Enclosure

CU2. Trash enclosure: If any outdoor storage of trash and recycling is later proposed, then per WDO 3.06.06B.

Tree Preservation

CU3. Tree preservation:

- a. ROW: n/a.
- b. On-site:
 - (1) The developer shall pay a mitigation fee for Trees 16 & 17, which Sheet C007 illustrated as proposed to be removed, per Attachment 203.
 - (2) Based on WDO 5.03.01B.3c5), the developer shall replace Trees 1-3 proposed to be removed with two coniferous/evergreen trees at minimum size at planting per Table 3.06B and in the same 10-foot wide easterly south yard along the building addition.

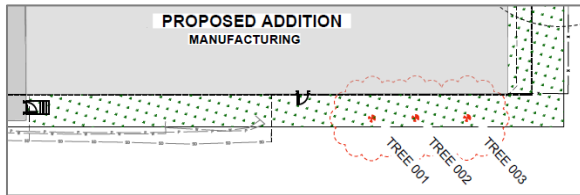


Exhibit CU3b(2)-1: Trees 1-3 from Sheet C007

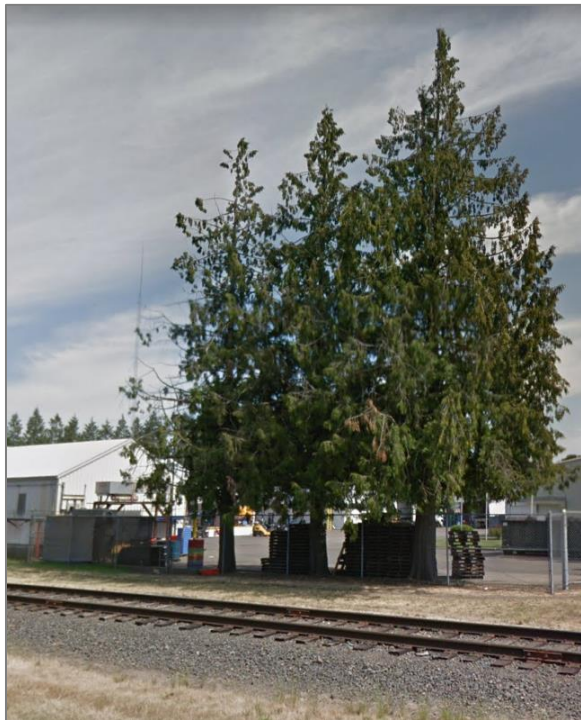


Exhibit CU3b(2)-2: Trees 1-3 from Google Street View June 2018

Landscaping

CU4. North yard:

- a. Trees: Based on WDO 5.03.01B.3c5), the north yard shall have min two trees that complement the row of street trees and are placed within a band between streetside PUE and 20 ft from ROW.
- b. Hedge/shrubbery: Based on WDO 5.03.01B.3c5) and to buffer/screen from the north, the developer shall replace the shrubbery proposed to be removed with minimum 18 shrubs that are large size category at maturity per WDO Table 3.06B.



Exhibit CU4b: North yard shrubbery to be removed Google Street View August 2017

CU5. Based on WDO 5.03.01B.3c5) and to buffer/screen from the east, along the existing outdoor storage yard chain link fence, the developer shall plant evergreen shrubbery, specifically 40 shrubs that are large size category at maturity per WDO Table 3.06B along the ~~outside of the fence and minimum 10 ft from the existing Joyce Way ROW boundary, which is equal to 5 ft from the to be widened Joyce Way ROW east lot line adjacent to the storage yard. The developer may plant it on the Joyce Way side of the east lot line for a fee per Attachment 203.~~



Exhibit CU5: Outdoor storage yard east side fencing Google Street View August 2017

CU6. Evergreen: 2 min of trees new to the site. The 2 shall be 1 min of the following coniferous or evergreen species:

Cedar, Western Red	Madrone, Pacific
Douglas-Fir	Oak, Oregon White
Fir, Grand	Pine, Ponderosa; and
Hemlock, Western	Yew, Pacific

CU7. Screening: Evergreen hedge or shrubbery shall be screen at-grade electrical and mechanical equipment along their sides, excepting the side intended for technician access. For at-grade electrical transformers, minimum two sides shall be screened.

CU8. Discontinuance/Revocation: Because the WDO does not specify if and when a conditional use approval would expire were a use to cease, based on WDO 4.02.04B the approval shall expire if the WDO Table 2.03A, C.4 use of “motor freight transportation and warehousing, including local or long-distance trucking or transfer services, storage of farm products, furniture, other household goods, or commercial goods ...” ceases and 3 years pass without the use recommencing. This CU approval excludes the use “mini-storage” from the group of uses as the WDO terms.

CU9. CU Modification: Because the WDO, including 5.03.01, does not specify how changes to an approved conditional use (CU) and related site improvements might trigger another CU or modification of a CU approval, for Director determination the following serve as criteria and – where noted – as factors:

- a. The primary use would become other than fresh and frozen berry growth, processing, and distribution and the storage of farm products;
- b. Significant expansion of the use, factors being an increase in any of: total gross floor area (GFA) by 25.0% or more or by an absolute value of 10,000 sq ft or more, and the number of buildings by 2 or more;
- c. Increase in off-street parking by 12 or more stalls, even if the existing supply were in excess of the minimum required ratio(s);
- d. Net Increase in impervious surface totaling more than 10,000 sq ft;
- e. Any proposal necessitating a variance application to vary from the WDO;
- f. Any proposal necessitating a Type III or IV land use application type;
- g. City adoption of a unified development ordinance replacing the WDO were to have intervened; and
- h. Proposal by the landowner for the City to approve formally a long-range master plan for the redevelopment of the subject property.

Modification of a specific condition of approval remains pursuant to WDO 4.02.07. Were the City to have amended the WDO to establish modification provisions for conditional uses, the Director may determine that the provisions supersede this condition of approval.



Design Review 22-11

D1. Frontage/street improvements: To conform with 3.01:

a. Young Street: The developer shall:

(1) ROW: Dedicate ROW of min width to achieve a min width of 37 ft south of road centerline per WDO 3.01.04B and Figure 3.01C “Minor Arterial”.

(2) PUE: Grant a streetside PUE min 5 ft wide per WDO 3.02.01B and max 8 ft wide per 3.02.01F.2.

Note: See Note A below.

(3) Street trees: The developer shall revise the site plan Sheet C003 or equivalent:

(a) To conform with WDO 3.06.03A.2a by indicating a species that is large size category at maturity as Table 3.06B describes; and

(b) To conform with WDO Table 3.06C by indicating a permissible species.

The developer shall revise the site plans prior to building permit issuance.

Note: See also Condition CU1a.

b. Joyce Way: Because of Variance VAR 22-09 regarding west half-street construction, see Conditions V1 & V2.

D2. Nuisance fencing: To conform with WDO 2.06.02D.4, a fence constructed of materials that could cause bodily harm, including, but not limited to, those conveying electric current, razor wire, spikes and broken glass, is prohibited.

D3. Electric power pole(s) and line(s): To conform with WDO 3.02.04B, the developer shall pay an electric power pole removal and line burial fee per Attachment 203.

D4. Vehicular area pavement: This condition is applicable only if between land use approval and building permit issuance Oregon Fire Code (OFC) Appendix D as administered by the independent Woodburn Fire District designates a route in the west side yard leading to and from Gatch Street as a required fire apparatus access road: To increase conformance with WDO 3.05.02F, the developer shall pave per 3.04.04 a drive aisle min width 20 ft in the west yard where there is employee parking, extending at the west to the west lot line where there is an access easement that benefits the subject property across the property at 100 Gatch Street (Tax Lot 051W18AD07300) and at the east where there is existing asphalt or concrete vehicular area, an extent of approximately 130 ft. Due by building permit final inspection. (This condition does not require curbing; note that 3.04.04 allows “grasscrete”.) The developer shall revise the site plans prior to building permit issuance.

D5. Wide walkway: To conform with WDO 3.04.06B, the developer shall provide a wide walkway between Young Street sidewalk and a pedestrian entrance in Building B. Striping a boundary within existing pavement is a means to establish a wide walkway, though a walkway cannot overlap the travel lanes of a driveway throat or drive aisle. Based on 3.04.06D, where it crosses a drive aisle or vehicular area, the wide walkway shall be striped with any of hatch or ladder pattern or bars perpendicular to the crossing. The developer shall revise the site plans prior to building permit issuance.

D5a. Left turn pocket striping: Based on WDO Table 3.04A rows “Paved Width of Driveway”, “2-way”, & “Industrial” and 3.05.02J, within the Young Street driveway throat the developer shall stripe a center left turn pocket for vehicles that turn left to exit the site. Min striping is double yellow lines and a left arrow. The developer shall revise the site plans prior to building permit issuance.



Exhibit D5a Conceptual example of driveway left turn pocket

D6. Parking: To conform with WDO Table 3.05A, the developer shall revise the site plans to illustrate and note how there is conformance with the minimum off-street parking ratio(s) – prior to building permit issuance – and provide such parking.

Note D6: Based on the situation, the applicant would:

- a. Demonstrate whatever the minimum parking is to provide later, demonstrating sometime between the start of the Planning Commission hearing and when the Commission closes the public hearing and grants tentative land use approval with conditions, or
- b. All three of: ask the Commission to continue the hearing, get a continuance, and in writing grant the City an extension of at least 14 days of the final decision due date as ORS 227.178(5) allows to resolve the parking issue, or
- c. After land use approval with conditions, delay building permit issuance by weeks or months by submitting either a Zoning Adjustment (ZA) or variance application to deviate from whatever the minimum required parking is if the applicant can't or doesn't want to provide the agreed-upon WDO minimum, and have a Commission hearing and the Commission grant a tentative land use decision.

D7. C/V: To conform with WDO Table 3.05C and 3.05.03H, the developer shall revise the site plans to illustrate and note how there is conformance with the minimum carpool/vanpool (C/V) parking and C/V parking standards – prior to building permit issuance – and provide such C/V parking. Of the min number of stalls, if any, min 1 shall be paved per WDO 3.05.02F and 3.04.04 and striped per Figure 3.05C.

D8. EV: To conform with WDO Table 3.05E and 3.05.03I, the developer shall revise the site plans to illustrate and note how there is conformance with the minimum electric vehicle (EV) parking and EV parking standards – prior to building permit issuance – and provide such EV parking. Of the minimum number of stalls, if any, min 1 shall be paved per WDO 3.05.02F and 3.04.04 and striped per Figure 3.05C.

D9. Bicycle parking: To conform with WDO Table 3.05D row 1 and 3.05.06, the developer shall revise the site plans to illustrate and note how there is conformance with the minimum off-street bicycle parking and bicycle parking standards – prior to building permit issuance – and provide such bicycle parking.


D9a. Landscaping general requirements: To conform with WDO 3.06.02, the developer shall revise the site plans to illustrate and note how there is conformance with the landscaping general requirements – prior to building permit issuance – and plant required landscaping accordingly.

D10. To conform with WDO 3.10.08R, the developer shall remove the existing monument sign from the area within Young Street widened ROW and streetside PUE.



Exhibit D10: North yard monument sign Google Street View August 2017

D11. Lighting: Altered and new exterior lighting shall be per WDO 3.11.02 and, for permanent signage, per WDO 3.10.06G, and the shall revise Sheet C006 or equivalent – prior to building permit issuance – to illustrate and note how there is conformance.



Design Review 22-11: Transportation

T-T1. Bus transit fee: To further TDM through local and regional bus transit and vanpooling, the developer shall pay a transit service fee per Attachment 203. [This condition relates to TSP projects T41 & 16 and TDM1 and TPU projects 1, 2, 3, 11, 12, 13, 15, & 20.]

Variance 22-09

V1. Joyce Way west half-street improvements variance: Fire apparatus road #1: The request to vary from Woodburn Development Ordinance (WDO) 3.01.03A & C.1, Figure 3.01A, 3.01.04B.1, and Figure 3.01G regarding the unnamed paper street right-of-way (ROW) at the east that City staff terms “Joyce Way” is approved, but with provisions as follows and, where conflicting with Condition G4, superseding:

- a. Objective: The objective of this condition is to have Townsend Farms improve or pay for improved fire access as follows: Upon either DR 22-06 1030 Young Street residences development or any redevelopment of that property that constructs a Joyce Way east half-street similar to how land use review Sheet PP-2 illustrated providing access to 1030 Young Street, then Townsend Farms shall per Woodburn Fire District (WFD) administration of the Oregon Fire Code (OFC) improve the gap between the half-street and the east dead-end of fire apparatus road #1 as CU 22-02 land use review Sheet C004 illustrated it and install a gate and emergency key box.

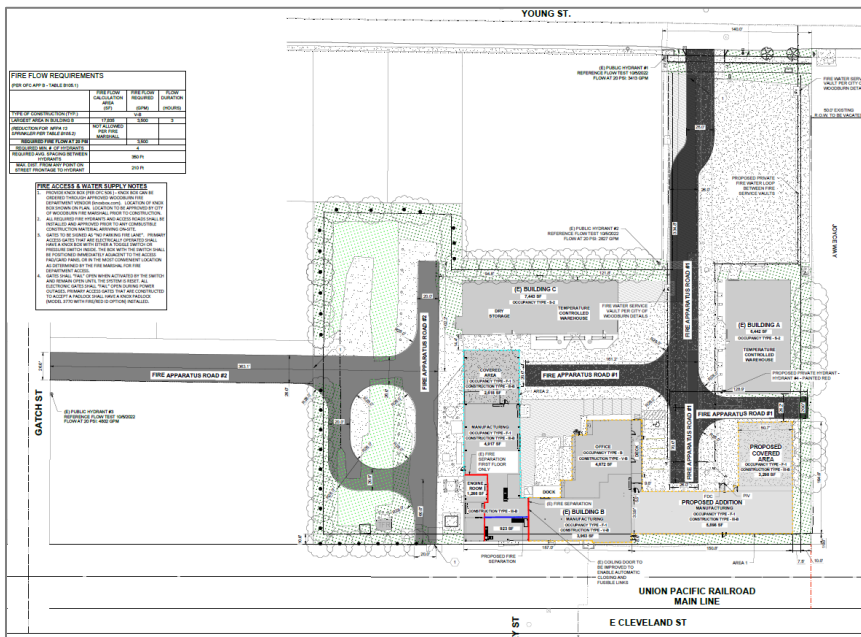


Exhibit V1a-1 Sheet C004 Fire apparatus roads

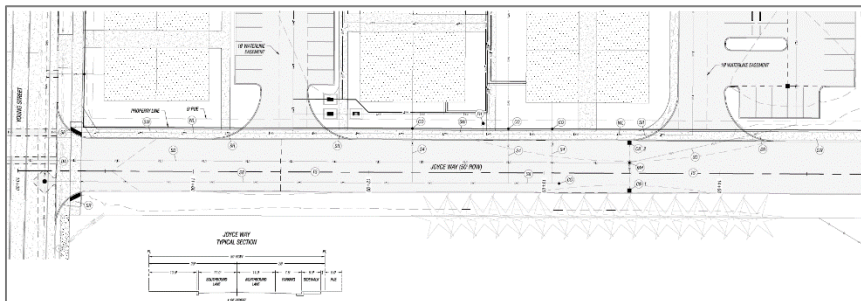


Exhibit V1a-2 DR-22-06 1030 Young Street Sheet PP-2 Joyce Way east half-street

- b. Due date: Per the WFD Fire Marshal, yet no later than before issuance of the first certificate of occupancy (C of O) for a 1030 Young Street redevelopment. The City delegates administration of this fire access condition to the WFD Fire Marshal, and after the developer and the Fire Marshal implement the condition, the developer shall submit to City staff documentation that the WFD considers the condition met, whether through improvement or fee in-lieu.
- c. Fee in-lieu: If the WFD Fire Marshal allows, the developer may pay a fee in-lieu per Attachment 203.
- d. Consent to temporary construction access: By this condition, in a scenario where a party other than Townsend Farms is to bring about the conditioned fire access improvements, then the property owner consents to temporary construction access by District staff or contractors coming onto the subject property, on and near the east dead-end of fire apparatus road #1, as necessary to complete construction and installation of the conditioned fire access improvements.
- e. The developer shall revise the site plans prior to building permit issuance.

~~V2. Joyce Way west half street improvements variance: ROW & PUE:~~

- ~~a. ROW: As WDO 3.01.04B.1 and Figure 3.01G require, the developer shall dedicate minimum 5 feet of ROW along Joyce Way, within which along its full extent buildings neither exist nor are proposed.~~
- ~~b. PUE: The developer shall grant a streetside public utility easement (PUE) minimum 5 feet wide per WDO 3.02.01B and max 8 feet wide per 3.02.01F.2.
Note: See Note A below.~~
- ~~c. Fence/fencing: Based on WDO 2.06.02C.2 and 3.03.02C, the developer shall remove any existing east yard fencing from within the widened Joyce Way ROW either (1) prior to building permit final inspection or (2) in the indefinite future upon start of construction of Joyce Way improvements. (Removal shall remain at developer's expense.)~~

Note A: Absent platting or re-platting, dedication of ROW and granting of public easements necessitates a process through Public Works (PW) and City Council acceptance separate from land use approval, which could take several weeks. Upon tentative land use approval by the Planning Commission, contact PW to begin and finish dedication and granting sooner. The City Council usually meets second and fourth Mondays, and agenda packet materials are due to the City Recorder by the prior Tuesday at noon.

Notes to the Applicant:

1. Records: Staff recommends that the applicant retain a copy of the subject approval.
2. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
3. Signage: The approval excludes any private signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
4. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. *Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements.* This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
5. Mylar signature: The Community Development Director is the authority that signs plat Mylars and not any of the mayor, City Administrator, Public Works Director, or City Engineer. Only one City signature title block is necessary.
6. PLA Plat Tracker: Marion County maintains a plat tracking tool at <http://apps.co.marion.or.us/plattracker/>. Use it to check on the status of a recordation request to the County. City staff does not track County plat recordation.
7. Technical standards:
 - a. Context: A reader shall not construe a land use condition of approval that reiterates a City technical standard, such as a PW standard, to exclude remaining standards or to assert that conditions of approval should have reiterated every standard the City has in order for those standards to be met.
 - b. Utilities: A condition involving altered or additional sidewalk or other frontage/street improvement that would in the field result in displacement or relocation of any of utility boxes, cabinets, vaults, or vault covers does not exempt the developer from having to move or pay to move any of these as directed by the City Engineer and with guidance from franchise utilities.
8. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
9. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.

10. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current [Public Works construction specifications, Standard Drawings, Standard Details](#), and general conditions of a permit type issued by the Public Works Department.
11. ROW:
 - a. Dedication: The Public Works Department Engineering Division has document templates for ROW and easement dedications that applicants are to use.

ROW – and public utility easement (PUE) – dedications are due prior to building permit issuance per Public Works policy.
 - b. Work: All work within the public ROWs or easements within City jurisdiction must require plan approval and permit issuance from the Public Works Department. All public improvements construction work must be performed in accordance with the plans stamped “approved” by the City, and comply with the City’s Standard Specifications and Standard drawings.
12. Franchises: The applicant provides for the installation of all franchised utilities in any required easements.
13. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a “Hot Tap” method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
14. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in a communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
15. Fire: Fire protection requirements must comply with Woodburn Fire District standards and requirements, including how the District interprets and applies Oregon Fire Code (OFC). Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
16. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.

17. **Public Improvements Civil Plan Review:** The process by which to receive, review, and approve drawings and other documents related to public improvements required by these conditions of approval may be paired with or incorporated into building permit review, or, if directed by the City Engineer, through a civil engineering plans (CEP) review process led by the Engineering Division. If opting for CEP, the applicant shall not only follow the direction of the Engineer Division, but also take some actions to facilitate tracking by Planning staff and coordination with Engineering:
- a. **Cover letter:** Upon submitting application to the Engineering Division, simultaneously alert the Planning Division through a cover letter to the attention of the Planning Division referencing the intended or, if known, actual submittal date as well as the project name, project phase, tax lot number(s), street address(es), and the land use / planning / zoning final decision conditions of approval that require the public improvement that is the subject of the civil engineering plans. Referencing conditions may be by quotation or citing the identification numbers (e.g., T-A1). Identify the specific sheet (by number) or document page number that illustrates or notes how each subpart of a condition is met.
 - b. **Contact information:** State the applicant's name, company, phone number, e-mail, and desired date for City staff to respond with review comments. The cover letter may include these.
 - c. **Plan copies:** Submit to the attention of the Planning Division at least two plan size copies of plan sets (24 by 36 inches). Within the cover sheet title block(s), include the phrase "civil engineering plans" or "public improvements civil plans". Submit also Adobe PDFs using a fileshare service.
 - d. **Re-submittal fee:** If there are multiple re-submittals, beginning with a third submittal / second revised submittal and continuing with each subsequent submittal, the applicant must pay through the Planning Division into City general revenue a fee of \$100.

Where public improvements involve the jurisdiction of an outside agency such as the Oregon Department of Transportation (ODOT), the developer must account for that when interacting with the City Engineer and City Public Works Department process.

Appeals: Per WDO 4.01.11E., the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this notice per 4.02.01B.1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact Cassandra Martinez, Administrative Specialist, at (503) 982-5246 or cassandra.martinez@ci.woodburn.or.us.

Expiration: Per Woodburn Development Ordinance (WDO) 4.02.04B., a final decision expires within three years of the date of the final decision unless:

1. A building permit to exercise the right granted by the decision has been issued;
2. The activity approved in the decision has commenced; or
3. A time extension, Section 4.02.05, has been approved.

Regarding subsection B.1 above, if by 10 years past the final decision date there is no substantial construction as Section 1.02 defines following issuance of a building permit, the final decision shall expire and fail to vest.

Regarding subsection B.2 above as applies to Property Line Adjustment, Consolidation of Lots, and Partition and Subdivision Final Plat Approval application, the developer shall complete recordation no later than the land use expiration date.

Testifiers:

<i>Name</i>	<i>Address</i>	<i>Planning Commission</i>	
		<i>Written</i>	<i>Verbal</i>
n/a*			

*Other than members of the applicant's team, no one testified.

Attachments:

- Planning Commission January 26, 2023 Staff Report Attachment 101. Marked Tax Map
- 102A. Public Works comments (Jan. 18, 2023)
- 103. Application materials / site plans (20 sheets)
- 104. Transportation System Plan (TSP) Fig. 2 "Functional Roadway Classification"
- 201.* CU 22-02 Townsend Farms: Dictionary & Glossary
- 202. CU 22-02 Townsend Farms: General Conditions
- 203. CU 22-02 Townsend Farms: Conditioned Fees

*The 200 series of attachments are details for the conditions of approval.

Sincerely,



Colin Cortes, AICP, CNU-A

Senior Planner

Affirmed,



Lisa Ellsworth, Planning Commission Chair

January 18, 2024

Date

cc: Chris Kerr, Community Development Director [e-mail]
Curtis Stultz, Public Works Director [e-mail]
Dago Garcia, P.E., City Engineer [e-mail]
Melissa Gitt, Building Official [e-mail]
Jason Space, GIS Technician [e-mail]
Chris Peck, Triumph Specialty Construction, Inc., 1001 E. Fork Dr, Flint, MI 48503 [applicant & contractor]
[mail & e-mail]
Joe Kurth, PE, Vice President, Crow Engineering, Inc., 9925 SW Nimbus Ave, Suite 110, Beaverton, OR 97008-
7592 [applicant] [mail & e-mail]
Margaret Townsend, Vice President, Townsend Farms c/o Conroy LLC, 23400 NE Townsend Way, Fairview,
OR 97024-4626 [mail & e-mail]
Testifiers: Per the table above. [mail]
Casey Knecht, P.E., Development Review Coordinator, Oregon Dept. of Transportation (ODOT) Region 2
<casey.knecht@odot.oregon.gov>
Marion County Assessor's Office <assessor@co.marion.or.us>
Marion County Geographic Information System (GIS) <gis@co.marion.or.us>
Marion County Land Development Engineering & Permits <mcldep@co.marion.or.us>

Marion County Planning Division <planning@co.marion.or.us>
Marion County Public Works Dept. <mcdpw@co.marion.or.us>

05 1W 18AD WOODBURN



MARION COUNTY, OREGON
SE1/4 NE1/4 SEC18 T5S R1W W.M.
SCALE 1" = 100'

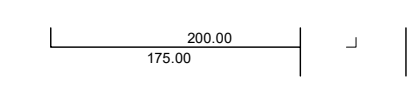
LEGEND

- LINE TYPES**
- Taxlot Boundary
 - Road Right-of-Way
 - Railroad Right-of-Way
 - Private Road ROW
 - Subdivision/Plat Bndry
 - Waterline - Taxlot Bndry
 - Historical Boundary
 - Easement
 - Railroad Centerline
 - Taxcode Line
 - Map Boundary
 - Waterline - Non Bndry

- CORNER TYPES**
- + 1/16TH Section Cor.
 - ⊙ DLC Corner
 - ⊕ 1/4 Section Cor.
 - ⊕ 16, 15 Section Corner
 - ⊕ 21, 22

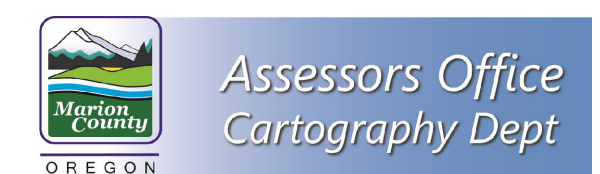
NUMBERS
Tax Code Number
00 00 0
Acreage **0.25 AC** All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

NOTES
Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW



CANCELLED NUMBERS	
1401	
1500	
1900	
2000	
2100	
2200	
2901	
3000	
4200	
5700	
8300A1	

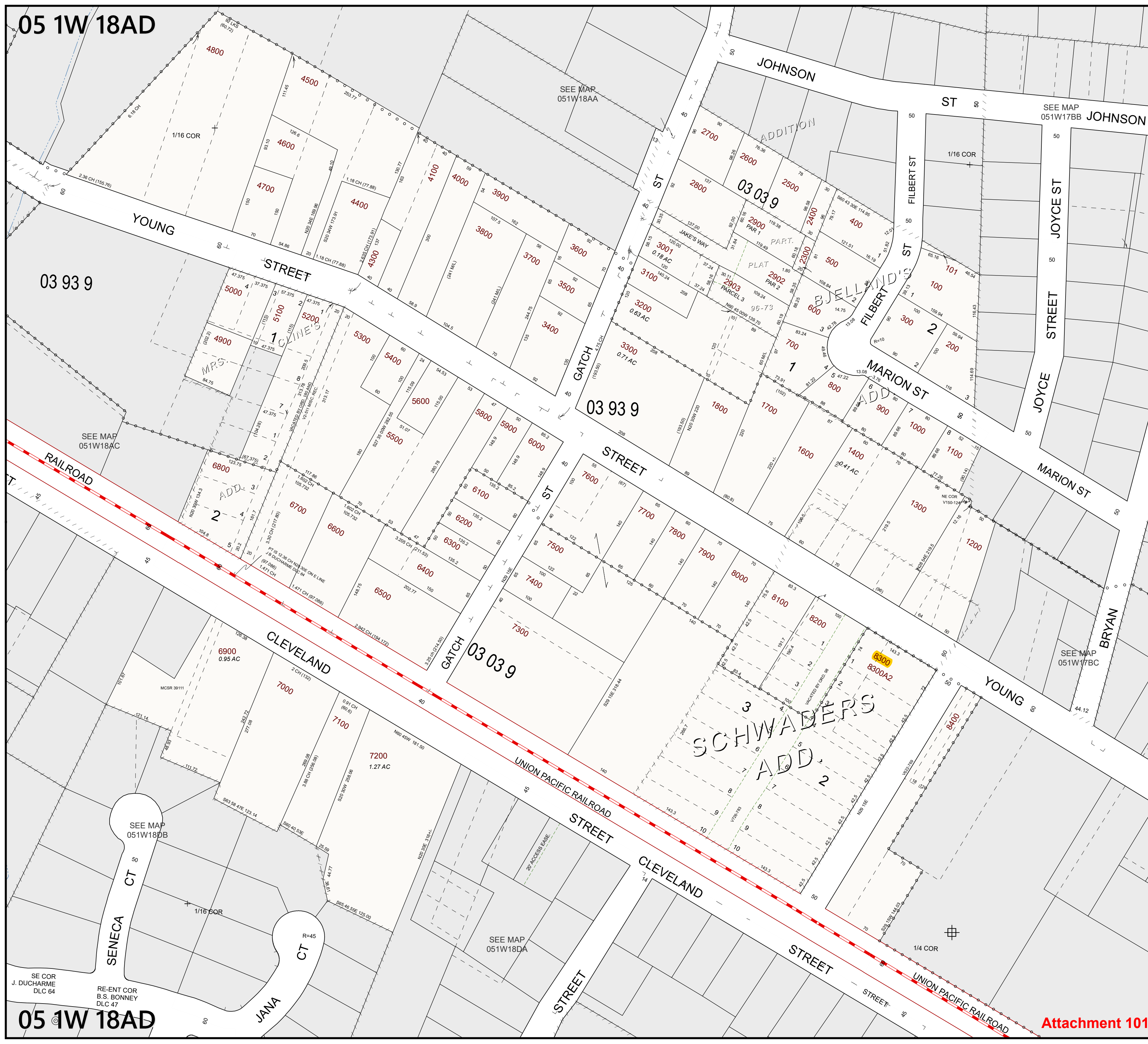
DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT www.co.marion.or.us

PLOT DATE: 3/31/2021

WOODBURN 05 1W 18AD





Public Works Comments
CU 22-02, DR 22-11, & VAR 22-09
Townsend Farms
(960 Young Street)
January 18, 2023

A. CONDITIONS OF LAND USE APPROVAL:

1. The Applicant, not the City, is responsible for obtaining any necessary permits from the State, Marion County, Oregon Division of State Lands, US Army Corps of Engineering and/or federal agencies that may require such permit or approval for the construction of this development.
2. Applicant, not the City, is responsible for obtaining any necessary permits from adjacent property owners that may require such permits or approval for work within their property boundaries.
3. Applicant is responsible for obtaining approval from the City's Planning Division and Woodburn Fire District for dead-end turnarounds requirements.
4. Department of Environmental Quality Erosion Control 1200C permit will need to be obtained for this development prior to City issuing approval of civil plans, if applicable.
5. Applicant to install street lighting along Young Street frontage, if required. Streetlights shall be in accordance with street lighting plans approved by the City and conforming to Portland General Electric installation (PGE) and under PGE's option B.
6. The Applicant, by this Development, shall not cause storm water runoff to be impounded on adjacent properties.
7. All sanitary sewer and storm drainage laterals serving the proposed developments are private up to the main public line.
8. All onsite private storm system and sewer lateral lines shall comply with Marion County plumbing permit and requirements.
9. All City-maintained facilities located on private property shall require a minimum of 16-foot wide utility easement conveyed to the City by the property owner. This is the applicant's responsibility to provide, not the City's. Utilities of unusual depth, size or location may require a larger width.
10. Final review of the Civil Plans will be done during the permit application for public improvements. Public infrastructure will be designed and constructed in accordance with plans approved by Public Works, Marion County and complying with City, Marion County, State and Federal requirements/guidelines current at the time of the development application.

11. Provide and record the required right-of-way dedications and public utility easements, prior to City issuance of building permit.
12. All public improvements shall be deemed complete prior to issuance of building permit.
13. System Development charges shall be paid prior to building permit issuance.
14. Applicant to pay all public improvements (right-of-way) fees for all public improvements that are to be maintained by the City as per Ordinance #1795.
15. Fire hydrants locations and fire protection requirements shall be as per the Woodburn Fire District and City of Woodburn requirements.

TOWNSEND FARMS

FACILITY EXPANSION

APPROVAL CRITERIA COMPLIANCE NARRATIVE TYPE III - CONDITIONAL USE AND VARIANCE

Prepared by: Kirk Hall

Prepared on: 10-13-2022

Attachment 103
P. 1 of 20

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DESIGN REVIEW APPROVAL CRITERIA COMPLIANCE NARRATIVE

PROJECT LOCATION

ADDRESS: **960 YOUNG ST. WOODBURN, OR 97071
TAX LOT 051W18AD08300**

TOTAL SITE **3.62 ACRE**

ZONING **COMMERCIAL GENERAL (CG)**

OVERLAY **NOT IN ANY OVERLAY DISTRICTS**

BUILDING ADDITION SUMMARY

PROPOSED HEIGHT **31 FEET**

PROPOSED BUILDING ADDITION **10,400 SF**

PROJECT DESCRIPTION

Townsend Farms is proposing an approximate 10,400 square foot addition to their existing operations at the above referenced property. The existing operation consists of a single-floor building and equipment for the process, the packaging, and the temporary storage of produce. This produce is transported to the property from local farms during harvest season, temporarily stored, and packaged to be processed at this facility or shipped to other Townsend Farms facilities.

The proposed development will include the demolition of 8,000 sf of the east end of Building B, which consists of a concrete slab-on-grade foundation and a steel and wood framed superstructure. A new 10,400 sf pre-engineered metal building (PEMB) addition will be added at the southeast corner of the property.

The client intends to sprinkler Building B, including the new addition, as a part of the project. Crow would like to highlight that while the proposed addition projects into the 5-foot private railroad easement, the southern outside face of new PEMB will be setback 10 ft from the property line to comply with the Woodburn Development Ordinance (WDO).

CITY OF WOODBURN - DEVELOPMENT CODE COMPLIANCE NARRATIVE

The following is Crow Engineering's summary of compliance to the City of Woodburn Development Code (*last amended by Ordinance 2579 on April 13, 2020*) requirements for development. This formal narrative does not address all items, but all items applicable to this type of development

SECTION 1 - ORGANIZATION AND STRUCTURE

1.04. – NON-CONFORMING USE AND DEVELOPMENT

1.04.02. – CHANGE OR EXPANSION OF AN EXISTING USE WITH NON-CONFORMING PARKING LOADING AND/OR LANDSCAPING

- B. *“For applications where the change or expansion increases the required area for parking, loading, or landscaping by less than 25 percent, the parking, loading, landscaping, buffer walls and refuse facilities required for the expansion shall conform to the standards of the WDO. The property owner is encouraged, but not required, to bring more of the site into conformity.”*

All required parking and associated landscaping shall be prepared by the standards of the WDO. No other landscaping and parking will be brought into conformance.

SECTION 2 - LAND USE ZONING AND SPECIFIED USE STANDARDS

2.03 COMMERCIAL ZONES

2.03.B. COMMERCIAL ZONES

2. COMMERCIAL GENERAL (CG) ZONES

Per Table 2.03A – The intended use for this development matches the uses in the Industrial Section under Row 4 – *Motor freight transportation and warehousing* including local trucking and transfer services, storage of farm products and commercial goods (produce). The development is not in the Gateway Overlay District and therefore is allowed under a Conditional Use.

2.06 ACCESSORY STRUCTURES

2.06.02 Fences and Walls

C. Height in Non-Residential Zones

Fence parallel to Young Street shall be relocated after improvement is made to Young Street. Height shall not exceed six feet.

D. Fence Materials

Fence shall be chain link and filled with slats.

SECTION 3 - DEVELOPMENT GUIDELINES AND STANDARDS

3.01 STREETS

3.01.03 Improvements Required for Development

Half street improvements to Young Street shall be made such that the property complies with Figure 3.01C.

3.01.07C Off-Street Public Bicycle / Pedestrian Corridors

Table 3.01A specifies a 20 ft wide path along Union Specific Railroad, known as RR2. However, per letter addressed to Crow from the City of Woodburn dated September 6, 2022 from Colin Cortes, AICP, CNU-A,” the Community Development Director determined that the requirement is not applicable.”

3.02 UTILITIES AND EASEMENTS

3.02.01 Public Utility Easements

A five-foot width along Young Street, after half street improvements, shall be dedicated as a public utility easement (PUE).

3.03 *SETBACKS AND OPEN SPACE*

3.03.01 *Setbacks*

Setbacks and proximity of buildings to setbacks remain unchanged, with the exception of the Young Street frontage which will move south after half-street improvements. Additionally, the new addition will comply with the WDO rear setback requirement of 10 feet.

3.04 *VEHICULAR ACCESS*

Existing site has an alternative to 120' hammerhead turnaround per Figure 3.04C. The new development will not change this access. A second hammerhead will be added to access the northeast corner of the addition.

3.05 *OFF-STREET PARKING AND LOADING*

The western portion of the site is used for overflow parking during the harvest season and is unpaved.

3.06 *LANDSCAPING*

Landscaping will be provided to meet this section.

3.07 *ARCHITECTURAL DESIGN*

3.07.06 *Standards for Non-Residential Structures in Residential, Commercial, and Public/Semi Public Zones*

Building facades will be articulated with vertical trim between the new and existing building at the southern elevation. Additionally, there will be some variation in rib pattern of the exterior cladding between the new and existing building. Additionally, some differences in color of the wall cladding can be added at the City's request.

3.10 *Signs*

The sign for the business will be relocated or replaced after street improvements are made. Sign will be monument style with a maximum area of eight feet high and thirty-two square feet in area per Table 3.10.10B: Permanent Signs in CG Zone.

SECTION 4 - ADMINISTRATION AND PROCEDURES

Application to meet Type III requirements as indicated by City Planner as recorded in pre-application conference meeting agenda and notes. Pre-application meeting was held on May 24th at 10:00 am.

SECTION 5 - APPLICATION REQUIREMENTS

5.03 *TYPE III (QUASI-JURISDICTIONAL DECISIONS)*

5.03.01 *CONDITIONAL USE*

5.03.01.B. The design must meet the following criteria items for a conditional use:

1. Conditional Use within Zoning District

Allowed Per Table 2.03A – The intended use for this development matches the uses in the Industrial Section under Row 4 – Motor freight transportation and warehousing including local trucking and transfer services, storage of farm products and commercial goods (produce). The development is not in the Gateway Overlay District and therefore is allowed under a Conditional Use.

2. Comply with the Development Standards of the Zoning District

See Table 2.03C above for development standards

3. Compatible with surrounding properties
 - i. Noise
 - i. **Most machinery making noise will be enclosed. Most noise will be made by the condensers for the freezer compressors, exhaust fans, and delivery trailers that will only be operating during harvest season from mid-June to mid-August.**
 - ii. Illumination
 - i. **Reference the photometric plan for site lighting.**
 - iii. Hours of Operation
 - i. **Operations on site are seasonal. Harvest season runs from mid-June to mid-August with hours from 6:00 am to 6:00 pm seven days a week. The rest of the year consists only of maintenance staff working from 7:00 am to 3:30 pm.**
 - iv. Air Quality
 - i. **The only influence on air quality is delivery trucks which consist of one truck per day on a slow day to four trucks per day on a busy day.**
 - v. Aesthetics
 - i. **The buildings are functional in style. Most of the site is surrounded by tall trees.**
 - vi. Vehicular Traffic
 - i. **Delivery trucks access the site which consist of one truck per day on a slow day to four trucks per day on a busy day. Employees will access and park on site in addition to carpooling and public transportation.**

5.03.12 VARIANCE

Variance to vary from the minimum Boundary Street improvements per Woodburn Development Ordinance (WDO) 3.01.03A & C.1, Figure 3.01A, 3.01.04B.1, and Figure 3.01G regarding the unnamed paper street right-of-way (ROW) at the east that City staff term 'Joyce Way.'

B. Criteria

- i. **At the east of the site is an unnamed 50-foot paper street right-of-way (ROW) that the City staff term 'Joyce Way.' The Assistant City Attorney understands that part of the ROW technically isn't ROW, but instead real property belonging to the City. Another developer submitted land use application DR 22-06 for 1030 Young Street that remains incomplete and covered some of Joyce Way. That development would necessitate vacation and surplus**

applications to the City through the Administration department that developer might or might not have yet applied for and probably hasn't. However, at this point in time, since plans have not been finalized or completed to vacate the ROW, the ROW exists. Therefore, for the purpose of this design review and variance submittal, we are asking for a variance to omit providing the half street improvements that would be required for Joyce Way under section 3.01.03C.1 of the Woodburn Development ordinance.

Strict adherence to the standards of this ordinance would impose an excessive burden on the property owner. The current ROW is approximately 50 feet-wide and the proposed half street cross section would be 37 feet from centerline of street. Based on a survey of the site, it appears incorporating the extra 7 feet of the subject property that would be required to make half street improvements require the removal of all significant trees along the east edge of the property – decreasing the aesthetic value and increasing noise and light pollution across the boundary of the property.

Additionally, the City does not have a master plan as to how Joyce Way proposed by WDO would address fire access. Assuming Joyce Way was developed per the WDO, the street would not extend across the existing railroad tracks to meet up with Cleveland St. but would instead dead end at the south edge of the Young St. property. Lack of fire access prohibits the utilization of the space even if the proposed street improvements were made.

A variance will not unreasonably impact existing or potential uses or development on the subject property or adjacent properties. As was described in the latter part of the last paragraph, the aesthetics of leaving the subject property as-is are superior to the aesthetics of making half-street improvements. Other uses of both the subject property and adjacent properties remain unchanged.

C. Factors to Consider

i. Hardships/Unbuildable

1. Physically, the site is already developed so buildings are already in place. Dedicating an extra 7 feet to the ROW would interfere with use of the property.
2. Use of the property will remain unchanged with the variance.
3. The existing site was developed following City requirements in place at the time of construction. The hardship imposed on the property owner is due to evolution in City requirements over the years and the nature of developing a existing site that has been in place for many years.

ii. Consistent with request and not materially injurious to adjacent properties

1. Visual aesthetics of the existing site are superior to that without a variance due to the significant trees that would need to be removed. There are no other impacts on adjacent properties.
2. There would be no incremental impacts because of a variance.

iii. Existing physical and natural systems not adversely affected

1. **The improvements per WDO do not extend from Young St. to E Cleveland St. but terminate at the south end of the Young St. property. Therefore, since the route is a dead end there is not adverse impact on accessibility. There is nearby access from E Cleveland St. to Young St. by way of Gatch St. or 99E.**
- iv. *Variance is minimum deviation necessary to make reasonable economic use of property.*
1. **Based on the ordinance, eliminating the provision to make half street improvements appears to be the best choice to make the subject property economically viable and meet the overall intent of City ordinances.**



FREEZER TUNNEL EXPANSION

960 YOUNG ST., WOODBURN, OR 97071

PROJECT DESCRIPTION

9,200 SQUARE-FOOT PRE-ENGINEERED METAL BUILDING FACILITY TO CONTAIN FREEZER TUNNEL AND PROVIDE FUNCTIONAL SPACE FOR PROCESSING PRODUCE.

OWNER

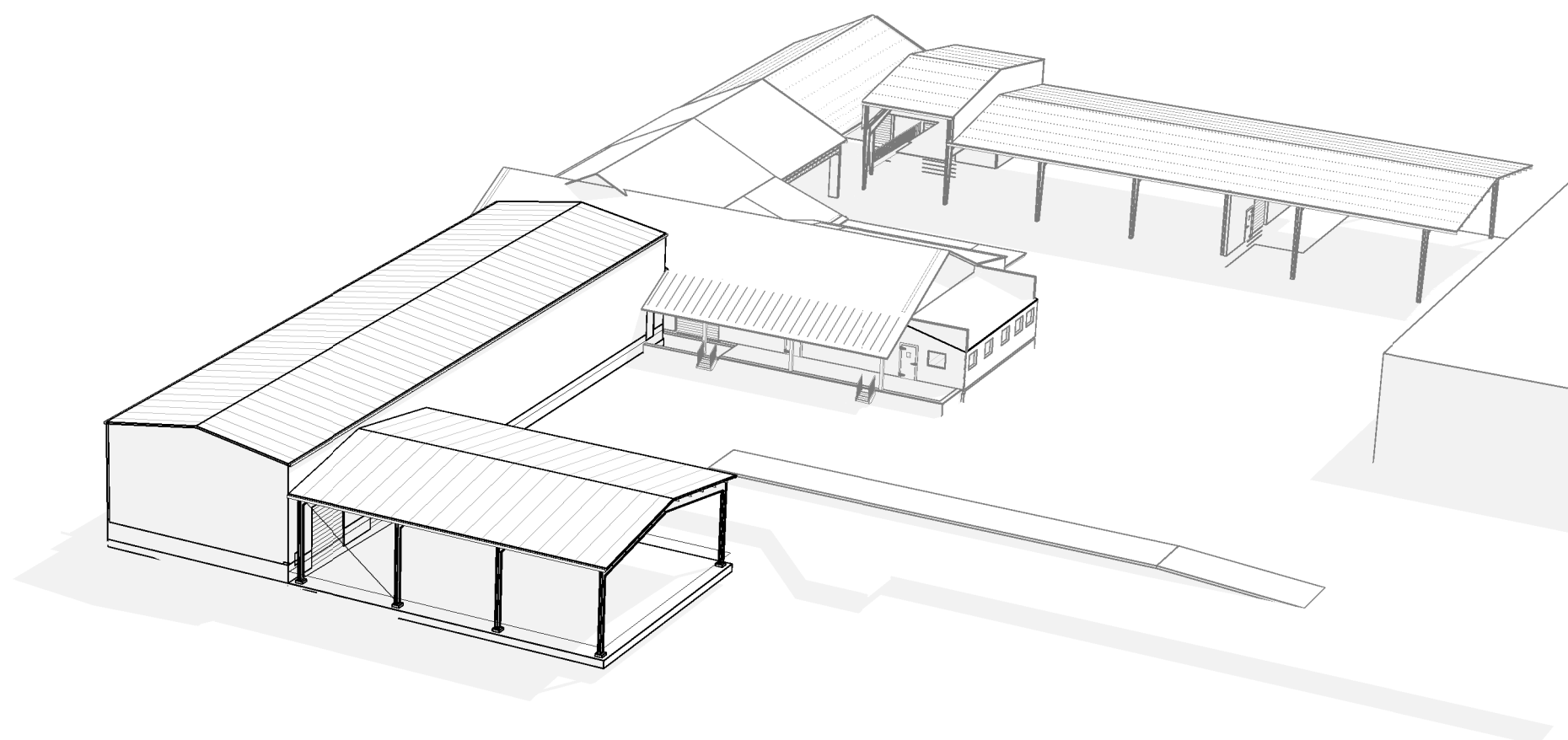
TOWNSEND FARMS, INC.
WWW.TOWNSENDFARMS.COM
23400 NORTHEAST TOWNSEND WAY
FAIRVIEW, OREGON 97024
(503) 666-1780

ENGINEER

CROW ENGINEERING, INC.
WWW.CROWENGINEERING.COM
9925 NW NIMBUS AVE, SUITE 110
BEAVERTON, OREGON 97008
(503) 213-2013
ENGINEER OF RECORDS:
JOE KURTH PE, VICE PRESIDENT
JOE.KURTH@CROWENGINEERING.COM
LEAD DESIGNER:
KIRK HALL
KIRK.HALL@CROWENGINEERING.COM

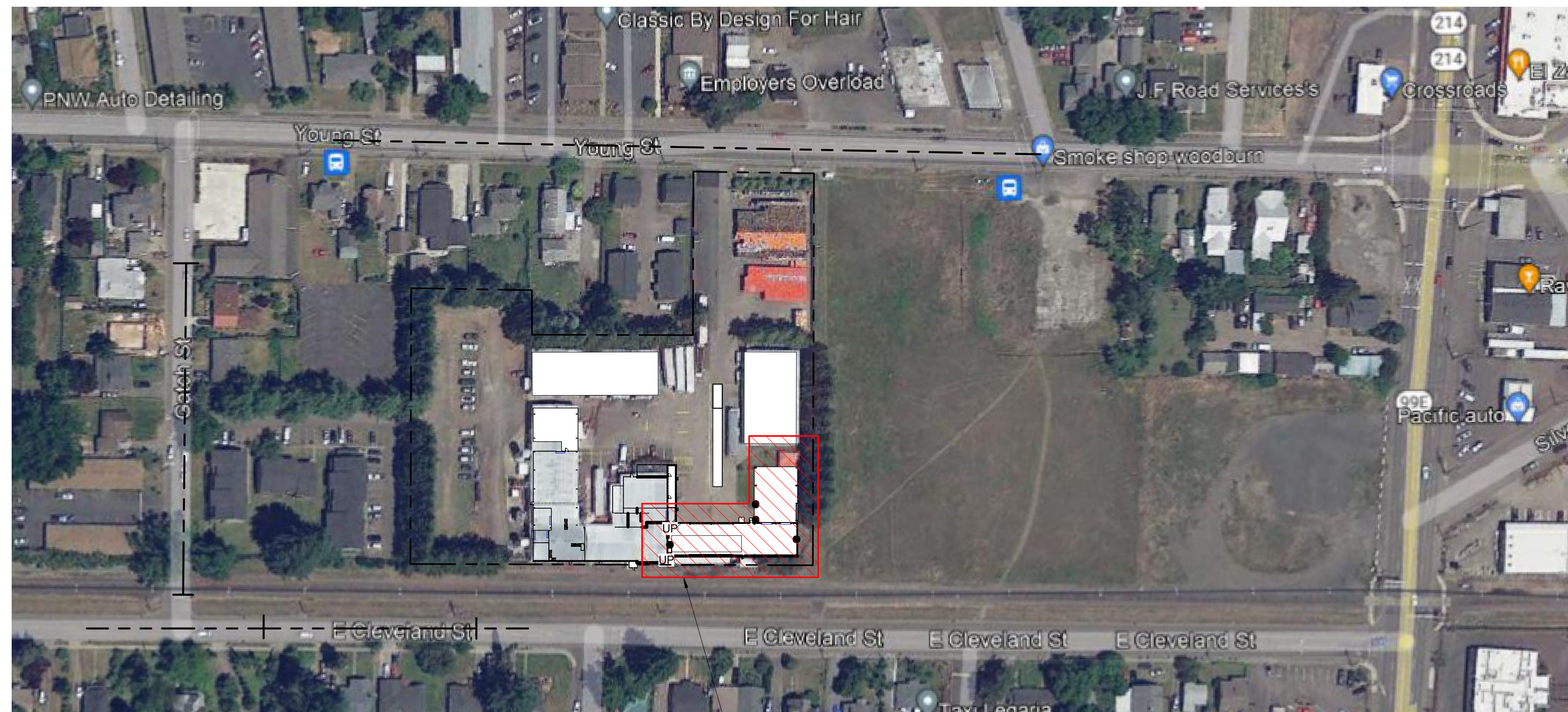
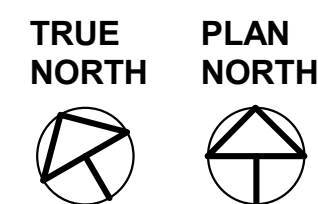
GENERAL CONTRACTOR

TRIUMPH SPECIALTY CONSTRUCTION, INC (TSC)
WWW.TSCBUILDS.COM
(844) 488-5250
PROJECT MANAGER
CHRIS PECK
CHRISP@TSCBUILDS.COM
PHONE : 517-898-2485



NORTHEAST ISOMETRIC

1



AREA OF WORK

VICINITY PLAN

1" = 100'-0"

2

SHEET LIST Copy 1					
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REV	REV DATE	REV ISSUED
01 GENERAL					
G000-01	COVER SHEET-DESIGN REVIEW	11/14/22	C	11/14/22	No
02-CIVIL					
C001	EXISTING SITE PLAN	07/19/22	C	11/14/22	No
C002	SITE PLAN	07/19/22	C	11/14/22	No
C003	YOUNG STREET IMPROVEMENTS	07/19/22	C	11/14/22	No
C004	FIRE ACCESS AND WATER SUPPLY PLAN	07/19/22	C	11/14/22	No
C005	LANDSCAPING PLAN	07/19/22	C	11/14/22	No
C006	PROPOSED PLAN LAYOUT	07/19/22	C	11/14/22	No
C007	TREE PROTECTION AND REMOVAL PLAN	07/19/22	C	11/14/22	No
05 ARCHITECTURAL					
DRA102-02	FLOOR PLAN	11/14/22	C	11/14/22	No
DRA104-02	BUILDING ELEVATIONS	11/14/22	C	11/14/22	No
DRA109-02	NORTHEAST ISOMETRIC	11/14/22	B	11/14/22	No
DRA109-04	SOUTHEAST ISOMETRIC	11/14/22	B	11/14/22	No
12					

Attachment 103
P. 10 of 20

ISSUED FOR REVIEW
Date: 11/14/22 By: KGH

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THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE OBSERVANCE OF ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS DURING CONSTRUCTION.

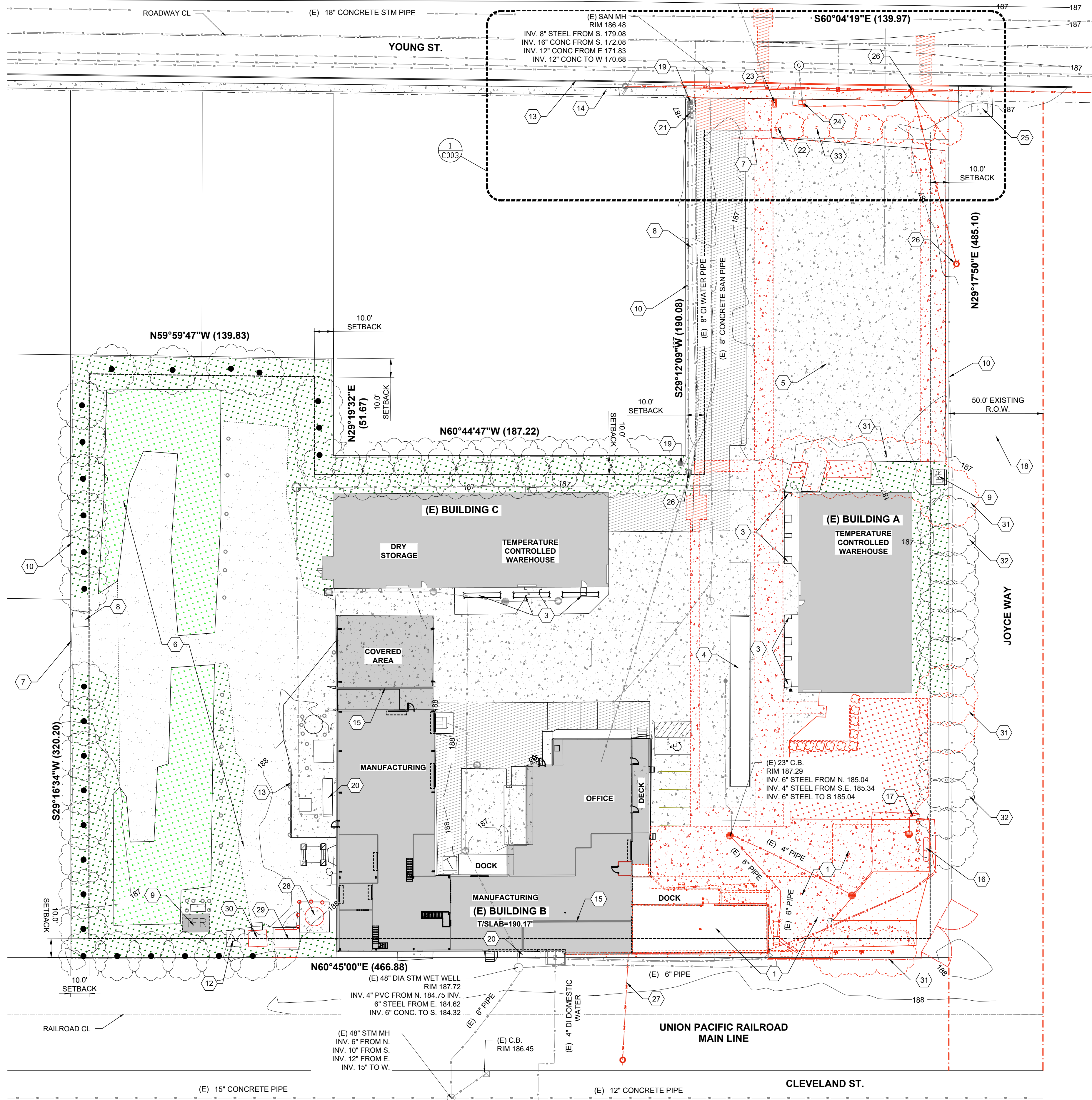
No.	Date	Description	by
C	11/14/22	ISSUED FOR DESIGN REVIEW	KGH
B	10/13/22	ISSUED FOR DESIGN REVIEW	KGH
A	04/26/22	PRE-APPLICATION REVIEW	KGH

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CIVIL STRUCTURAL MECHANICAL
9925 SW Nimbus Ave. Suite 110
Beaverton, OR 97008-7592
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p (503) 213-2013
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Townsend Farms
Since 1906
960 YOUNG ST., WOODBURN, OR 97071
FREEZER TUNNEL EXPANSION
COVER SHEET-DESIGN REVIEW

DRAWN	CHECKED	SCALE	ISSUE DATE	PROJ. NO. - SHEET NO.	REV
KGH	JFK	As indicated	11/14/22	21441 - G000-01	C



- SITE KEYNOTES**
- 1 LIMIT OF PAVEMENT, FOUNDATION, AND BUILDING DEMOLITION
 - 2 NOT USED
 - 3 (E) AIR COOLING / AIR HANDLER UNITS ON CONCRETE PEDESTALS
 - 4 (E) TRUCK SCALES
 - 5 (E) PALLET AND BARREL STORAGE
 - 6 (E) OVERFLOW PARKING (NOT PAVED OR STRIPPED)
 - 7 (E) ENTRY GATE
 - 8 (E) GUARD SHACK
 - 9 (E) TRANSFORMER PAD
 - 10 (E) 6'-0" TALL SECURITY FENCING AROUND PERIMETER OF SITE
 - 11 NOT USED
 - 12 (E) WOOD SHED
 - 13 (E) CURB
 - 14 (E) SIDEWALK
 - 15 (E) PROCESS WATER TRENCH DRAIN
 - 16 (E) GAS TANK TO BE MOVED
 - 17 (E) VAULT TO BE REMOVED
 - 18 (E) R.O.W. TO BE VACATED
 - 19 (E) HYDRANT
 - 20 (E) PROCESS WATER SETTLING BASIN
 - 21 (E) WATER METERS SERVING NEIGHBORING PROPERTY
 - 22 (E) MAILBOX
 - 23 (E) 'TOWNSEND FARMS' SIGNAGE
 - 24 (E) CENTURY LINK VAULT
 - 25 (E) BUS STOP SHELTER
 - 26 (E) POWER POLE
 - 27 (E) OVERHEAD POWERLINE TO BE REMOVED
 - 28 (E) TANK TO BE REMOVED
 - 29 (E) REFRIGERATION EQUIPMENT TO BE RELOCATED
 - 30 (E) WOOD SHED TO BE RELOCATED
 - 31 TREES TO BE REMOVED - SEE C007 - TREE PROTECTION AND REMOVAL PLAN
 - 32 PROTECT TREES - SEE C007 - TREE PROTECTION AND REMOVAL PLAN
 - 33 SHRUBS TO BE REMOVED



EXISTING SITE PLAN
SCALE: 1"=30'

PRELIMINARY
NOT FOR CONSTRUCTION
Date: 11-14-2022

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REV.	DATE	DESCRIPTION	BY
C	11/14/2022	REVISIONS PER CITY LAND USE COMMENTS	PRK
B	10/13/2022	REVISIONS PER CITY LAND USE COMMENTS	PRK
A	07/19/2022	LAND USE SUBMITTAL	PRK

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CIVIL STRUCTURAL MECHANICAL

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Beaverton, OR 97008-7592
crowengineering.com

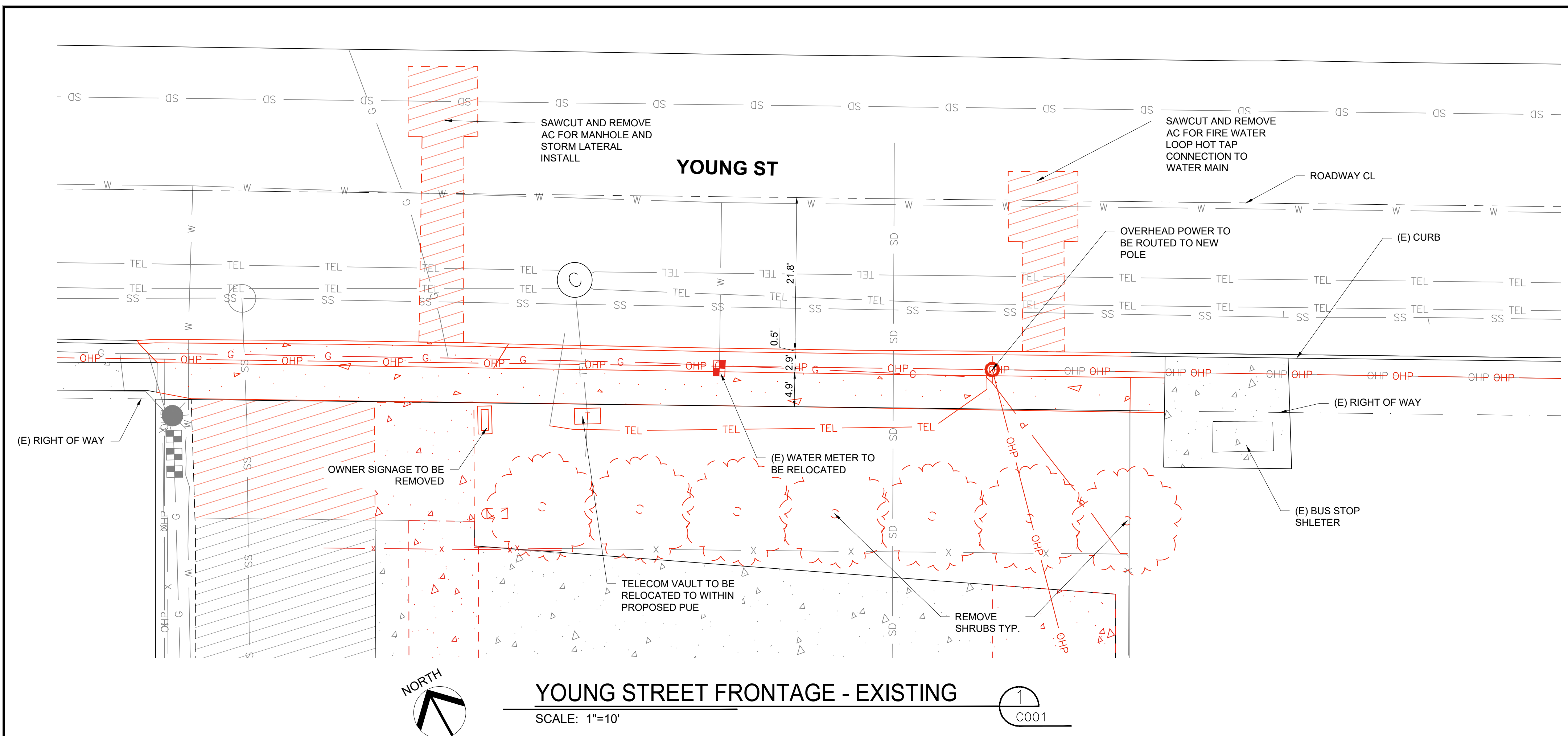
P: (503) 213-2013
F: (503) 213-2018

PLOT: 11/14/2022 3:16:20 PM
SAVE: 11/14/2022 3:15:29 PM

Townsend Farms

960 YOUNG ST., WOODBURN, OR 97071
CIVIL DRAWINGS
EXISTING SITE PLAN

DRAWN	DATE	CHECKED	SCALE	DRAWING NO.	REV.
PRK	11/14/2022	KH	1"=30'	21441-C001	C



CIVIL LEGEND

DEMO	EXISTING	NEW	
[Red dashed box]	[Grey box]	[Black box]	BUILDING
[Red hatched box]	[Grey box]	[Black box]	CONCRETE PAVING
[Red hatched box]	[Grey box]	[Black box]	GRAVEL
[Red hatched box]	[Grey box]	[Black box]	HMAC PAVING - STANDARD
[Red hatched box]	[Grey box]	[Black box]	LANDSCAPE AREA
[Red hatched box]	[Grey box]	[Black box]	GRASSED AREA
[Red hatched box]	[Grey box]	[Black box]	SETBACK
[Red hatched box]	[Grey box]	[Black box]	EASEMENT
[Red hatched box]	[Grey box]	[Black box]	RIGHT OF WAY
[Red hatched box]	[Grey box]	[Black box]	FENCING
[Red hatched box]	[Grey box]	[Black box]	PROPERTY LINE
[Red hatched box]	[Grey box]	[Black box]	STORM SEWER
[Red hatched box]	[Grey box]	[Black box]	WATER
[Red hatched box]	[Grey box]	[Black box]	FIRE WATER
[Red hatched box]	[Grey box]	[Black box]	SANITARY SEWER
[Red hatched box]	[Grey box]	[Black box]	OVERHEAD POWER
[Red hatched box]	[Grey box]	[Black box]	BURIED POWER
[Red hatched box]	[Grey box]	[Black box]	CATCH BASIN
[Red hatched box]	[Grey box]	[Black box]	STORM MANHOLE
[Red hatched box]	[Grey box]	[Black box]	AREA DRAIN
[Red hatched box]	[Grey box]	[Black box]	ROOF DRAIN CONNECTION POINT
[Red hatched box]	[Grey box]	[Black box]	STORM SEWER CLEANOUT
[Red hatched box]	[Grey box]	[Black box]	SANITARY SEWER CLEANOUT
[Red hatched box]	[Grey box]	[Black box]	SANITARY SEWER MANHOLE
[Red hatched box]	[Grey box]	[Black box]	WATER METER
[Red hatched box]	[Grey box]	[Black box]	HYDRANT
[Red hatched box]	[Grey box]	[Black box]	POST INDICATOR VALVE
[Red hatched box]	[Grey box]	[Black box]	THRUST BLOCK
[Red hatched box]	[Grey box]	[Black box]	DOUBLE CHECK VALVE VAULT
[Red hatched box]	[Grey box]	[Black box]	FIRE DEPARTMENT CONNECTION
[Red hatched box]	[Grey box]	[Black box]	POWER POLE
[Red hatched box]	[Grey box]	[Black box]	TRANSFORMER
[Red hatched box]	[Grey box]	[Black box]	COMMUNICATIONS MANHOLE
[Red hatched box]	[Grey box]	[Black box]	COMMUNICATIONS VAULT
[Red hatched box]	[Grey box]	[Black box]	BOLLARD PROTECTION
[Red hatched box]	[Grey box]	[Black box]	MAILBOX
[Red hatched box]	[Grey box]	[Black box]	OWNER SIGNAGE
[Red hatched box]	[Grey box]	[Black box]	STREET SIGNAGE
[Red hatched box]	[Grey box]	[Black box]	HANDICAP PARKING SYMBOL
[Red hatched box]	[Grey box]	[Black box]	TREE
[Red hatched box]	[Grey box]	[Black box]	STREET LIGHTING

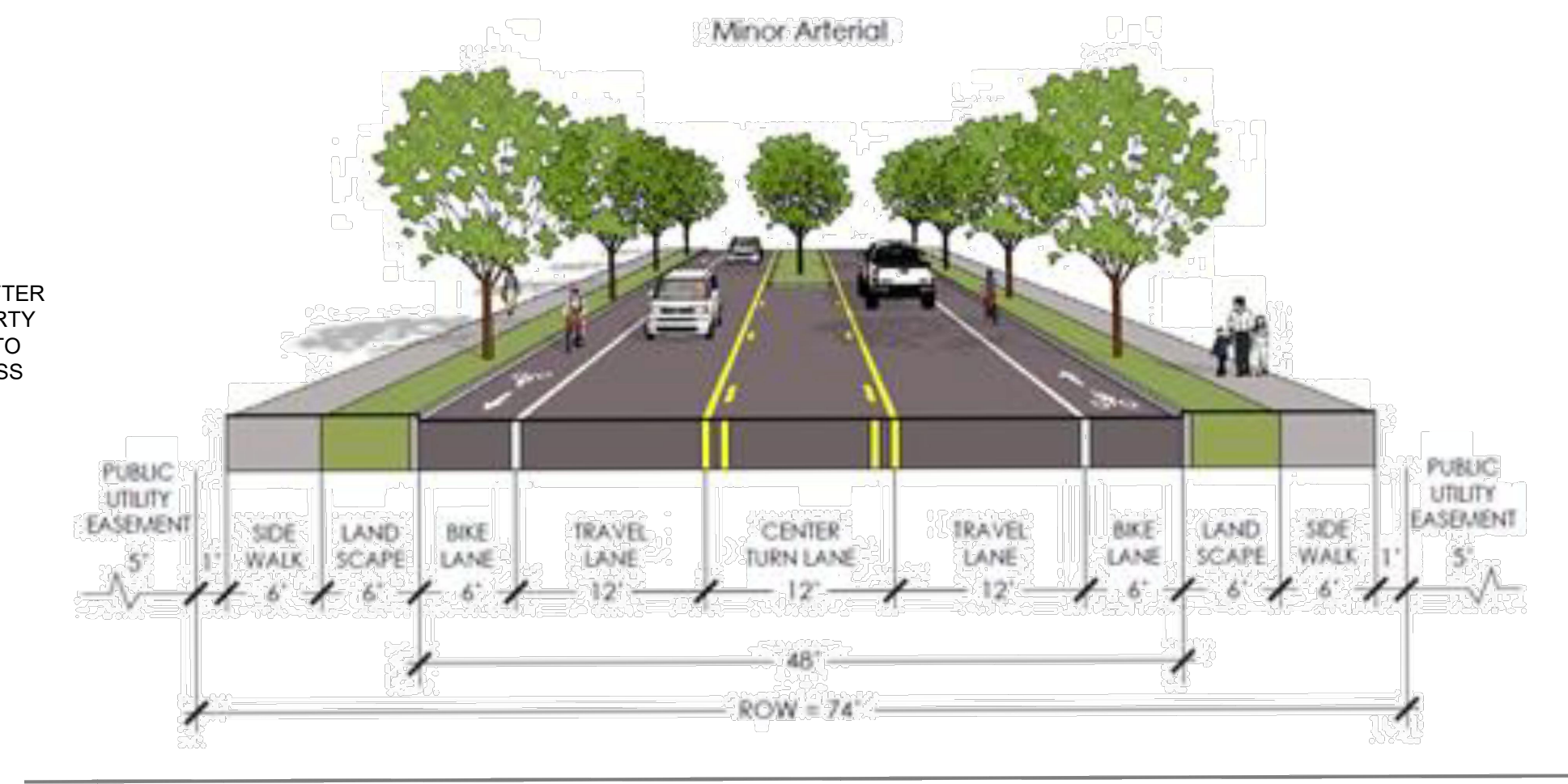
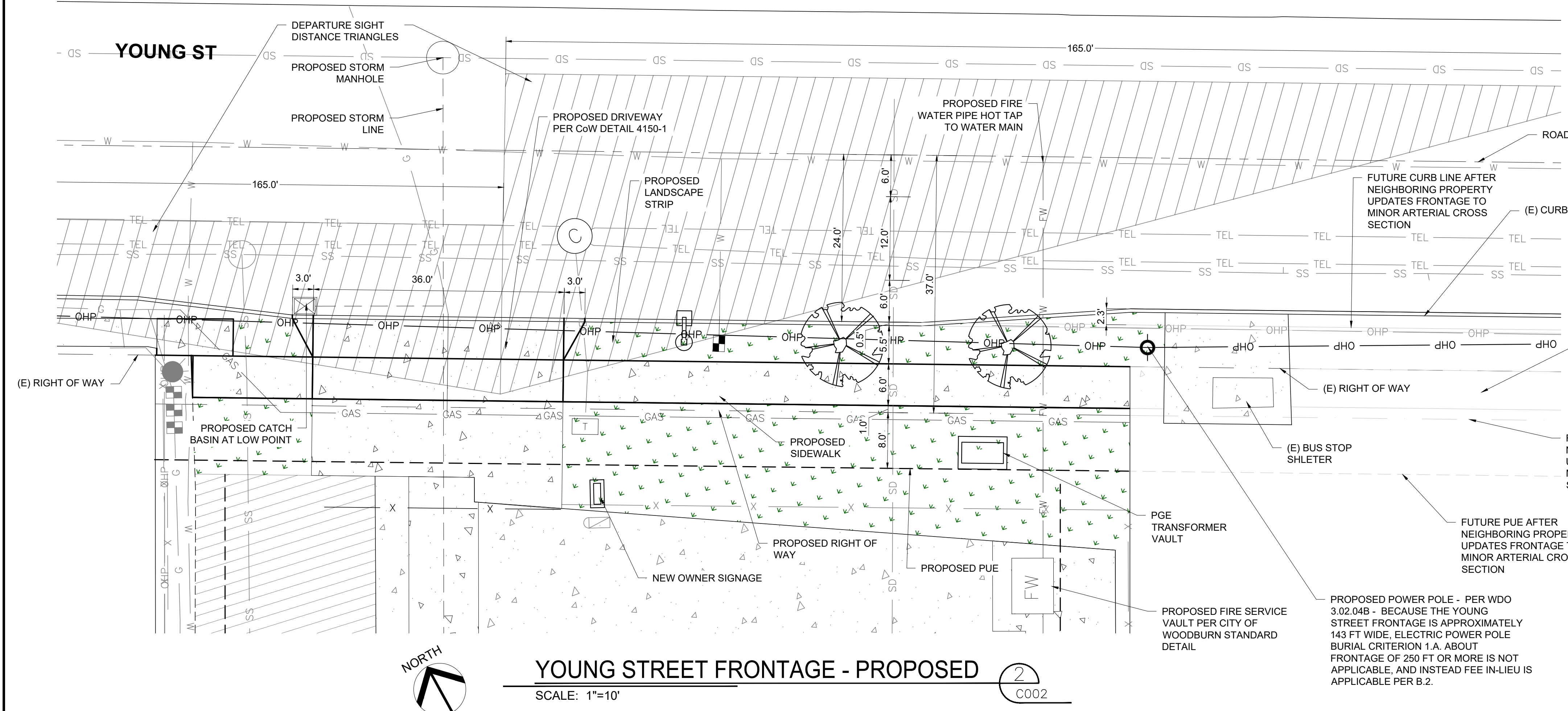


Figure 3.01C - Minor Arterial

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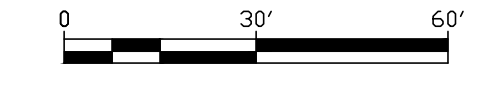
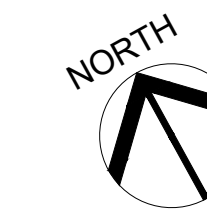
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960 YOUNG ST., WOODBURN, OR 97071	CIVIL DRAWINGS	YOUNG STREET IMPROVEMENTS
DRAWN: PRK	DATE: 11/14/2022	CHECKED: KH
SCALE:	DRAWING NO: 21441-C003	REV: C

YOUNG ST.



FIRE FLOW REQUIREMENTS			
(PER OFC APP B - TABLE B105.1)			
TYPE OF CONSTRUCTION (TYP.)	FIRE FLOW CALCULATION AREA (SF)	FIRE FLOW REQUIRED (GPM)	FLOW DURATION (HOURS)
LARGEST AREA IN BUILDING B	17,835	3,500	3
(REDUCTION FOR NFPA 13 SPRINKLER PER TABLE B105.2)	NOT ALLOWED PER FIRE MARSHALL		
REQUIRED FIRE FLOW AT 20 PSI		3,500	
REQUIRED MIN. # OF HYDRANTS		4	
REQUIRED AVG. SPACING BETWEEN HYDRANTS		350 Ft	
MAX. DIST. FROM ANY POINT ON STREET FRONTAGE TO HYDRANT		210 Ft	

FIRE ACCESS & WATER SUPPLY NOTES

- PROVIDE KNOX BOX (PER OFC 506) - KNOX BOX CAN BE ORDERED THROUGH APPROVED WOODBURN FIRE DEPARTMENT VENDOR (knoxbox.com). LOCATION OF KNOX BOX SHOWN ON PLAN. LOCATION TO BE APPROVED BY CITY OF WOODBURN FIRE MARSHALL PRIOR TO CONSTRUCTION.
- ALL REQUIRED FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED AND APPROVED PRIOR TO ANY COMBUSTIBLE CONSTRUCTION MATERIAL ARRIVING ON-SITE.
- GATES TO BE SIGNED AS "NO PARKING FIRE LANE". PRIMARY ACCESS GATES THAT ARE ELECTRICALLY OPERATED SHALL HAVE A KNOX BOX WITH EITHER A TOGGLE SWITCH OR PRESSURE SWITCH INSIDE. THE BOX WITH THE SWITCH SHALL BE POSITIONED IMMEDIATELY ADJACENT TO THE ACCESS PAD/CARD PANEL OR IN THE MOST CONVENIENT LOCATION AS DETERMINED BY THE FIRE MARSHALL FOR FIRE DEPARTMENT ACCESS.
- GATES SHALL "FAIL" OPEN WHEN ACTIVATED BY THE SWITCH AND REMAIN OPEN UNTIL THE SYSTEM IS RESET. ALL ELECTRONIC GATES SHALL "FAIL" OPEN DURING POWER OUTAGES. PRIMARY ACCESS GATES THAT ARE CONSTRUCTED TO ACCEPT A PADLOCK SHALL HAVE A KNOX PADLOCK (MODEL 3770 WITH FIRE/RED ID OPTION) INSTALLED.

CODE ANALYSIS - BUILDING B

CODE ANALYSIS	
APPLICABLE CODES	
BUILDING CODE	2019 OREGON STRUCTURAL SPECIALTY CODE
EXISTING BUILDING CODE	2019 OREGON STRUCTURAL SPECIALTY CODE
ELECTRICAL CODE	2021 OREGON ELECTRICAL SPECIALTY CODE
ENERGY CODE	2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE
MECHANICAL CODE	2019 OREGON MECHANICAL SPECIALTY CODE
PLUMBING CODE	2021 OREGON PLUMBING SPECIALTY CODE
JURISDICTION	CITY OF WOODBURN

OCCUPANCY CLASSIFICATION	
OCCUPANCY GROUPS	CH. 3 F-1, B (FACTORY BUSINESS)
OCCUPANCY SEPARATION	508 THIS REVIEW ASSUMES THAT HAZARDOUS MATERIALS WILL NOT BE PRESENT IN THE BUILDING BEYOND CODE EXEMPT AMOUNTS. NONE (NON-SEPARATED) MAKE USE PER 508.3

CONSTRUCTION TYPE	
CONSTRUCTION TYPE	CH. 6, TABLE 108 108

BUILDING HEIGHT AND AREA	
ALLOWABLE AREA	
ALLOWABLE AREA AS DEFINED AS:	AREA = (100'W) (P-20'W/50')
BUILDING PERIMETER THAT FRONTS PUBLIC WAY OR OPEN SPACE, 20' WIDE MIN.	F 779 FT
PERIMETER OF ENTIRE BUILDING	P 1,379 FT
WIDTH OF PUBLIC WAY OR OPEN SPACE	W 30' FT
TABULAR AREA PER STORY FROM TABLE 506.2 (F-1)	AT 34,000 SF
AREA INCREASE FOR FRONTAGE (F/7.5) - (20'W/50')	IF 0.36
TABULAR ALLOWABLE AREA FOR NONSPRINKLERED	NS 34,000
BUILDING PER TABLE 506.2	AA 46,240 SF
ACTUAL AREA (TOTAL BUILDING B)	27,997 SF

FLOOR AREAS	
GROUND FLOOR (LARGEST FLOOR AREA WITH FIRE SEPARATIONS)	17,835 SF

BUILDING HEIGHT	
ALLOWABLE BUILDING HEIGHT NO SPRINKLER SYSTEM (TABLE 504.3)	40 FT
ALLOWABLE BUILDING HEIGHT WITH SPRINKLER SYSTEM (TABLE 504.3)	60 FT
ACTUAL HEIGHT	31 FT

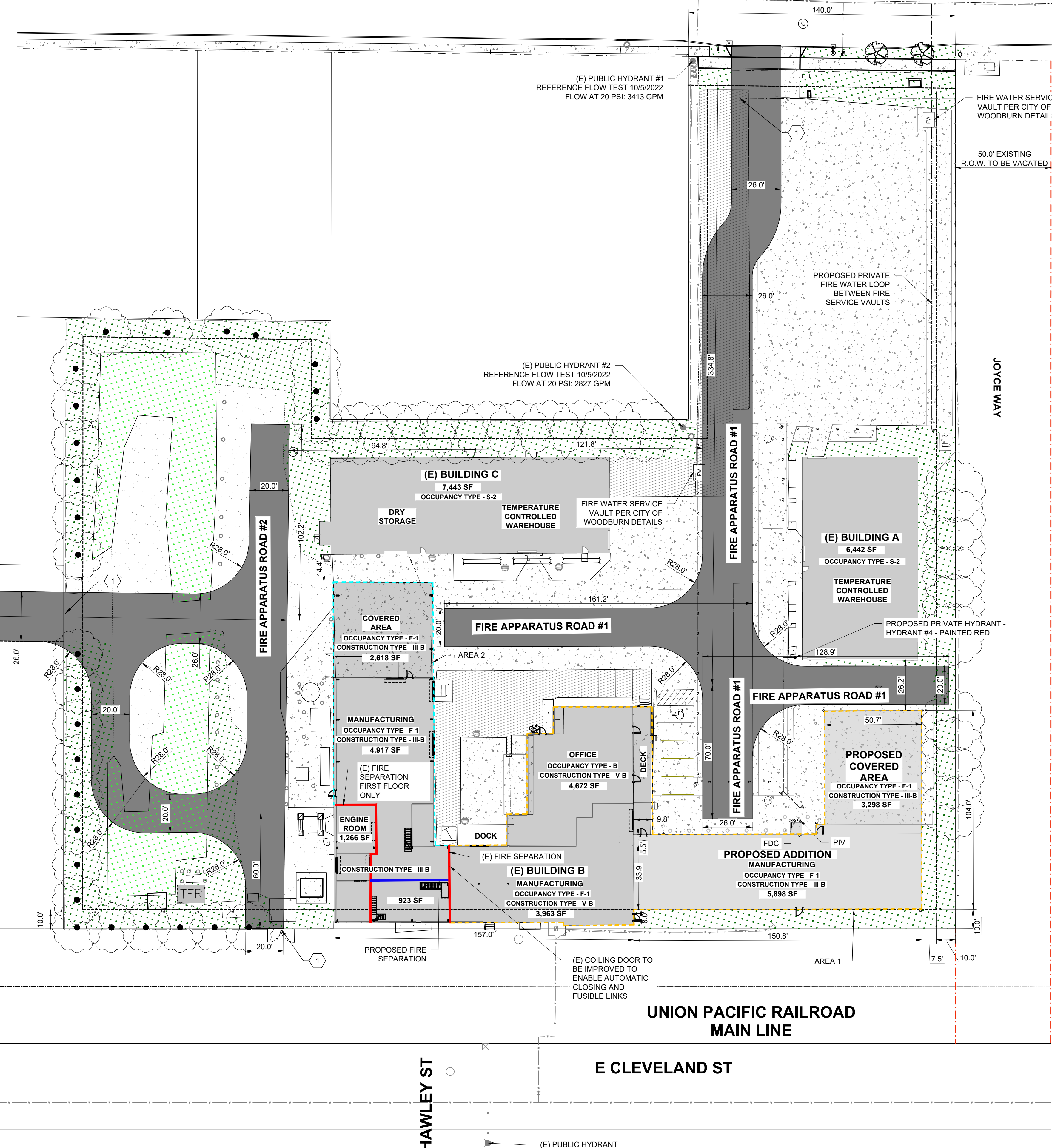
NUMBER OF STORIES	
ALLOW. NUMBER OF STORIES NO SPRINKLER SYSTEM - OCC. B (TABLE 504.4)	2
ALLOW. NUMBER OF STORIES W/ SPRINKLER SYSTEM - OCC. B (TABLE 504.4)	3
ALLOW. NUMBER OF STORIES NO SPRINKLER SYSTEM - OCC. F-1 (TABLE 504.4)	1
ALLOW. NUMBER OF STORIES W/ SPRINKLER SYSTEM - OCC. F-1 (TABLE 504.4)	2
ALLOW. NUMBER OF STORIES NO SPRINKLER SYSTEM - OCC. S-2 (TABLE 504.4)	2
ALLOW. NUMBER OF STORIES W/ SPRINKLER SYSTEM - OCC. S-2 (TABLE 504.4)	3
TOTAL ALLOWABLE NUMBER OF STORIES	2
ACTUAL NUMBER OF STORIES	1

FIRE RESISTIVE REQUIREMENTS	
STRUCTURAL FRAME	0 HR
EXTERIOR BEARING WALLS	0 HR
INTERIOR BEARING WALLS	0 HR
EXTERIOR NON-BEARING WALLS	0 HR

FIRE PROTECTION SYSTEMS	
AUTOMATIC SPRINKLER SYSTEM	903 TO BE PROVIDED IN BUILDING B

FIRE AREAS BUILDING B		
AREA	CONSTRUCTION TYPE	
AREA 1	17,835 SF	V-B
AREA 2	7,535 SF	III-B

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GATCH ST

JOYCE WAY

HAWLEY ST

UNION PACIFIC RAILROAD MAIN LINE
E CLEVELAND ST

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A	07/19/2022	LAND USE SUBMITTAL	PRK

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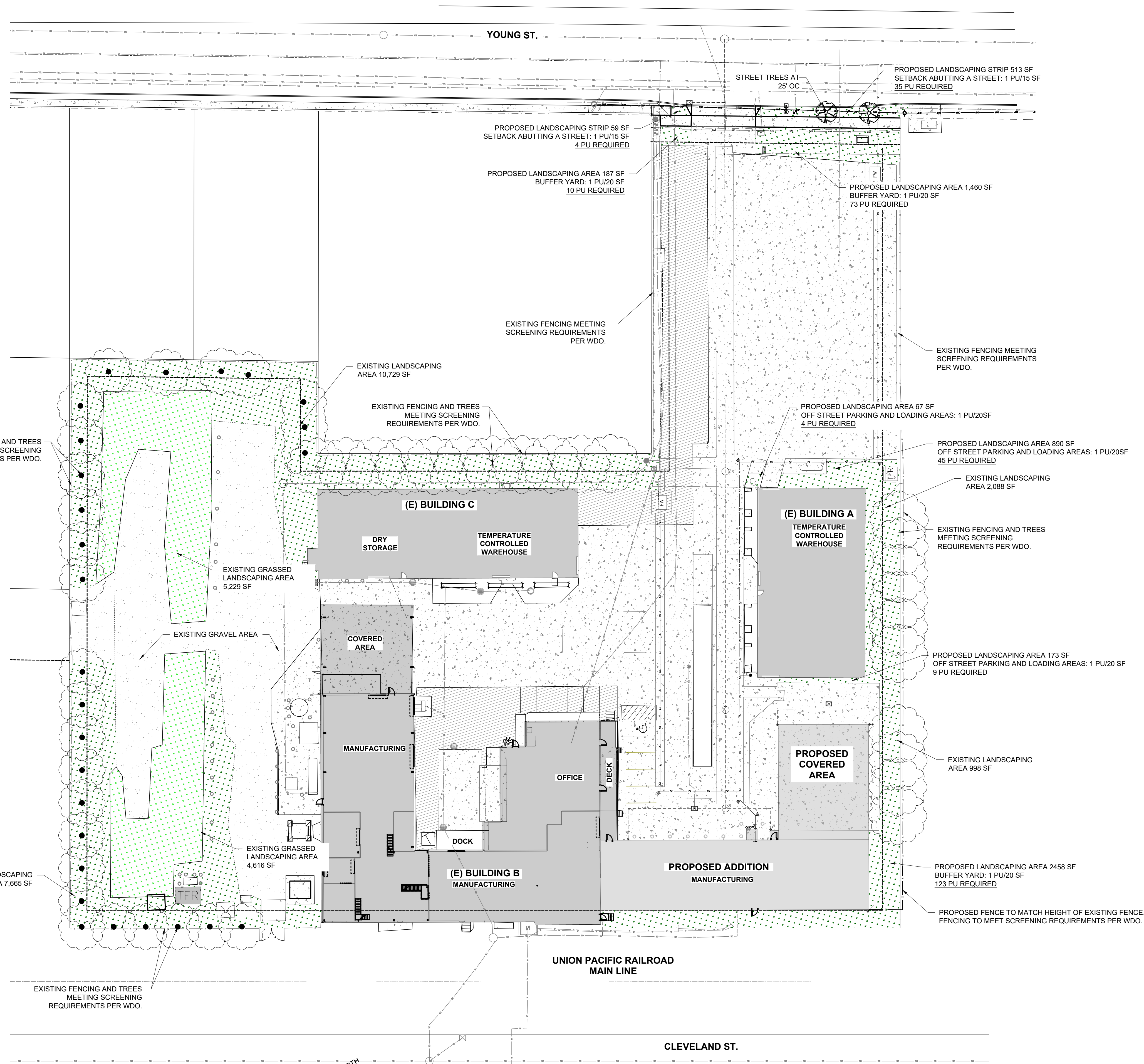
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Townsend Farms
EST. 1986

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CIVIL DRAWINGS
FIRE ACCESS AND FIRE WATER SUPPLY PLAN

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PRK	11/14/2022	KH	1"=30'	21441-C004	C



CIVIL LEGEND

DEMO	EXISTING	NEW	
[Red hatched]	[Grey hatched]	[Dark grey hatched]	BUILDING
[Red dashed]	[Grey dotted]	[Dark grey dotted]	CONCRETE PAVING
[Red diagonal]	[Grey diagonal]	[Dark grey diagonal]	GRAVEL
[Red wavy]	[Grey wavy]	[Dark grey wavy]	HMAC PAVING - STANDARD
[Red dotted]	[Green dotted]	[Dark green dotted]	LANDSCAPE AREA
[Red dashed]	[Green dashed]	[Dark green dashed]	GRASSED AREA
[Red dashed]	[Green dashed]	[Dark green dashed]	SETBACK
[Red dashed]	[Green dashed]	[Dark green dashed]	EASEMENT
[Red dashed]	[Green dashed]	[Dark green dashed]	RIGHT OF WAY
[Red dashed]	[Green dashed]	[Dark green dashed]	FENCING
[Red dashed]	[Green dashed]	[Dark green dashed]	PROPERTY LINE
[Red dashed]	[Green dashed]	[Dark green dashed]	STORM SEWER
[Red dashed]	[Green dashed]	[Dark green dashed]	WATER
[Red dashed]	[Green dashed]	[Dark green dashed]	FIRE WATER
[Red dashed]	[Green dashed]	[Dark green dashed]	SANITARY SEWER
[Red dashed]	[Green dashed]	[Dark green dashed]	OVERHEAD POWER
[Red dashed]	[Green dashed]	[Dark green dashed]	BURIED POWER
[Red dashed]	[Green dashed]	[Dark green dashed]	CATCH BASIN
[Red dashed]	[Green dashed]	[Dark green dashed]	AREA DRAIN
[Red dashed]	[Green dashed]	[Dark green dashed]	ROOF DRAIN CONNECTION POINT
[Red dashed]	[Green dashed]	[Dark green dashed]	SANITARY SEWER CLEANOUT
[Red dashed]	[Green dashed]	[Dark green dashed]	SANITARY SEWER MANHOLE
[Red dashed]	[Green dashed]	[Dark green dashed]	HYDRANT
[Red dashed]	[Green dashed]	[Dark green dashed]	POWER POLE
[Red dashed]	[Green dashed]	[Dark green dashed]	POWER METER
[Red dashed]	[Green dashed]	[Dark green dashed]	BOLLARD PROTECTION
[Red dashed]	[Green dashed]	[Dark green dashed]	MAILBOX
[Red dashed]	[Green dashed]	[Dark green dashed]	OWNER SIGNAGE
[Red dashed]	[Green dashed]	[Dark green dashed]	STREET SIGNAGE
[Red dashed]	[Green dashed]	[Dark green dashed]	HANDICAP PARKING SYMBOL
[Red dashed]	[Green dashed]	[Dark green dashed]	NUMBER OF PARKING SPACES
[Red dashed]	[Green dashed]	[Dark green dashed]	TREE
[Red dashed]	[Green dashed]	[Dark green dashed]	STREET LIGHTING

LANDSCAPING NOTES

- PER WDO SECTION 3.06.07 SIGNIFICANT TREES ON PRIVATE PROPERTY, PARAGRAPH D, THE PROPERTY OWNER WILL REPLACE EACH SIGNIFICANT TREE REMOVED WITH ONE REPLACEMENT TREE. EACH REPLACEMENT TREE SHALL BE AT LEAST TWO INCHES IN CALIPER. EACH REPLACEMENT TREE SHALL BE OF A SPECIES NOT PROHIBITED BY THE WDO. THE REPLACEMENT TREE SHALL BE OF THE SAME SIZE RANGE AT MATURITY AS THE SIGNIFICANT TREE REPLACED.
- PER WDO SECTION 3.06.07 PARAGRAPH E, TREE REPLACEMENT SHALL BE ACCOMPLISHED BY:
 - PLANTING ONE TREE ON THE SUBJECT PROPERTY;
 - PLANTING ONE TREE AT A LOCATION DETERMINED BY THE WOODBURN COMMUNITY SERVICES DEPARTMENT; OR
 - PAYING A FEE-IN-LIEU TO THE WOODBURN COMMUNITY SERVICES DEPARTMENT FOR THE PLANTING OF ONE TREE AT A FUTURE TIME BY THE CITY.

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LANDSCAPING PLAN
SCALE: 1"=30'
NORTH

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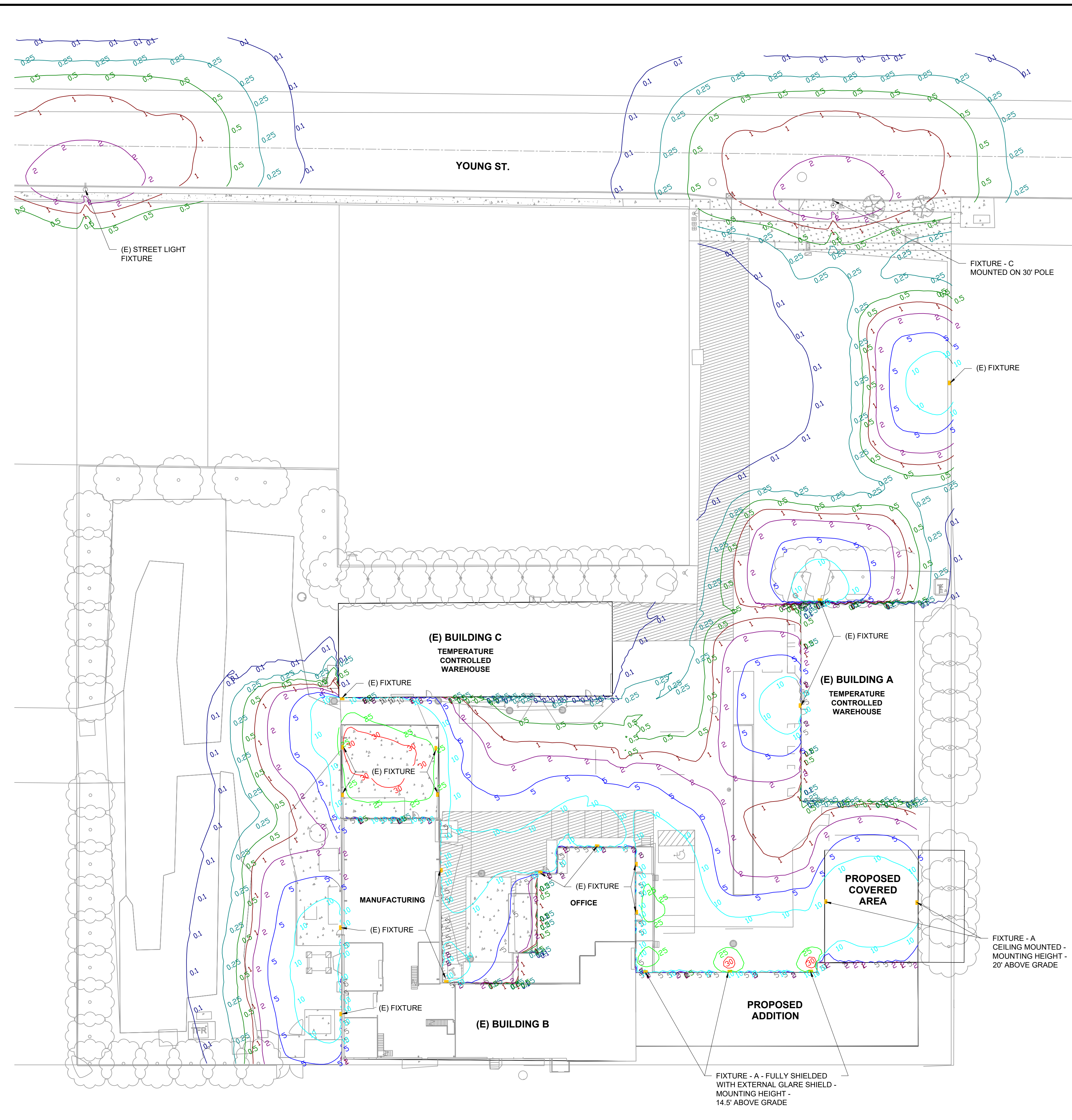
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**LIGHTING LEVELS PER ANSI/IESNA
RECOMMENDED PRACTICE 8 , ROADWAY LIGHTING**

- YOUNG STREET FRONTAGE STREET LIGHTING LEVELS- MAJOR ROADWAY - MEDIUM PEDESTRIAN CONFLICT AREA - R2 & R3 PAVEMENT CLASSIFICATION
PER TABLE 2 - MINIMUM MAINTAINED AVERAGE VALUE - 1.3 FC
- YOUNG STREET FRONTAGE SIDEWALK LIGHTING LEVELS -PEDESTRIAN AREAS - MEDIUM PEDESTRIAN CONFLICT AREA
PER TABLE 6 - EH - 0.5 FC
E_{Vmin} - 0.2 FC
- YOUNG STREET FRONTAGE DRIVEWAY LIGHTING LEVELS - INTERSECTIONS - MEDIUM PEDESTRIAN CONFLICT AREA - MAJOR/LOCAL
PER TABLE 9 - 2.0 FC

LIGHTING LEGEND

- 10 FOOT CANDLES
- 5 FOOT CANDLES
- 1 FOOT CANDLES
- 0.5 FOOT CANDLES
- 0.25 FOOT CANDLES
- 0.1 FOOT CANDLES
- LIGHTING 1 LAMP LED, 27,370 LUMENS OUTPUT

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
A			5	Lithonia Lighting	R33A LED PL 40K R33 EGS	R33 Area Luminaire Size 3 PL Luminaire Package 4000K CCT Type R33 Distribution with EGS Shield (External Glare Shield)	1	27370	1	194.708	
C			1	Cree Inc	XSPG-3-HT-3HE-18L 48K7-LL-SV-N	CONFIGURED FROM XSPG LED Street/Area Luminaire - Large, 24L Luminaire, Type III Medium Optic Distribution, 48K CCT, 70 CRI	1	18700	1	135	

LIGHTING PLAN
SCALE: 1"=30'

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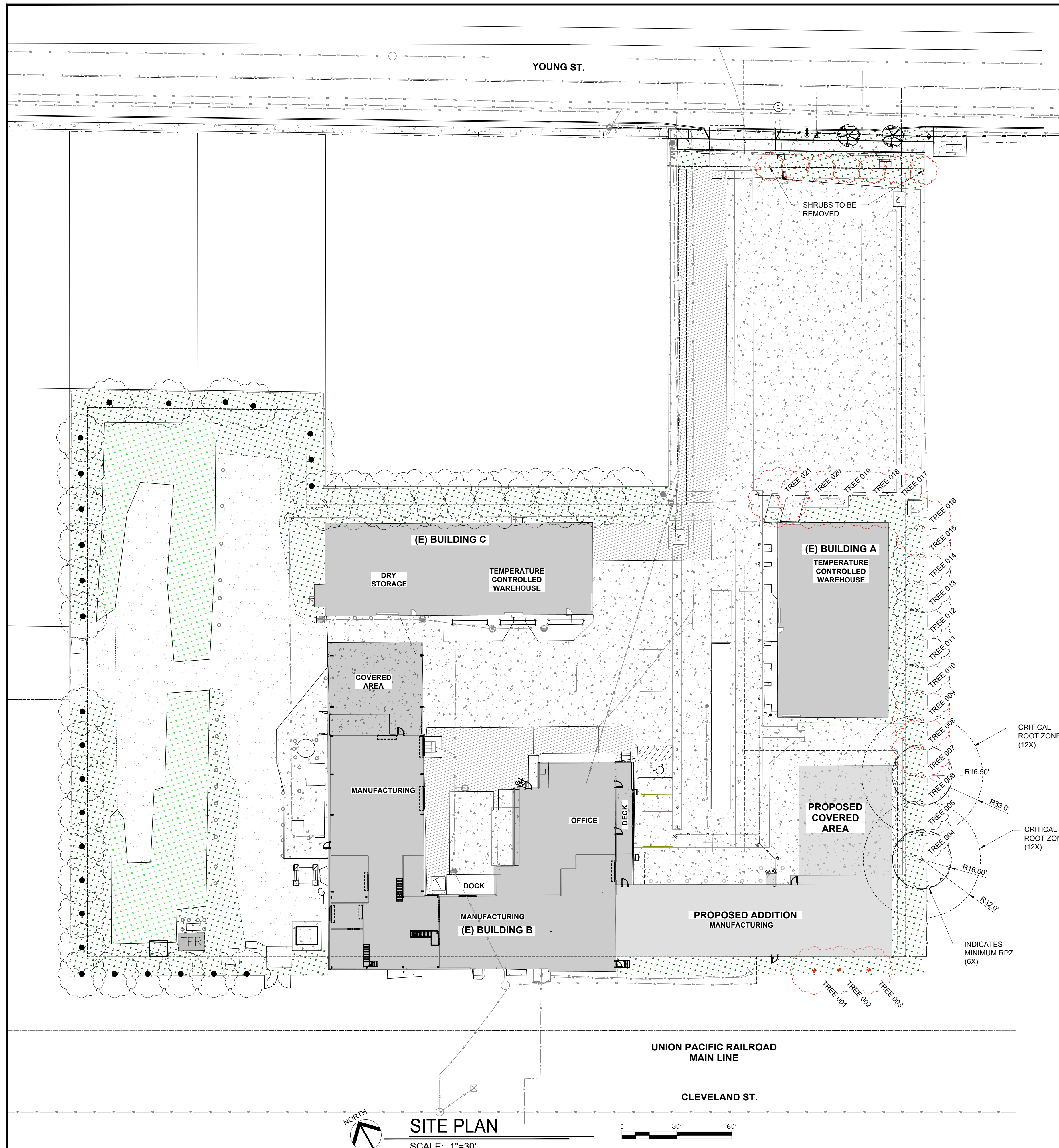
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PLOT: 10/12/2022 9:17:09AM DGL 21441-01
SAVE: C:\Users\DGL\Documents\Drawing2.dwg 10/12/22 9:17:13AM DGL

960 YOUNG ST., WOODBURN, OR 97071		DRAWN		DATE	CHECKED	SCALE	DRAWING NO.	REV.
OUTDOOR LIGHTING		DGL	10/13/22	PRK	1"=30'	21441-C006	C	
PROPOSED PHOTOMETRIC LAYOUT								



TREE SCHEDULE						
TREE No.	STATUS	TREE DIAMETER (IN)	ROOT PROTECTION ZONE RADIUS (FT)	SPECIES	CONDITION	REMARKS
001	REMOVE	25.00	25.00	WESTERN RED CEDAR (THUJA PLICATA)	POOR	PROPOSED BUILDING ENCROACHES BEYOND 1/2 OF RPZ
002	REMOVE	24.00	24.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	PROPOSED BUILDING ENCROACHES BEYOND 1/2 OF RPZ
003	REMOVE	30.00	30.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	PROPOSED BUILDING ENCROACHES BEYOND 1/2 OF RPZ
004	PROTECT	32.00	32.00	WESTERN RED CEDAR (THUJA PLICATA)	GOOD	
005	PROTECT	30.00	30.00	WESTERN RED CEDAR (THUJA PLICATA)	GOOD	
006	PROTECT	24.00	24.00	WESTERN RED CEDAR (THUJA PLICATA)	GOOD	
007	PROTECT	33.00	33.00	WESTERN RED CEDAR (THUJA PLICATA)	GOOD	
008	REMOVE	31.00	31.00	WESTERN RED CEDAR (THUJA PLICATA)	GOOD	PROPOSED FIRE ACCESS ROAD ENCROACHES BEYOND 1/2 OF RPZ
009	REMOVE	31.00	31.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	PROPOSED FIRE ACCESS ROAD ENCROACHES BEYOND 1/2 OF RPZ
010	PROTECT	30.00	30.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	
011	PROTECT	29.00	29.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	
012	PROTECT	30.00	30.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	
013	PROTECT	26.00	26.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	
014	PROTECT	31.00	31.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	
015	PROTECT	21.00	21.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	
016	REMOVE	23.00	23.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	PROPOSED ELECTRICAL LINES FEEDING BUILDING A ENCROACHES BEYOND 1/2 OF RPZ
017	REMOVE	22.00	22.00	WESTERN RED CEDAR (THUJA PLICATA)	FAIR	PROPOSED ELECTRICAL LINES FEEDING BUILDING A ENCROACHES BEYOND 1/2 OF RPZ
018	REMOVE	27.00	27.00	WESTERN RED CEDAR (THUJA PLICATA)	DYING	DYING CONDITION
019	REMOVE	28.00	28.00	WESTERN RED CEDAR (THUJA PLICATA)	POOR	PROPOSED SLAB FOR PROPANE TANK IN THIS AREA - PROPANE TANK MUST BE AT LEAST 10' FROM BUILDING.
020	REMOVE	28.00	28.00	WESTERN RED CEDAR (THUJA PLICATA)	DYING	DYING CONDITION
021	REMOVE	29.00	29.00	WESTERN RED CEDAR (THUJA PLICATA)	POOR	PROPOSED ACCESS FOR PROPANE TANK IN THIS AREA

SIGNIFICANT TREE NOTES

- PER WDO SECTION 3.06.07 SIGNIFICANT TREES ON PRIVATE PROPERTY, PARAGRAPH D, THE PROPERTY OWNER WILL REPLACE EACH SIGNIFICANT TREE REMOVED WITH ONE REPLACEMENT TREE. EACH REPLACEMENT TREE SHALL BE AT LEAST TWO INCHES IN CALIPER. EACH REPLACEMENT TREE SHALL BE OF A SPECIES NOT PROHIBITED BY THE WDO. THE REPLACEMENT TREE SHALL BE OF THE SAME SIZE RANGE AT MATURITY AS THE SIGNIFICANT TREE REPLACED.
- PER WDO SECTION 3.06.07 PARAGRAPH E, TREE REPLACEMENT SHALL BE ACCOMPLISHED BY:
 - PLANTING ONE TREE ON THE SUBJECT PROPERTY;
 - PLANTING ONE TREE AT A LOCATION DETERMINED BY THE WOODBURN COMMUNITY SERVICES DEPARTMENT; OR
 - PAYING A FEE-IN-LIEU TO THE WOODBURN COMMUNITY SERVICES DEPARTMENT FOR THE PLANTING OF ONE TREE AT A FUTURE TIME BY THE CITY.

PRELIMINARY
NOT FOR CONSTRUCTION
Date: 11-14-2022

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THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE OBSERVANCE OF ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS DURING CONSTRUCTION.

REV.	DATE	DESCRIPTION	BY
D	11/14/2022	REVISIONS PER CITY LAND USE COMMENTS	PRK
C	10/17/2022	ADDED INFORMATION PER ARBORIST REPORT	PRK
B	10/13/2022	REVISIONS PER CITY LAND USE COMMENTS	PRK
A	07/19/2022	LAND USE SUBMITTAL	PRK

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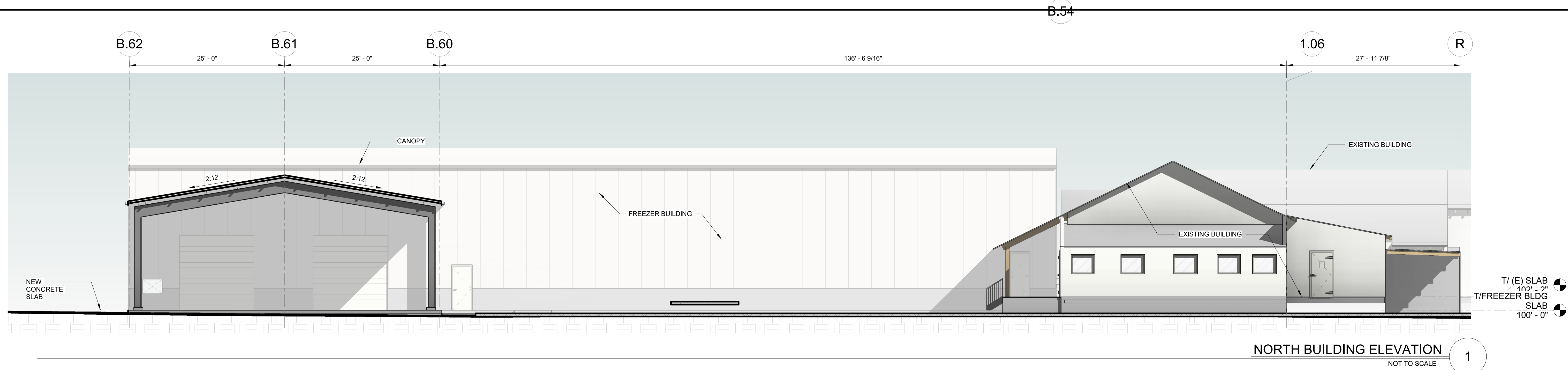
P: (503) 213-2013
F: (503) 213-2018

Townsend Farms

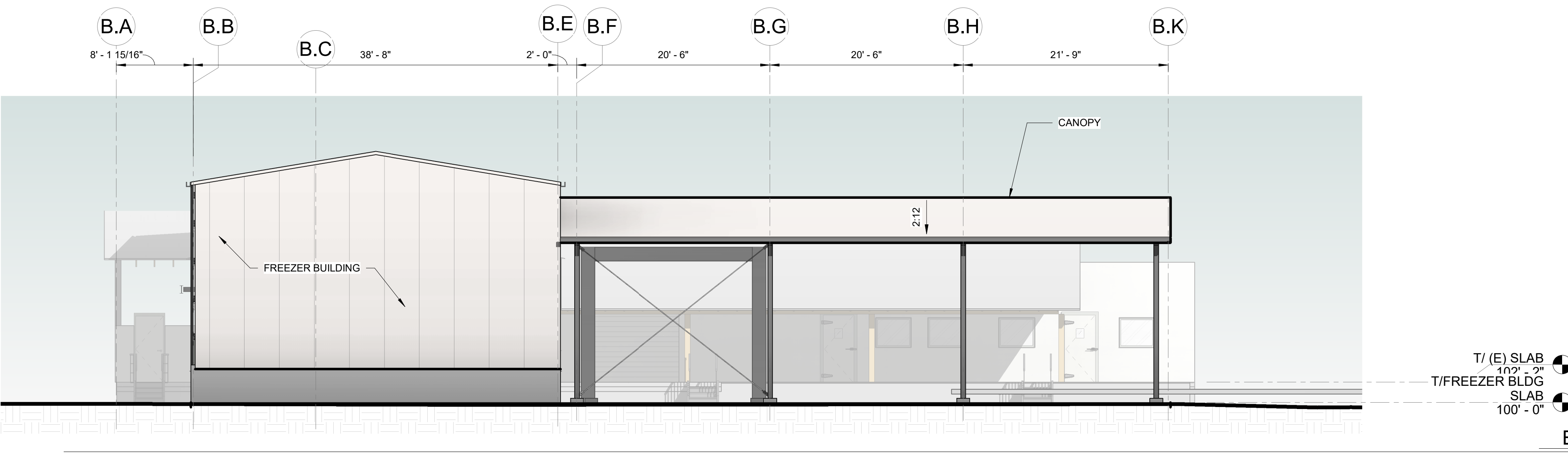
960 YOUNG ST., WOODBURN, OR 97071
CIVIL DRAWINGS
TREE PROTECTION AND REMOVAL PLAN

DRAWN: PRK DATE: 11/14/2022 CHECKED: KH SCALE: 1"=30' DRAWING NO.: 21441-C007 REV.: D

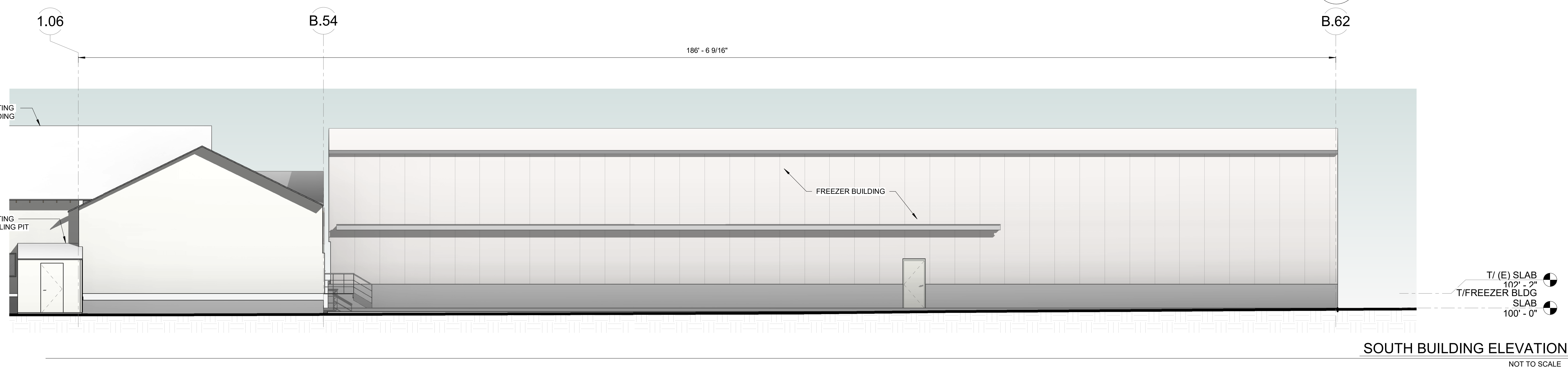
PLOT: 11/14/2022 3:17:07 PM
SAVE: 11/14/2022 3:15:21 PM



NORTH BUILDING ELEVATION 1
NOT TO SCALE



EAST BUILDING ELEVATION 2
NOT TO SCALE



SOUTH BUILDING ELEVATION 3
NOT TO SCALE

ISSUED FOR REVIEW
Date: 11/14/22 By: KGH

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No.	Date	Description	by
C	11/14/22	ISSUED FOR DESIGN REVIEW	KGH
B	10/13/22	ISSUED FOR DESIGN REVIEW	KGH
A	07/19/22	DESIGN REVIEW	KGH

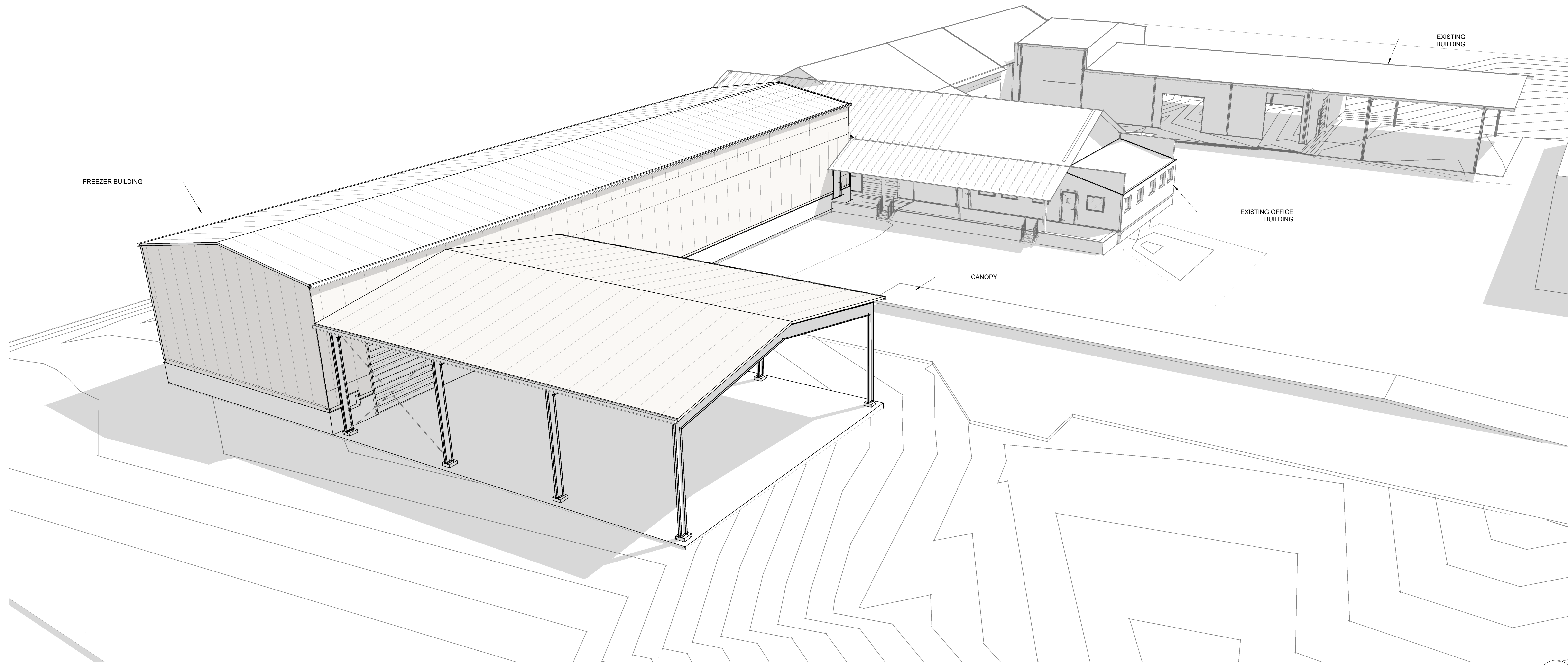
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FREEZER TUNNEL EXPANSION
BUILDING ELEVATIONS

DESIGN	CHECKED	SCALE	ISSUE DATE	PROJ. NO. - SHEET NO.	REV
MG	Checker	1/8" = 1'-0"	11/14/22	21441 - DRA104-02	C

DESIGN REVIEW 11/14/22



NORTHEAST ISOMETRIC

1

ISSUED FOR REVIEW

Date: 11/14/22 By: KGH

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No.	Date	Description	by
B	11/14/22	ISSUED FOR DESIGN REVIEW	KGH
A	07/19/22	DESIGN REVIEW	KGH

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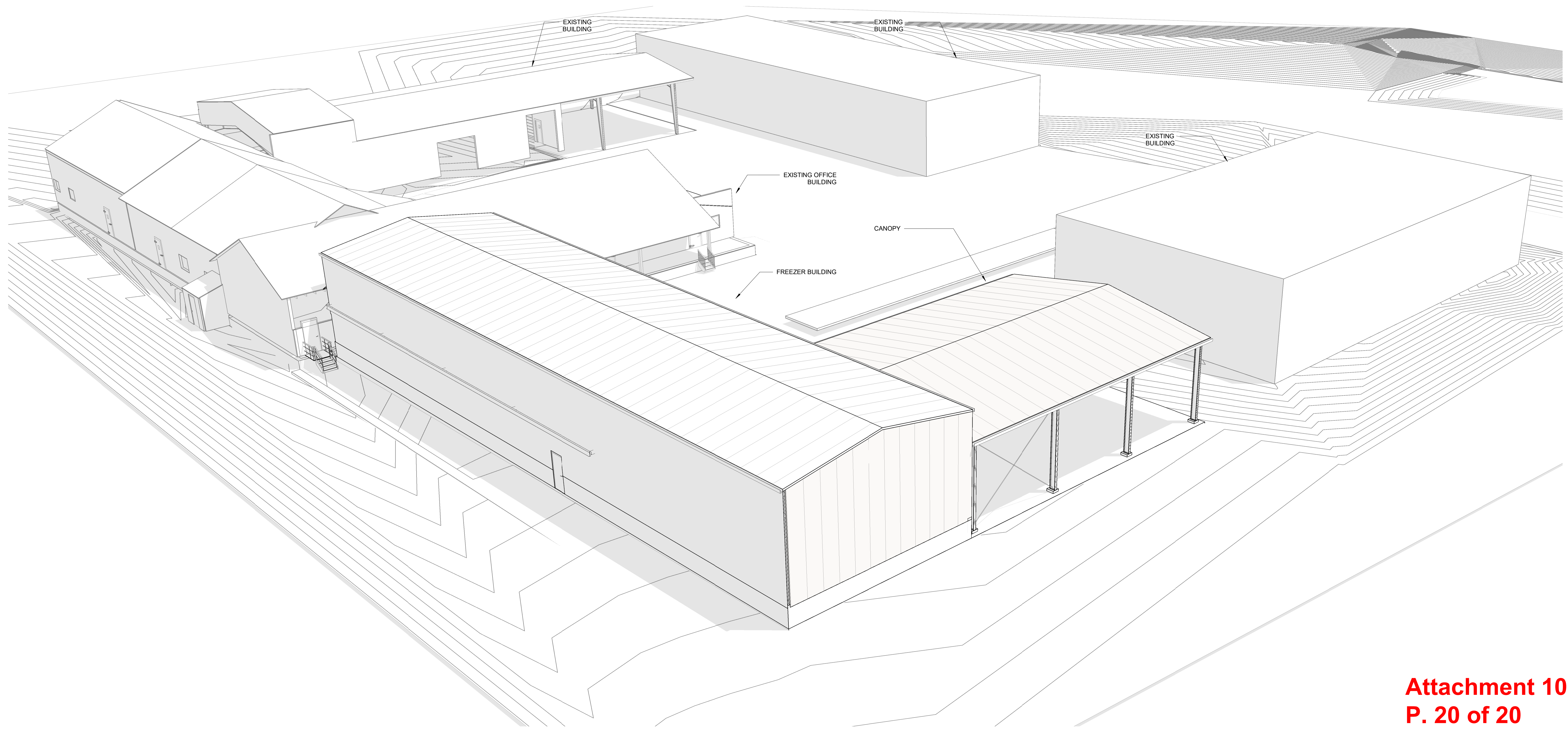
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 FREEZER TUNNEL EXPANSION
 NORTHEAST ISOMETRIC

DRWN	CHKD	SCALE	ISSUE DATE	PROJ. NO. - SHEET NO.	REV
MG	Checker		11/14/22	21441 - DRA109-02	B

DESIGN REVIEW 11/14/22



Attachment 103
P. 20 of 20

SOUTHEAST ISOMETRIC

1

ISSUED FOR REVIEW
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No.	Date	Description	by
B	11/14/22	ISSUED FOR DESIGN REVIEW	KGH
A	07/19/22	DESIGN REVIEW	KGH

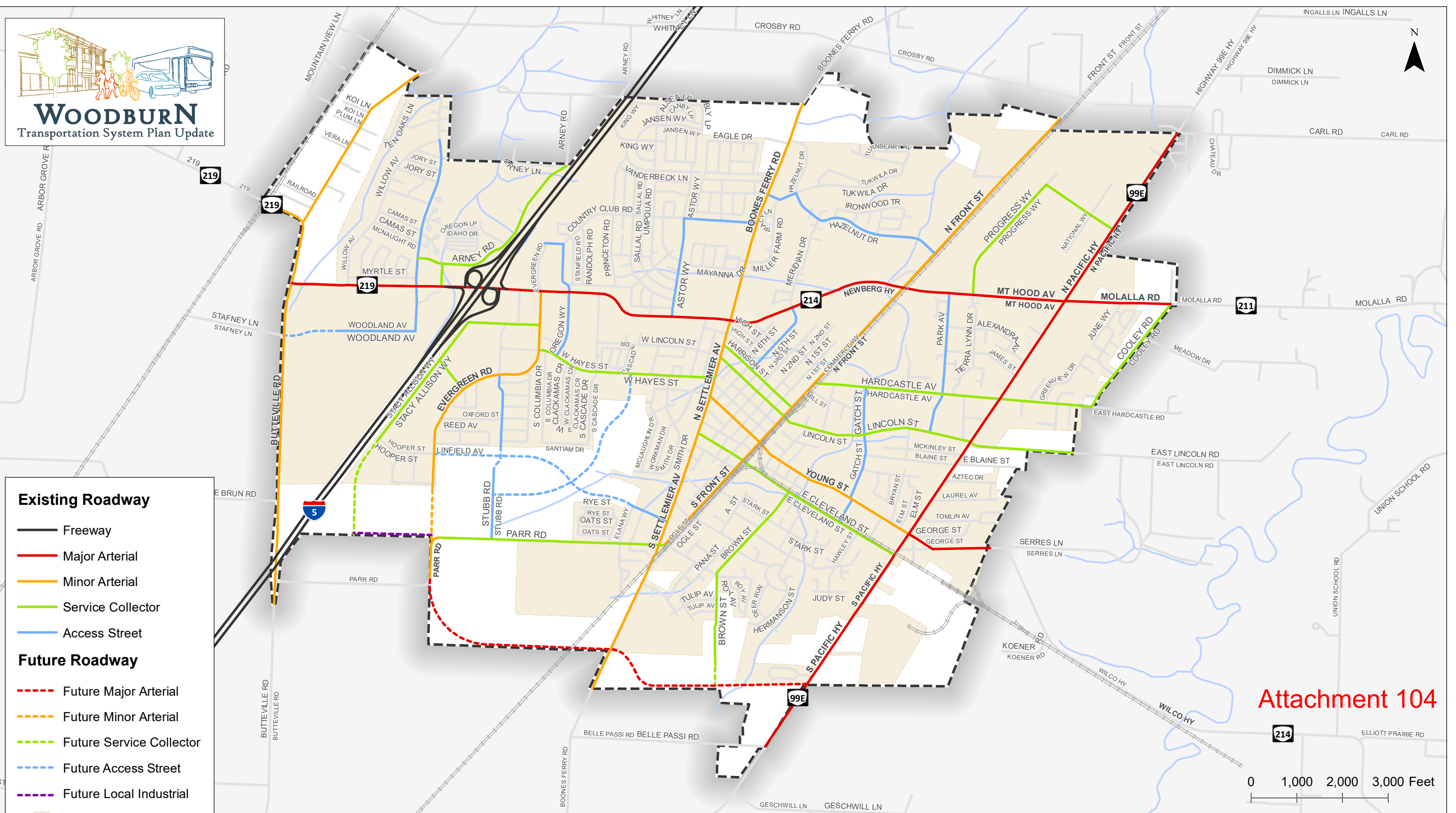
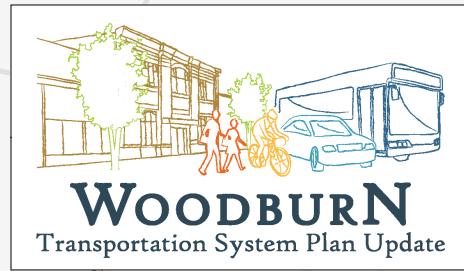
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SOUTHEAST ISOMETRIC

DRWN	CHKD	SCALE	ISSUE DATE	PROJ. NO. - SHEET NO.	REV
MG	Checker		11/14/22	21441 - DRA109-04	B



Attachment 104

0 1,000 2,000 3,000 Feet

Functional Roadway Classification
Woodburn, Oregon

Figure
2

Note: Future roadway alignments are approximate and subject to further refinement.

CU 22-02 Townsend Farms:

Attachment 201: Dictionary & Glossary

This document defines and explains abbreviations, acronyms, phrases, and words particularly in the context of conditions of approval.

- “ADA” refers to the federal Americans with Disabilities Act of 1990.
- “C of O” refers to building certificate of occupancy.
- “CEP” refers to civil engineering plan review, which is a review process independent of land use review led by the Community Development Department Planning Division and that is led by the Public Works Department Engineering Division through any application forms, fees, and review criteria as the Division might establish. A staff expectation is that CEP follows land use review and approval, that is, a final decision, and precedes building permit application.
- “County” refers to Marion County.
- “Director” refers to the Community Development Director.
- “exc.” means excluding.
- “EV” refers to electric vehicle.
- “FOC” refers to face of curb.
- “ft” refers to feet.
- “Joyce” refers to Joyce Way.
- “Joyce Way” refers to an unimproved unnamed City ROW 50 ft wide that runs northerly-southerly between 960 and 1030 Young Street (Tax Lots 051W18AD08300 & 051W18AD08400) and extends to Young at the north and Willamette Valley RR at the south. County Tax Map 051W18AD delineates it. (City Planning staff has referred to it as “Joyce Way” since the time of pre-application meeting PRE 2020-04 on February 27, 2020 because that is the same name as the nearest street to the north along an imaginary line, Joyce Street, and WDO 3.01.06C.1d lists the suffix “Way” as an acceptable one.)
- “inc.” means including.
- “max” means maximum.
- “min” means minimum.
- “MUTCD” refers to *Manual on Uniform Traffic Control Devices* of the U.S. Department of Transportation (U.S. DOT) Federal Highway Administration (FHWA).
- “NE” means northeast.
- “NW” means northwest.
- “OAR” refers to Oregon Administrative Rules.
- “o.c.” refers to on-center spacing, such as of trees or shrubs.
- “ODOT” refers to the Oregon Department of Transportation.

- “ORS” refers to Oregon Revised Statutes.
- “PLA” refers to property line adjustment.
- “PU” refers to plant unit as WDO Table 3.06B describes.
- “PUE” refers to public utility easement, whether along and abutting public ROW (“streetside” PUE) or extending into or across the interior of private property (“off-street” PUE). In the context of property line adjustment, partition, or subdivision, the developer records through the plat with drawings and notes on the face of the plat. Absent this context, recordation is separate from land use review pursuant to a document template or templates established by PW. PW is the project manager for receiving, reviewing, accepting, obtaining City Council approval for, and recording public easement materials that a developer submits.
- “PW” refers to Public Works (the department).
- “Root barrier” refers to that illustrated by PW SS&Ds, [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “ROW” refers to right-of-way.
- “RPZ” refers to root protection zone in the context of tree preservation.
- “RR” refers to railroad.
- “SDCs” refers to system development charges, also known as impact fees.
- “SE” means southeast.
- “SDA” refers to site development area, the entire territory that is the subject of the land use application package.
- “sq ft” refers to square feet.
- “SS&Ds” refers to PW [standard specifications and drawings](#).
- “Street trees” refer to trees that conform to the WDO, including 3.06.03A and Tables 3.06B & C, and that have root barriers where applicable per PW [Drawing No. 1 “Street Tree Planting New Construction”](#).
- “SW” means southwest.
- “Tot.” means total.
- “TPU” means the [Transit Plan Update](#) Approved Final Report dated November 8, 2010.
- “TDM” refers to transportation demand management, which means according to the TSP (p. 82), “a policy tool as well as a general term used to describe any action that removes single occupant vehicle trips from the roadway during peak travel demand periods”, and according to Wikipedia as of October 13, 2020, “the application of strategies and policies to reduce travel demand, or to redistribute this demand in space or in time.”
- “TSP” means the [Woodburn Transportation System Plan \(TSP\)](#).
- “UGB” means urban growth boundary.
- “Walkway” refers to what would otherwise be called sidewalk except the paved walking surface is on private property outside of any of ROW or an easement granting public access.
- “WDO” refers to the [Woodburn Development Ordinance](#).
- “WFD” refers to the Woodburn Fire District.

- “Woodburn Place Apts.” refers to Woodburn Place Apartments at 2145 Molalla Rd approved through ANX 2019-01 and developed by the same developer as CU 22-01 Woodburn Place West Apts. at 2045 Molalla Rd.
- “WTS” refers to the Woodburn Transit System.
- “WVRC” refers to the Willamette Valley Railway Co. that is the authority over the Willamette Valley RR.
- “w/i” means within.
- “w/o” means without.
- “VCA” refers to vision clearance area as WDO 1.02 and 3.03.06 establish or as a specific condition establishes.
- “Young” refers to Young Street.

CU 22-02 Townsend Farms:

Attachment 202: General Conditions

G1. As part of building permit application, the applicant shall submit revised site plans meeting the conditions of approval and obtain Planning Division approval through sign-off on permit issuance. The applicant shall submit a cover letter indicating what specific plans sheets or document page numbers demonstrate how the submittal meets each condition.

G2. The applicant or successors and assigns shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G3. References: Attachment 201 serves as a dictionary or glossary defining certain abbreviations, acronyms, phrases, terms, and words in the context of the conditions of approval. The 200 series of attachments are as binding as the conditions of approval in the main body of the final decision.

G4. Due dates / public improvements:

- a. When public street improvements, and any fees in lieu of public improvements, are due shall be per WDO 3.01.02E and 4.02.12 unless if and where a condition of approval has more restrictive timing. By this condition, there is more restrictive timing: In any case, they are due no later than by Building Division issuance of first certificate of occupancy (C of O), regardless of deferral, if any, that PW might have approved through 3.01.02E.
- b. ROW/easements: Recordation of required right-of-way (ROW) and public easements is due by building permit issuance.
- c. Where a Phasing Plan per WDO 5.03.05 is relevant, building permit issuance means issuance for the phase in which the conditioned improvement is located.
- d. Where changes to street addresses are necessary, the developer shall apply through the Planning Division for and obtain approval of an [Address Assignment Request](#). This is due prior to building permit application, and if and where land division is relevant, then also after recordation with County.

G5. Recordation due dates: The applicant shall apply to the County for recordations of items that the City requires no later than 6 months prior to expiration of the land use approval as WDO 4.02.04B establishes, and shall complete recordations no later than three years past the land use

“final decision” date. The due date to complete recordations shall not supersede when recordations are due relative to the building permit stage.

G6. Administration:

- a. Conformance: That a land use approval does not reiterate any and each particular detail, provision, requirement, rule, spec, or standard from any of the WDO, other ordinances, resolutions, public works construction code, or department policies does not exempt development from conformance with them.
- b. Copies: The developer, including any succeeding contractor, shall provide copies of documentation that a City staff person requests regardless if the documentation source is another City staff person or department.
- c. Fees: The developer shall pay fees per Attachment 203.

CU 22-02 Townsend Farms:
Attachment 203: Conditioned Fees (MOC 23-03)

All of the following conditioned fees are due as applicable, whether or not mentioned directly by a condition of approval.

Refer to Condition G3 and/or Attachment 201 for a dictionary/glossary, including acronyms and shorthand text.

Part A. Fee Provisions

1. Any and all conditioned fees are in addition to, and not in place or as discounts of, any existing charge or fee however termed ordinarily assessed based on any existing ordinance, resolution, or administrative policy, inc. adopted fee schedules. If and when the City amends any ordinance, resolution, or administrative policy, inc. a fee schedule, to increase a charge or fee that is (a) the same kind of charge or fee that is conditioned, (b) the amended charge or fee amount would exceed the amount conditioned, and (c) the increase takes effect before the conditioned fee is due, then the developer shall pay the greater amount.
2. Payments of conditioned fees shall reference a final decision case file number and the condition of approval letter/number designation, be it in a check memo field or through a cover or transmittal letter.
3. For fees due by building permit issuance, a developer may request the Director to allocate payments the same as allowed for fees in-lieu by WDO 4.02.12A.2, specifically, to pay across issuance of two or more structural building permits for the subject development.

For all administrative and logistical questions about payment of land use conditioned fees outside the context of assessment and payment through building permit, the developer is to contact the Administrative Assistant at (503) 982-5246 and refer to this attachment within the final decision, citing the case file number.

For payment method policy details, the developer is to contact the Finance Department at (503) 982-5222, option zero, for payment method policy details.

Part B. Fee Table

<i>Table 203B. Fee Table</i>					
<i>Condition Reference</i>	<i>Fee Type</i>	<i>Amount</i>	<i>Context</i>	<i>Timing</i>	<i>Staff Tracking:</i>
CU1a	Street tree fee in-lieu for street trees omitted through civil engineering plan (CEP) review, or, inspection missing tree fee	\$251 per tree	Applies to omitted street trees, or, ones missing from required number upon inspection; 4.02.12A	If CEP context, then by building permit issuance; if in inspection context, then prior to passing final inspection / obtaining certificate of occupancy	
CU3b	Significant Tree removal	\$251 per tree assessed for Trees 16 & 17	See condition.	Building permit issuance	
CU5	<u>Outdoor storage yard east shrubbery as screening: If planting on the Joyce Way side of the east lot line</u>	<u>\$2,257</u>	<u>See condition. Results from MOC 23-03 and is a one-time fee towards parks maintenance irrigation and pruning.</u>	<u>Prior to passing final inspection (building permit 971-23-000102-STR-02)</u>	
D3	Electric power pole(s) and line(s)	7.2% of \$568, which equals \$40.90, per lineal ft of line assessed at min 143 ft	WDO 3.02.04B & 4.02.12A	Building permit issuance	
T-T1	Bus transit / transit service fee	\$165.91 per parking stall for all min required parking stalls	See condition. Applies to min required parking for total of existing development and proposed redevelopment.	Building permit issuance	

V1	Joyce Way west half-street improvements variance: Fire apparatus road #1	Either (1) per Context column at right or (2) min \$6,000. The Woodburn Fire District (WFD) Fire Marshal may choose for the developer.	If (1), equal to 110% of a cost estimate of the construction and installation of the improvements and that the Fire Marshal accepts in writing. The City delegates administration of the fee in- lieu part of the condition to the WFD Fire Marshal. For	Per the WFD Fire Marshal, yet no later than before issuance of the first certificate of occupancy (C of O) for a 1030 Young Street redevelopment. The developer shall submit to City staff documentation from the Fire Marshal that fee in-lieu is paid.	
G6 through this Attachment 205	Public Works Dept. (PW), or ODOT as applicable, civil engineering plan (CEP) review: Review by Planning Division	\$250; \$346	Original/1 st submittal; each subsequent inc. deferral/piecemeal	Upon CEP application to PW	
	Inspections by Planning Division	\$75; \$346	1st inspection or “walkthrough”; each subsequent	Inspection requests related to public (street) improvements and building permits	

G6 through this Attachment 203	Any of (1) Bond / bonding / performance guarantee or (2) public improvements deferral through PW per WDO 3.01.02E: Specifically anythat would allow or allows the developer to delay construction of street improvements beyond either final plat, as applicable, or building permit issuance, with the exception of street trees.	\$4,474	Half-street improvements context limited to Young Street frontage. Serves as bond or deferral application review request min fee and isn't a bond amount itself. Fee not applicable to warranty bonds or ordinary construction bonds if they do not authorize delay of construction of street improvements beyond building permit issuance. (See WDO 3.01.02E.)	If CEP context, then payment (through Planning Division) upon CEP application to PW; if developer applies for building permit review and there has been no CEP application to PW, then building permit issuance	
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[General ledger (GL) account 363-000 3678 "Developer Contributions".]