



# Final Decision

## Planning Commission

**File number(s):** DR 23-03, PLA 23-03, SA 23-02, & VAR 23-05

**Project name:** Commerce Way Industrial Park

**Date of decision:** October 12, 2023

**Date of mailing:** October 19, 2023

**Applicant:** Todd Woodley, COBALT

**Landowners:** WB Commerce 100 LLC & WB Commerce 5000 LLC

**Site location:** 1414 Commerce Way (Tax Lots 051W07DA00100 & 051W08CB05000)

**Decision:** Approved with Conditions



*Aerial view of the site*

**Proposed Development**

The subject properties encompass an 11.04-acre site along the east side of Commerce Way. They are within the Light Industrial (IL) zoning district; the Riparian Corridor and Wetlands Overlay District (RCWOD) also covers a portion of the site. The site is undeveloped, except for a telecommunications tower that was recently approved (CU 2020-02 & VAR 2020-07).

The proposal before the Planning Commission was a Design Review application for an industrial park project consisting of two buildings and related site improvements (parking lot, loading bays, and landscaping). A Property Line Adjustment application was included to adjust the shared property boundary between the two lots. A Street Adjustment application was included to request a modified cross-section for Commerce Way. A Variance application was also included, requesting to modify the height limit requirements for exterior light fixtures.



*Conceptual Rendering of the Development*

**Public Hearing Summary**

On October 12, 2023, the Planning Commission held a public hearing for this Type III application package. No testimony was received. After closure of the record, the Commission voted unanimously to approve the application package with the conditions recommended by staff in the staff report published October 5, 2023.

The applicant’s Street Adjustment request for a modified Commerce Way cross-section was approved by the Commission. The cross-section is dependent upon a partial right-of-way vacation along Tax Lot 5000, which the City Council must approve.

The Commission also approved the applicant’s Variance request for wall light fixtures at 14.5 feet above grade within parking areas and 20 feet above grade in the loading areas.

## Conditions of Approval

### *General*

1. **Substantial Conformance:** The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. **Public Works conditions:** The developer shall follow the attached "Public Works Conditions October 5, 2023" (Attachment 102).
3. **Addressing:** Prior to recordation of the property line adjustment, the developer shall submit an Address Assignment Request Form, with accompanying fee payment and materials, to the Community Development Department to begin the process of getting addresses assigned.
4. **Property line adjustment:** The developer shall record the property line adjustment with Marion County in a manner acceptable to the Marion County Surveyor. Recordation of the adjustment shall be completed prior to building permit issuance.
5. **Fence permit:** To demonstrate conformance with 2.06.02 and 5.01.03, the developer shall submit application for and obtain approval of a Fence Permit for any new fencing. Such fencing must also receive approval from the Woodburn Fire District.
6. **Grading permit:** Prior to beginning any grading work on-site, the developer shall apply for and obtain a Grading Permit from the City per 5.01.04.
7. **Sign permit(s):** To demonstrate conformance with 3.10 and 5.01.10, submit application for and obtain approval of a Sign Permit for any new signage.

### *Right-of-Way & Easements*

8. **Right-of-way dedication:** Developer shall dedicate Commerce Way right-of-way for Tax Lot 100, as illustrated on Sheet C-1.03. Dedication would occur concurrently with recordation of the property line adjustment.
9. **Easements:** The developer shall grant the following easements concurrently with recordation of the property line adjustment. Prior to recordation, submit a draft copy to the City for review.

- a. Streetside public utility easements: To meet 3.02.01B & F2, an 8-foot-wide streetside public utility easement along the site frontage of Commerce Way as illustrated on Sheet C-1.05.
  - b. On-site public utility easements: To meet 3.02.01C, a 16-foot-wide public utility easement centered along the public water line running through the site.
  - c. RCWOD easement: To meet 3.01.08C, 3.02.01D, and 3.02.02A, a public improvement and maintenance easement that follows the boundary of the Riparian Corridor & Wetlands Overlay District (RCWOD). This easement shall also allow for public trail access and trail improvements.
  - d. Access easement: To meet 3.04.01A2 and 3.04.03C4a, a 60-foot-wide access easement centered on the shared property line.
  - e. Refuse and recycling area: An access easement over Tax Lot 5000 benefiting Tax Lot 100, to provide access to the paved refuse and recycling bins area.
10. Vacation requests: Application materials illustrate and note certain vacations being requested (see Sheet C-1.03). Prior to recordation of the property line adjustment and prior to civil plans approval for public improvements, the developer shall successfully complete the vacation process for the following:
- a. The requested right-of-way along Tax Lot 5000; and
  - b. The requested 30-foot-wide easement within Tax Lot 100 (MCDR Volume 442, Page 525).

*Transportation*

11. Commerce Way improvements: In conformance with the proposed street cross-section illustrated on Sheet C-0.03, the developer shall complete the following right-of-way (ROW) improvements to Commerce Way along the frontage of the subject properties:
- a. Improvements: Construct street improvements to match the cross-section on Sheet C-0.03 and the site plan on Sheet C-1.07. Improvements are due prior to building permit issuance.
  - b. Street trees: To meet 3.01.04B and 3.06.03A, plant lawn grass and at least 21 small size street trees within the landscape strip. Small size trees are defined in Table 3.06B as having a height of 18-40 feet at maturity. Prohibited street tree species are outlined in Table 3.06C. If the minimum number of street trees cannot be planted due to interference with other public improvements, the fee-in-lieu for any street trees not planted is \$250 per tree (fee payment would be due prior to building permit issuance).
  - c. Access: To meet 3.01.02C, the driveway approaches shall comply with applicable Public Works Department standard drawings and specifications.
  - d. Fire turnaround: If required by the Woodburn Fire District for providing adequate access, developer shall provide a fire turnaround at the northern end of Commerce Way to the standards required by the Fire Marshal.

12. Truck route: Exiting semi-trucks shall utilize the 'Hardcastle Avenue > N. Front Street > OR Highway 214' route to exit the site; they are not permitted to travel east on Hardcastle Avenue or south on N. Front Street. Similarly, entering semi-trucks shall utilize the 'OR Highway 214 > N. Front Street > Hardcastle Avenue' route to access the site.
13. Traffic mitigation: The following are due prior to building permit issuance:
  - a. To alleviate current and future safety and capacity issues at the N. Front Street / OR Highway 214 ramp, the developer shall pay a proportionate share fee-in-lieu of \$40,500 to the City towards TSP Project R12 and any safety improvements at this location.
  - b. To alleviate current and future safety and capacity issues at the Settlemier Ave / N. Boones Ferry Road / OR Highway 214 intersection, the developer shall pay a proportionate share fee-in-lieu of \$6,923.23 to the City towards TSP Project R3.
  - c. To mitigate current and future safety and capacity issues at the I-5 ramp intersections with OR Highway 214, the developer shall pay to the City a \$5,000 proportionate share mitigation fee towards TSP Projects R8 & R9.
14. Mill Creek greenway trail: Pursuant to 3.01.08B & F, the developer shall pay a proportionate share fee-in-lieu for Mill Creek Greenway Trail improvements. The fee amount is \$53,034.75. Payment is due prior to building permit issuance.

#### *Utilities*

15. Street lighting: Pursuant to 3.02.03A, adjacent street lighting for Commerce Way shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works Department indicating that existing illumination complies with the standards or install new lighting to conform. This is due prior to building permit issuance.
16. Power line burial: To meet 3.02.04B1, the applicant shall bury the existing overhead power lines along the Commerce Way frontage. This is due prior to building permit issuance.
17. Underground utilities: Pursuant to 3.02.04, all utility services to and within the development shall be underground.

#### *Other*

18. RCWOD maintenance: Prior to building permit final inspection, the developer shall inspect the extent of the subject properties within the RCWOD, submit a report on existing conditions within this area to the Community Development Department, and remove any invasive plants. Such maintenance work shall be in compliance with applicable outside agency regulations and permitting requirements (e.g. Department of Environmental Quality, Department of State Lands, Army Corps of Engineers).

19. Parking: The developer shall complete the following prior to building permit issuance:
- a. To meet 3.05.02J, revise site plans to illustrate striped directional markings throughout the parking lot and circulation area.
  - b. To meet 3.05.03H2 & 3, revise plans to include signage and striping details for carpool / vanpool parking stalls.
  - c. To meet 3.05.03I2-4, revise plans to include electric vehicle parking stall details for charging level, striping, and signage.
  - d. To meet 3.05.06C2 & 3, revise plans to include facility and dimension details for bicycle parking stalls.

### Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Records: Staff recommends that the applicant retain a copy of the subject approval.
3. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
4. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
5. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
6. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do

not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.

7. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.
8. Public Works Review: Staff performs final review of the civil plans (within City right-of-way jurisdiction) during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions. All improvements/work within the right-of-way shall be completed prior to final building inspection.
9. ODOT review: Applicant is required to obtain a permit from ODOT for all work within ODOT jurisdiction. Applicant to provide a copy of the ODOT permit approval prior to building permit issuance.
10. Railroad coordination: Applicant to coordinate work with the appropriate railroad company for all work within or adjacent to their right-of-way.
11. Franchises: The applicant provides for the installation of all existing and new franchised utilities and any required easements.
12. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
13. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area.

Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.

14. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.

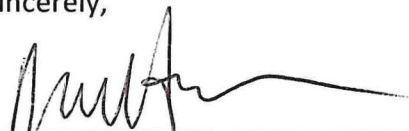
15. SDCs: The developer pays System Development Charges prior to building permit issuance.

### Appeals

Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or [planning@ci.woodburn.or.us](mailto:planning@ci.woodburn.or.us).

Sincerely,

  
\_\_\_\_\_  
Dan Handel, AICP, Planner

10/19/2023  
\_\_\_\_\_  
Date

Affirmed,

  
\_\_\_\_\_  
Lisa Ellsworth, Chair, Planning Commission

10/18/2023  
\_\_\_\_\_  
Date

### Attachments:

1. Public Works Conditions October 5, 2023 (Staff Report Attachment 102)
2. Approved site plans (Staff Report Attachment 107)





**Public Works Conditions of Approval  
DR 23-03, PLA 23-03, SA 23-02, & VAR 23-05  
WB Commerce 100 LLC & 5000 LLC  
(1414 Commerce Way)  
October 5, 2023**

**A. CONDITIONS OF LAND USE APPROVAL:**

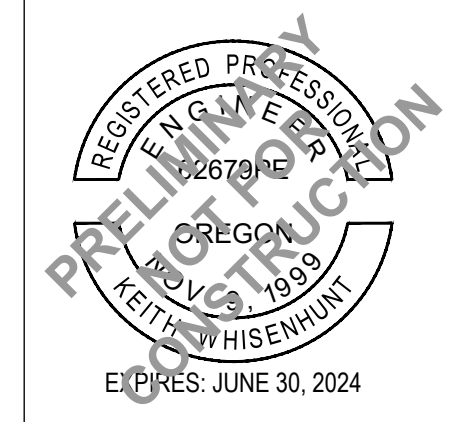
1. The Applicant, not the City, is responsible for obtaining any necessary permits from the State, Marion County, Oregon Division of State Lands, US Army Corps of Engineering, Union Pacific Railroad, and/or federal agencies that may require such permit or approval for the construction of this development.
2. The applicant, not the City, is responsible for obtaining any necessary permits from adjacent property owners that may require such permits or approval for work within their property boundaries.
3. Applicant to provide a copy of approved permit(s) from the Oregon Division of State Lands and US Army Corps of Engineering, as applicable prior to civil plans approval, if a permit shall be obtained for discharging storm drainage into state lands.
4. Applicant to provide a final Engineer stamped storm drainage hydraulic analysis report for detention, conveyance system and a final 100-year floodway, floodplain, and wetland delineation for this development. The storm drainage hydraulic analysis shall comply with, Oregon Division of State Lands, US Army Corps of Engineering and City's requirements, as applicable.
5. The applicant is responsible for obtaining approval from the City's Planning Division and Woodburn Fire District for dead-end turnarounds requirements for public streets and private share access.
6. Department of Environmental Quality Erosion Control 1200C permit will need to be obtained for this development prior to City issuing approval of civil plans.
7. Applicant to install street lighting along Commerce Way. Streetlights shall be in accordance with street lighting plans approved by the City and conforming to Portland General Electric installation (PGE) and under PGE's option B.
8. Applicant to provide for the installation of all franchise utilities and shall provide any required easements for these facilities. All permanent utility services to the development shall be underground.
9. The Applicant, by this Development, shall not cause storm water runoff to be impounded on adjacent properties. Applicant to construct private storm sewer systems, including detention facilities in accordance with approved plans and drainage reports. All required on-site and off-site detention area(s) for the runoff from this site will need to be provided

in accordance with the hydraulic analysis. The property owner shall maintain all on-site detention areas in perpetuity.

10. All sewer mains are a gravity system and the termini of sewer lines locations, depths, and sizes shall be such that it is suited for future extensions to adjoining areas.
11. All sanitary sewer and storm drainage laterals serving the proposed developments are private up to the main public line.
12. All City-maintained facilities located on private property shall require a minimum of 16-foot-wide utility easement conveyed to the City by the property owner. This is the applicant's responsibility to provide, not the City's. Utilities of unusual depth, size or location may require a larger width.
13. Applicant to provide a flexible pavement structure designed for all new public streets, by a registered professional engineer using subgrade reaction appropriate for the site, traffic index, and a 20-year design life for pavement system. Structure thicknesses shall not be less than values from table on City of Woodburn Standard Detail No. 42001 (Typical Pavement Structure).
14. The owner/applicant shall be required to enter into an improvement agreement.
15. Applicant to pay all public improvements (right-of-way) fees for all public improvements that are to be maintained by the City as per Ordinance #1795.
16. Final review of the Civil Plans will be done during the permit application for public improvements. Public infrastructure will be designed and constructed in accordance with plans approved by Public Works and complying with City, State and Federal requirements/guidelines current at the time of the development application. All public infrastructure improvements shall be completed, inspected, and accepted prior to building permit issuance.
17. Provide and record the required right-of-way dedications and public utility easements, prior to City issuance of building permit.
18. All public improvements shall be deemed complete prior to City issuance of building permit.
19. System Development charges shall be paid prior to building permit issuance.
20. All onsite private storm systems and sewer lateral lines shall comply with Marion County plumbing permit and requirements.
21. Fire hydrants locations and fire protection requirements shall be as per the Woodburn Fire Districts and City of Woodburn requirements. Actual fire hydrant locations and in-line valving locations shall be determined during the final Civil Plans approval and building permit issuance.







DATE SIGNED:

# SITE PLAN REVIEW SUBMISSION

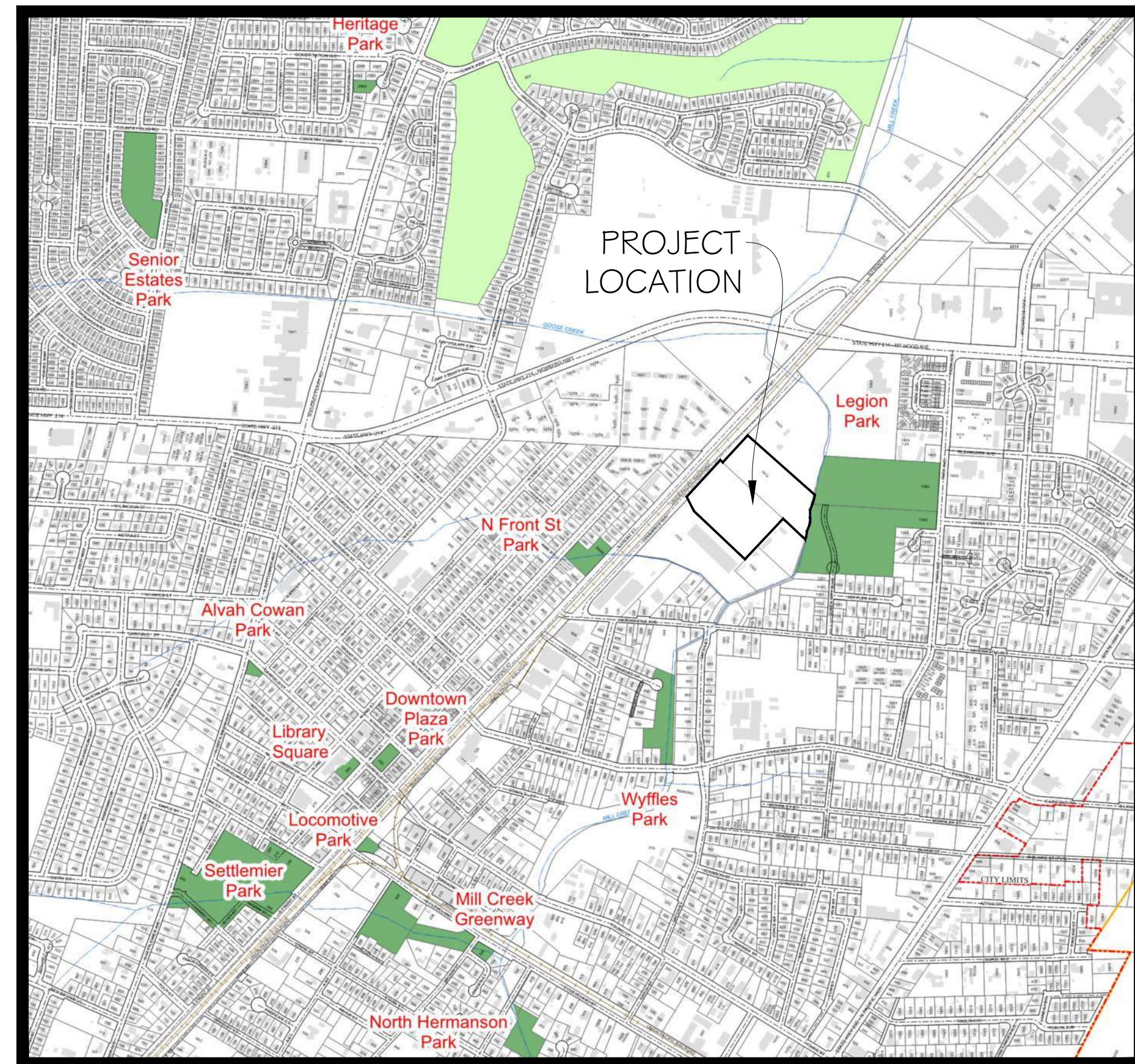
## FOR

# WB COMMERCE 100 LLC AND WB COMMERCE 5000 LLC

# COBALT COMMERCE INDUSTRIAL PARK

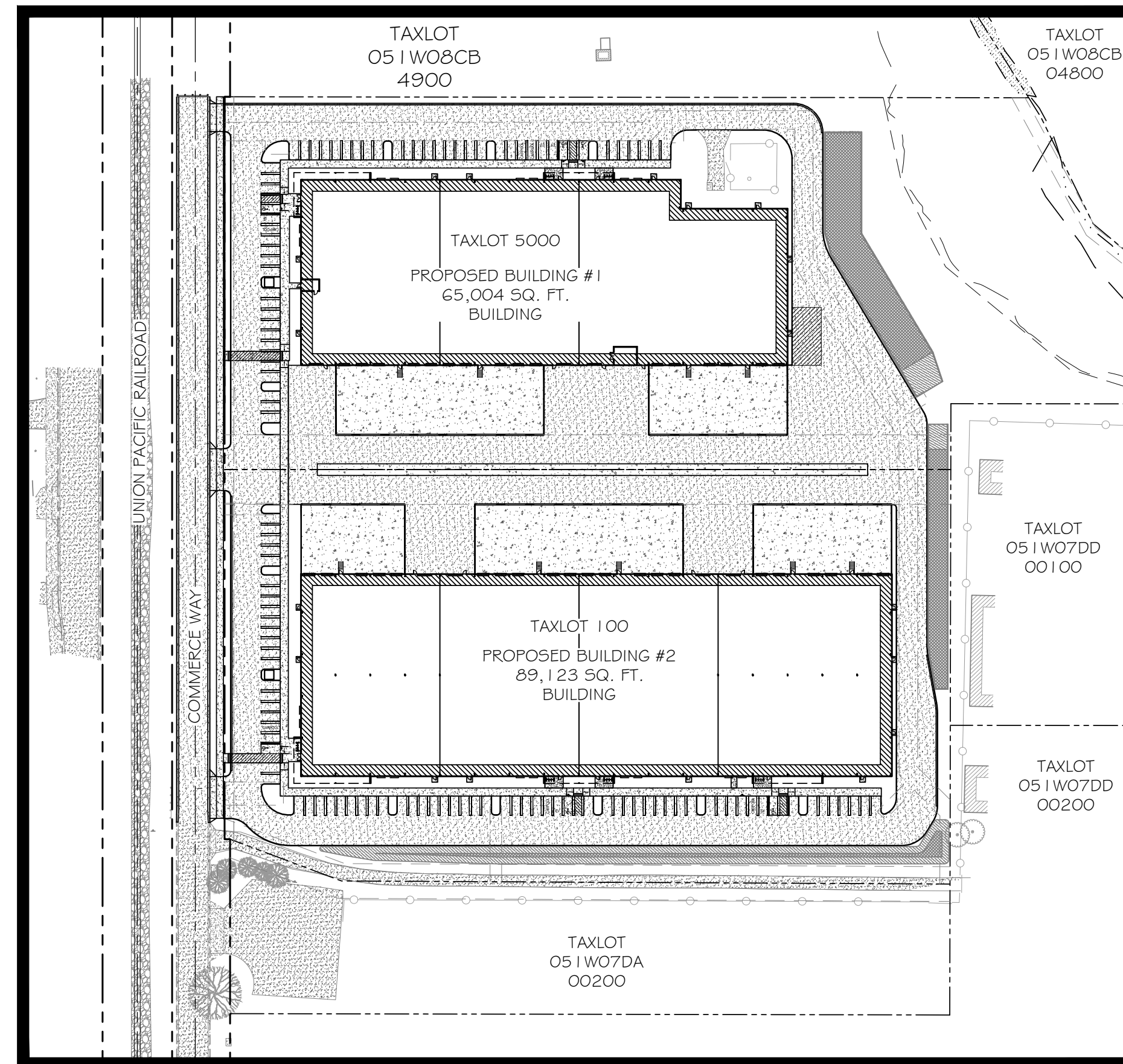
## WOODBURN, MARION COUNTY, OREGON

## AUGUST 2023



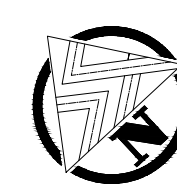
OVERALL VICINITY MAP

NTS



SITE MAP

1" = 100'



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.01	COVER SHEET
C-0.03	CIVIL NOTES AND LEGEND
C-1.01	EXISTING CONDITIONS AND DEMOLITION PLAN
C-1.03	EXISTING PARCEL CONFIGURATION AND EASEMENT PLAN
C-1.05	PROPOSED PARCEL CONFIGURATION AND EASEMENT PLAN
C-1.07	SITE PLAN
C-1.09	FIRE ACCESS PLAN
C-1.11	GRADING AND DRAINAGE PLAN
C-1.13	OVERALL UTILITY PLAN
E-1.01	PHOTOMETRIC PLAN
L1.1	PLANTING KEY PLAN AND SCHEDULE
L1.2	PLANTING PLAN
L1.3	PLANTING PLAN
L1.4	PLANTING PLAN

WB COMMERCE 100 LLC AND WB COMMERCE 5000 LLC  
**COBALT COMMERCE**  
**INDUSTRIAL PARK**  
 SITE PLAN REVIEW SUBMISSION  
 WOODBURN, OR

### PROJECT CONTACTS AND INFORMATION

**OWNER DEVELOPER:**  
COBALT DEVELOPMENT, LLC  
8215 SW TUALATIN-SHERWOOD RD  
SUITE #200  
TUALATIN, OR 97062  
971-252-2370  
CONNECT@COBALTBUILT.COM

**DESIGN ENGINEER:**  
PROJECT DELIVERY GROUP, LLC  
KEITH WHISENHUNT, PE & PLS  
7938 CROSBY ROAD NE  
WOODBURN, OR 97071  
503-364-4004 (OFFICE)  
KEITHW@PDGNW.COM

**SURVEYOR:**  
PROJECT DELIVERY GROUP, LLC  
BRYAN WHISENHUNT, PLS  
7938 CROSBY ROAD NE  
WOODBURN, OR 97071  
503-364-4004 (OFFICE)  
BRYANW@PDGNW.COM

**LOCAL JURISDICTION**  
CITY OF WOODBURN  
CITY HALL  
270 MONTGOMERY STREET  
WOODBURN, OREGON 97071-4730  
(503)982-5246  
PLANNING@CI.WOODBURN.OR.US

**LANDSCAPE ARCHITECT**  
LAURUS DESIGNS LLC  
LAURA A. ANTONSON, RLA, ASLA  
1012 PINE ST, SILVERTON, OR  
97381  
503.784.6494  
laura@laurusdesigns.com

**PROJECT LOCATION:**  
COMMERCE WAY  
WOODBURN, MARION COUNTY,  
OREGON  
LATITUDE = 45° 8'55" NORTH  
LONGITUDE = 122°50'50" WEST  
TOWNSHIP: 5S  
RANGE: 1W  
SECTION: 7 AND 8  
QUARTER: SE AND SW  
TAX LOT: 051W08CB 05000 AND  
051W07DA 00100



Know what's below.  
Call before you dig.

**ATTENTION:**

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AT (503) 232-1987.

**ATTENTION EXCAVATORS**  
OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.

ISSUANCE NO.	DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/21/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

SHEET TITLE:

COVER SHEET

C-0.01

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**GENERAL NOTES**

1. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
2. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION.
3. CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTIONS IMPROVEMENTS TO NEW FINISH GRADES.
5. REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.
6. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT.
7. CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY.
8. CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT.

**DEMOLITION NOTES**

1. INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY DEMOLITION ACTIVITIES.
2. DEMOLISH AND REMOVE ALL STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES), AS SHOWN.
3. DEMOLISH ALL PAVED AREAS ON SITE AS SHOWN, DOWN TO NATIVE SUBGRADE.
4. ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK, UNLESS NOTED OTHERWISE (E.G. PROTECTED TREES).
5. PROTECT ALL EXISTING LANDSCAPING AT AND BEYOND LIMITS OF WORK.
6. PROTECT ALL UNDERGROUND UTILITY SERVICES AND CONDUIT UNLESS NOTED OTHERWISE.
7. WHERE APPLICABLE, VERIFY DISCONNECT OF GAS AND ELECTRIC WITH UTILITY. CUT/CAP UTILITY SERVICES (STORMWATER AND SANITARY WITHIN 5 FEET OF EDGE OF R.O.W.) CAP WATERLINE ON OWNER'S SIDE OF METER AND PERFORM OTHER DEMOLITION TASKS AS REQUIRED. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM ACCORDINGLY PRIOR TO BID.

**GRADING NOTES**

1. ROUGH GRADING: ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING SLABS, PAVEMENTS, BASE COURSES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS.
2. FINISH GRADING: BRING ALL FINISH GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDSCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. SOFTSCAPE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ABUTTING WALKWAYS OR CURBS, OR MATCHING OTHER SOFTSCAPE GRADES. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES.
3. EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
4. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
5. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
6. SITE TOPSOIL STOCKPILED DURING CONSTRUCTIONS AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
7. CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION.
8. ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS.
9. PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. SHALL BE CONSTRUCTED AT AND 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (8.33% FOR DESIGNATED RAMPS).

**SITE WORK NOTES**

1. ALL CURB RADII TO BE 3 FEET UNLESS NOTED OTHERWISE.
2. STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. OSCO).
3. WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE INSTALLED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015).

**UTILITY NOTES**

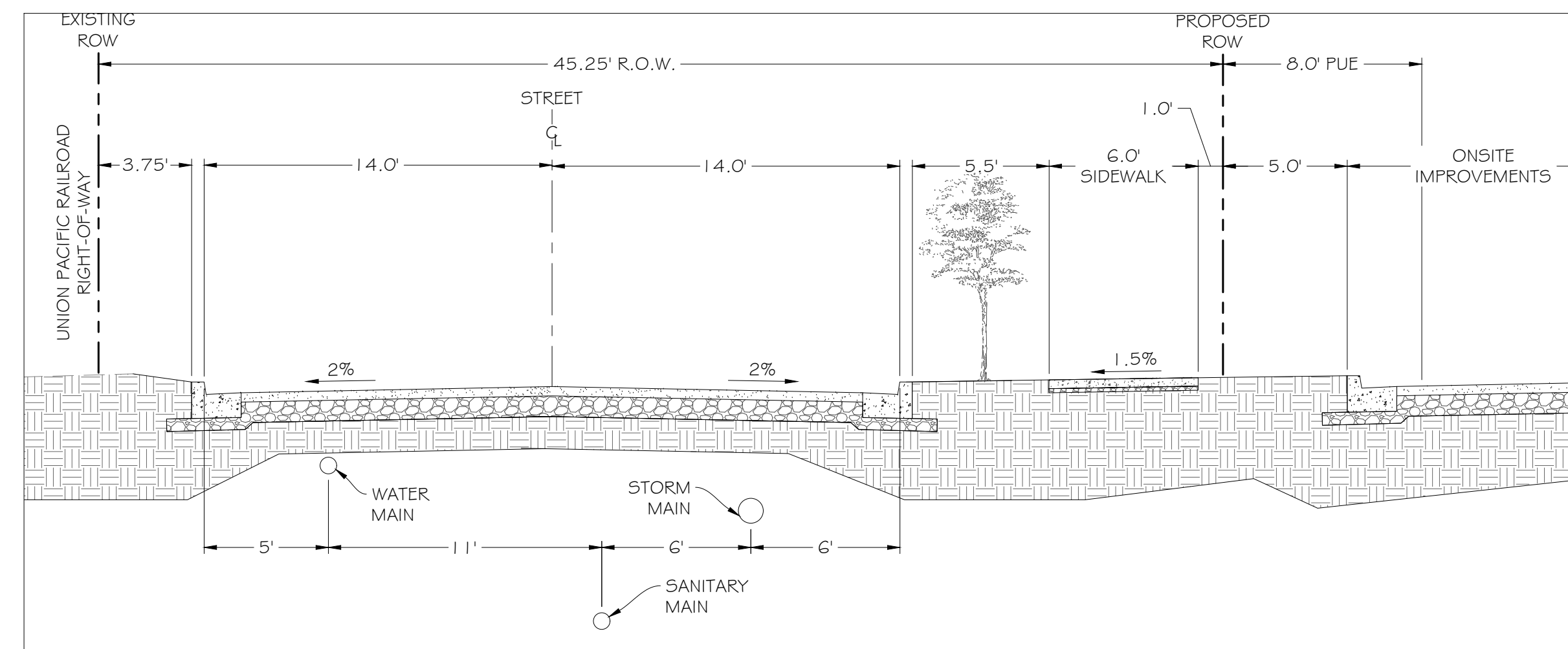
1. ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
3. NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E. G. UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).
4. ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
5. ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE.
6. IF APPLICABLE, PROVIDE 2 INCH PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1.3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS.
7. IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE LANDSCAPE PLANS AND SPECIFICATIONS.
8. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
9. CONTRACTOR TO MAINTAIN MINIMUM 3 FEET OF COVER OVER ALL UTILITY PIPING AND CONDUITS, UNLESS NOTED OTHERWISE.
10. WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
11. CONTRACTORS SHALL SCOPE ALL PRIVATE ONSITE GRAVITY SYSTEM LINES THAT ARE BEING CONNECTED TO FOR PROPOSED SERVICE. SCOPING SHALL OCCUR A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH AS-BUILT RECORDS/SURVEY FINDINGS OR IF THE EXISTING UTILITIES ARE DAMAGED OR SHOW SIGNS OF SIGNIFICANT DETERIORATION. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VIDEO RECORDS, ALONG WITH A SKETCH IF THE LOCATIONS DIFFER FROM AS-BUILT PLANS OR SURVEY FINDINGS.
12. PRODUCT MATERIAL SUBMITTALS FOR REVIEW BY THE ENGINEER SHALL BE ACCOMPANIED BY A MANUFACTURER'S CERTIFICATION THAT THE PRODUCT IS CAPABLE OF MEETING PERFORMANCE EXPECTATIONS (I.E. WATERTIGHT, MINIMUM MAXIMUM BURIAL, PREVENTION OF GROUNDWATER INTRUSION, ETC.) BASED ON THEIR REVIEW OF THE PROJECT PLANS. IN THE ABSENCE OF A MANUFACTURER'S CERTIFICATION, THE GENERAL CONTRACTOR'S REVIEW STAMP SHALL CONSTITUTE THAT THEY HAVE PERFORMED THE NECESSARY REVIEW TO CERTIFY THE PRODUCT'S CONFORMANCE TO PROJECT SPECIFICATIONS AND GENERAL EXPECTATIONS.
13. PIPE LENGTHS SHOWN ON PLANS ARE TWO DIMENSIONAL AND MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
14. RIM ELEVATIONS SHOWN ON PLANS REFERENCE THE CENTER OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONCILING LIDS/GRATES ETC. TO THE SLOPES OF THE SITE GRADING.
15. MANHOLE OR VAULT RIM ELEVATIONS SHALL BE SET FLUSH IN PAVEMENT AREAS AND 3-4 INCHES ABOVE GRADE IN LANDSCAPE AREAS. RIMS IN PAVEMENT AREAS SHALL BE H-20 TRAFFIC RATED.

**ABBREVIATIONS**

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	MID	MIDPOINT OF CURVE
AB	AGGREGATE BASE	MJ	MECHANICAL JOINT
AC	ASPHALT CONCRETE	NO	NUMBER
ADA	AMERICANS WITH DISABILITIES ACT	NTS	NOT TO SCALE
BC	BEGINNING OF CURVE	OH	OVERHEAD
BMP	BEST MANAGEMENT PRACTICE	OSHA	OCCUPATIONAL STATE HEALTH AGENCY
BO	BLOW OFF	P	POWER
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	PC	POINT OF CURVATURE
BVCS	BEGINNING OF VERTICAL CURVE STATION	PED	PEDESTAL
BW	BACK OF SIDEWALK	POT	POINT OF TANGENCY
CB	CATCH BASIN	PRC	POINT OF REVERSE CURVE
CL	CENTER LINE	PSE	PUBLIC SERVICE EASEMENT
CLR	CLEAR	PT	POINT
CO	CLEANOUT	PVI	POINT OF VERTICAL INTERSECTION
COMM	COMMUNICATION	R	RADIUS
COW	CITY OF WOODBURN	RCWOD	RIPARIAN CORRIDOR AND WETLAND OVERLAY DISTRICT
DI	DUCTILE IRON	RD	ROOF DRAIN
DS	DOWN SPOUT	RIM	RIM ELEVATION
E	ELECTRIC	ROW	RIGHT OF WAY
EC	EROSION CONTROL	RPP	REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR
EG	EXISTING GRADE	RR	RAIL ROAD
ELEV	ELEVATION	RT	RIGHT
ESA	ENDANGERED SPECIES ACT	S	SLOPE, FOOT PER FOOT
EVCS	END OF VERTICAL CURVE ELEVATION	SAN	SANITARY
EVCS	END OF VERTICAL CURVE STATION	SD	STORM DRAIN
EX	EXISTING	SDAD	STORM DRAIN AREA DRAIN
FDC	FIRE DEPARTMENT CONNECTION	SDCB	STORM DRAIN CATCH BASIN
FF	FINISH FLOOR	SDCO	STORM DRAIN CLEANOUT
FG	FINISHED GRADE	SDCS	STORM DRAIN CONTROL STRUCTURE
FH	FIRE HYDRANT	SDMH	STORM DRAIN MANHOLE
FL	FLOW LINE/BOTTOM OF CURB	SF	SQUARE FEET
FR	FIBER ROLL	SIG	SIGNAL
FW	FIRE WATER	SS	SANITARY SEWER
GM	GAS METER	SSCO	SANITARY SEWER CLEANOUT
HB	HOSE BIB	SSMH	SANITARY SEWER MANHOLE
HDPE	HIGH-DENSITY POLYETHYLENE	STA	STATION
INV	INVERT ELEVATION OF PIPE	TBC	TOP BACK OF CURB
IRRV	IRRIGATION VALVE	TFC	TOP FACE OF CURB
JB	JUNCTION BOX	TOW	TOP OF WALL
K	CURVE COEFFICIENT	TR	TRANSFORMER
LAT	LATERAL	TYF	TYPICAL
LT	LEFT	UG	UNDERGROUND
LVC	LENGTH OF VERTICAL CURVE	USPS	UNITED STATES POSTAL SERVICE
MH	MANHOLE	W	DOMESTIC WATER

**DRAWING LEGEND**

	SUBJECT PROPERTY LINE		EXISTING STORM SEWER MANHOLE		EXISTING TELEPHONE LINE
	ADJACENT PROPERTY LINE		EXISTING STORM SEWER PIPE		EXISTING WATER VALVE
	EASEMENT LINE		EXISTING STORM SEWER CATCH BASIN		EXISTING WATER MAIN
	PROPOSED AC		PROPOSED STORM AREA DRAIN		PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED PCC SIDEWALK		PROPOSED STORM SEWER MANHOLE		PROPOSED FIRE HYDRANT
	EXISTING AC		PROPOSED STORM SEWER PIPE		PROPOSED DCDV VAULT
	EXISTING PCC SIDEWALK		EXISTING TELEPHONE RISER		PROPOSED WATER METER
	EXISTING CURB		EXISTING POWER VAULT		PROPOSED WATER VALVE
	EXISTING TREE		EXISTING ELECTRICAL BOX		PROPOSED WATER (DOMESTIC)
	EXISTING TREE (TO BE REMOVED)		EXISTING POWER POLE		PROPOSED WATER (FIRE)
	EXISTING SANITARY SEWER PIPE		EXISTING POWER POLE WITH DROP		EXISTING CONTOUR
	EXISTING SANITARY SEWER CLEANOUT		EXISTING GUY ANCHOR		EXISTING CONTOUR
	EXISTING SANITARY SEWER MANHOLE		EXISTING POWER POLE WITH LIGHT		PROPOSED CONTOUR
	EXISTING POWER LINE		EXISTING POWER LINE		EXISTING FLOW ARROW
	EXISTING GAS LINE		EXISTING COMMUNICATION LINE		PROPOSED FLOW ARROW
	EXISTING COMMUNICATION LINE		EXISTING FIBER OPTIC LINE		INLET PROTECTION
	EXISTING FIBER OPTIC LINE		EXISTING TELEPHONE LINE		SILT FENCE
	EXISTING TELEPHONE LINE				



STREET EXCEPTION REQUEST FOR COMMERCE WAY TYPICAL SECTION  
SCALE: 1" = 5'



DATE SIGNED:

WB COMMERCE 100 LLC AND WB COMMERCE 5000 LLC  
**COBALT COMMERCE**  
**INDUSTRIAL PARK**  
SITE PLAN REVIEW SUBMISSION  
WOODBURN, OR

ISSUANCE NO.	DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/12/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

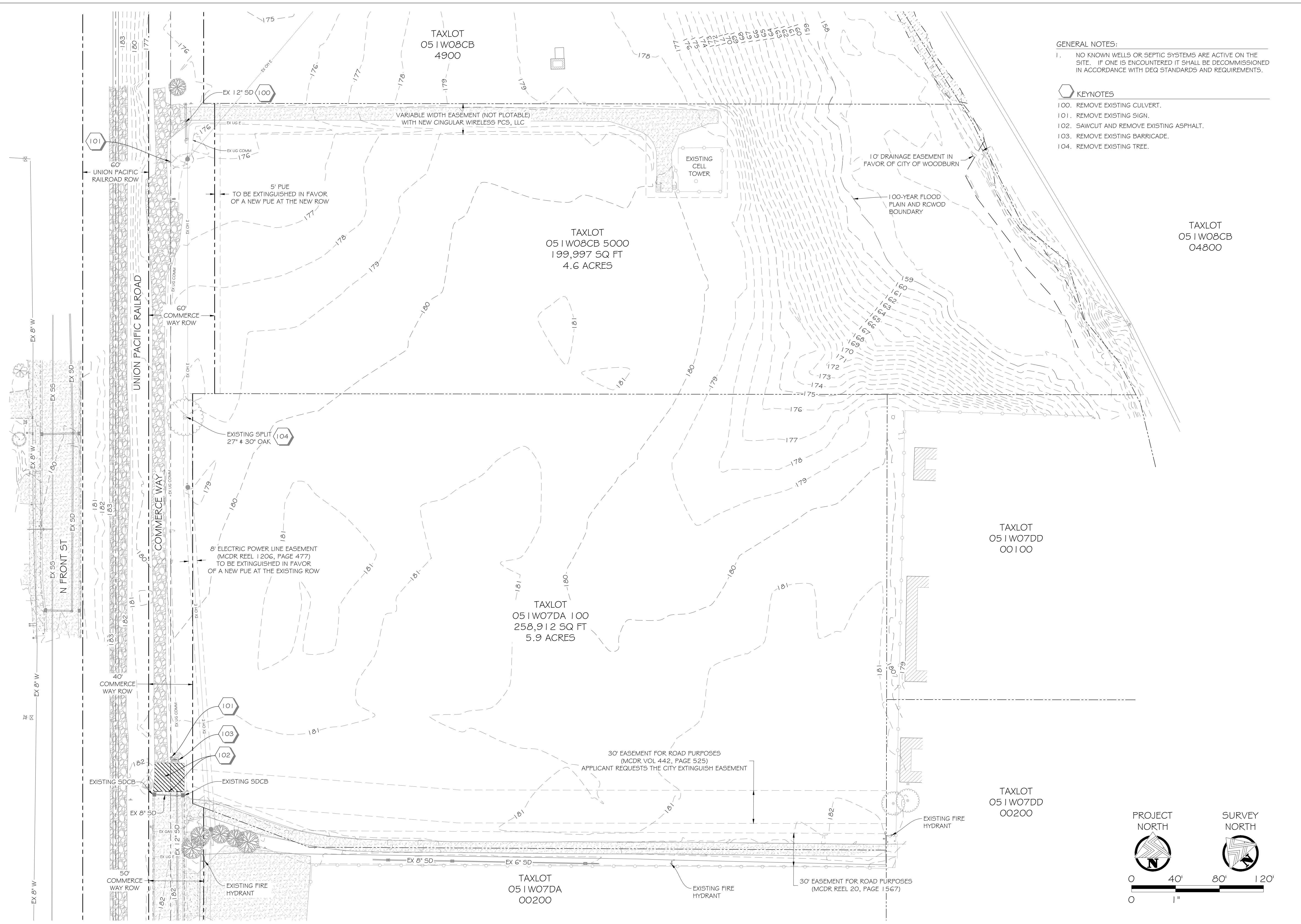
SHEET TITLE:

CIVIL NOTES AND LEGEND

C-0.03

p1\2023\_projects\201 2\_wr 1420 Commerce way\The CAD\Civil\SPR Submittal\201 2\_General\_SPR.dwg 8/24/2023 8:50:46 PM

p:\2022 projects\22012\_wb commerce way\The CAD\Civil\SR Submittal\22012\_Existing\_SRP.dwg 8/24/2023 8:51:31 PM



- GENERAL NOTES:**
- NO KNOWN WELLS OR SEPTIC SYSTEMS ARE ACTIVE ON THE SITE. IF ONE IS ENCOUNTERED IT SHALL BE DECOMMISSIONED IN ACCORDANCE WITH DEQ STANDARDS AND REQUIREMENTS.
- KEYNOTES**
- REMOVE EXISTING CULVERT.
  - REMOVE EXISTING SIGN.
  - SAWCUT AND REMOVE EXISTING ASPHALT.
  - REMOVE EXISTING BARRICADE.
  - REMOVE EXISTING TREE.

CIVIL ENGINEERS  
LAND SURVEYORS  
PROJECT MANAGERS  
PLANNERS

www.pdgnw.com

REGISTERED PROFESSIONAL ENGINEER  
STATE OF OREGON  
KEVIN WHISENAND  
NOV 9 1999  
26759PE  
EXPIRES JUNE 30, 2024

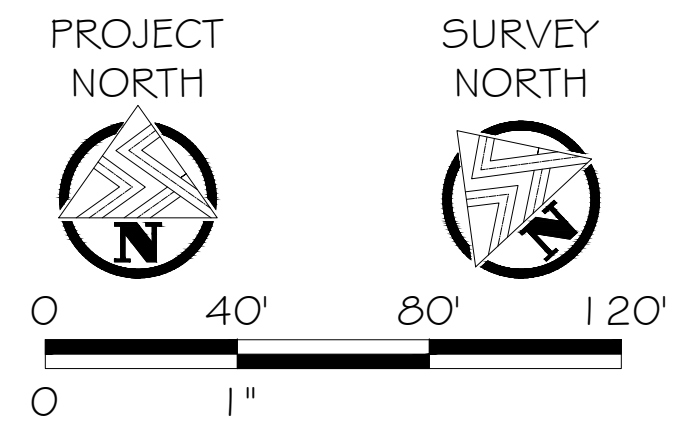
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**COBALT COMMERCE  
INDUSTRIAL PARK**  
SITE PLAN REVIEW SUBMISSION  
WOODBURN, OR

NO.	ISSUANCE DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/21/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

SHEET TITLE:  
**EXISTING  
CONDITIONS AND  
DEMOLITION PLAN**

C-1.01



REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

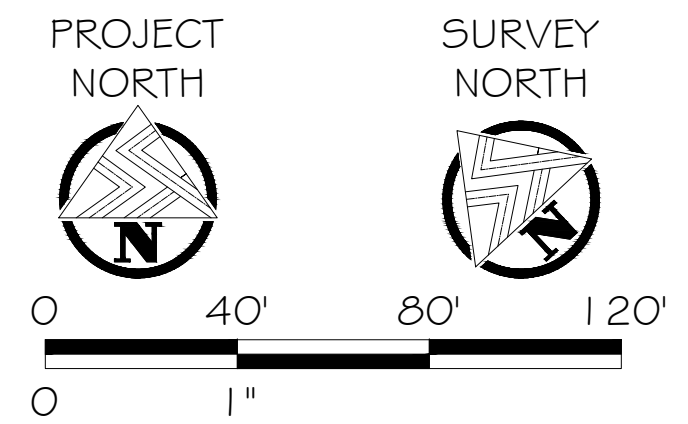
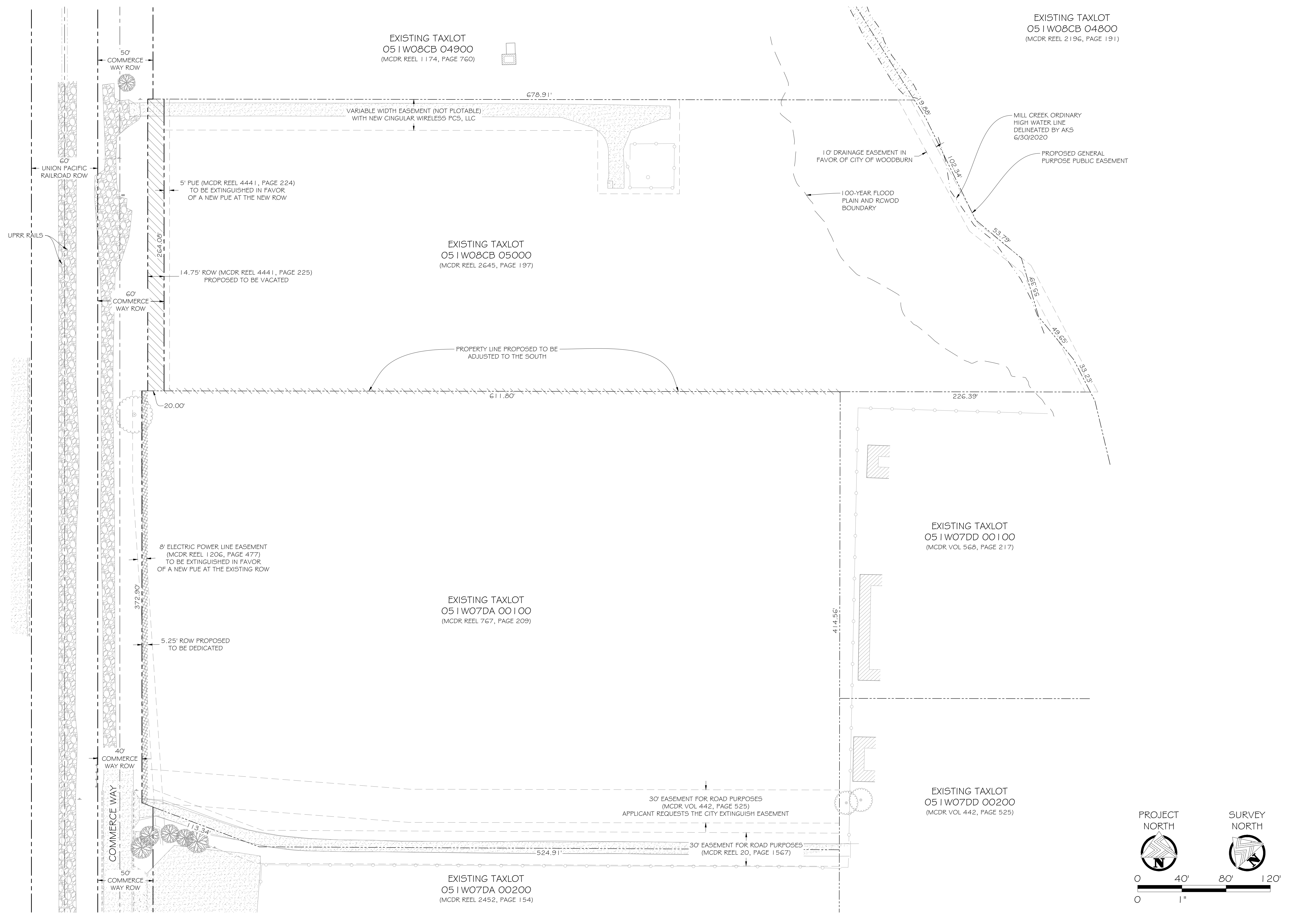
OREGON  
NOVEMBER 9, 2021  
BRYAN WHISENHUNT  
89395  
EXPIRES: JUNE 30, 2024

DATE SIGNED:

WB COMMERCIE 100 LLC AND WB COMMERCIE 5000 LLC  
**COBALT COMMERCIE  
INDUSTRIAL PARK**  
SITE PLAN REVIEW SUBMISSION  
WOODBURN, OR

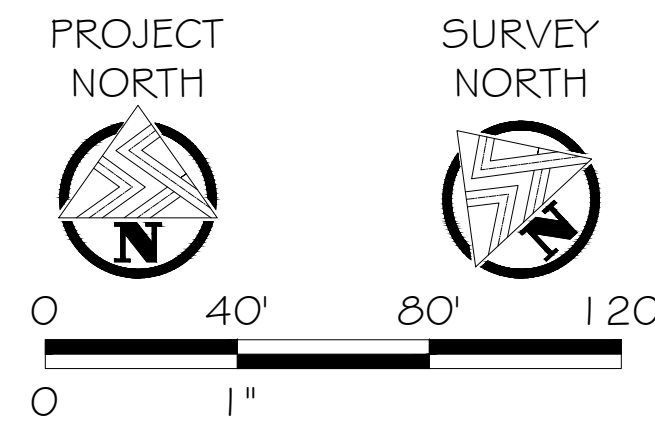
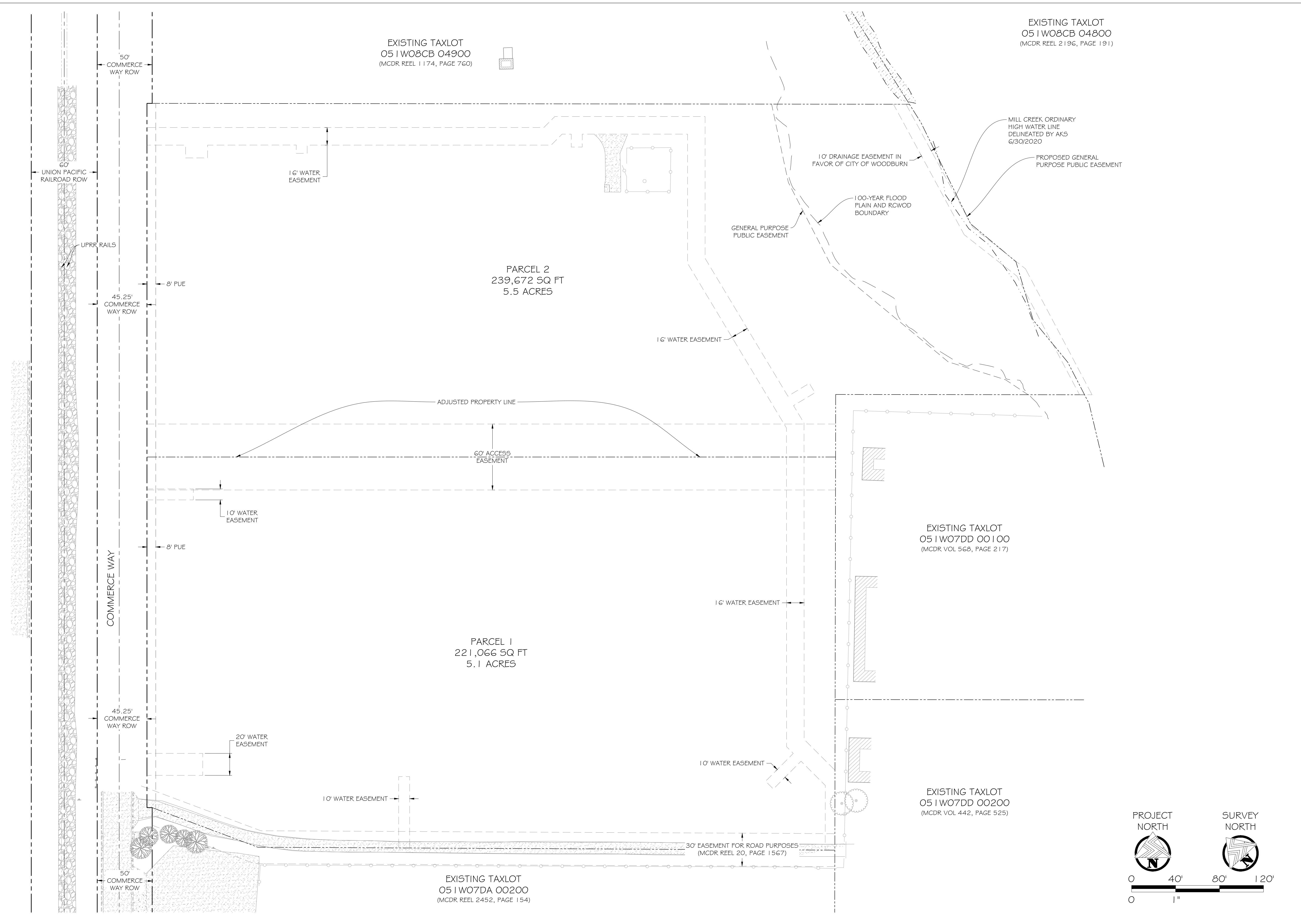
NO.	ISSUANCE DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/12/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

SHEET TITLE:  
EXISTING PARCEL  
CONFIGURATION  
AND EASEMENT  
PLAN





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EXISTING TAXLOT  
05 1 W08CB 04900  
(MCDR REEL 1 174, PAGE 760)

EXISTING TAXLOT  
05 1 W08CB 04800  
(MCDR REEL 2196, PAGE 191)

PARCEL 2  
239,672 SQ FT  
5.5 ACRES

PARCEL 1  
221,066 SQ FT  
5.1 ACRES

EXISTING TAXLOT  
05 1 W07DD 00 100  
(MCDR VOL 568, PAGE 217)

EXISTING TAXLOT  
05 1 W07DD 00200  
(MCDR VOL 442, PAGE 525)

EXISTING TAXLOT  
05 1 W07DA 00200  
(MCDR REEL 2452, PAGE 154)

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REGISTERED  
PROFESSIONAL  
LAND SURVEYOR  
BRYAN WHISENHUNT  
89395  
EXPIRES: JUNE 30, 2024  
DATE SIGNED:

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**COBALT COMMERCE  
INDUSTRIAL PARK**  
SITE PLAN REVIEW SUBMISSION  
WOODBURN, OR

NO.	ISSUANCE DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/21/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

PROPOSED  
PARCEL  
CONFIGURATION  
AND EASEMENT  
PLAN



DATE SIGNED:

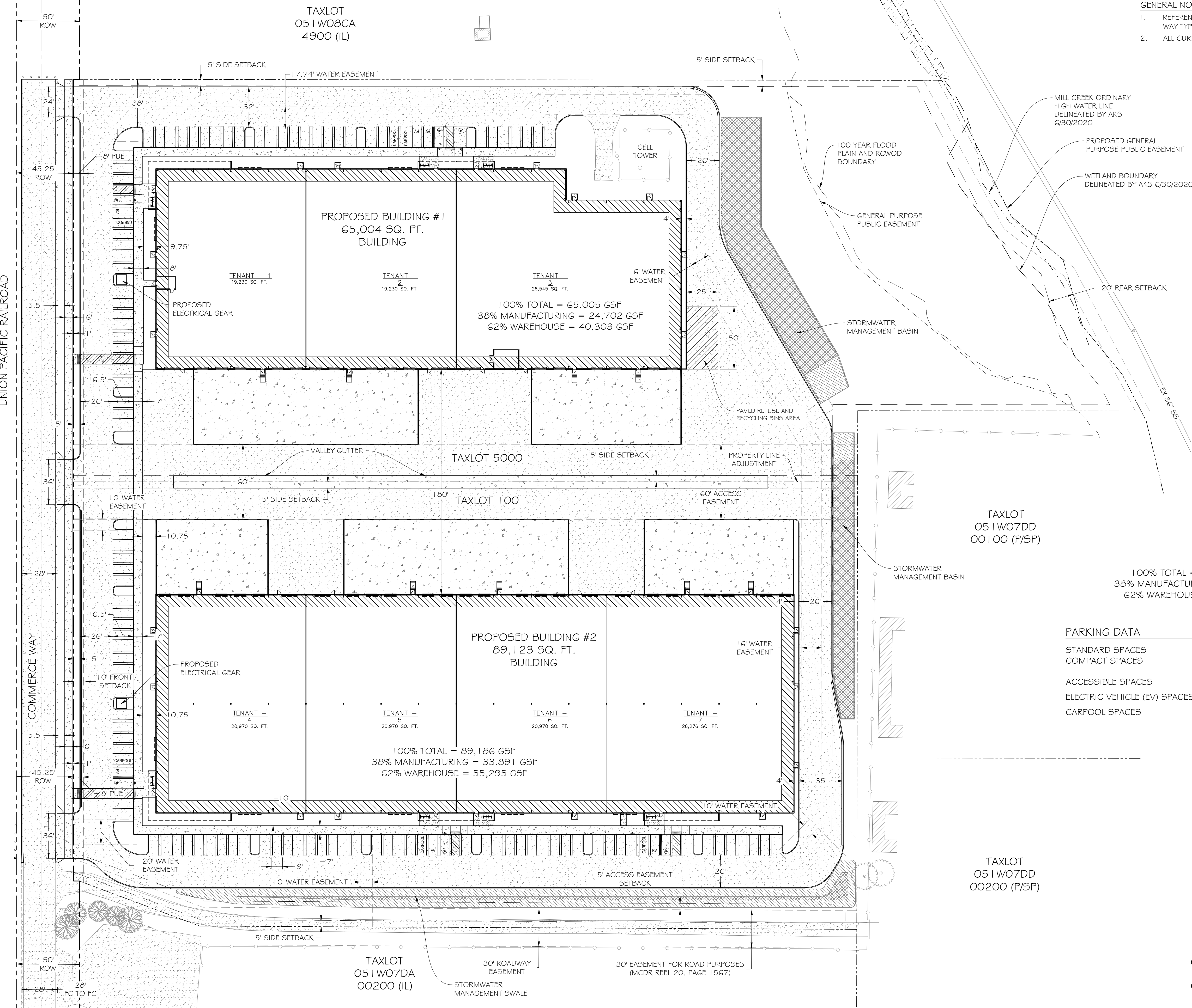
WB COMMERCE 100 LLC AND WB COMMERCE 5000 LLC

# COBALT COMMERCE INDUSTRIAL PARK

WOODBURN, OR

**GENERAL NOTES:**

- REFERENCE DETAIL 1 ON SHEET C-O.03 FOR COMMERCE WAY TYPICAL STREET SECTION.
- ALL CURBS ON SITE TO BE 4" EXPOSURE MAXIMUM.



100% TOTAL = 65,005 GSF  
38% MANUFACTURING = 24,702 GSF  
62% WAREHOUSE = 40,303 GSF

100% TOTAL = 89,186 GSF  
38% MANUFACTURING = 33,891 GSF  
62% WAREHOUSE = 55,295 GSF

100% TOTAL = 154,186 GSF  
38% MANUFACTURING = 58,591 GSF  
62% WAREHOUSE = 95,595 GSF

**PARKING DATA**

STANDARD SPACES	128
COMPACT SPACES	0
ACCESSIBLE SPACES	6
ELECTRIC VEHICLE (EV) SPACES	6
CARPPOOL SPACES	6



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NO.	ISSUANCE DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/12/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

SHEET TITLE:

SITE PLAN

C-1.07

TAXLOT  
051W08CA  
4900 (IL)

PROPOSED BUILDING #1  
65,004 SQ. FT.  
BUILDING

TAXLOT 5000

TAXLOT 100

PROPOSED BUILDING #2  
89,123 SQ. FT.  
BUILDING

TAXLOT  
051W07DD  
00100

TAXLOT  
051W07DD  
00200

TAXLOT  
051W07DA  
00200

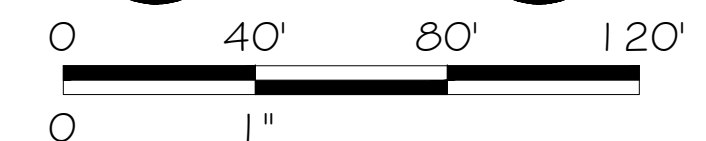
GENERAL CONSTRUCTION NOTES:

- FROM THE 2019 OREGON FIRE CODE, APPENDIX B, TABLE B105.1(2), WITH A CONSTRUCTION TYPE OF III-B AND AN AREA OF 70,004-SF FOR BUILDING 1, A REQUIRED FIRE FLOW OF 5,500-GPM IS OBTAINED. FOR BUILDING 2 WITH THE SAME CONSTRUCTION TYPE AND AN AREA OF 94,125-SF THE SAME TABLE YIELDS A REQUIRED FIRE FLOW OF 6,500-GPM; BOTH BEFORE ADJUSTMENT.  
BASED ON THE ASSUMPTION THAT AN AUTOMATIC EARLY SUPPRESSION, FAST RESPONSE SPRINKLER SYSTEM WILL BE PROVIDED IN BOTH BUILDINGS, THE REQUIRED FIRE FLOW VALUES HAVE BEEN ADJUSTED TO 75% OF THE REQUIRED FIRE FLOWS BY THE FIRE MARSHALL. THIS RESULTS IN AN ADJUSTED FIRE FLOW REQUIREMENT OF 4,125-GPM FOR BUILDING 1 AND 4,875-GPM FOR BUILDING 2.
- FROM THE 2019 OREGON FIRE CODE, APPENDIX C, TABLE C102.1, SINCE THE REQUIRED ADJUSTED FIRE FLOW IS 4,875-GPM, FIVE FIRE HYDRANTS ARE REQUIRED. BASED ON THE ASSUMPTION THAT AN AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED, THE ALLOWABLE FIRE HYDRANT SPACING IS INCREASED BY 25%. THIS RESULTS IN AN ALLOWABLE SPACING OF 375-FT. AS A RESULT, SIX FIRE HYDRANTS ARE PROPOSED AS SHOWN ON THE UTILITY PLAN. A SEVENTH AND EIGHTH FIRE HYDRANT IS PROPOSED ADJACENT TO THE DOUBLE CHECK BACKFLOW PREVENTORS (ONE FOR EACH BUILDING).  
  
SINCE THE PROJECT STREET FRONTAGE IS LESS THAN 1,000-FT AND A FIRE HYDRANT EXISTING AT THE SOUTH END OF THE STREET FRONTAGE, NO STREET FIRE HYDRANT IS PROPOSED.
- THE HYDRAULIC MODEL PREPARED FOR THE FIRE FLOW ANALYSIS WAS PREPARED USING EPANET 2.2. THE FIRE HYDRANT FLOW TEST DATA USED IN THE MODEL WAS COLLECTED AT FH H-585 (ON COMMERCE WAY) AND FH H-525 (ON FRONT STREET) BY CENTURIUM FIRE PROTECTION. THE TEST RESULTS ARE SHOWN BELOW:  
FH H-585 (STATIC = 56-PSI; RESIDUAL = 53-PSI @ 1,080-GPM)  
FH H-525 (STATIC = 56-PSI; RESIDUAL = 51-PSI @ 1,090-GPM)

THE ASSUMED HAZEN-WILLIAMS COEFFICIENT USED FOR THE EXISTING AND NEW WATER PIPING WAS 130. THE GROUND ELEVATIONS WERE OBTAINED FROM TOPOGRAPHIC DATA COLLECTED AS PART OF THE DESIGN SURVEYS AND FROM THE PROPOSED GRADING PLAN FOR THE NEW DEVELOPMENT. THE PIPE DIAMETERS AND LENGTHS USED IN THE MODEL WERE TAKEN FROM THE IMPROVEMENT DRAWINGS FOR THE PROPOSED FACILITIES.  
THE MODEL FOR BUILDING 1 WAS SET-UP TO WITHDRAW 1,035-GPM FROM FH-2, FH-4, FH-5, AND FH-6.  
THE MODEL FOR BUILDING 2 WAS SET-UP TO WITHDRAW 1,219-GPM FROM FH-2, FH-6, FH-7, AND FH-8.  
THESE RESIDUAL VALUES EXCEED THE MINIMUM REQUIRED SYSTEM PRESSURE OF 20-PSI AT THE DESIGN FLOW DEMAND.

KEYNOTES

- 880. EXISTING FIRE HYDRANT
- 881. PROPOSED FIRE HYDRANT
- 882. 28' INSIDE FIRE TRUCK TURNING RADIUS
- 883. 48' OUTSIDE FIRE TRUCK TURNING RADIUS
- 885. 8" PUBLIC WATERLINE
- 886. PROPOSED FDC WITH WFD APPROVED SIGNAGE



DATE SIGNED:

WB COMMERCE 100 LLC AND WB COMMERCE 5000 LLC

COBALT COMMERCE  
INDUSTRIAL PARK  
SITE PLAN REVIEW SUBMISSION  
WOODBURN, OR

ISSUANCE NO.	DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/12/23	KW
3	ADD PUBLIC WATER UNDER RR	09/24/23	KW

SHEET TITLE:

FIRE ACCESS PLAN

C-1.09



DATE SIGNED:

WB COMMERCE 100 LLC AND WB COMMERCE 5000 LLC  
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INDUSTRIAL PARK**  
SITE PLAN REVIEW SUBMISSION  
WOODBURN, OR

ISSUANCE NO.	DESCRIPTION	DATE	BY
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2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/12/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

SHEET TITLE:  
**GRADING AND DRAINAGE PLAN**

C-1.11

GENERAL CONSTRUCTION NOTES:  
1. BUILDING FOOTING DRAIN AND DOWNSPOUTS TO BE PLUMBED DIRECTLY INTO PROPOSED STORM SYSTEM.

MILL CREEK ORDINARY HIGH WATER LINE DELINEATED BY AKS 6/30/2020  
PROPOSED GENERAL PURPOSE PUBLIC EASEMENT  
WETLAND BOUNDARY DELINEATED BY AKS 6/30/2020

100-YEAR FLOOD PLAIN AND ROW BOUNDARY

STORMWATER MANAGEMENT BASIN BOTTOM EL = 174.10

STORMWATER MANAGEMENT BASIN BOTTOM EL = 175.00

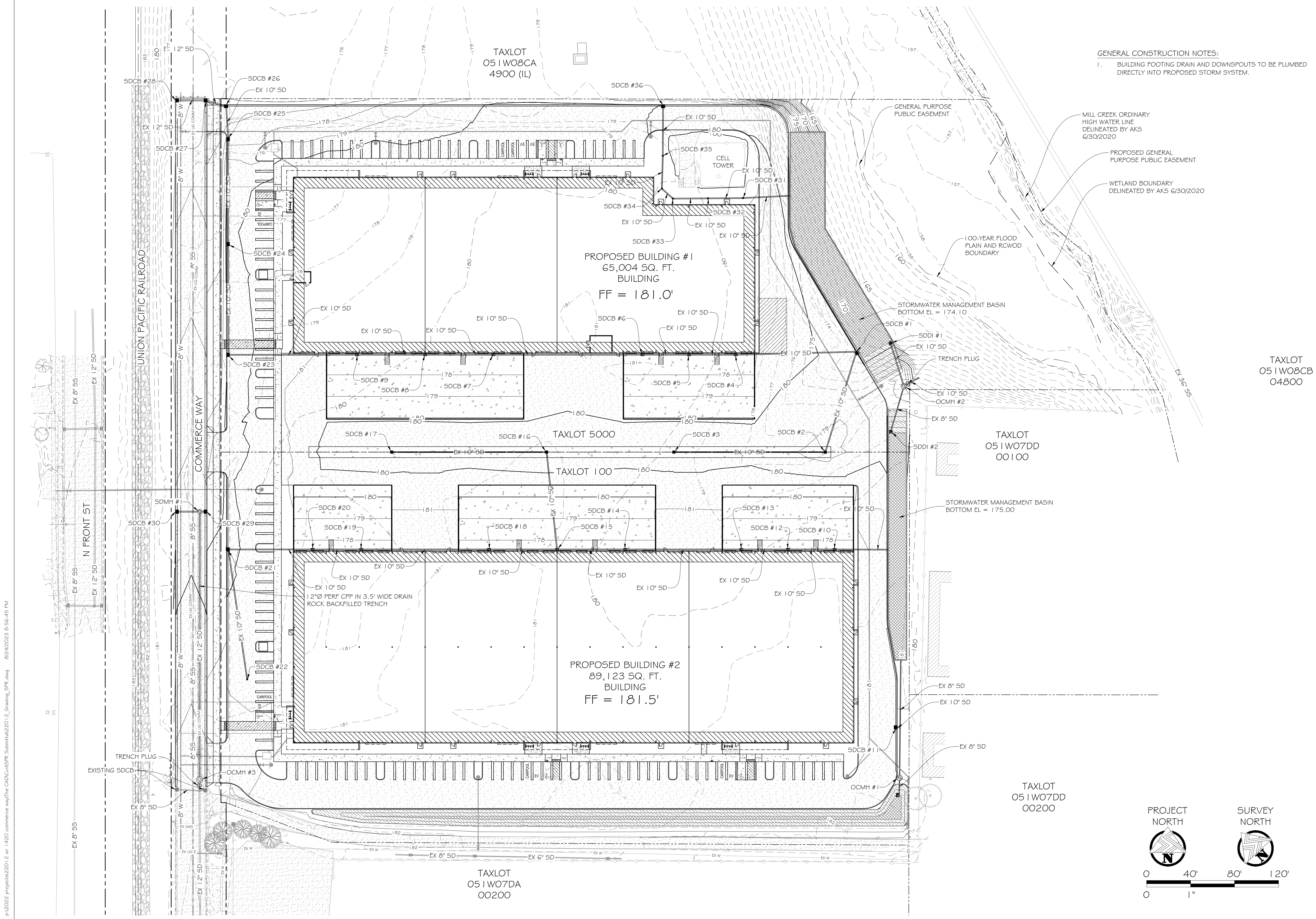
TAXLOT 051W07DD 00100

TAXLOT 051W07DD 00200

TAXLOT 051W08CA 4900 (IL)

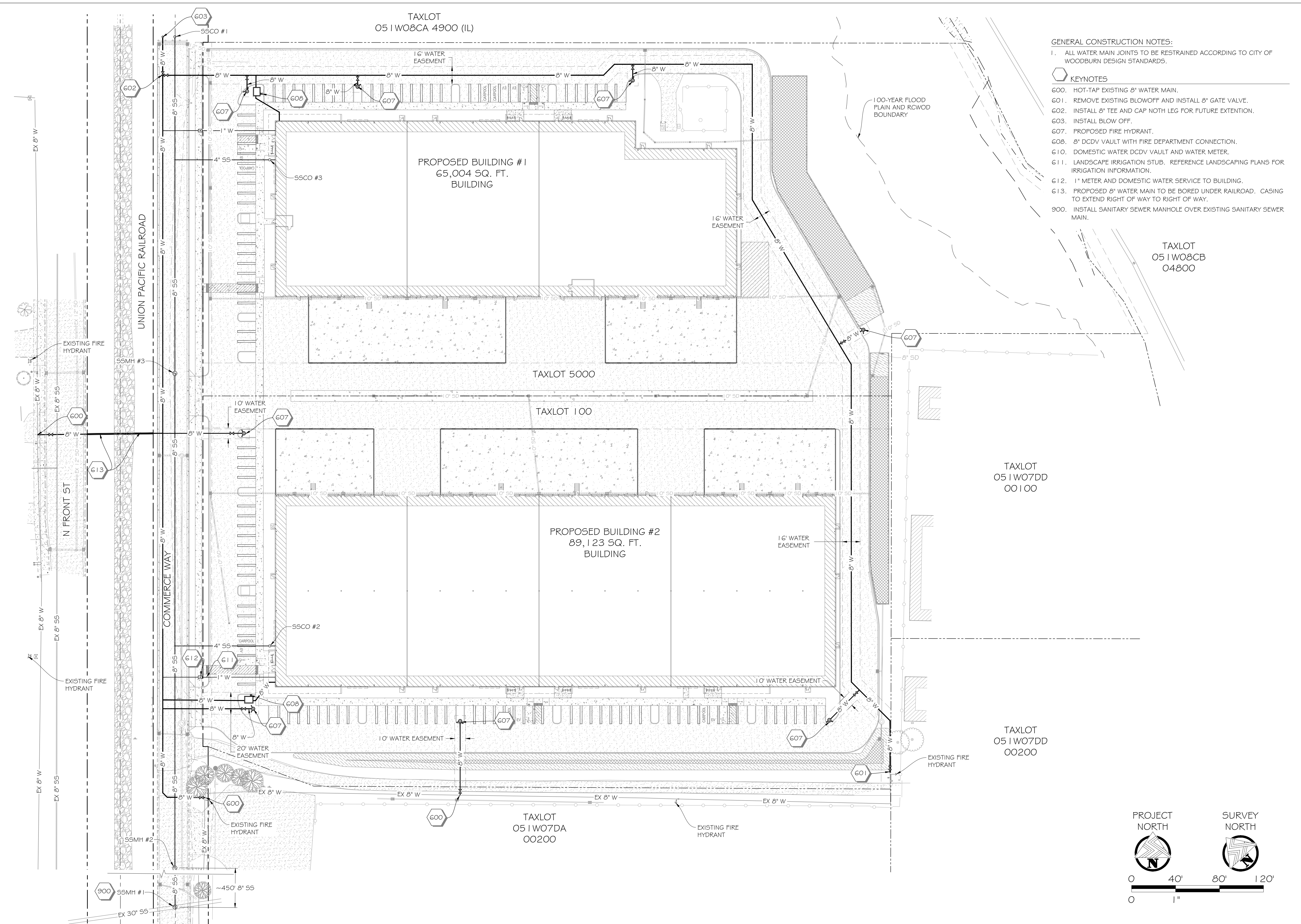
PROPOSED BUILDING #1  
65,004 SQ. FT.  
BUILDING  
FF = 181.0'

PROPOSED BUILDING #2  
89,123 SQ. FT.  
BUILDING  
FF = 181.5'

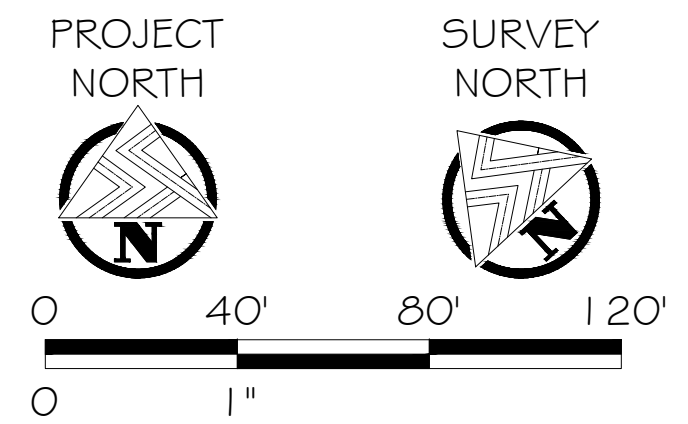


P:\2022 Projects\22012\_wb\_1420 commerce way\The CAD\Civil\5FR\_Submittal\22012\_Grading\_SIFR.dwg 8/24/2023 9:56:45 PM

pl2022\_projects2012\_wr\_1420\_commerce.sst\CAD\Civil\SPR\_Submittal2012\_Utility\_SFR.dwg 08/24/2023 0:50:14 PM



- GENERAL CONSTRUCTION NOTES:**
- ALL WATER MAIN JOINTS TO BE RESTRAINED ACCORDING TO CITY OF WOODBURN DESIGN STANDARDS.
- KEYNOTES**
- HOT-TAP EXISTING 8" WATER MAIN.
  - REMOVE EXISTING BLOWOFF AND INSTALL 8" GATE VALVE.
  - INSTALL 8" TEE AND CAP BOTH LEG FOR FUTURE EXTENSION.
  - INSTALL BLOW OFF.
  - PROPOSED FIRE HYDRANT.
  - 8" DCDV VAULT WITH FIRE DEPARTMENT CONNECTION.
  - DOMESTIC WATER DCDV VAULT AND WATER METER.
  - LANDSCAPE IRRIGATION STUB. REFERENCE LANDSCAPING PLANS FOR IRRIGATION INFORMATION.
  - 1" METER AND DOMESTIC WATER SERVICE TO BUILDING.
  - PROPOSED 8" WATER MAIN TO BE BORED UNDER RAILROAD. CASING TO EXTEND RIGHT OF WAY TO RIGHT OF WAY.
  - INSTALL SANITARY SEWER MANHOLE OVER EXISTING SANITARY SEWER MAIN.



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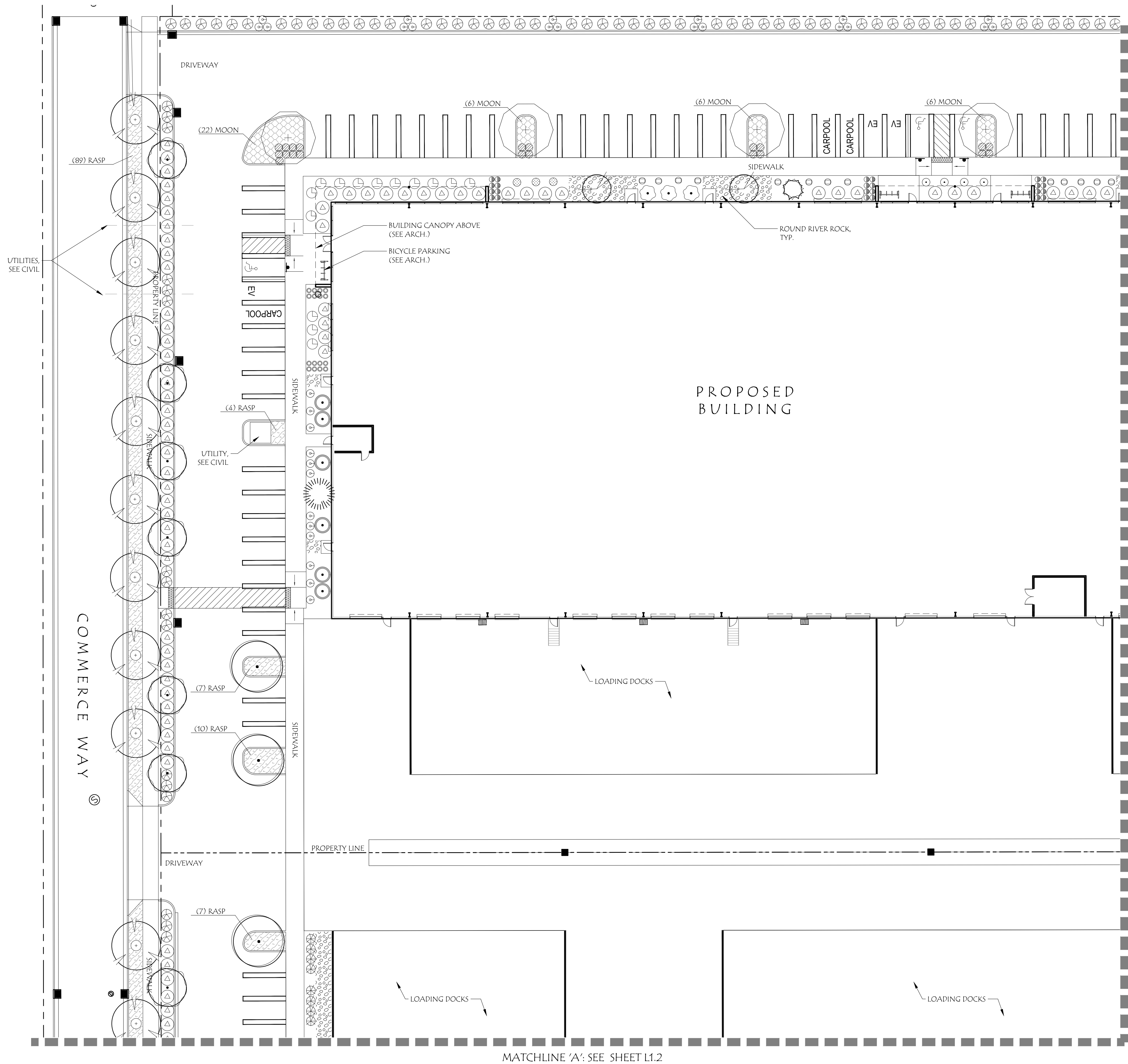
DATE SIGNED:

WB COMMERCE 100 LLC AND WB COMMERCE 5000 LLC  
**COBALT COMMERCE**  
**INDUSTRIAL PARK**  
SITE PLAN REVIEW SUBMISSION  
WOODBURN, OR

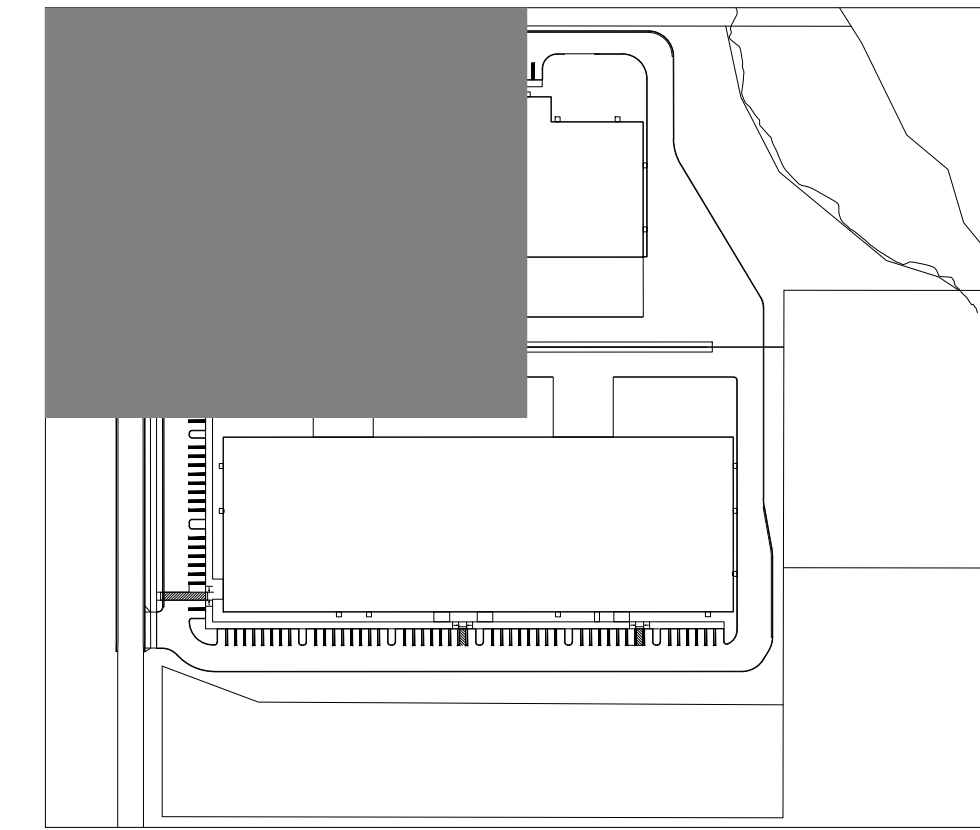
ISSUANCE NO.	DESCRIPTION	DATE	BY
1	SUBMIT SITE PLAN REVIEW PACKAGE	03/27/23	KW
2	RE-SUBMIT SITE PLAN REVIEW PACKAGE	06/21/23	KW
3	ADD PUBLIC WATER UNDER RR	08/24/23	KW

SHEET TITLE:  
**OVERALL UTILITY PLAN**

C-1.13



Key Map:



General Notes:

1. PLANS ARE PRELIMINARY, NOT FOR BIDDING OR CONSTRUCTION.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN AND BUILDING DETAILS.
3. STREET TREES SELECTED FROM WOODBURN APPROVED STREET TREE LIST FOR SMALL TREES.
4. PLANTING REQUIREMENTS SEE THIS SHEET, L1.2 AND L1.3.
5. PLANT SCHEDULE SEE SHEET L1.4.
6. STREET TREE PLANTING DETAIL SEE SHEET L1.4.
7. FINAL PLANTING NOTES AND DETAILS TO BE INCLUDED IN PERMIT SET.
8. IRRIGATION TO BE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

Site Information

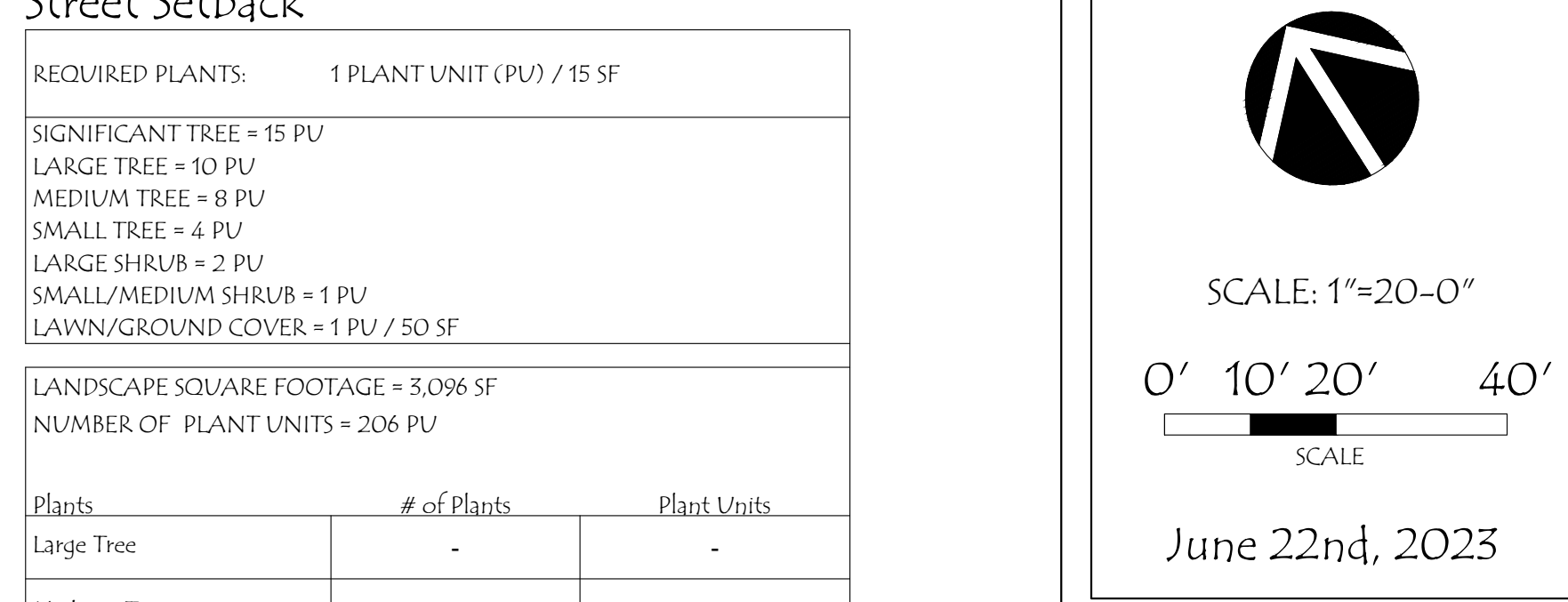
TOTAL SITE AREA (SF) = 496,584 SF (11.4 ACRES)  
 TOTAL LANDSCAPE AREA = 52,360 SF

PARKING AREA: 57,812 SF  
 REQUIRED: 10% = 5,781 SF  
 PROPOSED: 6,043 SF

SMALL STREET TREES REQUIRED FOR LOCAL STREET: ONE TREE PER EVERY 30 FEET OF STREET FRONTAGE  
 PROVIDED: 17 TREES (520 FEET OF STREET FRONTAGE)

Landscape Planting Requirements:  
 Street Setback

REQUIRED PLANTS:	1 PLANT UNIT (PU) / 15 SF	
SIGNIFICANT TREE = 15 PU		
LARGE TREE = 10 PU		
MEDIUM TREE = 8 PU		
SMALL TREE = 4 PU		
LARGE SHRUB = 2 PU		
SMALL/MEDIUM SHRUB = 1 PU		
LAWN/GROUND COVER = 1 PU / 50 SF		
LANDSCAPE SQUARE FOOTAGE = 3,096 SF		
NUMBER OF PLANT UNITS = 206 PU		
Plants	# of Plants	Plant Units
Large Tree	-	-
Medium Tree	-	-
Small Tree	12	48
Large Shrub	70	140
Small / Medium Shrub	35	35
Lawn / Groundcover	-	-
Total Plant Units		225



Laurus Designs, LLC

1012 Pine Street  
 Silverton, Oregon  
 503.784.6494

Cobalt Commerce Industrial Park

Commerce Way  
 Woodburn, Oregon

REGISTERED PRELIMINARY LANDSCAPE ARCHITECT

643 LAURA A. ANTONSON OREGON 11/16/2007

PRELIMINARY PLANTING PLAN

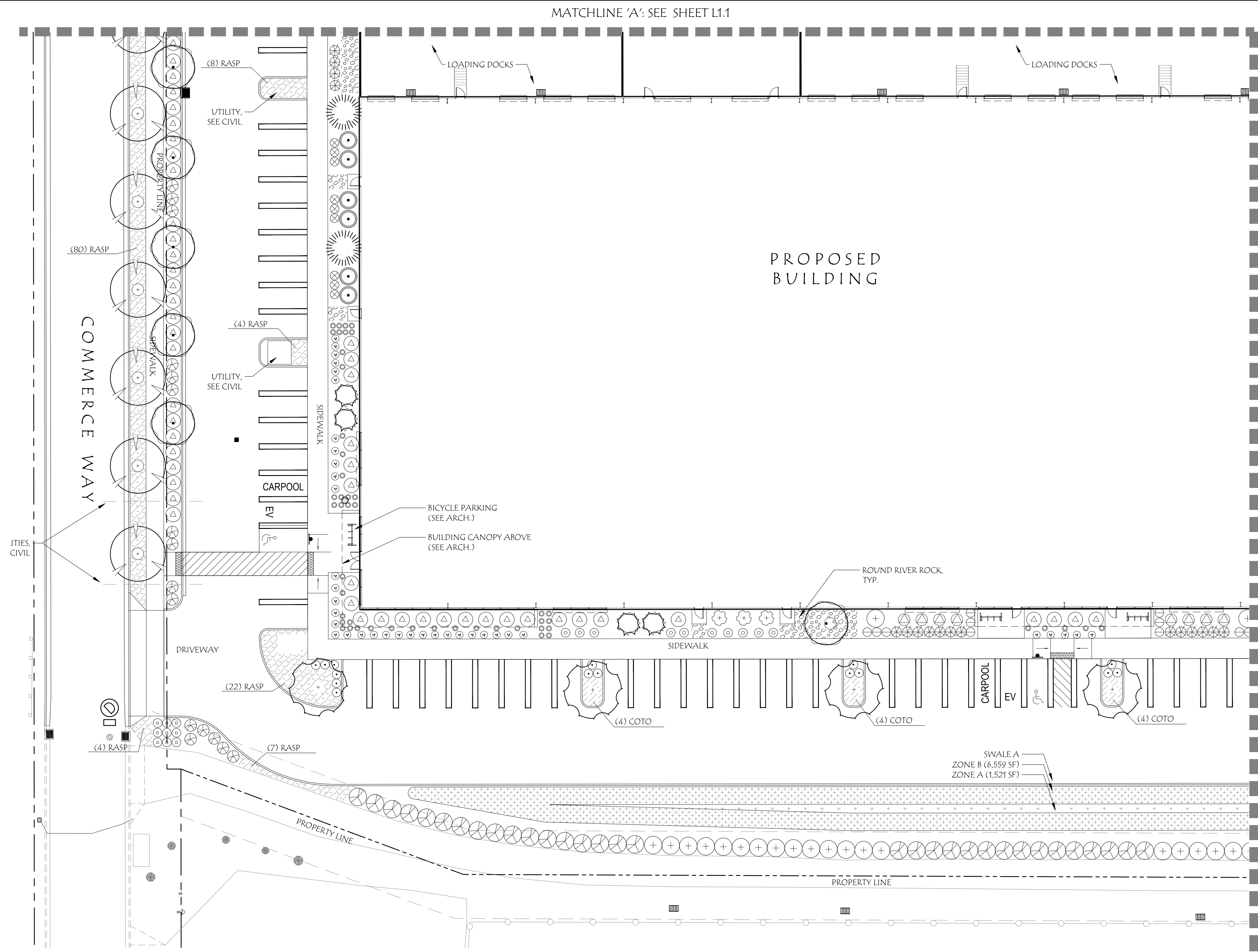
June 22nd, 2023

REVISIONS

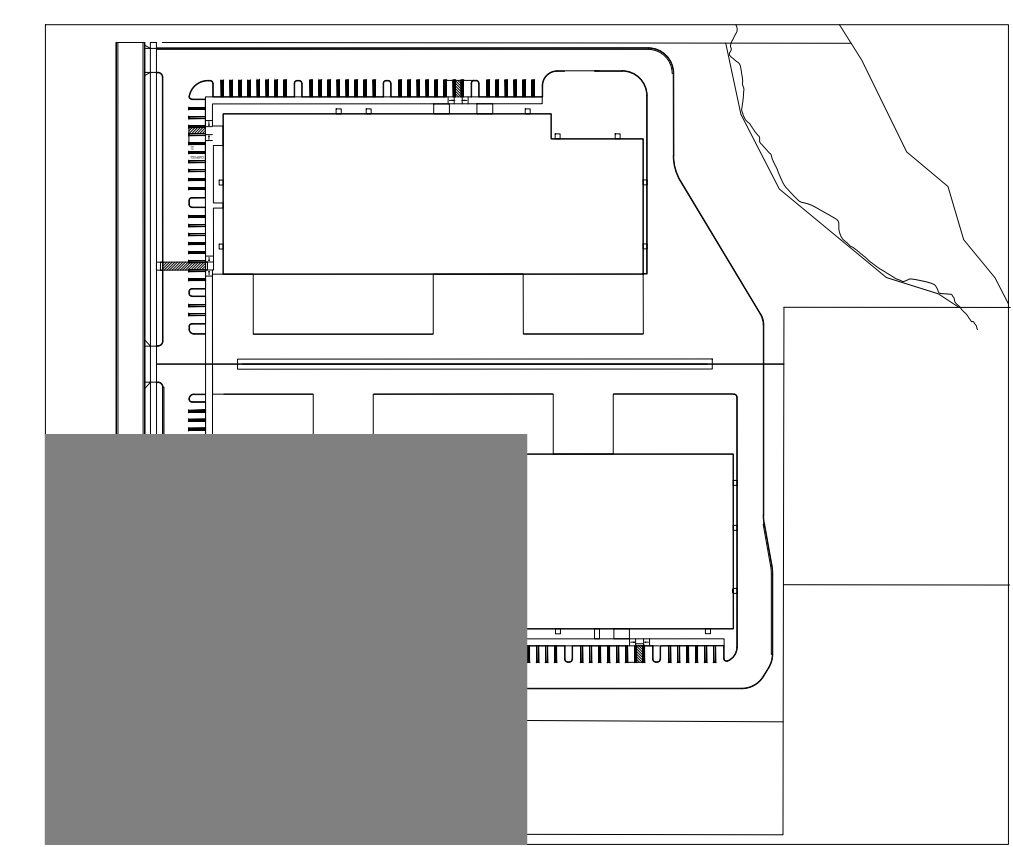
#	DATE	NOTES	INITIALS

L1.1

PROJECT #: 1504C



**Key Map:**



**General Notes:**

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4. PLANTING REQUIREMENTS SEE THIS SHEET L1.1 AND L1.3.
5. PLANT SCHEDULE SEE SHEET L1.4.
6. STREET TREE PLANTING DETAIL SEE SHEET L1.4.
7. FINAL PLANTING NOTES AND DETAILS TO BE INCLUDED IN PERMIT SET.
8. IRRIGATION TO BE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

**Landscape Planting Requirements:  
Off-Street Parking/Loading**

REQUIRED PLANTS:	1 PLANT UNIT (PU) /20 SF AND REQUIRED TREE PER PARKING SPACES BELOW
1 SMALL TREE PER 10 PARKING SPACES	
1 MEDIUM TREE PER 15 PARKING SPACES	
1 LARGE TREE PER 25 PARKING SPACES	

LANDSCAPE SQUARE FOOTAGE = 14,022 SF		
NUMBER OF PLANT UNITS = 701 PU		
NUMBER OF PARKING SPACES = 128 SPACES = 13 SMALL TREES		
Plants	# of Plants	Plant Units
Large Tree	-	-
Medium Tree	-	-
Small Tree	14	56
Large Shrub	12	24
Small / Medium Shrub	551	551
Lawn / Groundcover	10,354 SF	207
<b>Total Plant Units</b>		<b>818</b>

\*Includes shrubs planted in Stormwater Swale A

**Stormwater Facility Planting Requirements**

<b>Swale A</b>	SWALE AREA:	8,080 SF
	ZONE A AREA:	1,521 SF
	ZONE B AREA:	6,559 SF
<b>Detention Basin B</b>	DETENTION BASIN AREA:	3,860 SF
	ZONE A AREA:	3,107 SF
	ZONE B AREA:	439 SF
<b>Detention Basin C</b>	DETENTION BASIN AREA:	7,724 SF
	ZONE A AREA:	6,678 SF
	ZONE B AREA:	698 SF

\*Planting Calculations derived from City of Portland Stormwater Management Manual

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Commerce Way  
Woodburn, Oregon

REGISTERED 643 PRELIMINARY LANDSCAPE ARCHITECT

LAURA A. ANTONSON OREGON 11/16/2007

PRELIMINARY PLANTING PLAN

SCALE: 1"=20'-0"

0' 10' 20' 40'

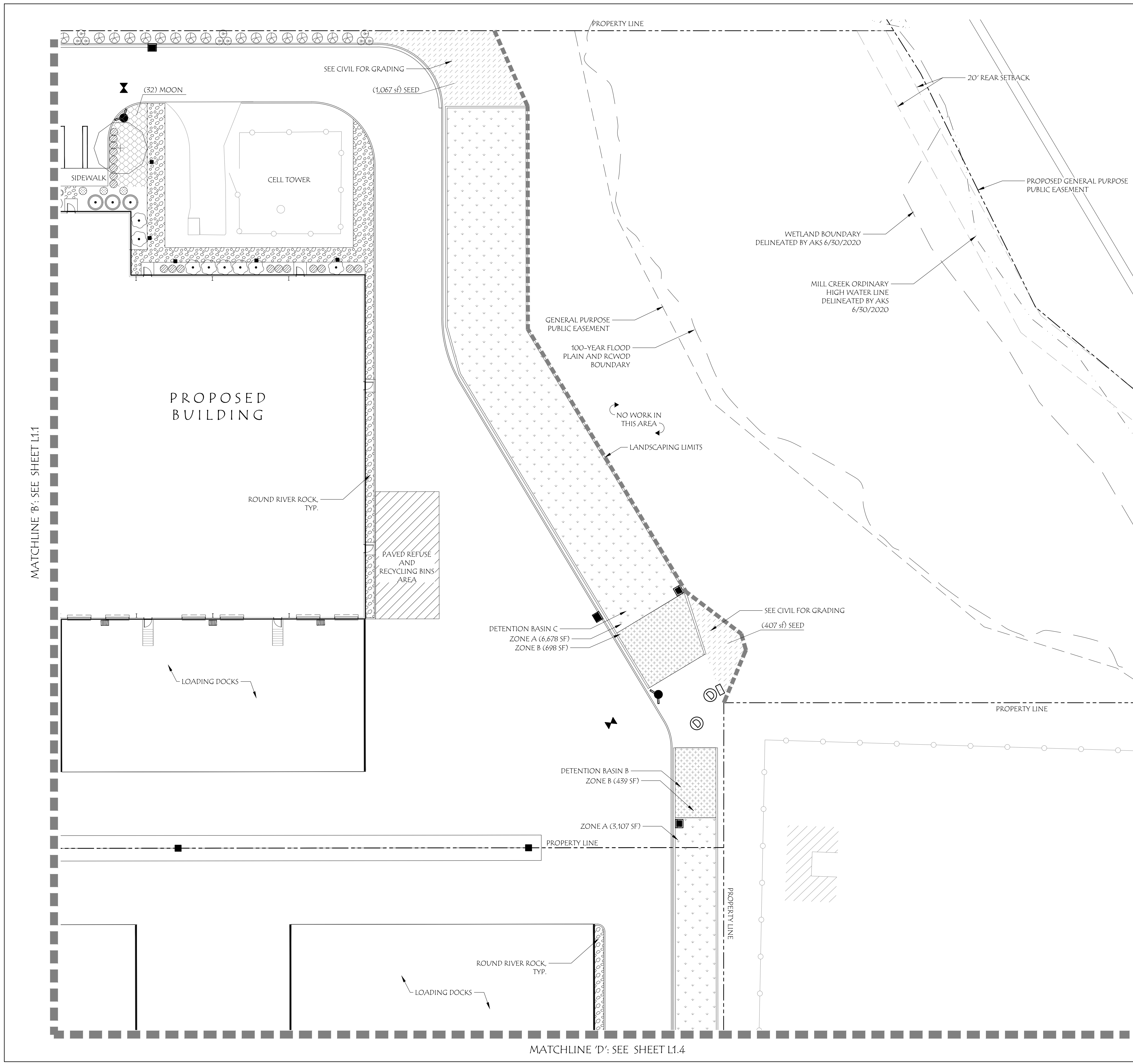
SCALE

June 22nd, 2023

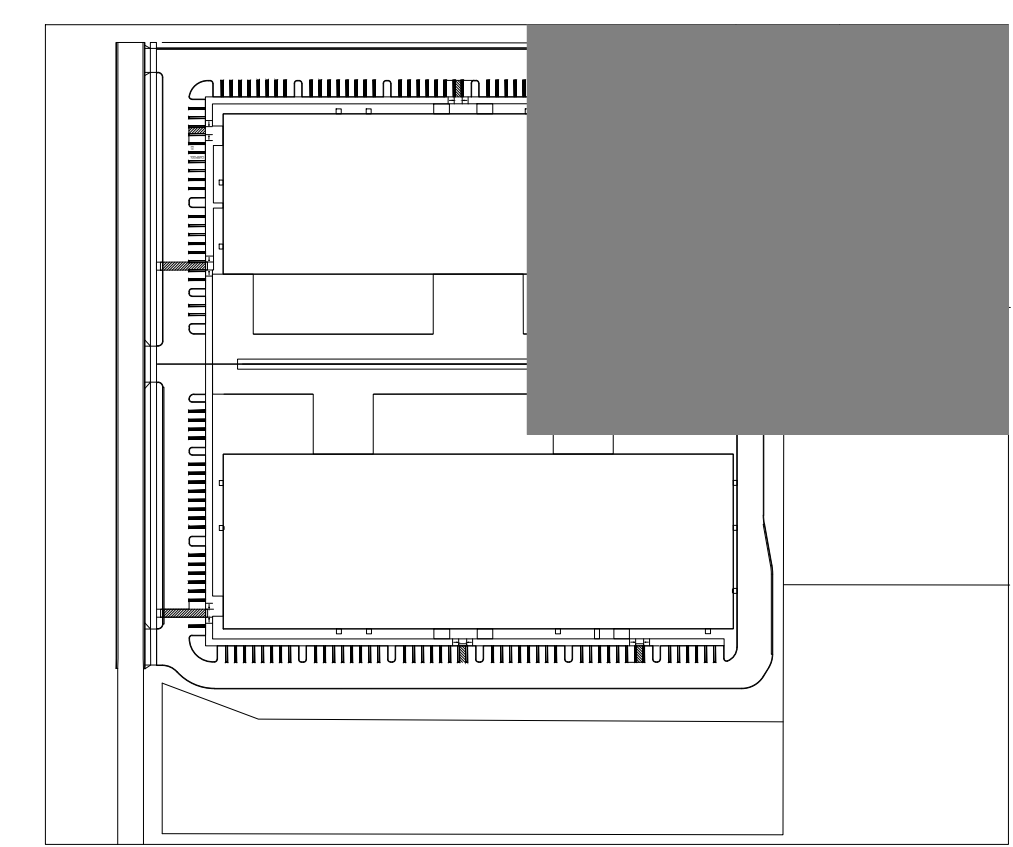
REVISIONS			
#	DATE	NOTES	INITIALS

L1.2

PROJECT #: 1504C



Key Map:



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5. PLANT SCHEDULE SEE SHEET L1.4.
6. STREET TREE PLANTING DETAIL SEE SHEET L1.4.
7. FINAL PLANTING NOTES AND DETAILS TO BE INCLUDED IN PERMIT SET.
8. IRRIGATION TO BE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

Landscape Planting Requirements:

Other Yards

REQUIRED PLANTS:	1 PLANT UNIT (PU) / 50 SF	
SIGNIFICANT TREE =	15 PU	
LARGE TREE =	10 PU	
MEDIUM TREE =	8 PU	
SMALL TREE =	4 PU	
LARGE SHRUB =	2 PU	
SMALL/MEDIUM SHRUB =	1 PU	
LAWN/GROUND COVER =	1 PU / 50 SF	
LANDSCAPE SQUARE FOOTAGE =	35,250 SF	
NUMBER OF PLANT UNITS =	705 PU	
Plants	# of Plants	Plant Units
Large Tree	-	-
Medium Tree	-	-
Small Tree	13	52
Large Shrub	199	398
Small / Medium Shrub	276	276
Lawn / Groundcover	2,512	50
Total Plant Units		776

Laurus Designs, LLC

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Woodburn, Oregon

REGISTERED 643 PRELIMINARY LANDSCAPE ARCHITECT

LAURA A. ANTONSON  
OREGON  
11/16/2007

PRELIMINARY PLANTING PLAN

SCALE: 1"=20'-0"

0' 10' 20' 40'

SCALE

June 22nd, 2023

REVISIONS

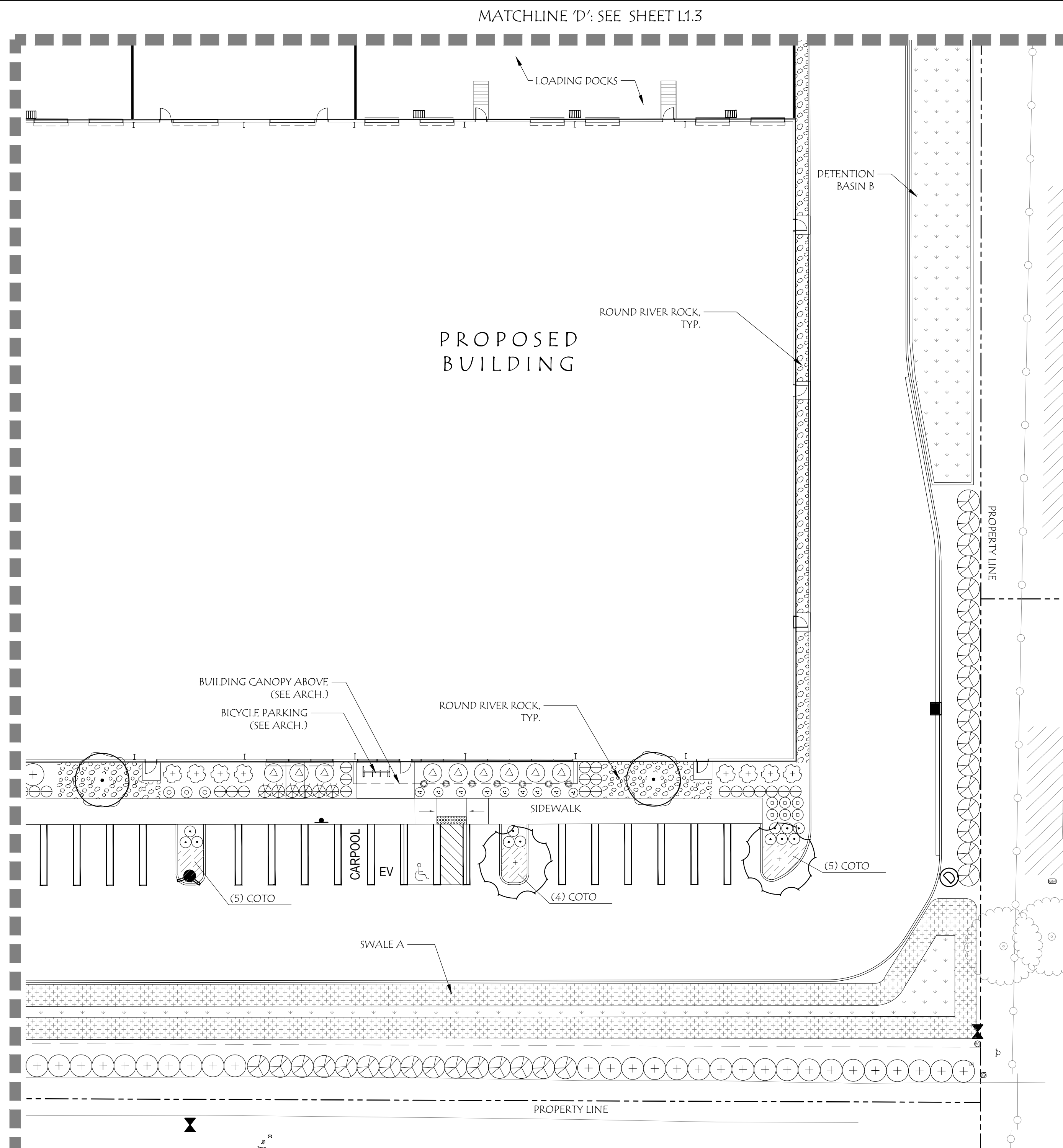
#	DATE	NOTES	INITIALS

L1.3

PROJECT #: 1504C



MATCHLINE 'C': SEE SHEET L1.2



**General Notes:**

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4. PLANTING REQUIREMENTS SEE SHEET L1.1 AND L1.2.
5. PLANT SCHEDULE SEE THIS SHEET.
6. STREET TREE PLANTING DETAIL SEE THIS SHEET.
7. FINAL PLANTING NOTES AND DETAILS TO BE INCLUDED IN PERMIT SET.
8. IRRIGATION TO BE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

**Preliminary Plant Schedule**

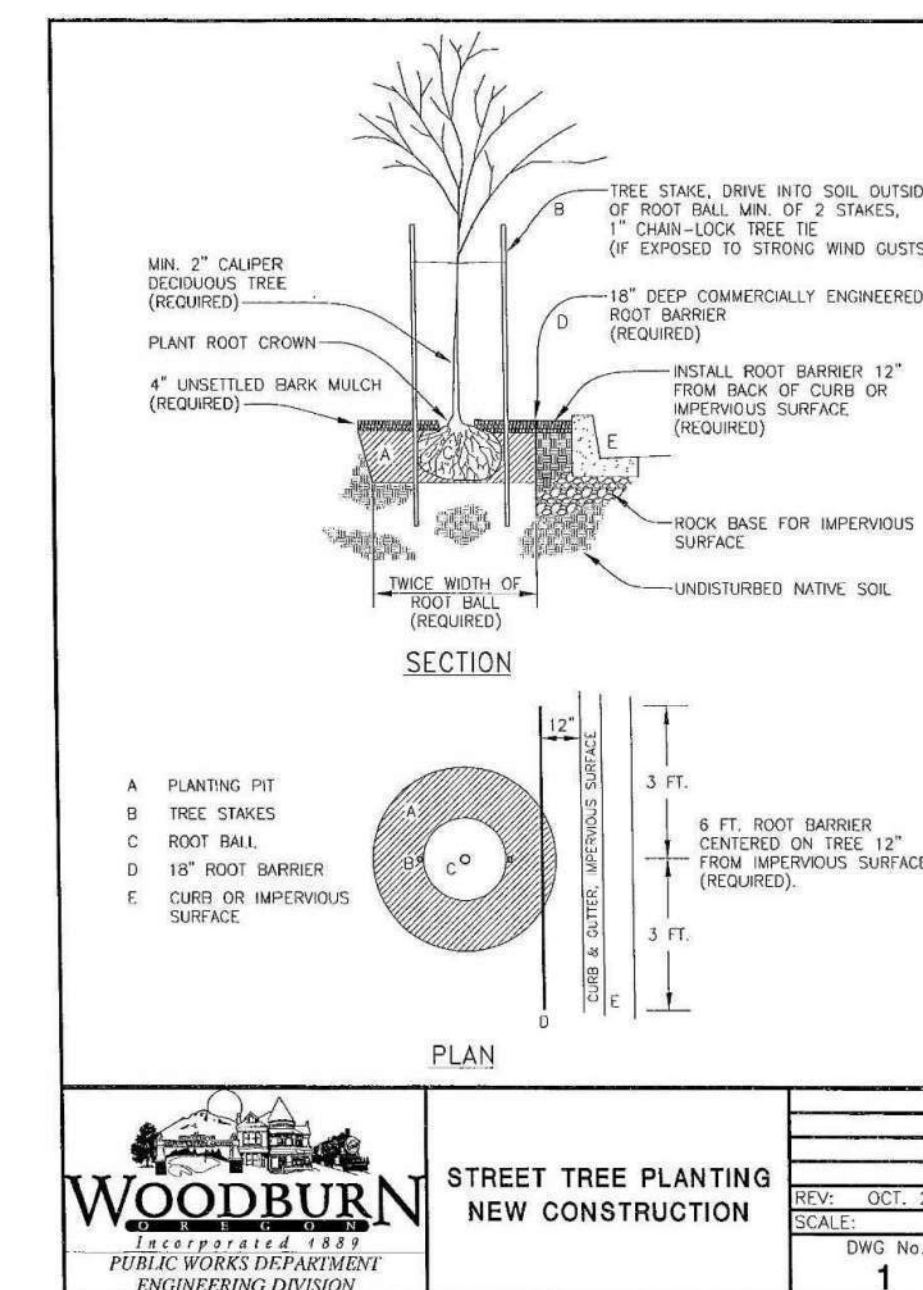
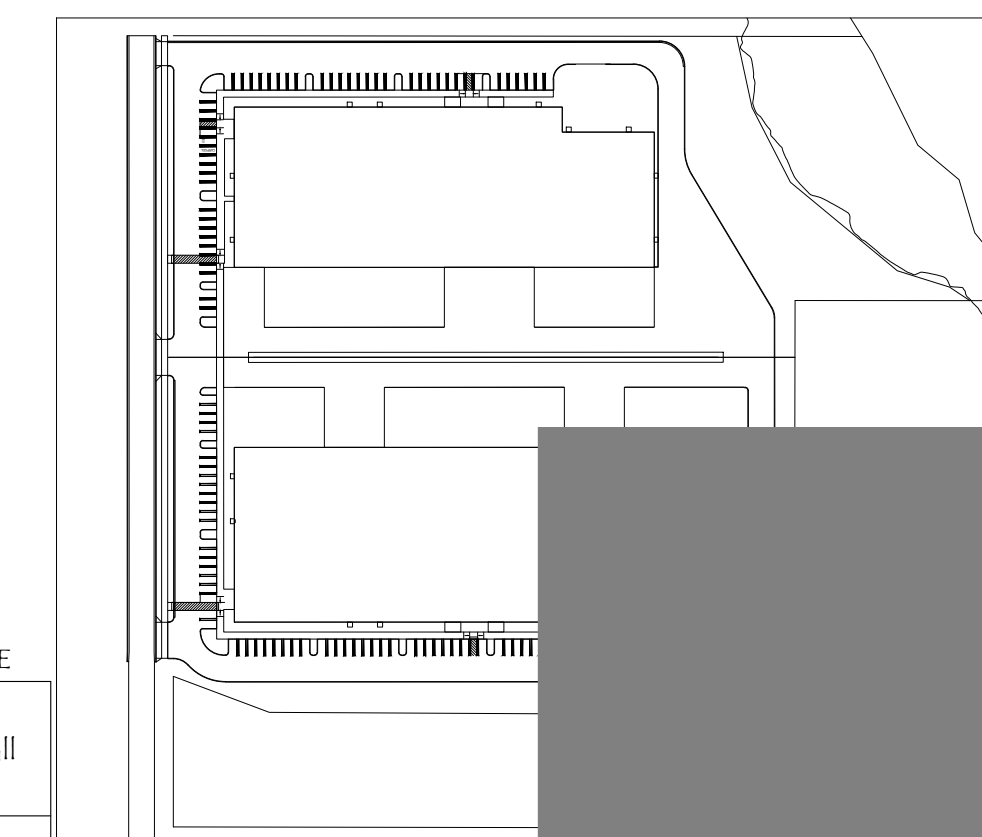
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	SIZE
	2	<i>Acer circinatum</i> / Vine Maple	10" Ht. Min.	Small
	3	<i>Acer rubrum</i> 'Gerling' / Gerling Red Maple	2" Cal., B&B	Small
	6	<i>Carpinus betulus</i> 'Fastigiata' / Pyramidal European Hornbeam	2" Cal., B&B	Small
	3	<i>Cedrus atlantica</i> 'Fastigiata' / Columnar Blue Atlas Cedar	10" Ht. Min.	Small
	15	<i>Fagus sylvatica</i> 'Dawyck Purple' / Dawyck Purple European Beech	2" Cal., B&B	Small
	5	<i>Koelreuteria paniculata</i> 'Fastigiata' / Columnar Goldenrain Tree	2" Cal., B&B	Small
	17	<i>Pyrus calleryana</i> 'Chanticleer' / Chanticleer Gallery Pear	2" Cal., B&B	Small
	5	<i>Thuja plicata</i> 'Green Sport' / Green Sport Western Red Cedar	10" Ht. Min.	Small

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	15	<i>Berberis thunbergii</i> 'Atropurpurea Nana' / Dwarf Redleaf Japanese Barberry	1 Gal.
	15	<i>Camellia sasanqua</i> 'Setsugekka' / Setsugekka Camellia	3 Gal.
	15	<i>Daphne cneorum</i> / Garland Daphne	1 Gal.
	39	<i>Daphne x burkwoodii</i> 'Carol Mackie' / Carol Mackie Daphne	1 Gal.
	46	<i>Lavandula angustifolia</i> 'Munstead' / Munstead English Lavender	1 Gal.
	49	<i>Ligustrum japonicum</i> 'Texanum' / Texas Japanese Privet	3 Gal.
	39	<i>Mahonia aquifolium</i> / Oregon Grape	1 Gal.
	65	<i>Myrica californica</i> / Pacific Wax Myrtle	3 Gal.
	9	<i>Nandina domestica</i> 'Firepower' / Firepower Heavenly Bamboo	1 Gal.
	11	<i>Osmanthus heterophyllus</i> / Holly Olive	3 Gal.
	31	<i>Perovskia atriplicifolia</i> / Russian Sage	1 Gal.
	140	<i>Prunus laurocerasus</i> 'Otto Luyken' / Otto Luyken English Laurel	3 Gal.
	27	<i>Rhaphiolepis indica</i> 'Ballerina' / Ballerina Indian Hawthorn	2 Gal.
	102	<i>Rhaphiolepis indica</i> 'Conor' / Eleanor Tabor Indian Hawthorn	1 Gal.
	6	<i>Sarcococca confusa</i> / Fragrant Sarcococca	1 Gal.
	14	<i>Skimmia japonica</i> / Japanese Skimmia	1 gal.
	13	<i>Spiraea japonica</i> 'Goldflame' / Spirea	1 Gal.
	4	<i>Vaccinium ovatum</i> / Evergreen Huckleberry	1 Gal.
	11	<i>Viburnum tinus</i> 'Spring Bouquet' / Spring Bouquet Laurestinus	3 Gal.

GRASSES / PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	73	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	24"-30" Ht.
	24	<i>Hakonechloa macra</i> / Japanese Forest Grass	1 Gal.
	31	<i>Miscanthus sinensis</i> 'Morning Light' / Morning Light Eulalia Grass	1 Gal.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	KINN 174 (1,038 sf)	<i>Avtostaphylos uva-ursi</i> 'Massachusetts' / Massachusetts Manzanita	1 Gal.	30" o.c.
	COTO 26 (361 sf)	<i>Cotoneaster dammeri</i> 'Lowfast' / Lowfast Bearberry Cotoneaster	1 Gal.	48" o.c.
	MOON 72 (823 sf)	<i>Euonymus fortunei</i> 'Moonshadow' TM / Moonshadow Euonymus	1 Gal.	42" o.c.
	RASP 242 (3,633 sf)	<i>Rubus pentalobus</i> 'Emerald Carpet' / Emerald Carpet Creeping Raspberry	1 Gal.	48" o.c.
	SEED 1,474 sf	Erosion Control Native Seed Mix	Seed at rate of 1 LB / 1000 SF	

**Key Map:**



Laurus Designs, LLC

1012 Pine Street  
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Cobalt Commerce Industrial Park

Commerce Way  
Woodburn, Oregon

REGISTERED 643 PRELIMINARY LANDSCAPE ARCHITECT

LAURA A. ANTONSON OREGON 11/16/2007

PRELIMINARY PLANTING PLAN

SCALE: 1"=20'-0"

0' 10' 20' 40'

SCALE

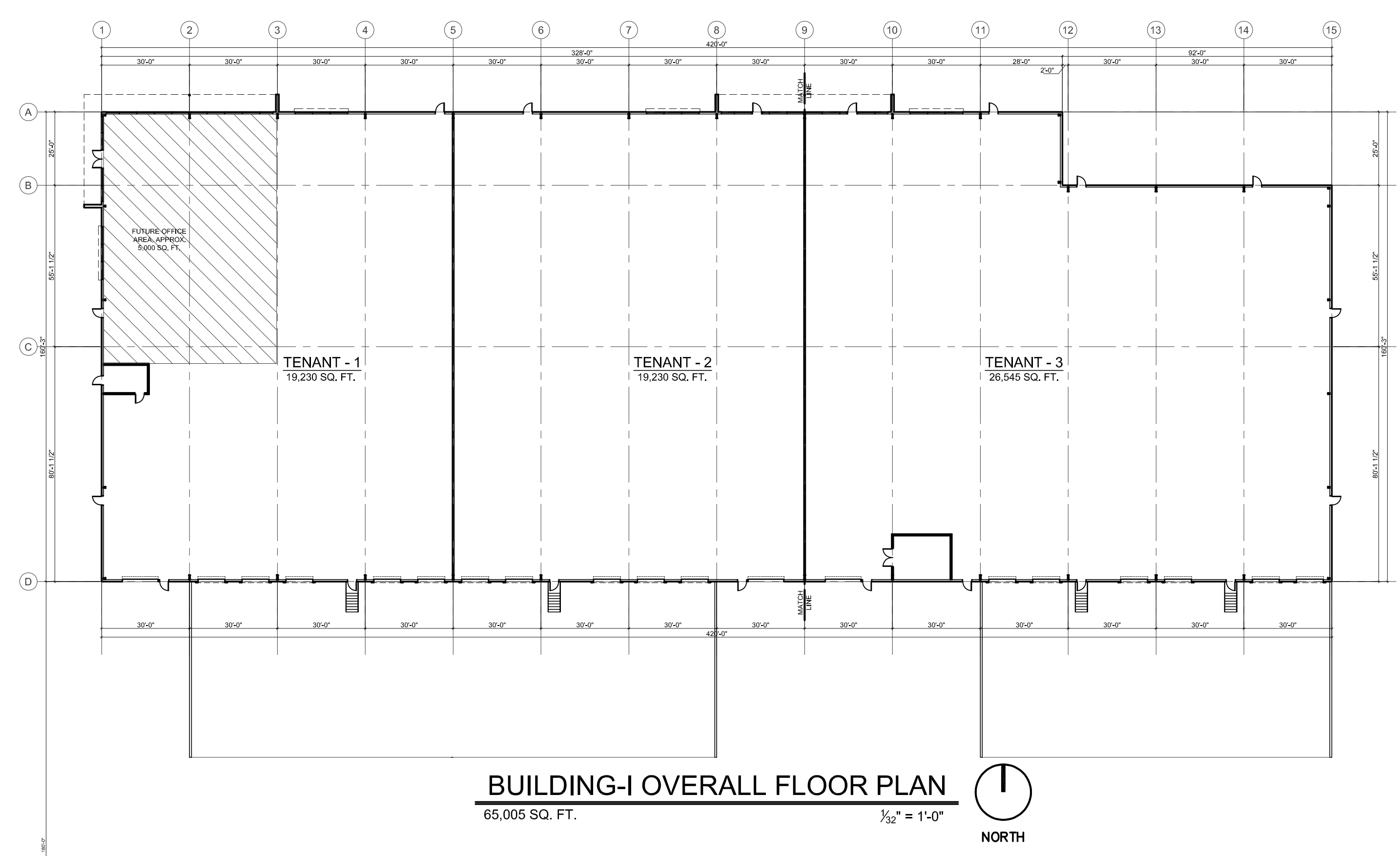
June 22nd, 2023

**REVISIONS**

#	DATE	NOTES	INITIALS

L1.4

PROJECT #: 1504C



Owner:  
WB\_COMMERCE  
100\_LLC  
WB\_COMMERCE  
5000\_LLC

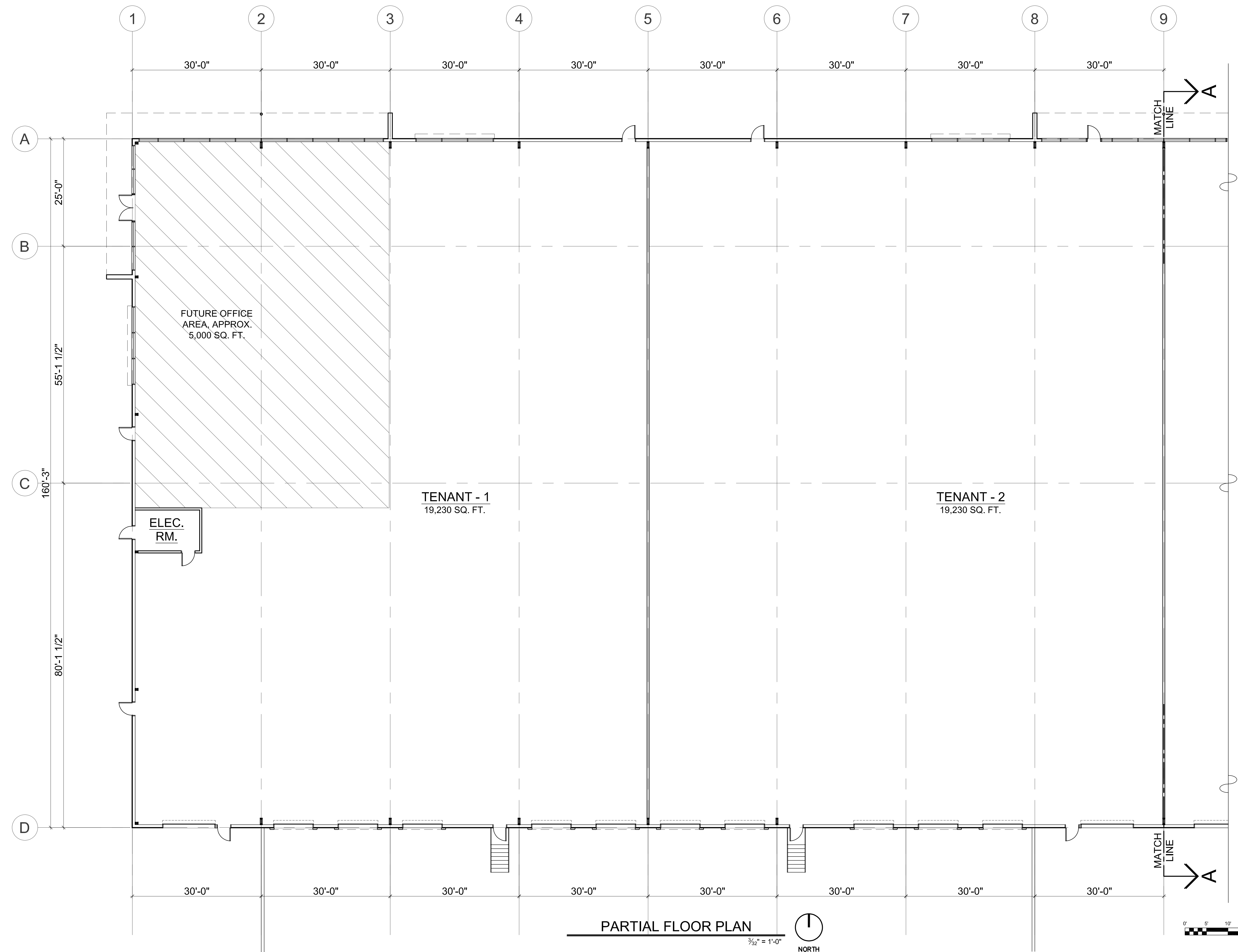
Project:  
WOODBURN  
TWO  
BUILDINGS  
WOODBURN\_OREGON

Sheet Title:  
OVERALL  
FLOOR  
PLAN

Revisions:  
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Date: 6-2-2023  
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Job Number:  
Sheet  
A2.0



Owner:  
 WB\_COMMERCE  
 100\_LLC  
 WB\_COMMERCE  
 5000\_LLC

Project:  
 WOODBURN  
 TWO  
 BUILDINGS  
 WOODBURN\_OREGON

Sheet Title:  
 PARTIAL  
 FLOOR\_PLAN  
 (BUILDING-I)

Revisions:  
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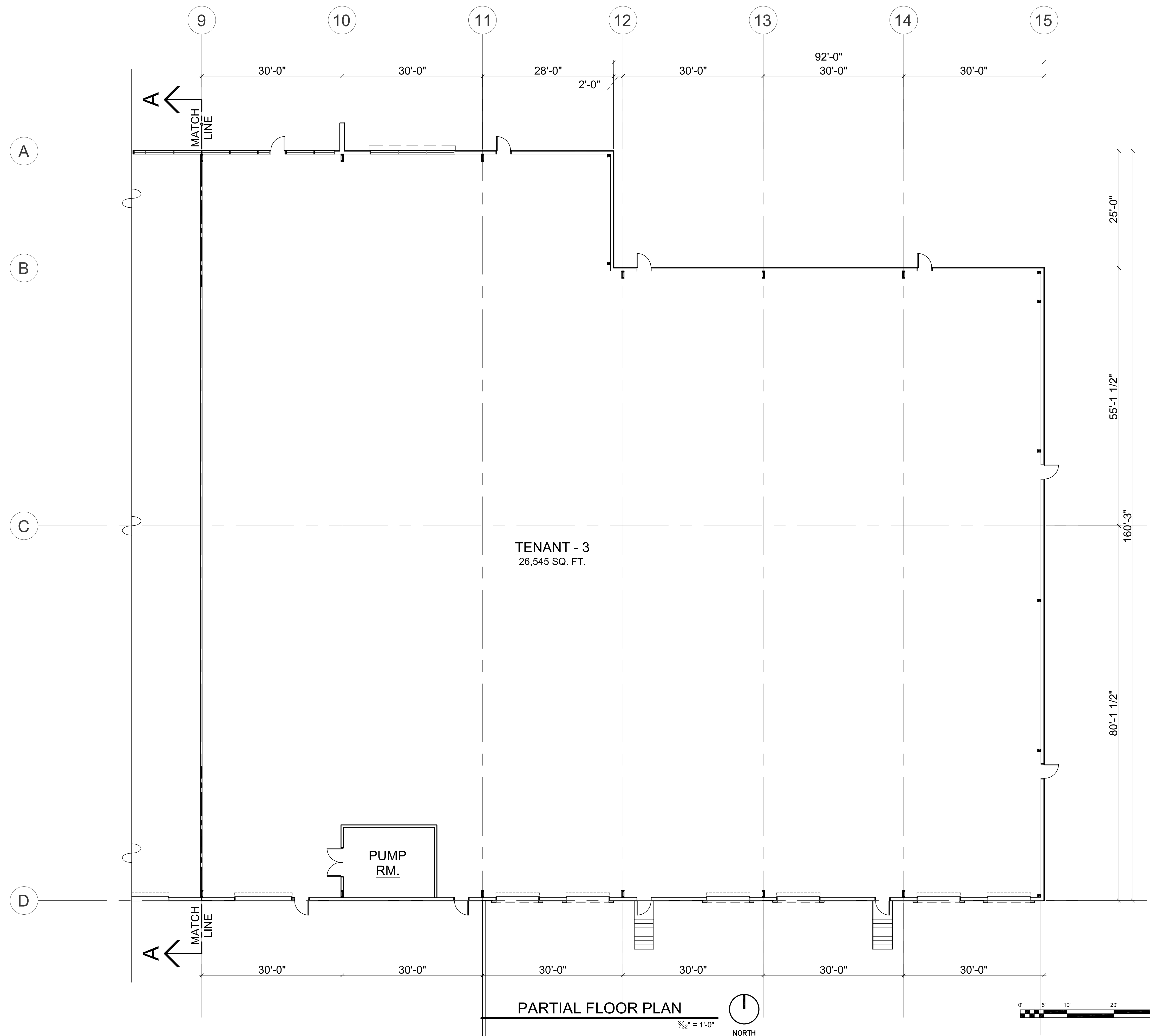
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Date: 6-2-2023  
 Drawn by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_

Job Number: \_\_\_\_\_  
 Sheet  
 A2.1

PARTIAL FLOOR PLAN  
 3/32" = 1'-0"  
 NORTH





Owner:  
WB\_COMMERCE  
100\_LLC  
WB\_COMMERCE  
5000\_LLC

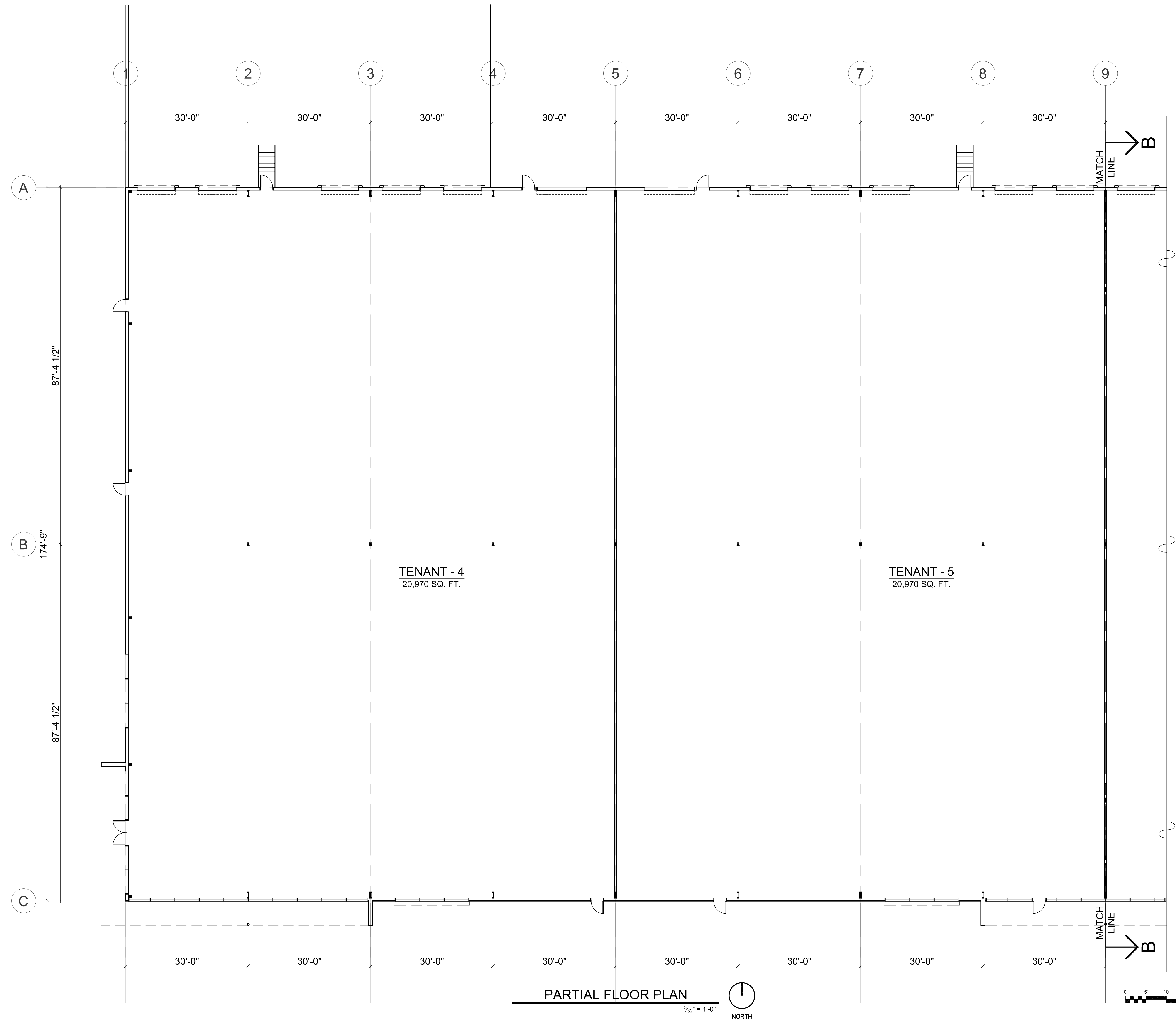
Project:  
WOODBURN  
TWO  
BUILDINGS  
WOODBURN\_OREGON

Sheet Title:  
PARTIAL  
FLOOR\_PLAN  
(BUILDING-I)

Revisions:

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Date: 6-2-223  
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Checked by: \_\_\_\_\_  
Job Number: \_\_\_\_\_  
Sheet  
A2.2



Owner:  
WB\_COMMERCE  
100\_LLC  
WB\_COMMERCE  
5000\_LLC

Project:  
WOODBURN  
TWO  
BUILDINGS  
WOODBURN\_OREGON

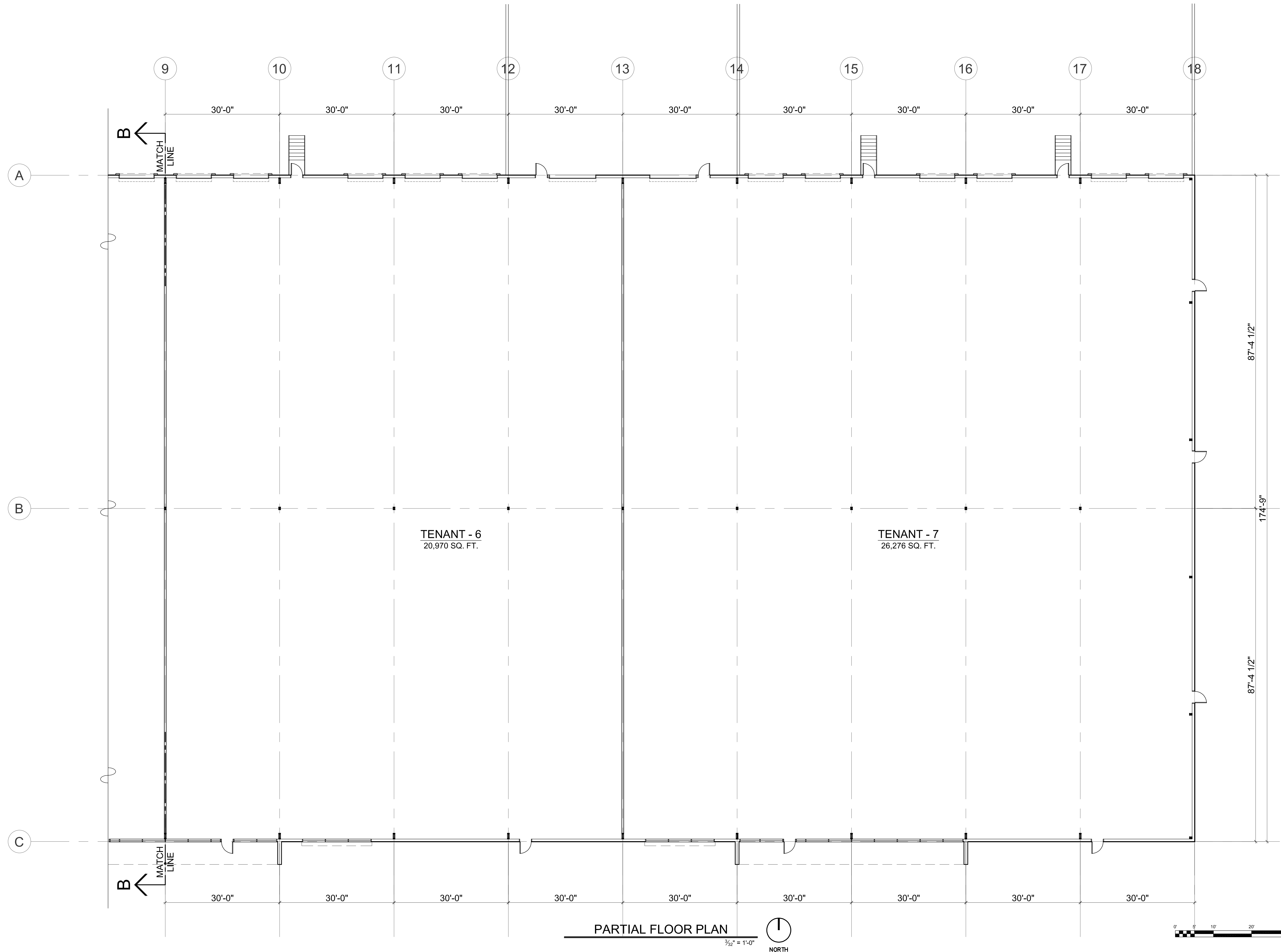
Sheet Title:  
PARTIAL  
FLOOR\_PLAN  
(BUILDING-II)

Revisions:

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Date: 6-2-2023  
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Checked by: \_\_\_\_\_

Job Number:  
Sheet  
A2.3



Owner:  
 WB\_COMMERCE  
 100\_LLC  
 WB\_COMMERCE  
 5000\_LLC

Project:  
 WOODBURN  
 TWO  
 BUILDINGS  
 WOODBURN\_OREGON

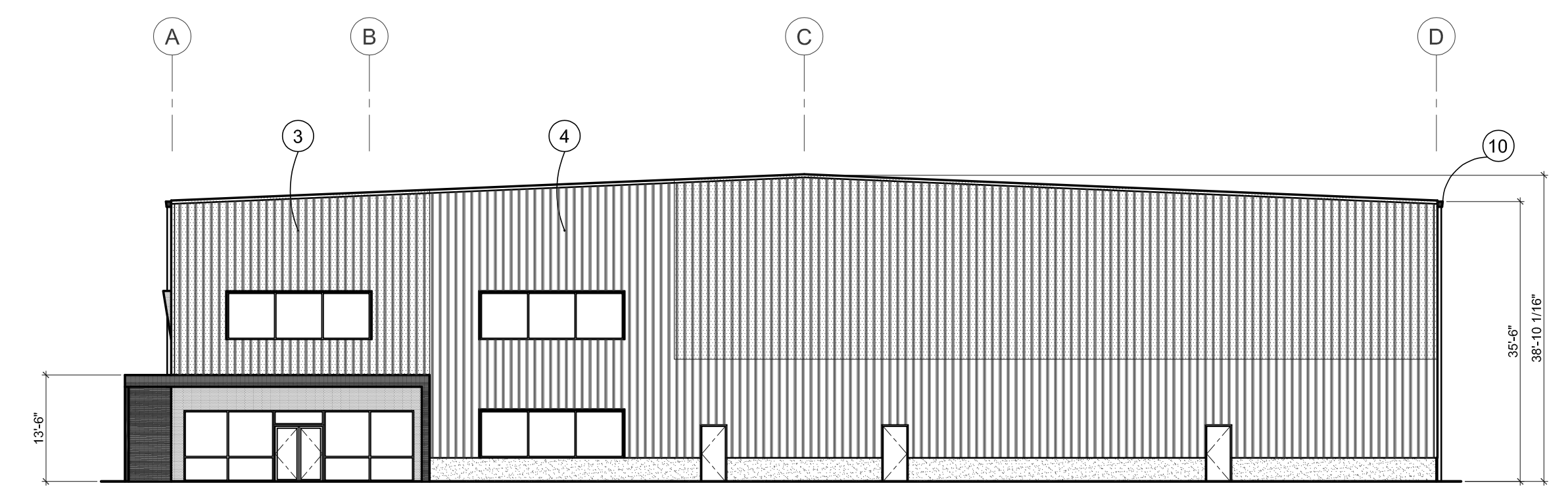
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 FLOOR\_PLAN  
 (BUILDING-II)

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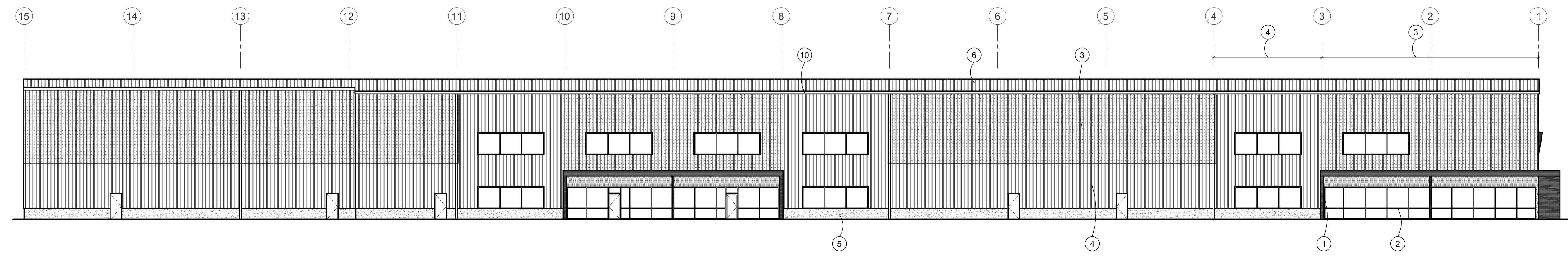

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 Date: 6-2-2023  
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 Job Number: \_\_\_\_\_  
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 A2.4



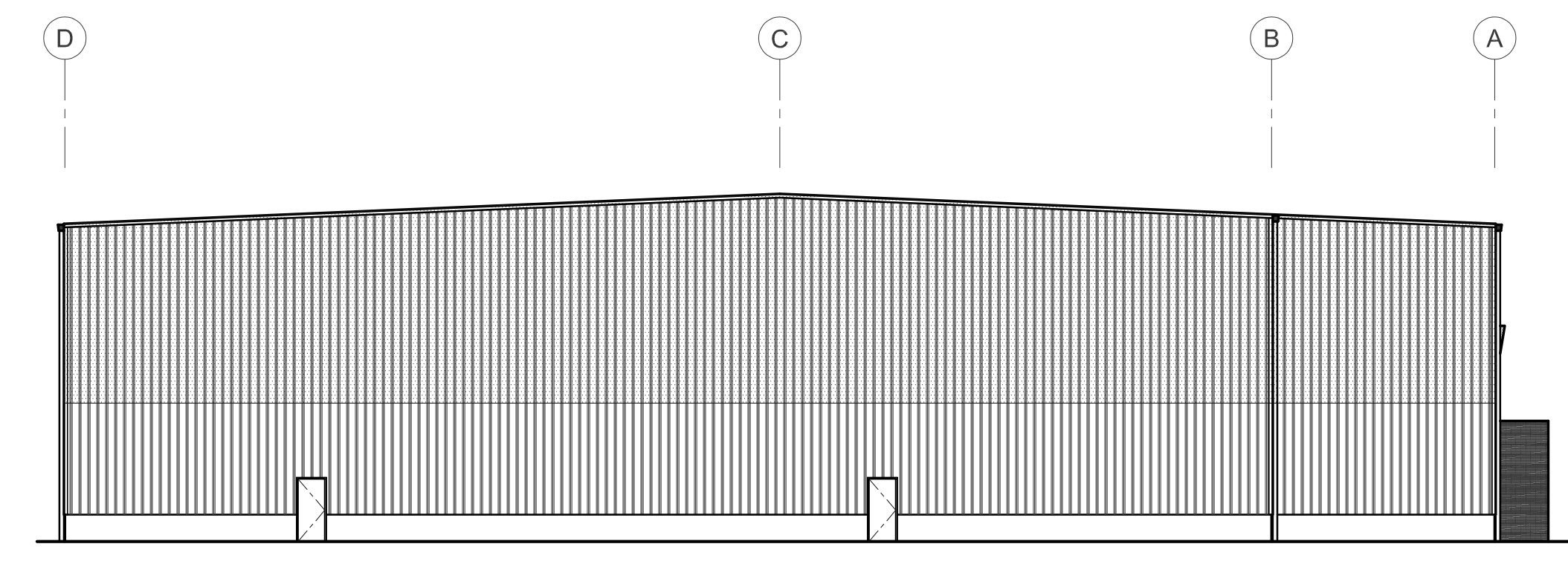
- KEY NOTES:**
1. RED METAL CANOPY
  2. BLACK ANODIZED STOREFRONT
  3. DARK GRAY METAL PANEL
  4. LIGHT GRAY METAL PANEL
  5. LIGHT GRAY PAINTED CONCRETE WAINSCOT
  6. DARK GRAY METAL ROOF
  7. DOCK SEAL & BUMPER
  8. DARK GRAY PAINTED DRIVE-IN DOOR
  9. DARK GRAY PAINTED DOCK HIGH DOOR
  10. RED GUTTER



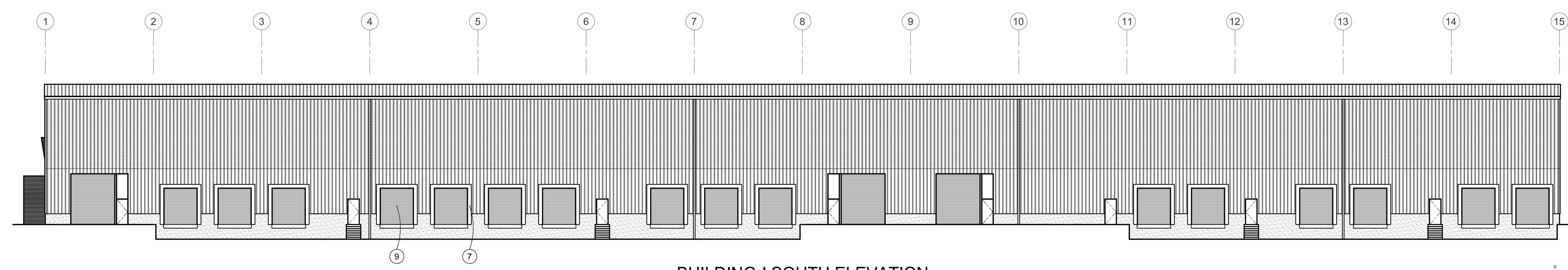
**BUILDING-I WEST ELEVATION**  
1/8" = 1'-0"



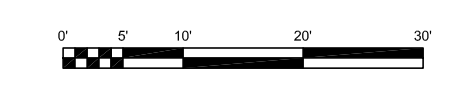
**BUILDING-I NORTH ELEVATION**  
1/8" = 1'-0"



**BUILDING-I EAST ELEVATION**  
1/8" = 1'-0"



**BUILDING-I SOUTH ELEVATION**  
1/8" = 1'-0"



Owner:  
WB\_COMMERCE  
100\_LL  
WB\_COMMERCE  
5000\_LL

Project:  
WOODBURN  
TWO  
BUILDINGS  
WOODBURN\_OREGON

Sheet Title:  
EXTERIOR  
ELEVATIONS  
(BUILDING-I)

Revisions:

PERMISSION OF 3.16 ARCHITECTURE

Date: 6-2-2023

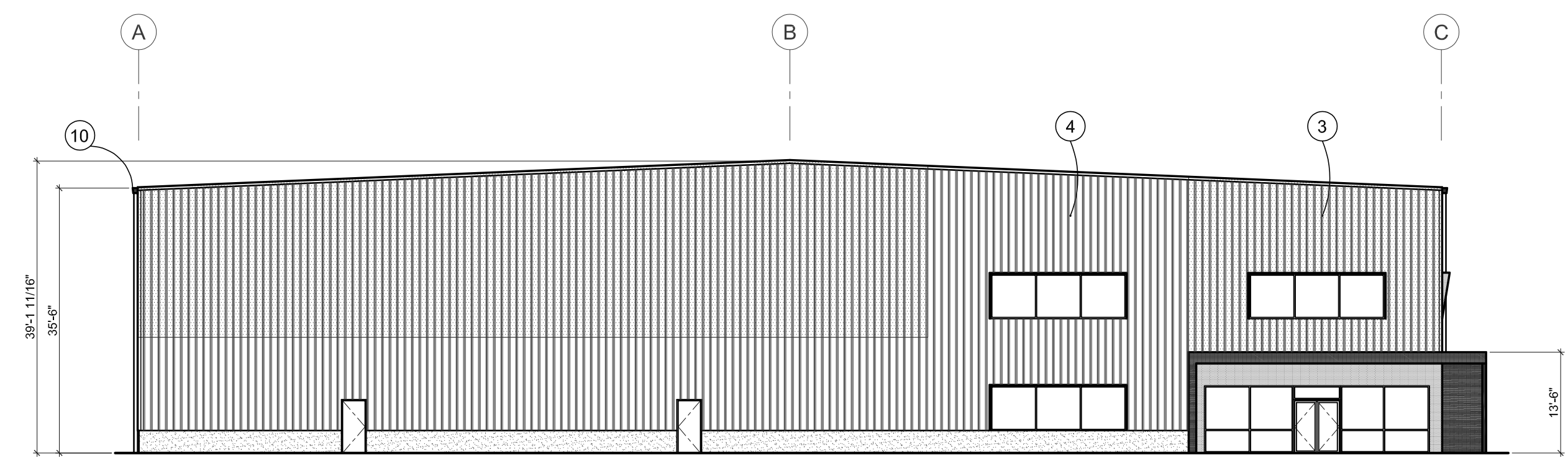
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Job Number:

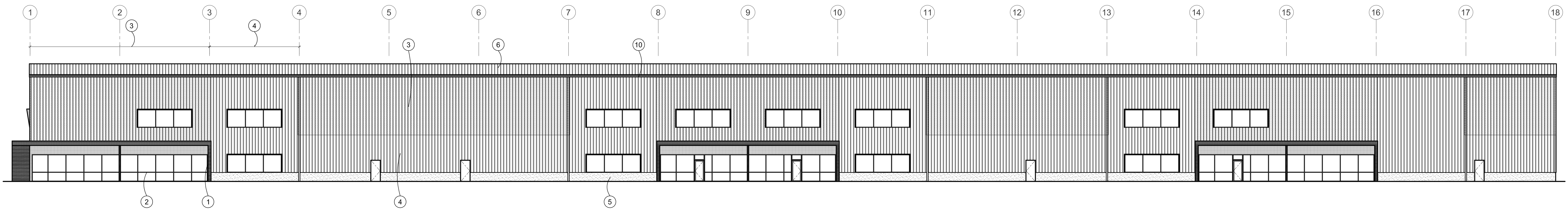
Sheet

A3.1

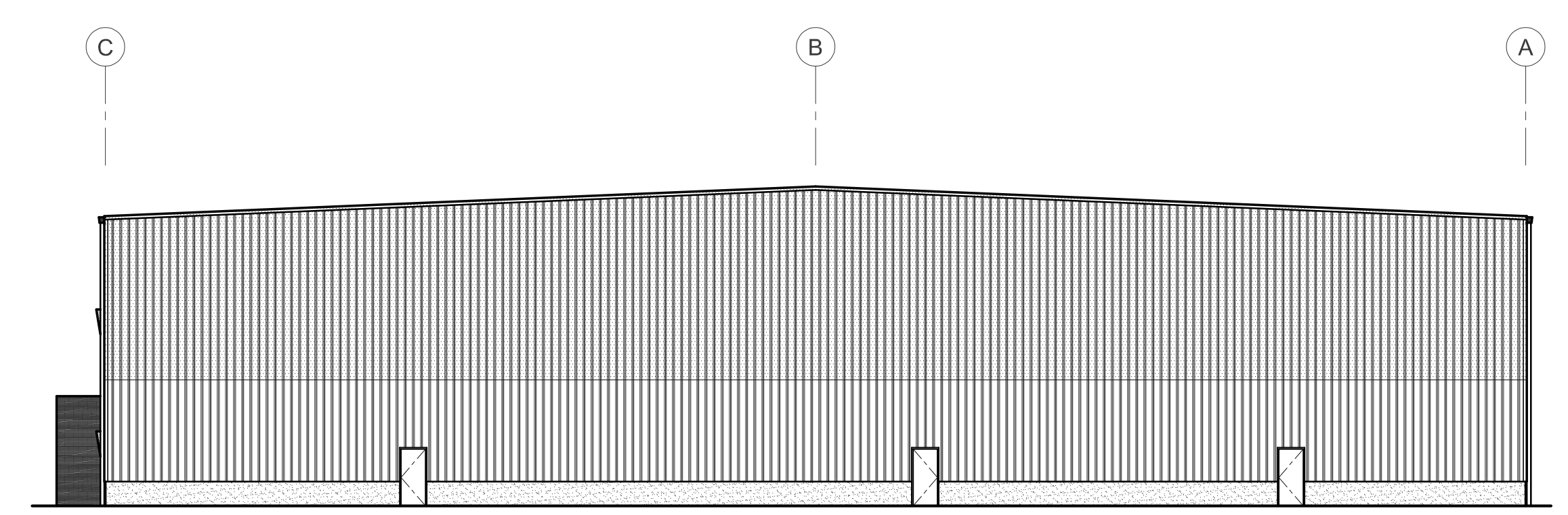
- KEY NOTES:**
1. RED METAL CANOPY
  2. BLACK ANODIZED STOREFRONT
  3. DARK GRAY METAL PANEL
  4. LIGHT GRAY METAL PANEL
  5. LIGHT GRAY PAINTED CONCRETE WAINSCOT
  6. DARK GRAY METAL ROOF
  7. DOCK SEAL & BUMPER
  8. DARK GRAY PAINTED DRIVE-IN DOOR
  9. DARK GRAY PAINTED DOCK HIGH DOOR
  10. RED GUTTER



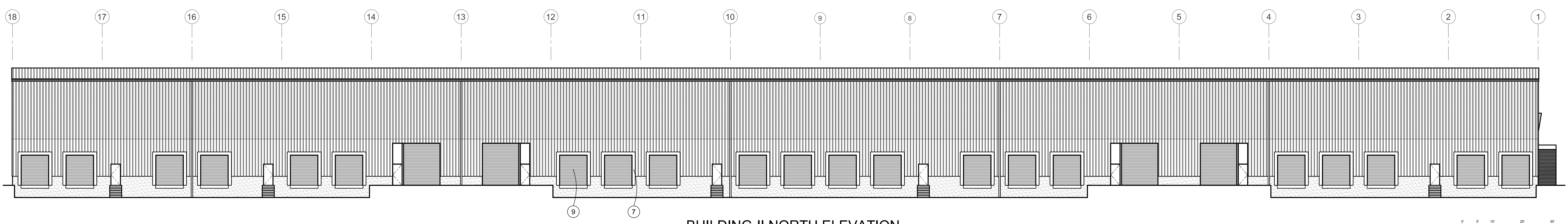
**BUILDING-II WEST ELEVATION**  
1/8" = 1'-0"



**BUILDING-II SOUTH ELEVATION**  
1/8" = 1'-0"



**BUILDING-II EAST ELEVATION**  
1/8" = 1'-0"



**BUILDING-II NORTH ELEVATION**  
1/8" = 1'-0"



Owner:  
WB\_COMMERCE  
100\_LLC  
WB\_COMMERCE  
5000\_LLC

Project:  
WOODBURN  
TWO  
BUILDINGS  
WOODBURN\_OREGON

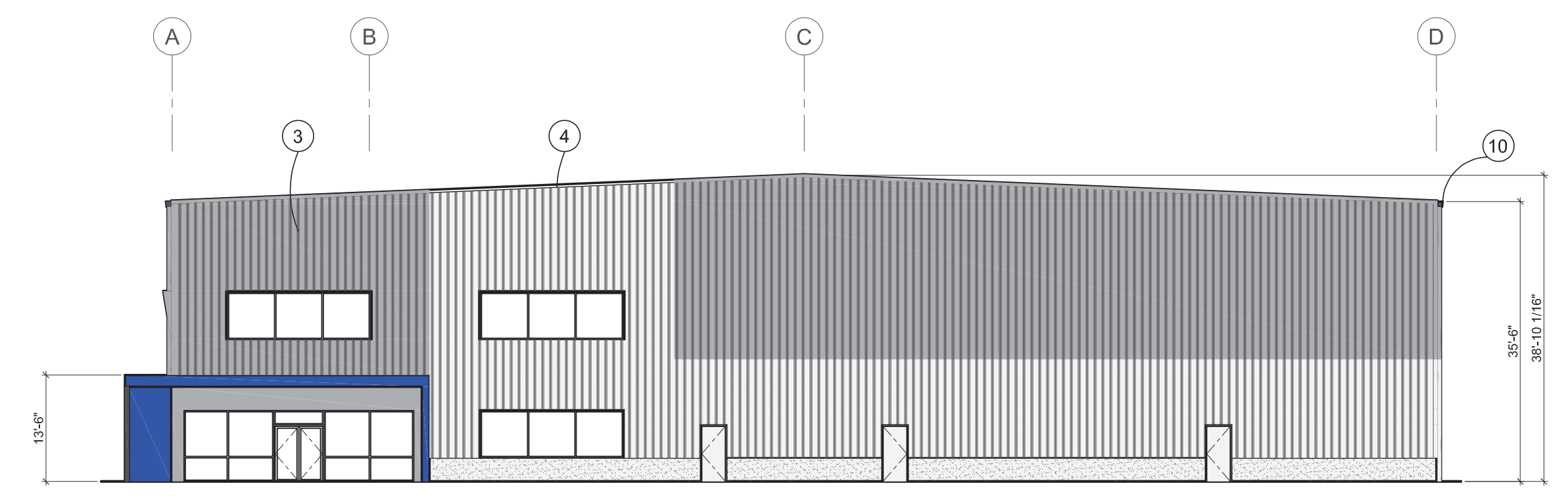
Sheet Title:  
EXTERIOR  
ELEVATIONS  
(BUILDING-II)

Revisions:

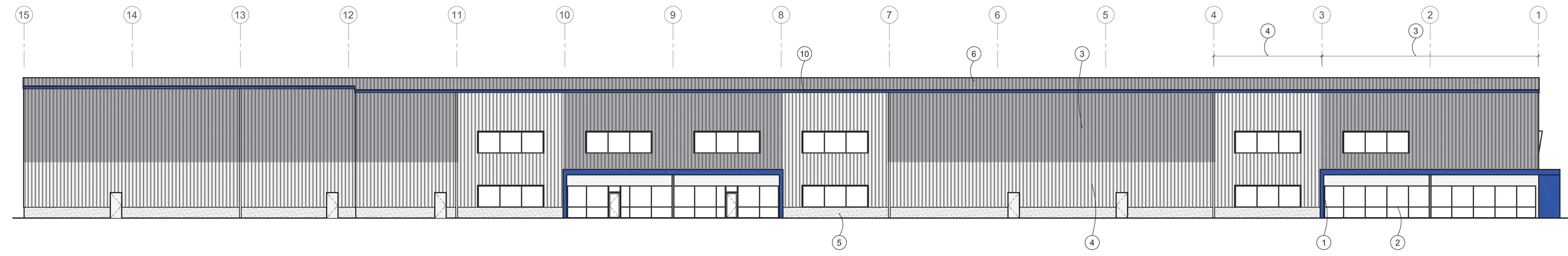
PERMISSION OF 3.16 ARCHITECTURE  
Date: 6-202023  
Drawn by: Checked by:  
Job Number:  
Sheet  
A3.2



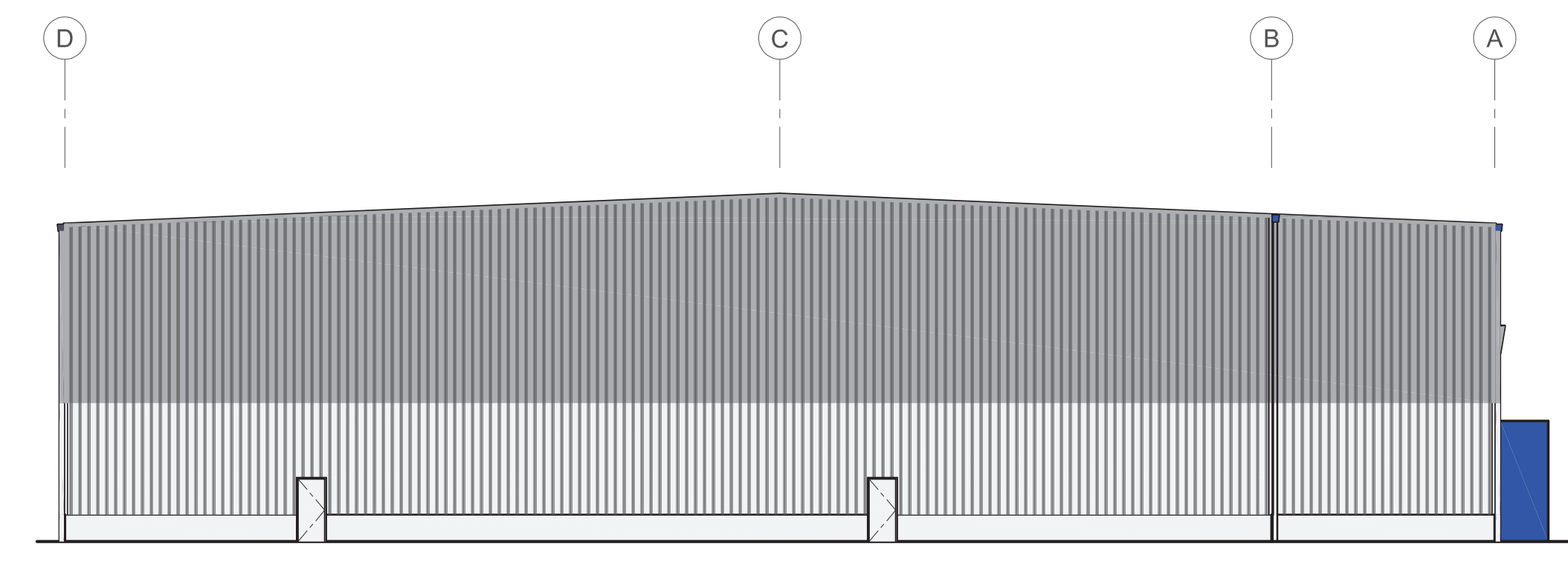
- KEY NOTES:**
1. COBALT BLUE METAL CANOPY
  2. BLACK ANODIZED STOREFRONT
  3. DARK GRAY METAL PANEL
  4. LIGHT GRAY METAL PANEL
  5. LIGHT GRAY PAINTED CONCRETE WAINSCOT
  6. DARK GRAY METAL ROOF
  7. DOCK SEAL & BUMPER
  8. DARK GRAY PAINTED DRIVE-IN DOOR
  9. DARK GRAY PAINTED DOCK HIGH DOOR
  10. COBALT BLUE GUTTER



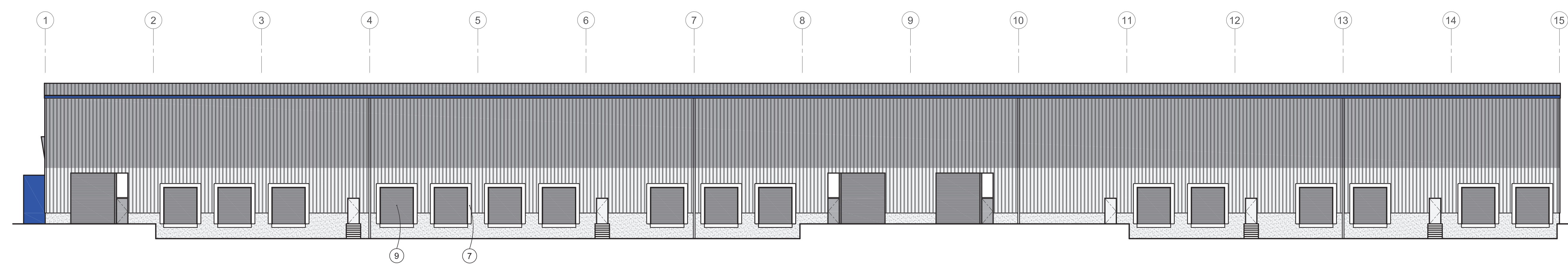
**BUILDING-I WEST ELEVATION**  
1/8" = 1'-0"



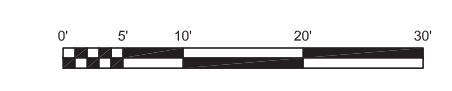
**BUILDING-I NORTH ELEVATION**  
1/8" = 1'-0"



**BUILDING-I EAST ELEVATION**  
1/8" = 1'-0"



**BUILDING-I SOUTH ELEVATION**  
1/8" = 1'-0"



Owner:  
WB\_COMMERCE  
100\_LLC  
WB\_COMMERCE  
5000\_LLC

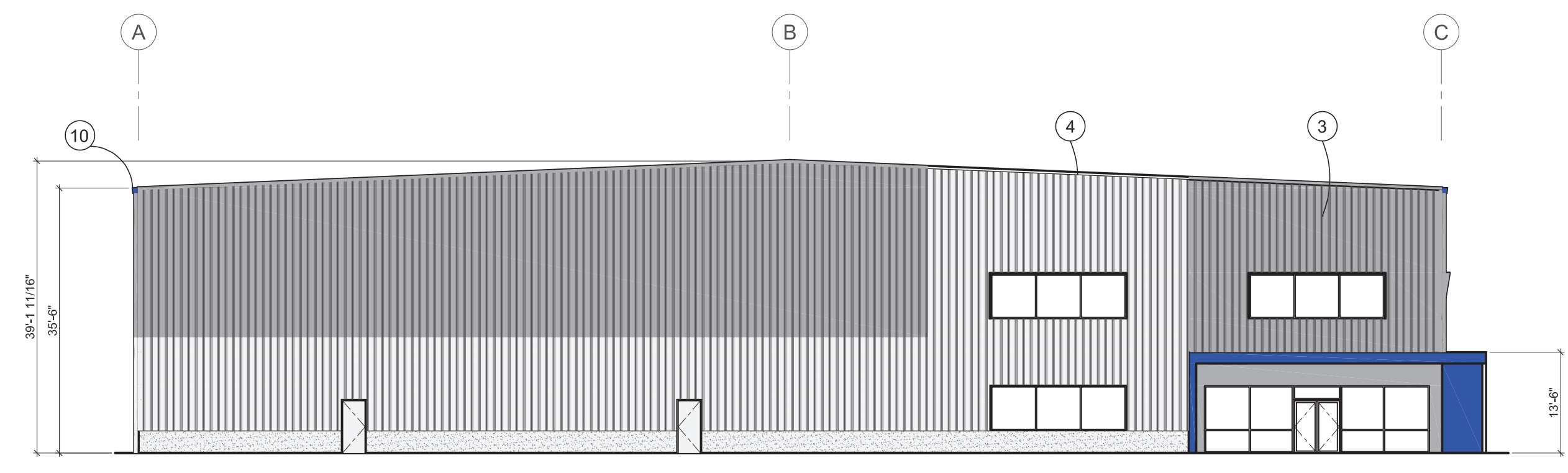
Project:  
WOODBURN  
TWO  
BUILDINGS  
WOODBURN\_OREGON

Sheet Title:  
EXTERIOR  
ELEVATIONS  
(BUILDING-I)

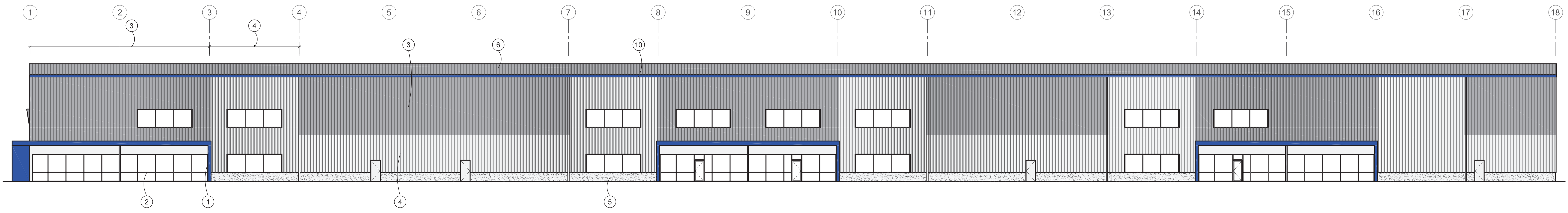
Revisions:

PERMISSION OF 3.16 ARCHITECTURE  
Date: 8-22-2023  
Drawn by: Checked by:  
Job Number:  
Sheet  
A3.1

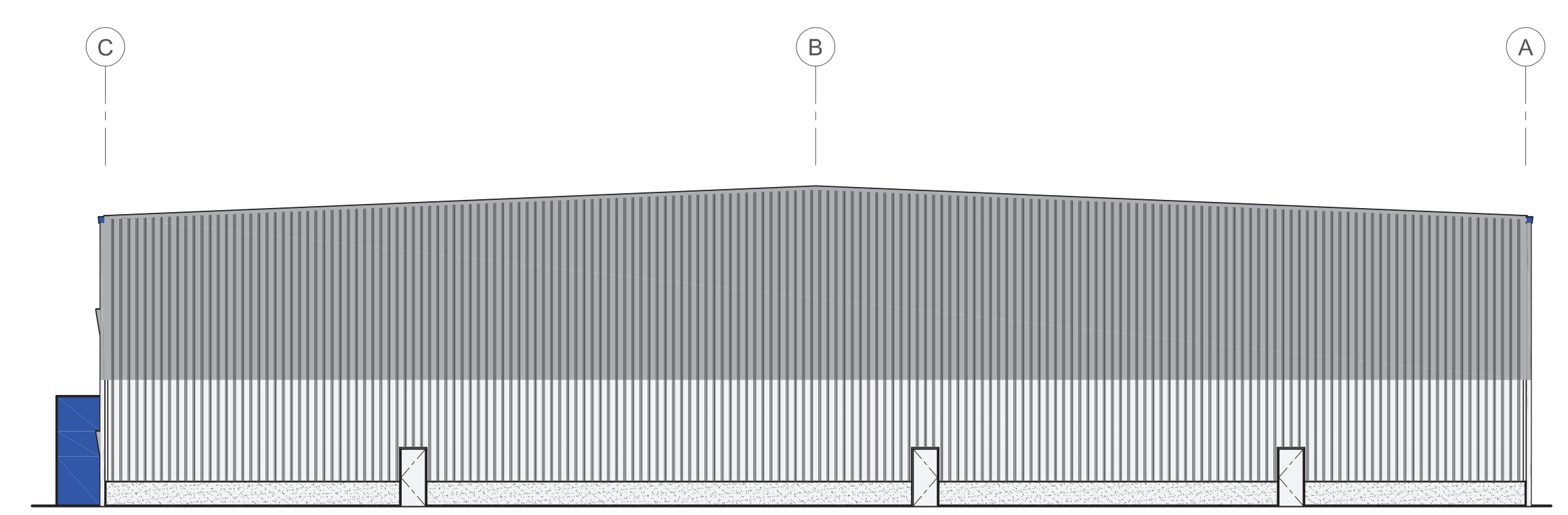
- KEY NOTES:**
1. COBALT BLUE METAL CANOPY
  2. BLACK ANODIZED STOREFRONT
  3. DARK GRAY METAL PANEL
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  10. COBALT BLUE GUTTER



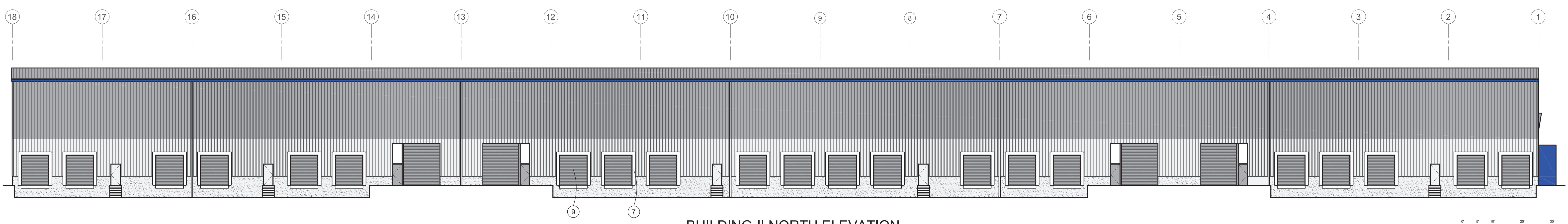
**BUILDING-II WEST ELEVATION**  
1/8" = 1'-0"



**BUILDING-II SOUTH ELEVATION**  
1/8" = 1'-0"



**BUILDING-II EAST ELEVATION**  
1/8" = 1'-0"



**BUILDING-II NORTH ELEVATION**  
1/8" = 1'-0"



Owner:  
WB\_COMMERCE  
100\_LLC  
WB\_COMMERCE  
5000\_LLC

Project:  
WOODBURN  
TWO  
BUILDINGS  
WOODBURN\_OREGON

Sheet Title:  
EXTERIOR  
ELEVATIONS  
(BUILDING-II)

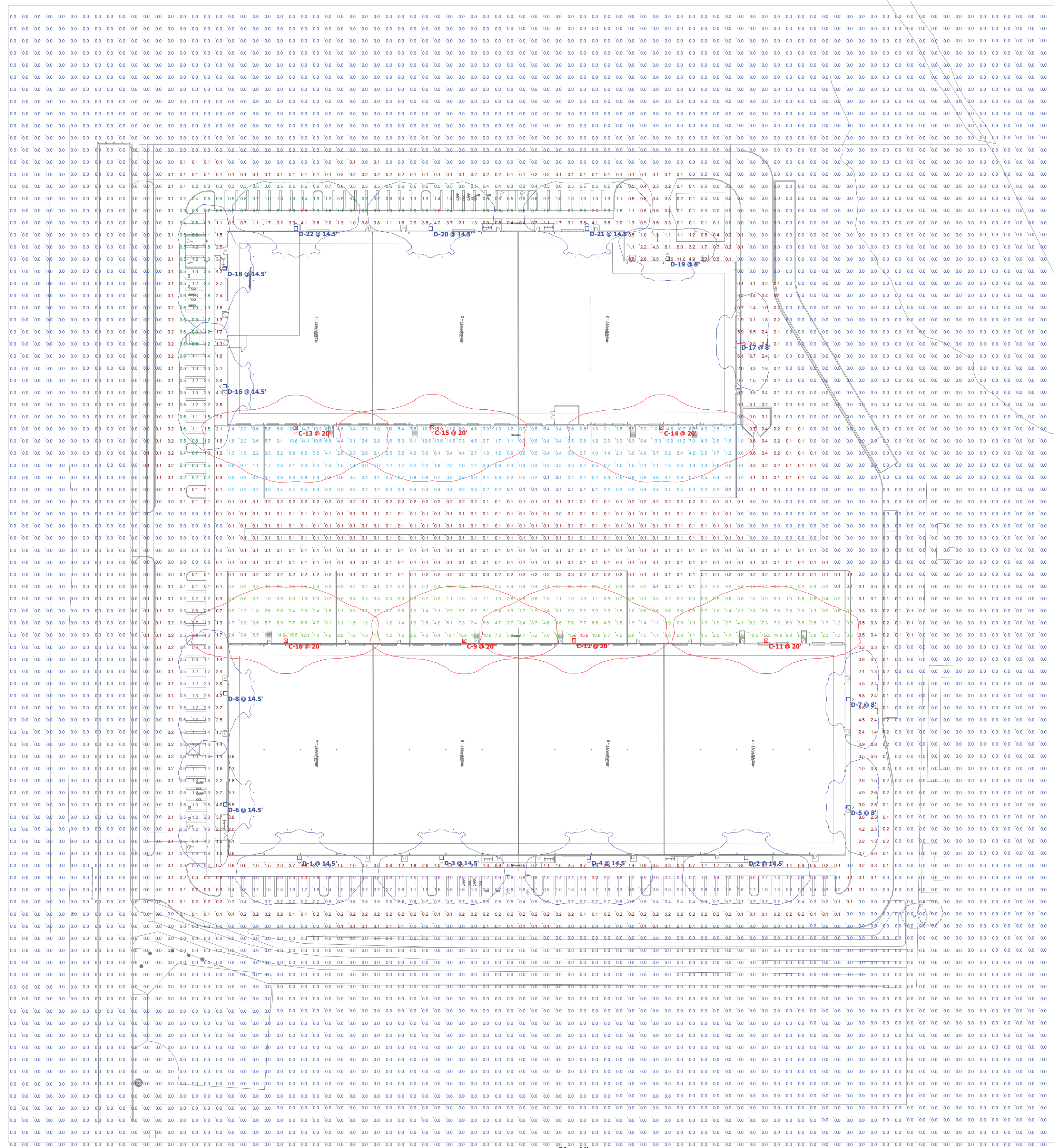
Revisions:

PERMISSION OF 3.16 ARCHITECTURE  
Date: 8-22-2023

Drawn by: Checked by:

Job Number:  
Sheet

A3.2



Plan View Scale: 1" = 50'

**HOLOPHANE**  
LIGHTING SOLUTIONS

**MGLEDM**  
Mongoose Medium LED

Product Information: The Mongoose Medium LED offers roadway and area lighting...  
 Features: 1. High lumen output... 2. Wide beam angle... 3. Long life expectancy...  
 Dimensions: 11.5" x 4.5" x 2.5"  
 Weight: 1.5 lbs

**HOLOPHANE**  
LIGHTING SOLUTIONS

**HLWPC2**  
Wallpack Full Cutoff LED

Product Information: The HLWPC2 Wallpack Full Cutoff LED is designed for...  
 Features: 1. Full cutoff design... 2. Adjustable beam angle... 3. Durable construction...  
 Dimensions: 11.5" x 4.5" x 2.5"  
 Weight: 1.5 lbs

**HOLOPHANE**  
LIGHTING SOLUTIONS

**HLWPC2**  
Wallpack Full Cutoff LED

Product Information: The HLWPC2 Wallpack Full Cutoff LED is designed for...  
 Features: 1. Full cutoff design... 2. Adjustable beam angle... 3. Durable construction...  
 Dimensions: 11.5" x 4.5" x 2.5"  
 Weight: 1.5 lbs

**HOLOPHANE**  
LIGHTING SOLUTIONS

**HLWPC2**  
Wallpack Full Cutoff LED

Product Information: The HLWPC2 Wallpack Full Cutoff LED is designed for...  
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 Weight: 1.5 lbs

**HOLOPHANE**  
LIGHTING SOLUTIONS

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Wallpack Full Cutoff LED

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**HOLOPHANE**  
LIGHTING SOLUTIONS

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Wallpack Full Cutoff LED

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**HOLOPHANE**  
LIGHTING SOLUTIONS

**HLWPC2**  
Wallpack Full Cutoff LED

Product Information: The HLWPC2 Wallpack Full Cutoff LED is designed for...  
 Features: 1. Full cutoff design... 2. Adjustable beam angle... 3. Durable construction...  
 Dimensions: 11.5" x 4.5" x 2.5"  
 Weight: 1.5 lbs

Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
⬇	D	15	HLWPC2 P40 40K XX T4M	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Type IV Medium	1	9882	0.9	95	
⬆	C	7	MGLEDM P5 40K XXXXX WR	Mongoose Medium, P5 Performance Package, 4000K, Wide Roadway	1	30309	0.9	206.21	

Description	Symbol	Avg	Max	Min	Max/Min
Building Perimeter 1	X	0.7 fc	3.8 fc	0.1 fc	15:2:1
Building Perimeter 2	X	0.6 fc	3.6 fc	0.1 fc	16:6:1
Parking Area 1	X	1.0 fc	2.6 fc	0.1 fc	16:0:1
Parking Area 2	X	1.0 fc	2.9 fc	0.1 fc	14:3:1
Spill Light Summary	+	0.0 fc	0.0 fc	0.0 fc	N/A

- Note**
- Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
  - Please refer to thight fixture symbol for mounting heights.
  - Product information can be obtained at [www.Acuity Brands.com](http://www.Acuity Brands.com)

**Note**  
 Acuity Brands Lighting Inc. This document contains confidential and proprietary information of Acuity Brands Lighting. This document may only be used by or for the benefit of Acuity Brands Lighting's representatives and Customers. This application design is not a professional engineering drawing and the design, including reported data and calculated results, is provided for informational purposes only, without any warranty as to accuracy, completeness, safety or otherwise. The design is the result of calculations made using Visual lighting application software, photometric/radiometric data measured in a laboratory, and certain computational and modeling assumptions. Far-field photometric/radiometric data may have been used to perform one or more calculations. Photometric/radiometric data is typically collected under far-field measurement conditions; far-field data is generally not representative of near-field geometric conditions. When using the far-field photometric/radiometric data, the Visual software applies certain generalizing assumptions to approximate near-field performance. These assumptions may result in significant inaccuracies in individual calculated luminous and/or radiant power quantities in areas where a source is in close proximity to a particular surface or point. The modeling of radiant flux exchange used in the Visual software requires a uniform exitance across each reflecting surface. The Visual software approximates the uniform surface exitance condition by adaptively subdividing surfaces with non-uniform exitance into subsurfaces with sufficiently uniform exitance gradient. Practical restrictions, due to computer hardware limitations, may prevent the subdivision procedure from subdividing surfaces with high exitance gradients into subsurfaces with sufficiently uniform exitance gradients, introducing potential discretization error into the calculated values. Calculations performed by Visual software assume that all reflected light is reflected in a perfectly diffuse (Lambertian) and spectrally uniform manner across the spectral range being analyzed. If actual reflectance characteristics differ from these assumptions, observed luminous and/or radiant power quantities may differ from the predicted quantities. As a result of the computational limitations and simplifying modeling assumptions described above, and/or variations in actual product performance from tested product samples, the accuracy of calculated output values identifying expected radiometric quantities and any resulting derived radiation dose calculation may be adversely affected. In addition, the accuracy of the application design may be adversely affected if information about the physical space provided to Acuity Brands Lighting is incomplete, inaccurate, outdated or not in the required format (including but not limited to floor plans, space layout, reflected ceiling plans, physical structures, electrical design or specifications) if incorrect assumptions are made because of such as not appropriate for the space. Furthermore, actual actual field performance may differ from performance calculated using laboratory measurement as a result of miscalculations related to deficiencies in the information provided about the physical space, degradation factors in the end-user environment (including, but not limited to, voltage variation and dirt accumulation), or other possible variations in field conditions. Finally, lamp lumen depreciation and/or depreciation in lamp radiant intensity may result in performance over time that differs performance calculated using a new lamp. Light loss factors may have been used in the application design to estimate such depreciation, but flaws in these estimates may also result in performance over time that differ from the calculated performance. It is the obligation of the end-user to consult with appropriately qualified Professional Engineer (s) to determine whether this application design meets the applicable requirements for performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this design.



COBALT COMMERCE INDUSTRIAL PARK Taxlots: 051W07DA00100 & 051W08CB05000

Designer  
 R.A. MCILRATH  
 Date  
 8/8/2023  
 Scale  
 As Shown  
 Drawing No.  
 228628-5-A1  
 Summary