



# Final Decision

## Planning Commission

**File number(s):** DR 23-06, RSS 23-01, SA 23-03, & VAR 23-03  
**Project name:** 3<sup>rd</sup> Street Quadplex  
**Date of decision:** August 10, 2023  
**Date of mailing:** August 14, 2023  
**Applicant:** Andy Labunsky, Atlas Management  
**Landowner:** Atlas Partner Holdings LLC  
**Site location:** 1123 & 1125 N. 3<sup>rd</sup> Street (Tax Lot 051W07DB04400)  
**Decision:** Approved with Conditions

### Proposed Development

The subject property is 1123 & 1125 N. 3rd Street, a 0.29-acre property in the Medium Density Residential (RM) zoning district. It is already developed with an existing duplex.

The proposal before the Planning Commission was a Design Review application to construct a two-story quadplex building in the rear of the property. An Architectural Standard Substitution application was included with a request to substitute certain design features related to the architectural design requirements. A Street Adjustment application was included to request a modified cross-section for the future Yew Street extension. A Variance application was also included, requesting to modify the width and setback requirements for the driveway.

### Public Hearing Summary

On August 10, 2023, the Planning Commission held a public hearing for this Type III Design Review (DR), Architectural Standard Substitution (RSS), Street Adjustment (SA), and Variance (VAR) application package. The following testimony was received:

- The property owner at 1121 N. 3<sup>rd</sup> Street (Dennis Hunt on behalf of his mother Gloria Hunt) provided neutral testimony. Mr. Hunt shared concerns about privacy and requested a 7-foot-tall fence between the subject property and his mother's property.

- The property owner at 1129 N. 3<sup>rd</sup> Street (Margarita Vasquez and her son Juan Vasquez) provided neutral testimony. They shared concerns about traffic on N. 3<sup>rd</sup> Street, the width of the street being narrow, and availability of street parking. They also requested a 7-foot tall fence between the subject property and their property.
- The owner of the property at 1080/1088/1100/1102 N. 5<sup>th</sup> Street (Chuck and Nancy Tauman) requested standing but did not testify.

After closure of the record, the Commission voted unanimously to approve the application package with the conditions recommended by staff in the staff report published August 3, 2023, and with one additional condition to require the proposed perimeter fence be a height of 7 feet instead of 6 feet.

### Conditions of Approval

1. **Substantial Conformance:** The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. **Addressing:** Prior to building permit issuance, the applicant shall submit an [Address Assignment Request Form](#), with accompanying fee payment and materials, to the Community Development Department to begin the process of getting addresses assigned.
3. **Fence permit:** To demonstrate conformance with 2.06.02 and 5.01.03, submit application for and obtain approval of a Fence Permit for any new fencing.
4. **N. 3<sup>rd</sup> Street improvements:** Minimum right-of-way (ROW) improvements to N. 3<sup>rd</sup> Street along the frontage of the subject property shall conform to 3.01.03C2. The following are due prior to building permit final inspection:
  - a. **Streetside PUE:** To meet 3.02.01B & F2, grant a streetside public utility easement (PUE) along the frontage of N. 3<sup>rd</sup> Street. Minimum width is 5 feet, maximum width is 8 feet.
  - b. **Sidewalk:** Construct a 6-foot wide sidewalk along the frontage, with a 1-foot buffer between the ROW boundary and sidewalk.
  - c. **Landscape strip:** To meet 3.01.04B and 3.06.03A, plant a 6-foot wide landscape strip adjacent to the sidewalk with at least 2 small size street trees and lawn grass. Small size trees are defined in Table 3.06B as having a height of 18-40 feet at maturity. Prohibited street tree species are outlined in Table 3.06C.
  - d. **Access:** To meet 3.01.02C, the driveway approach shall comply with applicable Public Works Department standard drawings and specifications.

5. Future Yew Street extension:
  - a. The developer shall pay a fee-in-lieu for improvements along the southwest property line of the subject property. Improvements to be considered for the fee include a 6-foot sidewalk, 6-foot landscape strip, and 5 small street trees. To determine the fee, the applicant shall submit a cost estimate for the improvements prepared by a licensed civil engineer. The cost estimate shall be vetted by the Public Works Director prior to acceptance. Fee payment is due prior to building permit issuance.
  - b. Prior to building permit issuance, the property owner shall record a restrictive covenant on the property stating that the property owner shall grant to the City a 5-foot-wide public utility easement along the southwest property line at such time when the existing duplex no longer encroaches into this area. The owner shall provide a draft copy of the covenant to the City for review prior to recordation.
6. Street lighting: Pursuant to 3.02.03A, adjacent street lighting for N. 3<sup>rd</sup> Street shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works Department indicating that existing illumination complies with the standards or install new lighting to conform. This is due prior to building permit issuance, unless a performance guarantee is approved by the City pursuant to 4.02.08.
7. Underground utilities: Pursuant to 3.02.04, all utility services to and within the development shall be underground.
8. Tree preservation: The applicant shall make a reasonable effort to design site improvements to protect and preserve the existing significant trees on the property throughout the entire construction process for the development. These trees may only be removed if the applicant provides an arborist report documenting why and how preservation is not physically possible. If it is determined that a tree cannot be preserved, the applicant shall pay a tree mitigation fee of \$250 per tree. If it is determined that a tree can be preserved, follow the City of Portland Tree Protection Rules (Attachment 104) throughout the entire construction process. The arborist report and, if applicable, any tree mitigation fees, are due prior to building permit issuance.
9. Variance vesting: The subject Variance approval is vested only for the scope of development work approved through this Design Review. Any future development or redevelopment of the property would be required to meet the applicable requirements at that time.
10. Fence height: The developer shall construct a perimeter cedar fence on the subject property as proposed on the site plan (Sheet LU-1), except the fence height shall be 7 feet instead of 6 feet.

## Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Records: Staff recommends that the applicant retain a copy of the subject approval.
3. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
4. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
5. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
6. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
7. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need

to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.

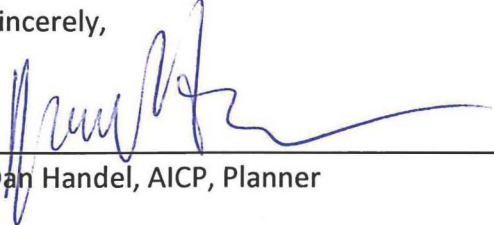
8. **Public Works Review:** Staff performs final review of the civil plans (within City right-of-way jurisdiction) during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions. All improvements/work within the right-of-way shall be completed prior to final building inspection.
9. **ODOT review:** Applicant is required to obtain a permit from ODOT for all work within ODOT jurisdiction. Applicant to provide a copy of the ODOT permit approval prior to building permit issuance.
10. **Franchises:** The applicant provides for the installation of all franchised utilities and any required easements.
11. **Water:** All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
12. **Grease Interceptor/Trap:** If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
13. **Fire:** Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
14. **SDCs:** The developer pays System Development Charges prior to building permit issuance.

## Appeals

Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO [4.02.01](#). The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or [planning@ci.woodburn.or.us](mailto:planning@ci.woodburn.or.us).

Sincerely,

  
\_\_\_\_\_  
Dan Handel, AICP, Planner

  
\_\_\_\_\_  
Date

Affirmed,

  
\_\_\_\_\_  
Lisa Ellsworth, Chair, Planning Commission

8/14/2023  
\_\_\_\_\_  
Date

### Attachments:

1. Public Works Department conditions of approval (Staff Report Attachment 102)
2. City of Portland tree protection rules (Staff Report Attachment 104)
3. Approved site plans (Staff Report Attachment 106)



**3<sup>rd</sup> Street Quadplex  
1123 3<sup>rd</sup> Street  
DR 23-06, RSS 23-01, SA 23-03, & VAR 23-03  
TAX LOT 051W07DB04400  
Public Works Comments  
Land Use Application  
August 2, 2023**

**CONDITIONS OF LAND USE APPROVAL:**

1. The Applicant, not the City, is responsible for obtaining permits from state, county and/or federal agencies that may require such permit or approval.
2. Marion County plumbing permits must be issued for all storm sewer, sanitary sewer, and waterline work installed beyond the Public Right-of-Way, on private property.
3. Provide a final storm drainage analysis for detention and conveyance system. The storm drainage hydraulic analysis shall comply with the City's requirements. The Applicant, by this Development, shall not cause storm water runoff to be impounded on adjacent properties.
4. The property owner shall maintain all on-site detention areas in perpetuity.
5. All public improvements or restoration improvements shall be deemed complete prior to final building permit inspection.
6. Provide and record the required right-of-way and public utility easements dedications prior to final building permit inspection.
7. Applicant to provide street lighting in accordance with street lighting plan approved by the City and conforming to Portland General Electric installation and plan under option B, if applicable.
8. Fire protection access, fire hydrant locations and fire protection issues shall comply with current fire codes and Woodburn Fire District standards.
9. Final review of the Civil Plans will be done during the building permit application. Public infrastructure will be constructed in accordance with plans approved by the City of Woodburn public works.
10. System Development fees shall be paid at the time of building permit issuance.

The applicant shall protect the preserved trees pursuant similar to City of Portland Title [11.60.030](#), specifically either the subsections set of C.1.a.(1), (3) and C.1.b., e., & f. (clear and objective) and D.; or, the subsections set of C.2.a., b., & d.-f. (arborist's discretion) and D. as modified below and shall do so between land use approval and issuance of certificate of occupancy (C of O):

C. Protection methods. The Tree Plan shall show that the contractor adequately protects trees to be preserved during construction using one of the methods described below:

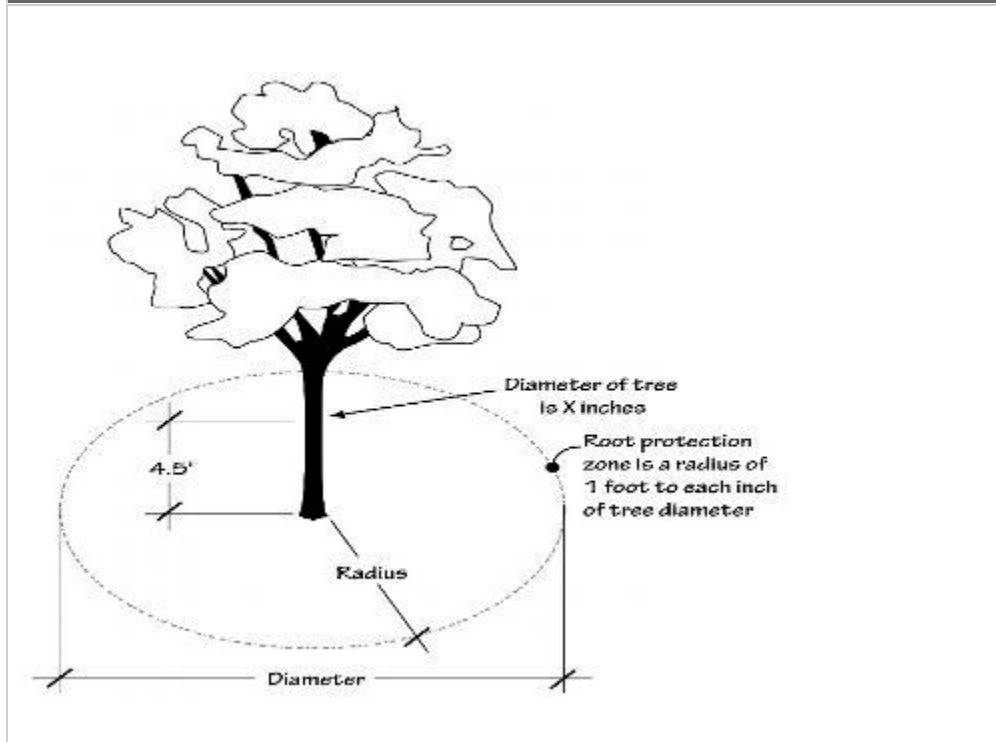
1. Clear & Objective Path.

a. A root protection zone is established as follows:

- (1) For trees on the development site - a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter (see Figure 80-2)

**Figure 80-2**

**Root Protection Zone**



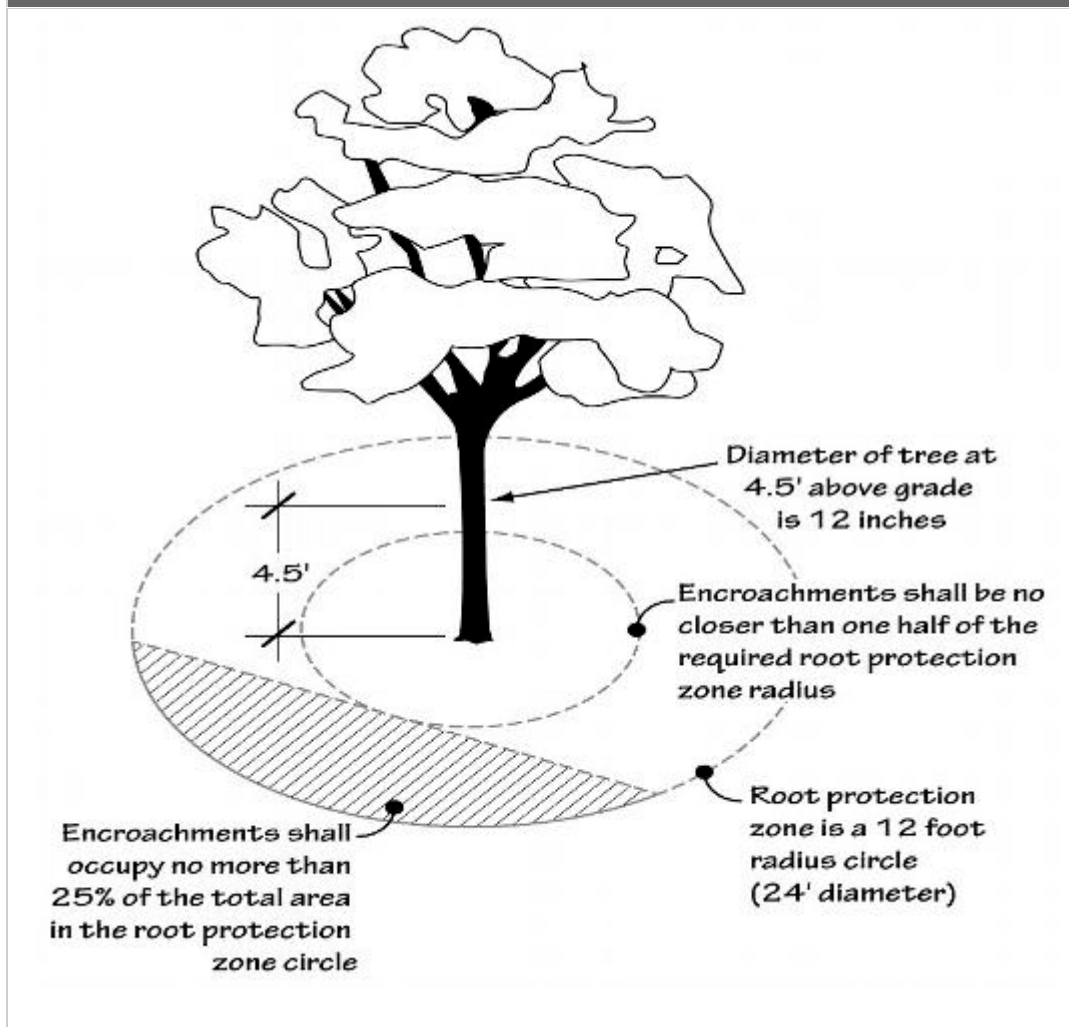
(3) Existing encroachments into the root protection zone, including structures, paved surfaces and utilities, may remain. New encroachments into the root protection zone are allowed provided:

- (a) the area of all new encroachments is less than 25 percent of the remaining root protection zone area when existing encroachments are subtracted; and
- (b) no new encroachment is closer than 1/2 the required radius distance (see Figure 60-1);



Figure 60-1

Permissible RPZ Encroachments



b. Protection fencing

(1) Protection fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 8-foot metal posts shall be established at the edge of the root protection zone and permissible encroachment area on the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

(2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

e. The following is prohibited within the root protection zone of each tree or outside the limits of the development impact area: ground disturbance or construction activity including vehicle or equipment access (but excluding access on existing streets or driveways), storage of

equipment or materials including soil, temporary or permanent stockpiling, proposed buildings, impervious surfaces, underground utilities, excavation or fill, trenching or other work activities; and

f. The fence shall be installed before any ground disturbing activities including clearing and grading, or construction starts; and shall remain in place until final inspection by Planning Division staff.

2. Arborist's Discretion. When the prescriptive path is not practicable, the applicant may propose alternative measures to modify the clear and objective root protection zone (RPZ), provided the following standards are met:

a. The alternative RPZ is prepared by an arborist who has visited the site and examined the specific tree's size, location, and extent of root cover, evaluated the tree's tolerance to construction impact based on its species and health, identified any past impacts that have occurred within the root zone, and forwarded a report through the developer to Planning Division staff;

b. The arborist has prepared a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site visit described above;

d. If the alternative methods require the arborist be on site during construction activity, the applicant shall submit a copy of the contract for those services prior to permit issuance and a final report from the arborist documenting the inspections and verifying the viability of the tree(s) prior to final inspection by the Planning Division;

e. If the alternative tree protection method involves alternative construction techniques, an explanation of the techniques and materials used shall be submitted;

f. The arborist shall sign the tree preservation and protection plan and include contact information.

D. Changes to tree protection. Changes to the tree protection measures during the course of the development may be approved as a revision to a permit provided that the change is not the result of an unauthorized encroachment into a root protection zone (RPZ), and the applicant demonstrates that the tree protection standards of this Section continue to be met. When an unauthorized encroachment has occurred, the City may pursue an enforcement action or other remedy.



# PROJECT INFORMATION

**PROJECT DESCRIPTION:**

PROPOSED TWO STORY QUADPLEX APARTMENT BUILDING SITED BEHEND AN EXISTING DUPLEX TO REMAIN. LOT SIZE IS 12,747 SQUARE FEET.

**ADDRESS:**

1123 N 3RD STREET  
WOODBURN, OREGON 97071

# CONTACT INFORMATION

**APPLICANT:**

ATLAS MANAGEMENT, LLC  
JACKSON BUSINESS CENTER  
07800 SW DURHAM RD, SUITE 300, PORTLAND, OR 97111  
ANDY LABUNSKY, PRESIDENT / 971.801.3765

**ARCHITECT:**

MOORE ARCHITECTURE & DESIGN LLC  
2327 SW MARKET STREET DRIVE, PORTLAND, OR 97201  
LINDA CAMERON, AIA , LEED BD+C / 503.784.5070

**STRUCTURAL:**

TM RIPPEY CONSULTING ENGINEERS  
7650 BEVELAND STREET, STE 100, TIGARD, OR 97223  
JOSH HENRY, PE / 503.443.3900

**CIVIL:**

LEI ENGINEERING & SURVEYING OF OREGON  
2564 19TH SE, SALEM, OREGON 97302  
JAMIE VANAGTMAEL, PLS / 503.399.3828 EXT.104

# DRAWING INDEX

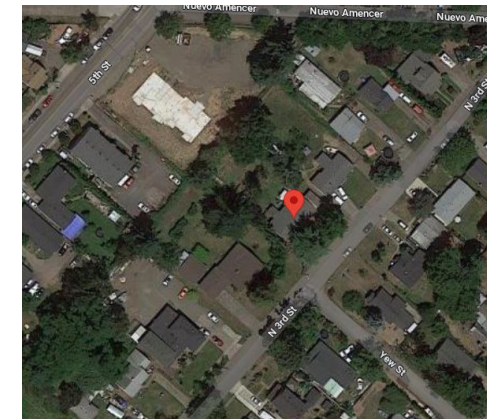
**SHEET #:**      **SHEET TITLE**

**ARCH:**

- LU-0 COVER SHEET
- LU-1 ARCHITECTURAL SITE PLAN
- LU-2 BUILDING ELEVATIONS
- LU-3 BUILDING ELEVATION
- LU-4 PERSPECTIVES

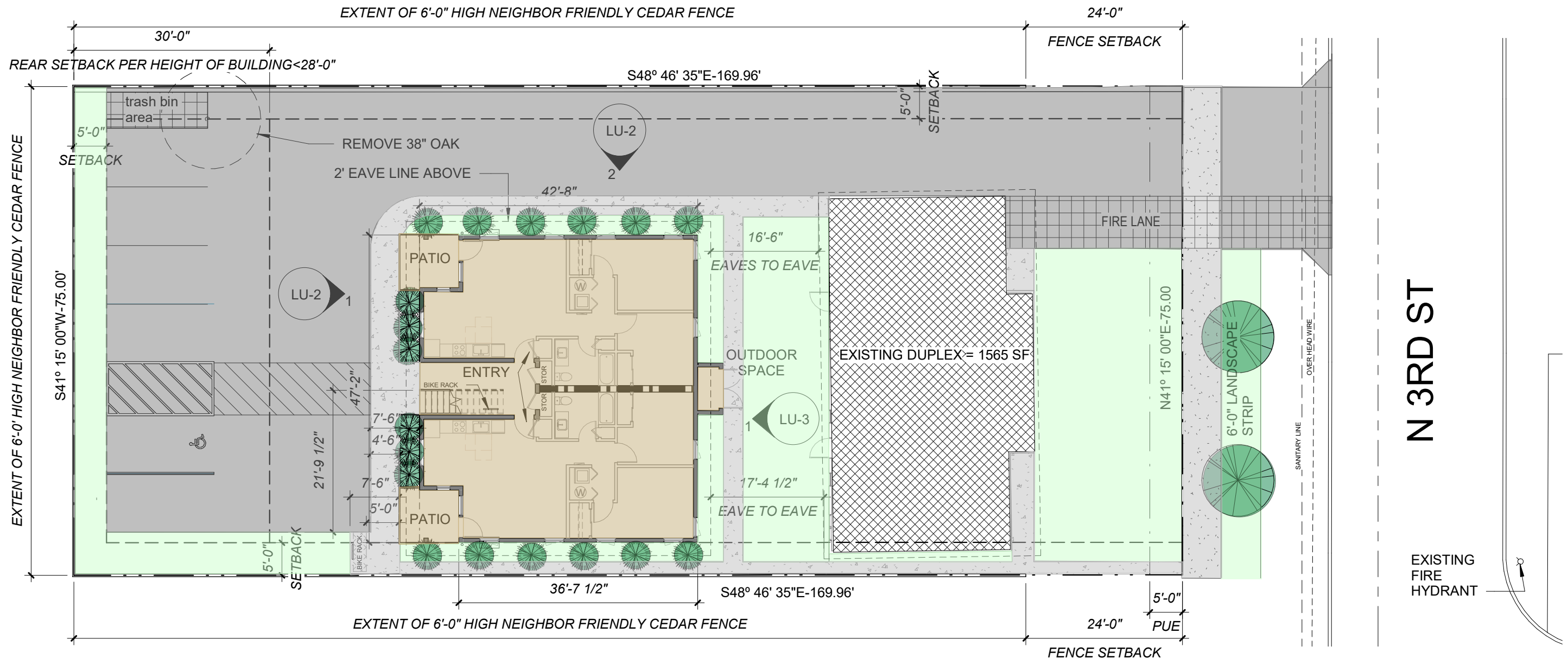
**CIVIL:**

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE PLAN
- 4 COMPOSITE UTILITY PLAN
- 5 GRADING PLAN
- 6 FIRE ACCESS PLAN



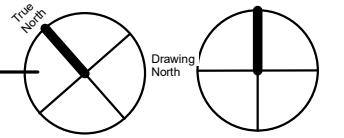
## VICINITY MAP - NTS

ATTACHMENT 106

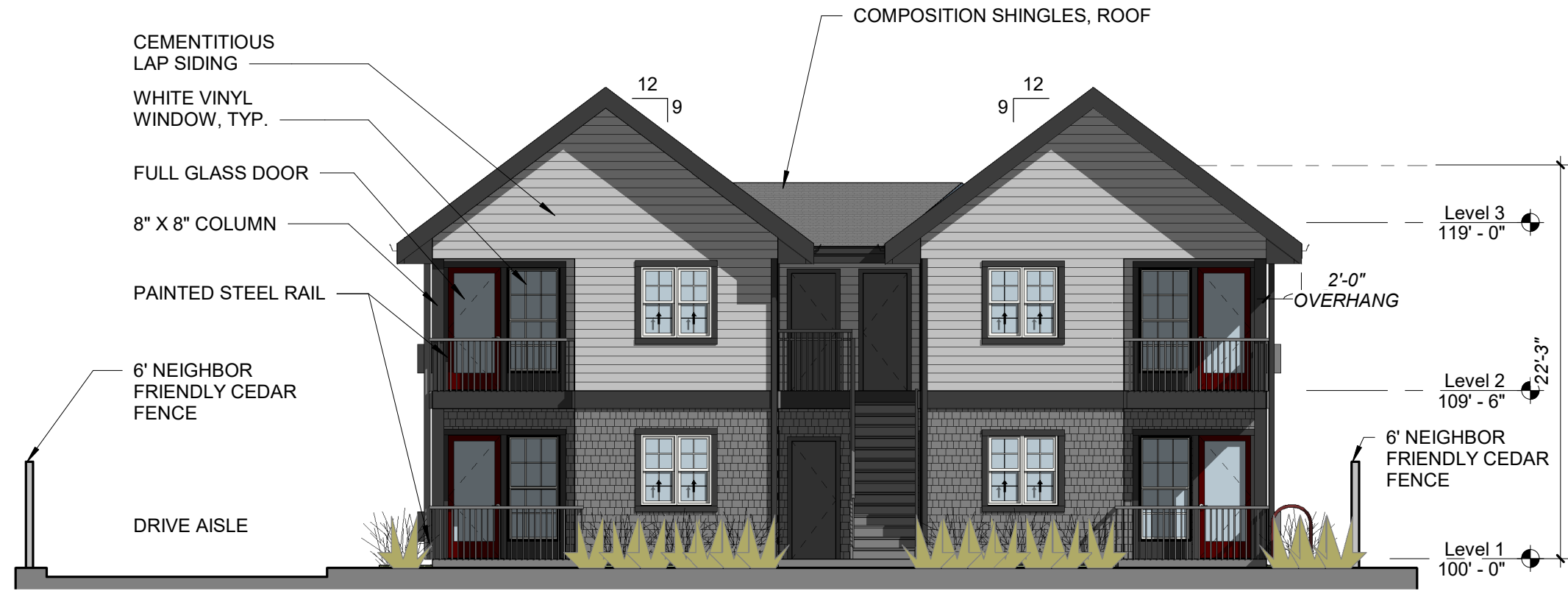


**SITE PLAN**

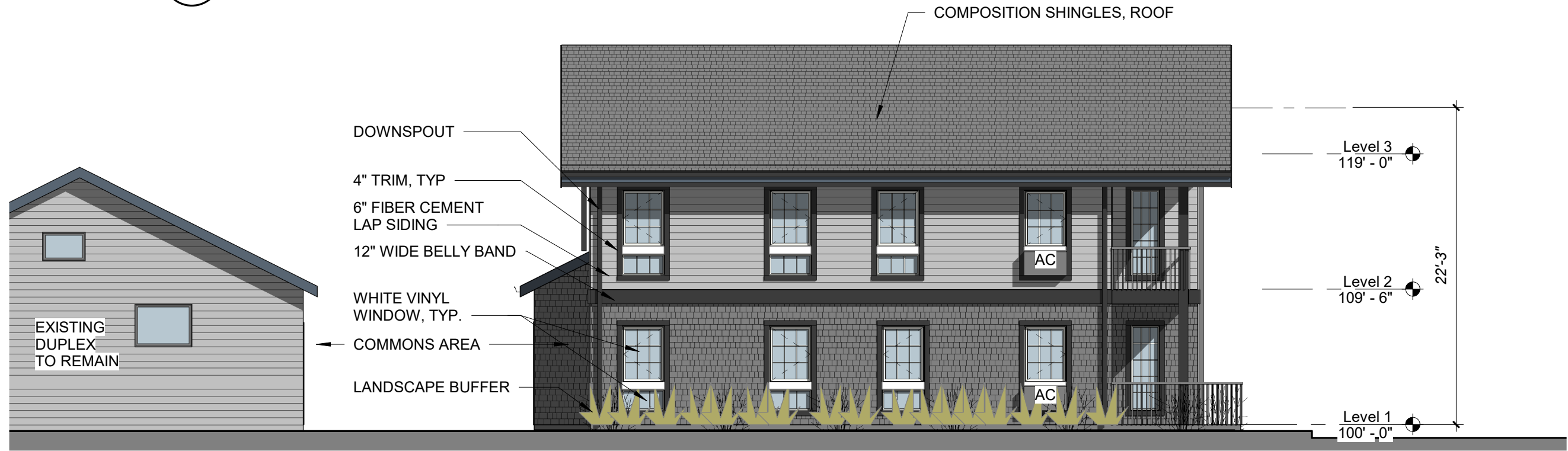
1/16" = 1'-0"



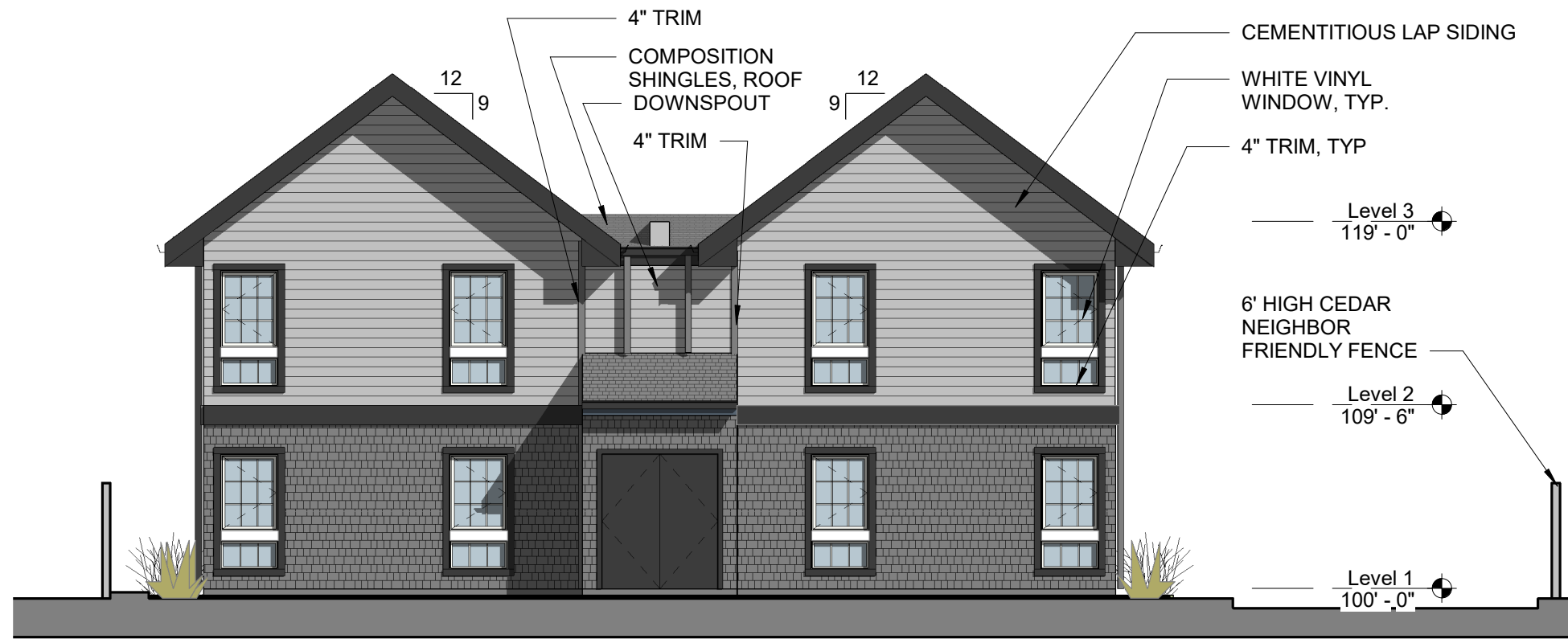
**NOTE:** APARTMENT LAYOUT ON LEVEL 2 IS THE SAME AS LEVEL 1



**1 North Elevation**  
1/8" = 1'-0"



**2 East Elevation** (WEST ELEVATION MIRRORED OPPOSITE)  
1/8" = 1'-0"



1 South Elevation  
 1/8" = 1'-0"



Northeast Corner

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Southeast Corner

---



Northwest Corner

---

# 3RD STREET MULTI-FAMILY

ASSESSOR'S MAP 05 1W 07DB TAX LOT 04400  
MARION COUNTY, WOODBURN, OREGON

PRELIMINARY

EXPIRES 6-30-2024

| NO. | DATE | BY | REVISION |
|-----|------|----|----------|
|     |      |    |          |
|     |      |    |          |
|     |      |    |          |
|     |      |    |          |

| EXISTING                |  | PROPOSED |                             |
|-------------------------|--|----------|-----------------------------|
| DECIDUOUS TREE          |  |          | STORM SEWER CLEANOUT        |
| CONIFEROUS TREE         |  |          | STORM SEWER CATCH BASIN     |
| FIRE HYDRANT            |  |          | STORM SEWER MANHOLE         |
| WATER BLOWOFF           |  |          | GAS METER                   |
| WATER METER             |  |          | GAS VALVE                   |
| WATER VALVE             |  |          | GUY WIRE ANCHOR             |
| DOUBLE CHECK VALVE      |  |          | POWER POLE                  |
| AIR RELEASE VALVE       |  |          | POWER VAULT                 |
| SANITARY SEWER CLEANOUT |  |          | POWER JUNCTION BOX          |
| SANITARY SEWER MANHOLE  |  |          | POWER PEDESTAL              |
| SIGN                    |  |          | COMMUNICATIONS VAULT        |
| STREET LIGHT            |  |          | COMMUNICATIONS JUNCTION BOX |
| MAILBOX                 |  |          |                             |
| RIGHT OF WAY LINE       |  |          |                             |
| BOUNDARY LINE           |  |          |                             |
| PROPERTY LINE           |  |          |                             |
| CENTERLINE              |  |          |                             |
| DITCH                   |  |          |                             |
| CURB                    |  |          |                             |
| EDGE OF PAVEMENT        |  |          |                             |
| EASEMENT                |  |          |                             |
| FENCE LINE              |  |          |                             |
| GRAVEL EDGE             |  |          |                             |
| POWER LINE              |  |          |                             |
| OVERHEAD WIRE           |  |          |                             |
| COMMUNICATIONS LINE     |  |          |                             |
| FIBER OPTIC LINE        |  |          |                             |
| GAS LINE                |  |          |                             |
| STORM SEWER LINE        |  |          |                             |
| SANITARY SEWER LINE     |  |          |                             |
| WATER LINE              |  |          |                             |

LEGEND



SITE MAP SCALE: NO SCALE

**PROJECT TEAM:**

**OWNER/APPLICANT:**  
ATLAS MANAGEMENT  
7800 SW DURHAM RD, SUITE 300  
PORTLAND, OREGON 97224

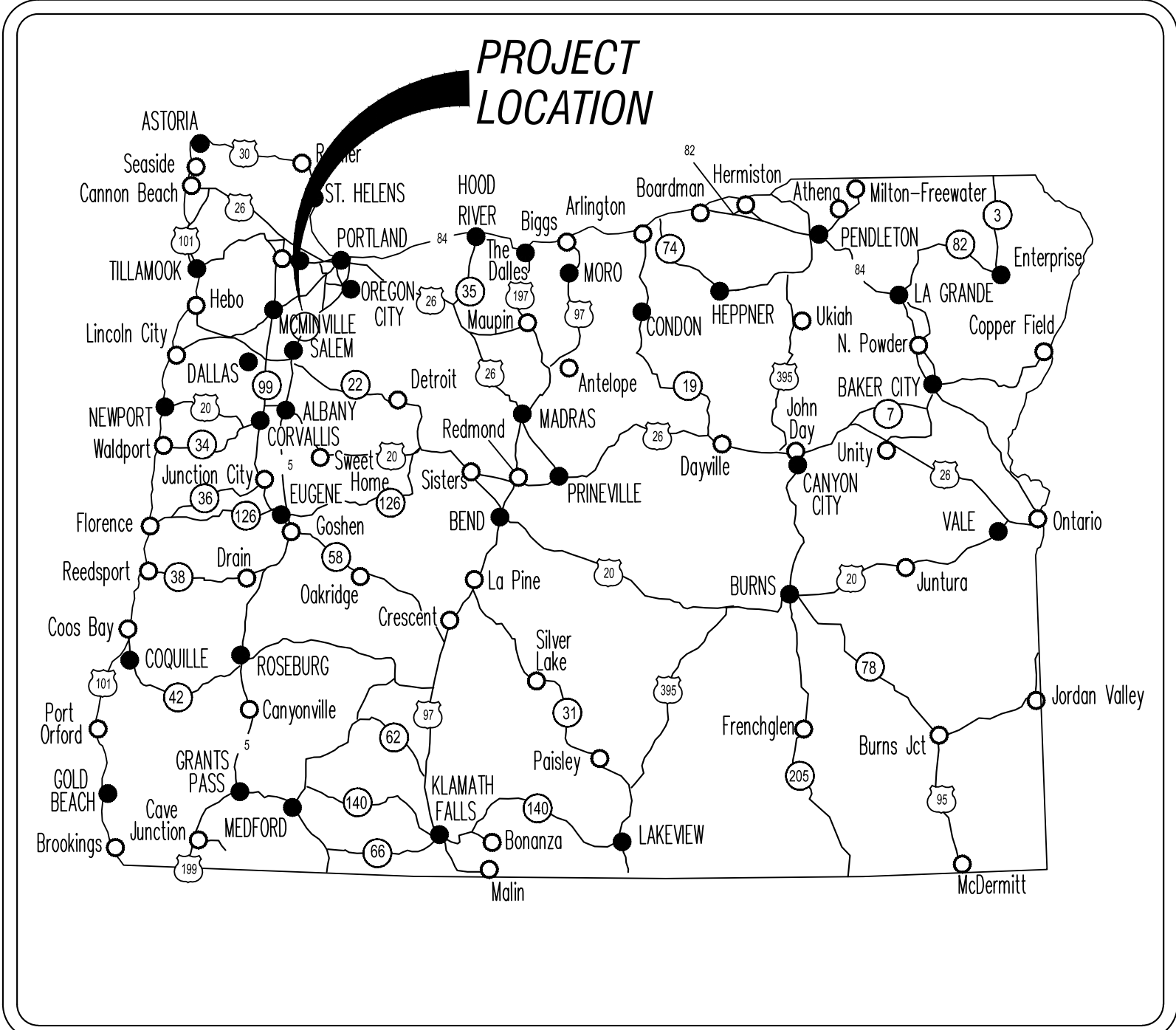
**ENGINEER:**  
GREG J. ZARTMAN, PE  
LEI ENGINEERING & SURVEYING  
OF OREGON, LLC  
2564 19TH ST. SE  
SALEM, OREGON 97302

**SURVEYOR:**  
LARRY M. ALLEN, PLS  
LEI ENGINEERING & SURVEYING  
OF OREGON, LLC  
2564 19TH ST. SE  
SALEM, OREGON 97302

**ARCHITECT:**  
MOORE ARCHITECTURE + DESIGN, LLC  
2327 SW MARKET ST DR  
PORTLAND, OR 97201

**PROPERTY DESCRIPTION:**  
TAX LOT 04400, MARION COUNTY TAX  
MAP 05 1W 07DB. LOCATED IN SE 1/4  
OF SECTION 7, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, WILLAMETTE  
MERIDIAN, MARION COUNTY, OREGON.

**BENCHMARK:**  
VERTICAL AND HORIZONTAL DATUM:  
LOCAL ASSUMED.



VICINITY MAP

| SHEET # | SHEET TITLE            |
|---------|------------------------|
| 1       | COVER SHEET            |
| 2       | EXISTING CONDITIONS    |
| 3       | SITE PLAN              |
| 4       | COMPOSITE UTILITY PLAN |
| 5       | GRADING PLAN           |
| 6       | FIRE ACCESS PLAN       |

3RD STREET MUTLI-FAMILY

ATLAS MANAGEMENT

2564 19TH STREET SE  
SALEM, OREGON 97302  
(503) 399-3828  
www.leiengineering.com

**LEI ENGINEERING & SURVEYING**  
OF OREGON

COVER SHEET

|             |          |
|-------------|----------|
| SCALE       | NO SCALE |
| PROJECT NO. | 68-01    |
| TOTAL SHEET | 6        |
|             | 1        |

C:\PROJECTS\68-01\68-01.dwg  
 6/21/2024 10:00 AM  
 LAYOUT  
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 6/21/2024 10:00 AM  
 LAYOUT  
 C:\PROJECTS\68-01\68-01.dwg  
 6/21/2024 10:00 AM  
 LAYOUT

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| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
|     |      |          |    |
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3RD STREET MULTI-FAMILY

PREPARED FOR:  
ATLAS MANAGEMENT

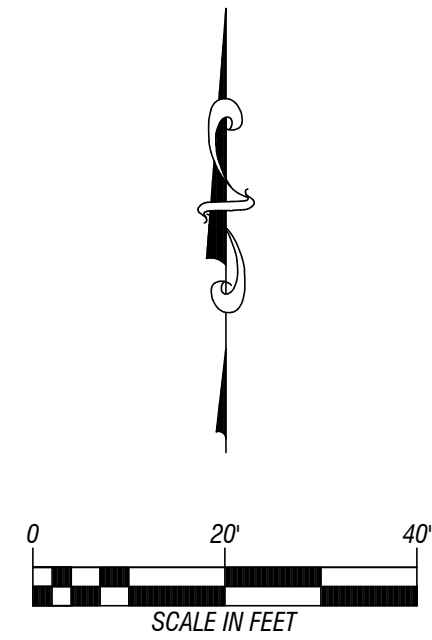
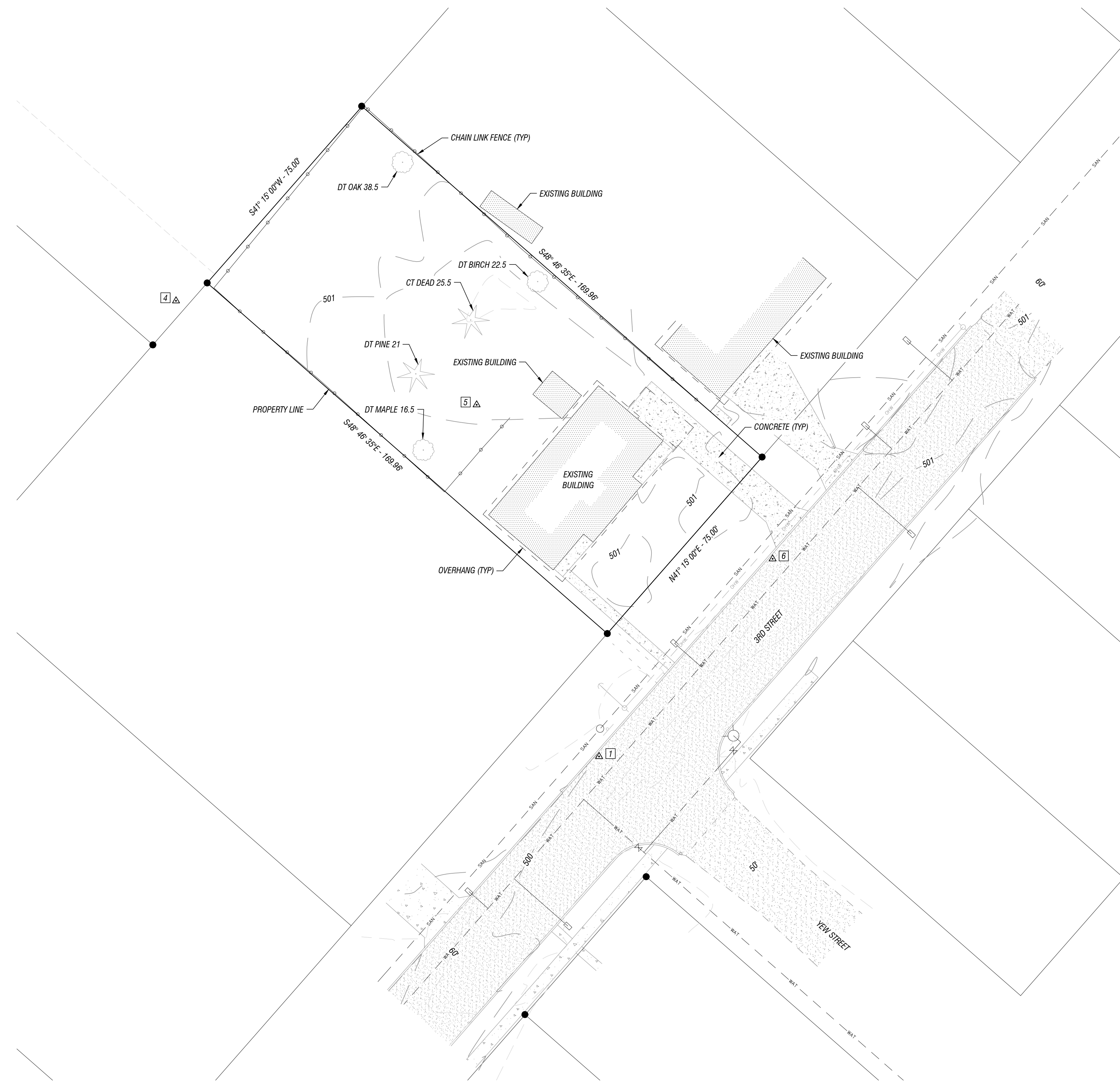
2564 19TH STREET SE  
Salem, Oregon 97302  
(503) 999-3828  
www.leiengineering.com

LEI ENGINEERING & SURVEYING OF OREGON

EXISTING CONDITIONS

|             |          |
|-------------|----------|
| SCALE       | 1" = 20' |
| PROJECT NO. | 68-01    |
| TOTAL SHEET | 2        |
|             | 6        |

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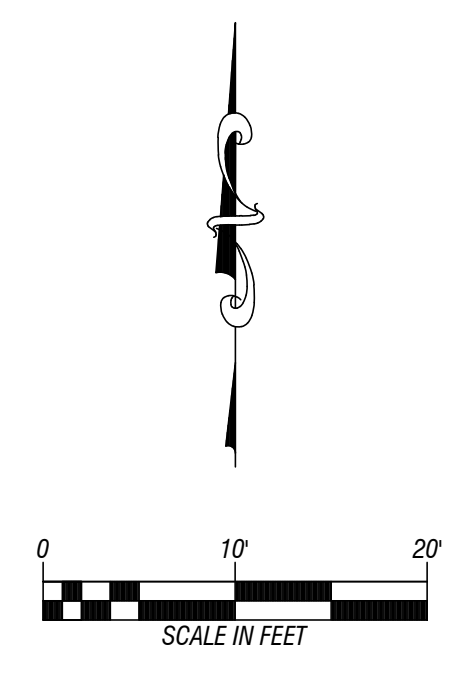
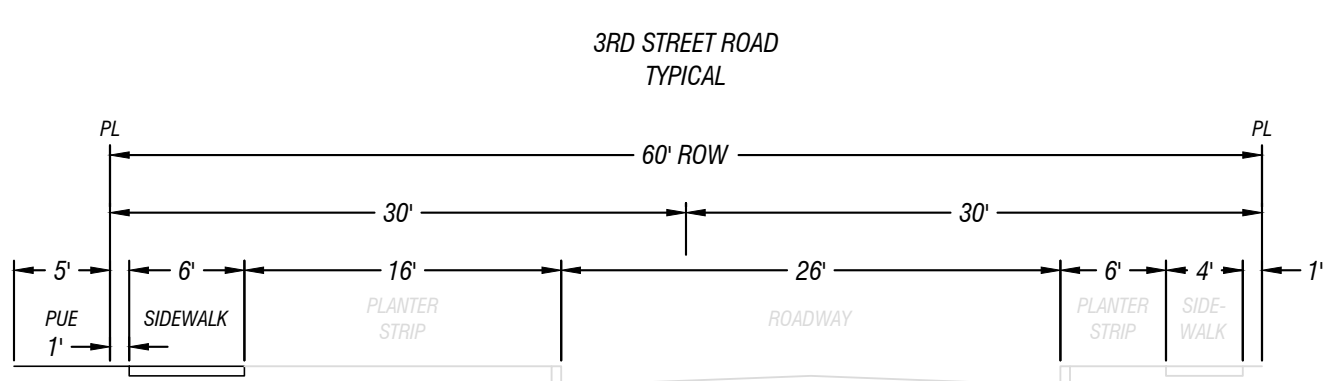
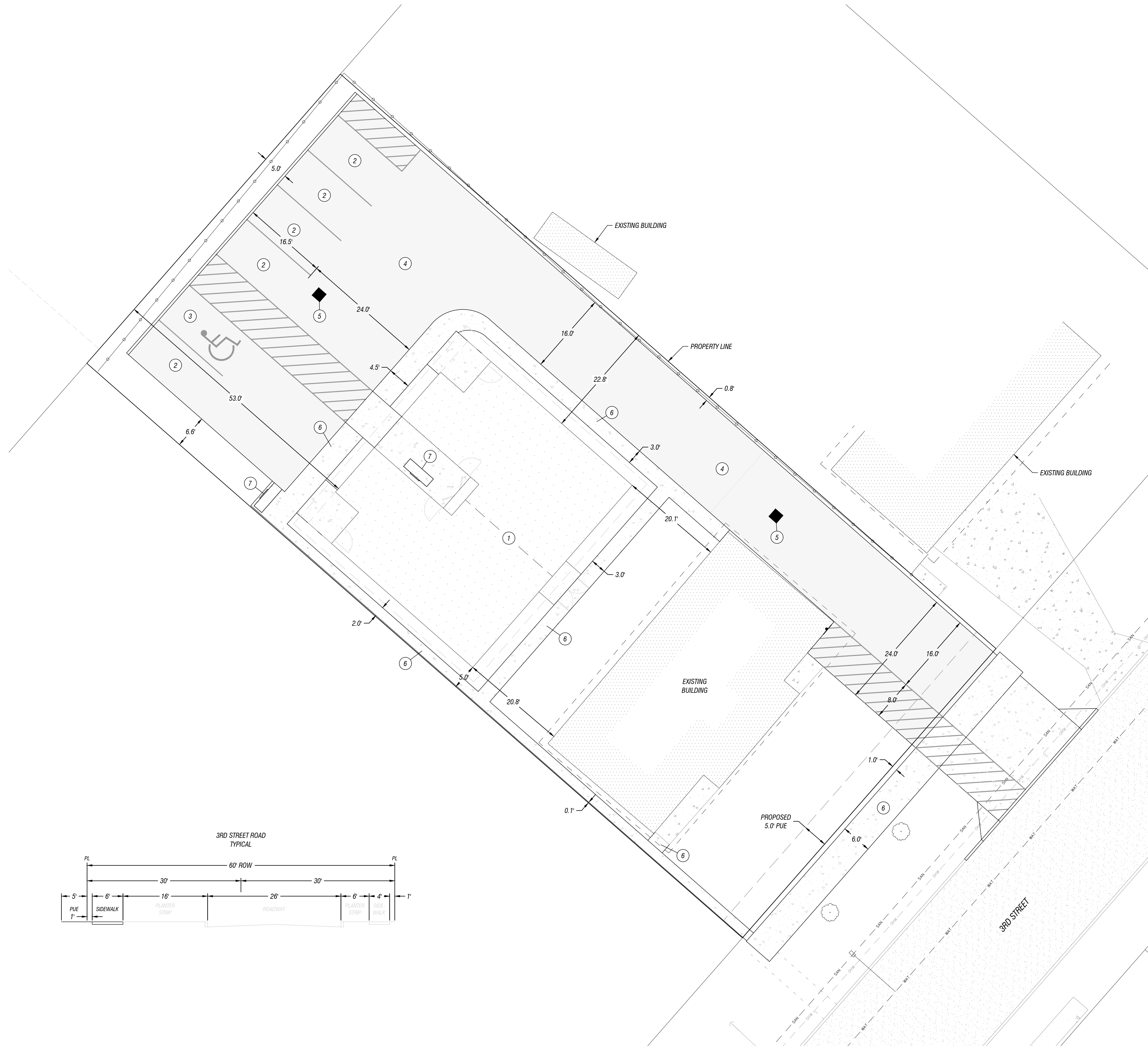
| # | NORTHING  | EASTING    | ELEVATION | DESCRIPTION   |
|---|-----------|------------|-----------|---------------|
| 1 | 9825.2801 | 9953.4696  | 500.00    | PK IN ASPHALT |
| 2 | 9607.9457 | 9763.1546  | 493.19    | PK IN ASPHALT |
| 4 | 9970.8472 | 9818.2927  | 501.62    | HUB AND TACK  |
| 5 | 9937.6324 | 9914.3379  | 501.08    | HUB AND TACK  |
| 6 | 9888.4210 | 10008.8970 | 500.53    | PK IN ASPHALT |

GENERAL NOTES:

- THE LOCATION OF THE UTILITIES, SHOWN HEREON, ARE DETERMINED BY ABOVE GROUND EVIDENCE AND ILLUSTRATED WITH HELP FROM CITY MAPS, IS APPROXIMATE. NO AS-BUILT SURVEYS HAVE BEEN PROVIDED OR REVIEWED AT THIS TIME. LEI MAKES NO WARRANTIES TO THE LOCATION OF THE UTILITIES. THE CONTRACTOR SHALL CALL FOR PRIVATE UTILITY LOCATES AND FIELD VERIFY ALL UTILITIES BEFORE CONSTRUCTION ACTIVITIES.
- THE BOUNDARY SHOWN ON THIS MAP IS FOR ENGINEERING PURPOSES ONLY. NO MONUMENTATION SHALL BE SET AND THIS MAP SHALL NOT BE FILED WITH THE COUNTY AS RECORD.

LEGEND:

- FOUND MONUMENT
- △ CONTROL POINT, REFERENCE SITE CONTROL TABLE FOR DESCRIPTIONS.
- TREE NOTATION:  
DT/CT - SPECIES - DIAMETER AT BREAST HEIGHT  
DT = DECIDUOUS CT = CONIFEROUS



- CONSTRUCTION NOTES:**
- ① PROPOSED FOURPLEX BUILDING
  - ② PROPOSED STANDARD PARKING STALLS, TYP. DIM. 9' X 16.5'
  - ③ PROPOSED ADA PARKING STALL, TYP. 9' X 16.5'
  - ④ PROPOSED ASPHALT DRIVEWAY
  - ⑤ PROPOSED CATCH BASIN LOCATION, TYP.
  - ⑥ PROPOSED SIDEWALK
  - ⑦ PROPOSED BIKE RACK
- NOTES:**
- REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS PERTAINING TO SITE LAYOUT.

**PRELIMINARY**

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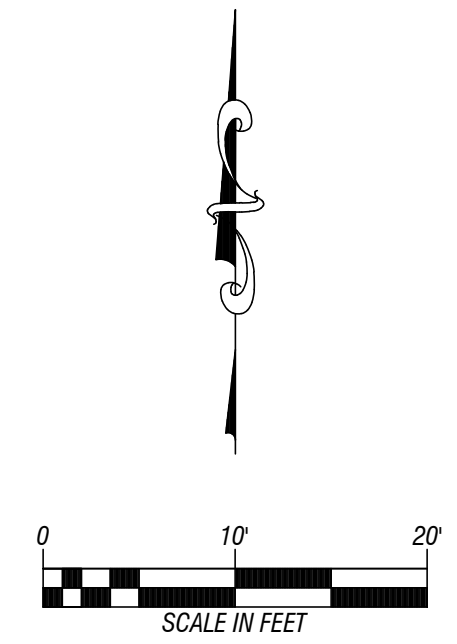
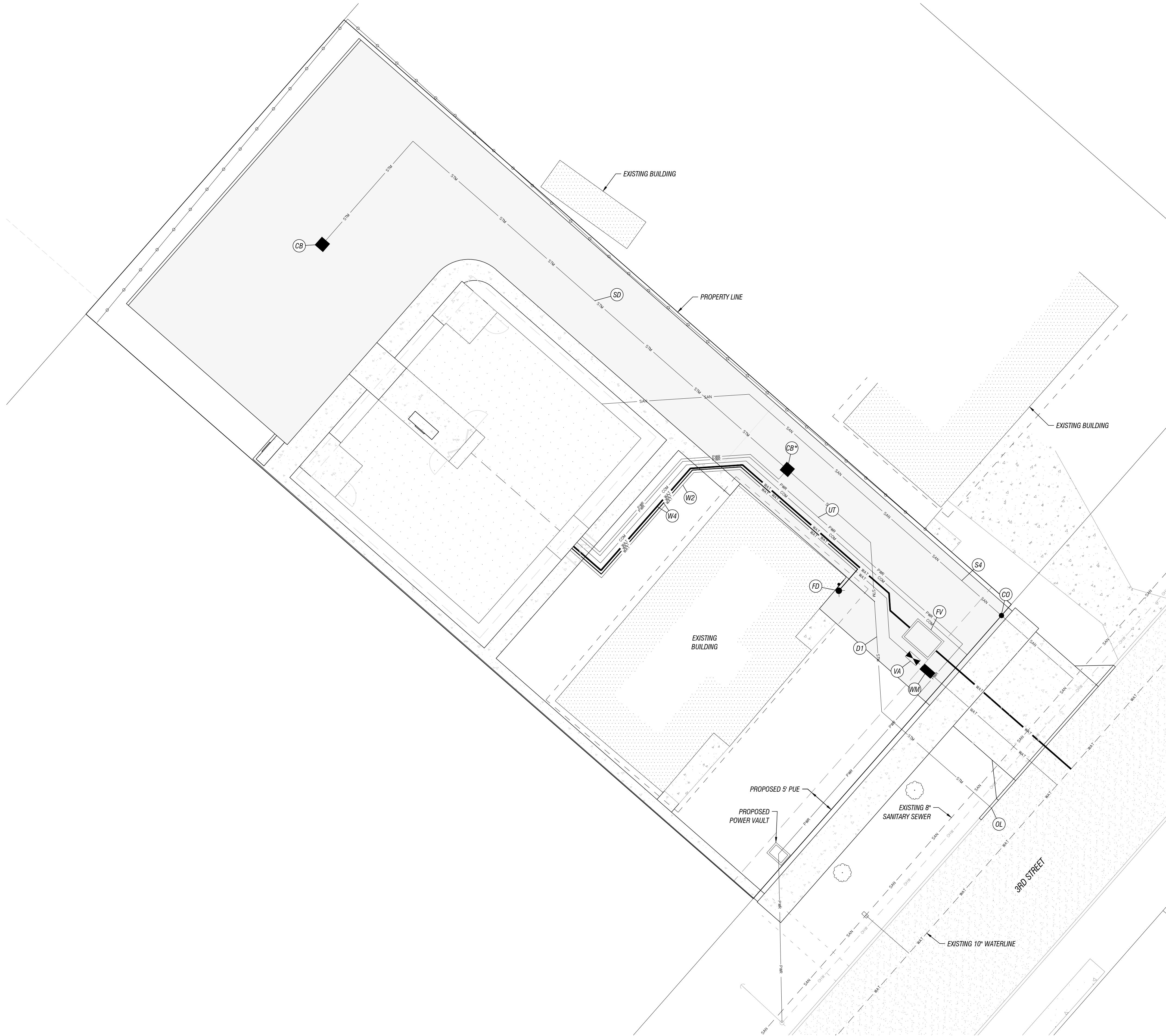
PREPARED FOR:  
**ATLAS MANAGEMENT**  
**3RD STREET MUTLI-FAMILY**

2554 19TH STREET SE  
 Salem, Oregon 97302  
 (503) 399-3828  
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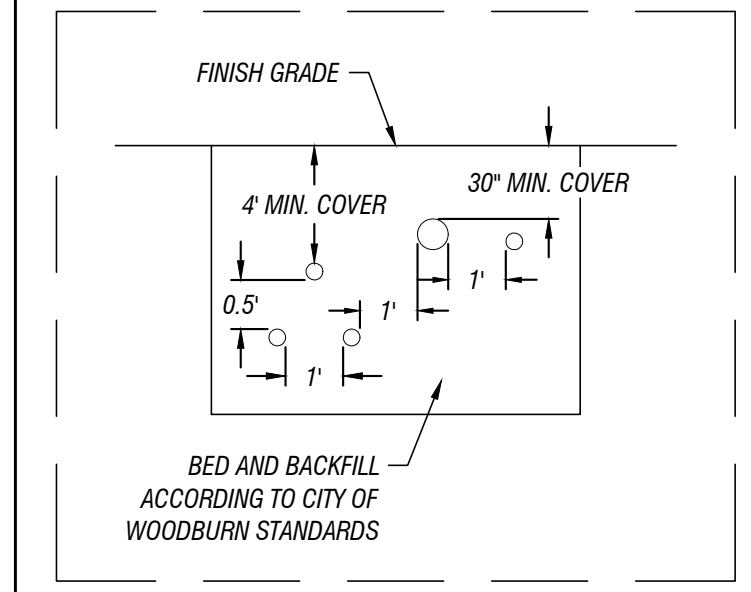
**LEI ENGINEERING & SURVEYING OF OREGON**

|                   |   |
|-------------------|---|
| SITE PLAN         |   |
| SCALE: 1" = 30'   | 3 |
| PROJECT NO. 68-01 |   |
| TOTAL SHEET 6     |   |

LEI ENGINEERING & SURVEYING OF OREGON, INC. 2554 19TH STREET SE, SEASIDE, OREGON 97132  
 PROJECT NO. 68-01  
 DATE: 05/23/24  
 DRAWN BY: J. W. ARIZONA  
 CHECKED BY: C. PETERSON  
 APPROVED BY: C. PETERSON



- CONSTRUCTION NOTES:**
- (S4) **SANITARY SEWER NOTES:**  
CONTRACTOR SHALL INSTALL 4" 3034 PVC SDR-35, AS SHOWN. BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
  - (CO) CONTRACTOR SHALL INSTALL CLEANOUT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 6200-1.
  - (SD) **STORMWATER NOTES:**  
CONTRACTOR SHALL INSTALL 12" ADS N-12 PIPE, AS SHOWN, BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
  - (CB) CONTRACTOR SHALL INSTALL STEEL CATCH BASIN, AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS.
  - (CB\*) CONTRACTOR SHALL INSTALL STEEL CATCH BASIN WITH A SUBMERSIBLE RAINWATER PUMP, AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS.
  - (D1) CONTRACTOR SHALL INSTALL 1" FLEXIBLE PVC, AS SHOWN, BACKFILL IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
  - (OL) CONTRACTOR SHALL INSTALL STORM WATER CURB OUTLET, AS SHOWN.
  - (WM) **WATERLINE NOTES:**  
CONTRACTOR SHALL INSTALL 2" WATER METER, AS SHOWN, IN ACCORDANCE WITH CITY OF WOODBURN AND BACKFILL AND BED IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
  - (FV) CONTRACTOR SHALL INSTALL FIRE VAULT, AS SHOWN, PURSUANT TO CITY OF WOODBURN DETAIL 5070-2.
  - (W2) CONTRACTORS SHALL INSTALL 2" DOMESTIC DUCTILE IRON PIPE, AS SHOWN, BACKFILL AND BED IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
  - (W4) CONTRACTOR SHALL INSTALL 4" FIRE SERVICE AND FDC LINE DUCTILE IRON PIPE, AS SHOWN, BACKFILL AND BED IN ACCORDANCE WITH CITY OF WOODBURN DETAIL 3800-1.
  - (FD) CONTRACTOR SHALL INSTALL FDC (FIRE DEPARTMENT CONNECTION), AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS.
  - (VA) CONTRACTOR SHALL INSTALL DOUBLE CHECK VALVE ASSEMBLY, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARDS.
  - (UT) **GENERAL NOTES:**  
CONTRACTOR SHALL INSTALL NATURAL GAS, COMMUNICATION/ FIBER, AND POWER LINES IN COMMON UTILITY TRENCH.



**PRELIMINARY**  
 EXPIRES 6-30-2024  
 REVISION  
 DATE  
 NO.

PREPARED FOR:  
**ATLAS MANAGEMENT**  
**3RD STREET MUTLI-FAMILY**

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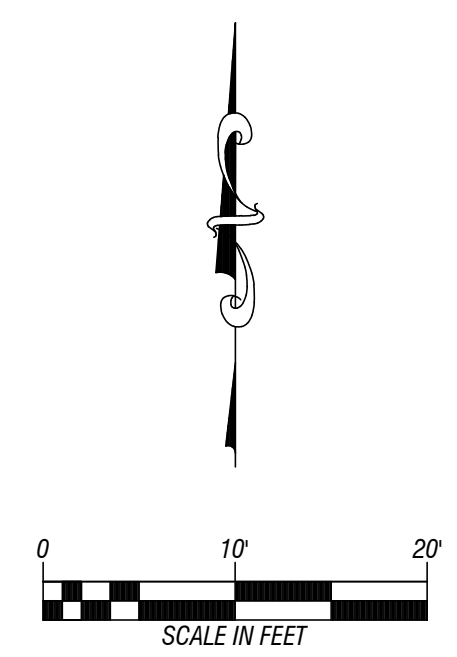
|                        |   |
|------------------------|---|
| COMPOSITE UTILITY PLAN |   |
| SCALE: 1" = 30'        | 4 |
| PROJECT NO. 68-01      |   |
| TOTAL SHEET 6          |   |

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68-01-05 GRADING PLAN 3RD STREET MUTLI-FAMILY PROJECT NO. 68-01 PREPARED FOR ATLAS MANAGEMENT 2564 19TH STREET SE SEASIDE, OREGON 97132



- CONSTRUCTION NOTES:**
- XXX.XX (CONC) PROPOSED SPOT ELEVATION  
XXX.X EX EXISTING GROUND SPOT ELEVATION  
 AC = ASPHALT CONCRETE  
 BOW = FRONT OF WALK  
 FF = FINISH FLOOR ELEVATION  
 RIM = RIM ELEVATION
  - X.XX% PROPOSED PERCENT SLOPE
  - AC CONTRACTOR SHALL CONSTRUCT TYPICAL ASPHALT SECTION, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARDS.
  - CB CONTRACTOR SHALL INSTALL STEEL CATCH BASIN, AS SHOWN, PURSUANT TO MANUFACTURERS SPECIFICATIONS. REFERENCE STORM SHEETS FOR PIPING INFORMATION.
  - CS CONTRACTOR SHALL CONSTRUCT 4" TYPE "C" CURB, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4100-2.
  - GB CONTRACTOR SHALL SET GRADE BREAK, AS SHOWN.
  - SW CONTRACTOR SHALL CONSTRUCT STANDARD SIDEWALK, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-8.
  - DA CONTRACTOR SHALL CONSTRUCT DRIVEWAY APPROACH, AS SHOWN, PURSUANT TO CITY OF WOODBURN STANDARD DETAIL NO. 4150-1.



**PRELIMINARY**

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| NO. | DATE | REVISION | BY | APPROVED |
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PREPARED FOR: **ATLAS MANAGEMENT**  
**3RD STREET MUTLI-FAMILY**  
 EXPIRES 6-30-2024

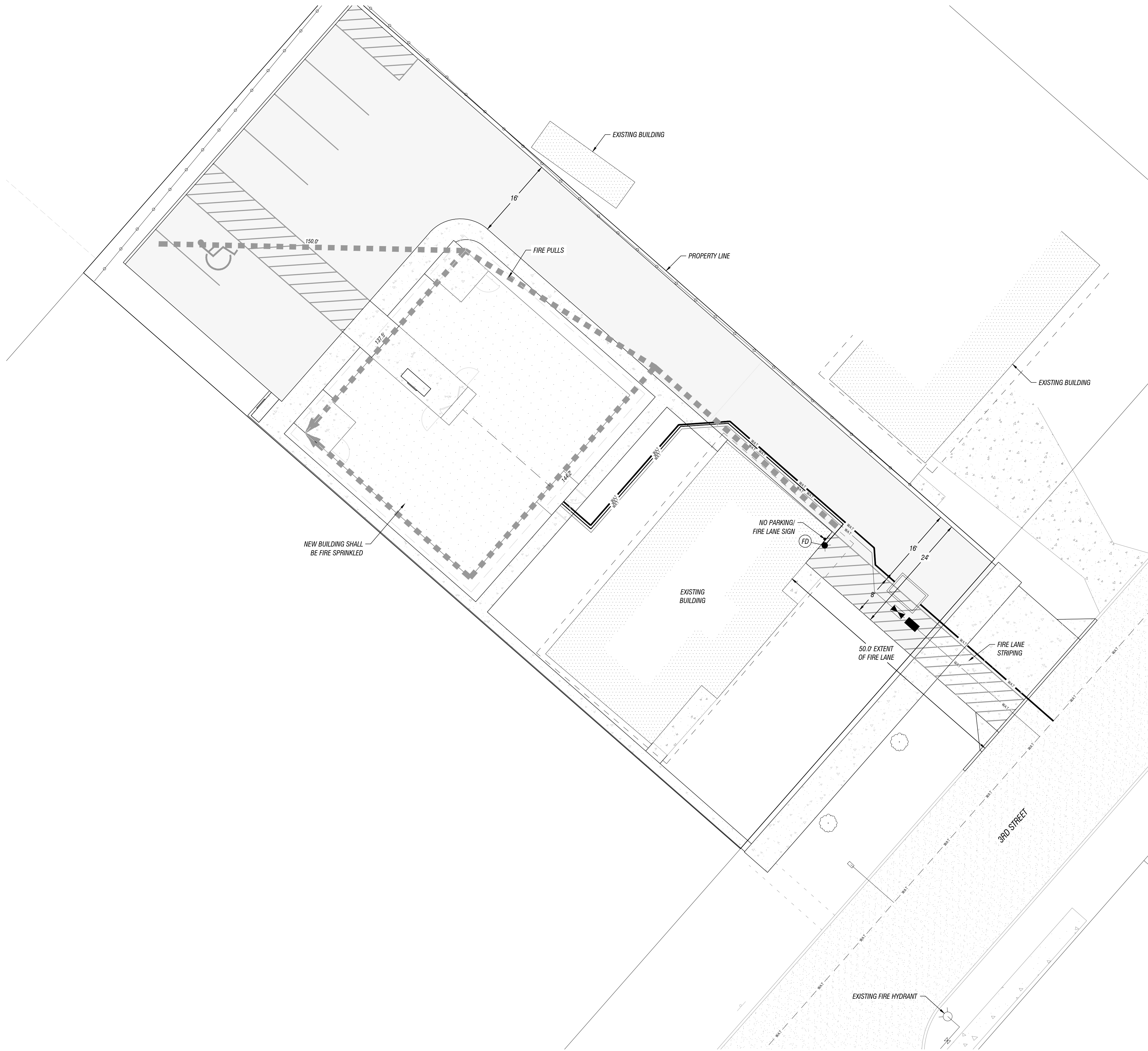
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**OF OREGON**

|             |          |
|-------------|----------|
| SCALE       | 1" = 10' |
| PROJECT NO. | 68-01    |
| TOTAL SHEET | 5        |
|             | 6        |

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C:\PROJECTS\68-01\68-01.dwg    25.05.2024 8:11:24    C:\PROGRAMS\AUTOCAD    C:\PROGRAMS\CHECKLIST    J. W. ABRAHAM    J. W. ABRAHAM    C. PERSSON

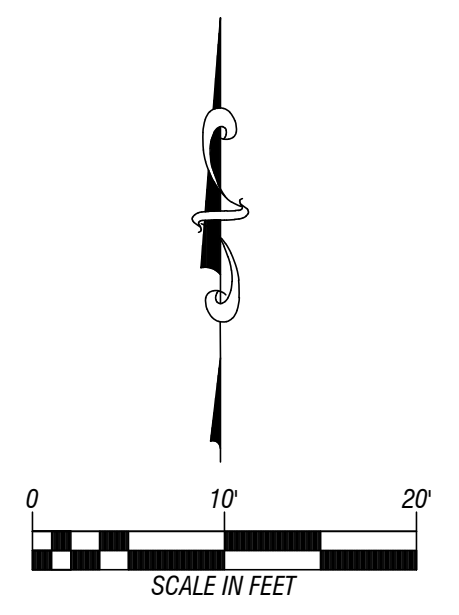


**NOTES:**

(FD) FIRE DEPARTMENT CONNECTION

**GENERAL NOTES:**

NO OVERHEAD HEIGHT RESTRICTIONS ARE PRESENT WITH PROPOSED FIRE ACCESS PLAN.  
 ALL FIRST FLOOR BUILDING FACES ARE LESS THAN 150' FROM THE FIRE ACCESS DRIVE AISLES.



**PRELIMINARY**

EXPIRES 6-30-2024

| NO. | DATE | REVISION | BY | APP'D |
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**3RD STREET MUTLI-FAMILY**

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**FIRE ACCESS PLAN**

|                             |   |
|-----------------------------|---|
| SCALE<br>1" = 30'           | 6 |
| PROJECT NO.<br><b>68-01</b> |   |
| TOTAL SHEET<br>6            |   |

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