



Final Decision

Planning Commission

File number(s): DR 23-09, SA 23-07, & VAR 23-07
Project name: Salud Medical Center Renovation
Date of decision: January 11, 2024
Date of mailing: January 19, 2024
Applicant: Meghan Panarella, Clark Kjos Architects
Landowner: Yakima Valley Farm Workers Clinic
Site location: 1175 Mt Hood Avenue (Tax Lot 051W08BC00800)
Decision: Approved with Conditions

Proposed Development

The subject property is 1175 Mt Hood Avenue, a 3.92-acre property in the Commercial Office (CO) zoning district. It is already developed with a medical office building occupied by Salud Medical Center.

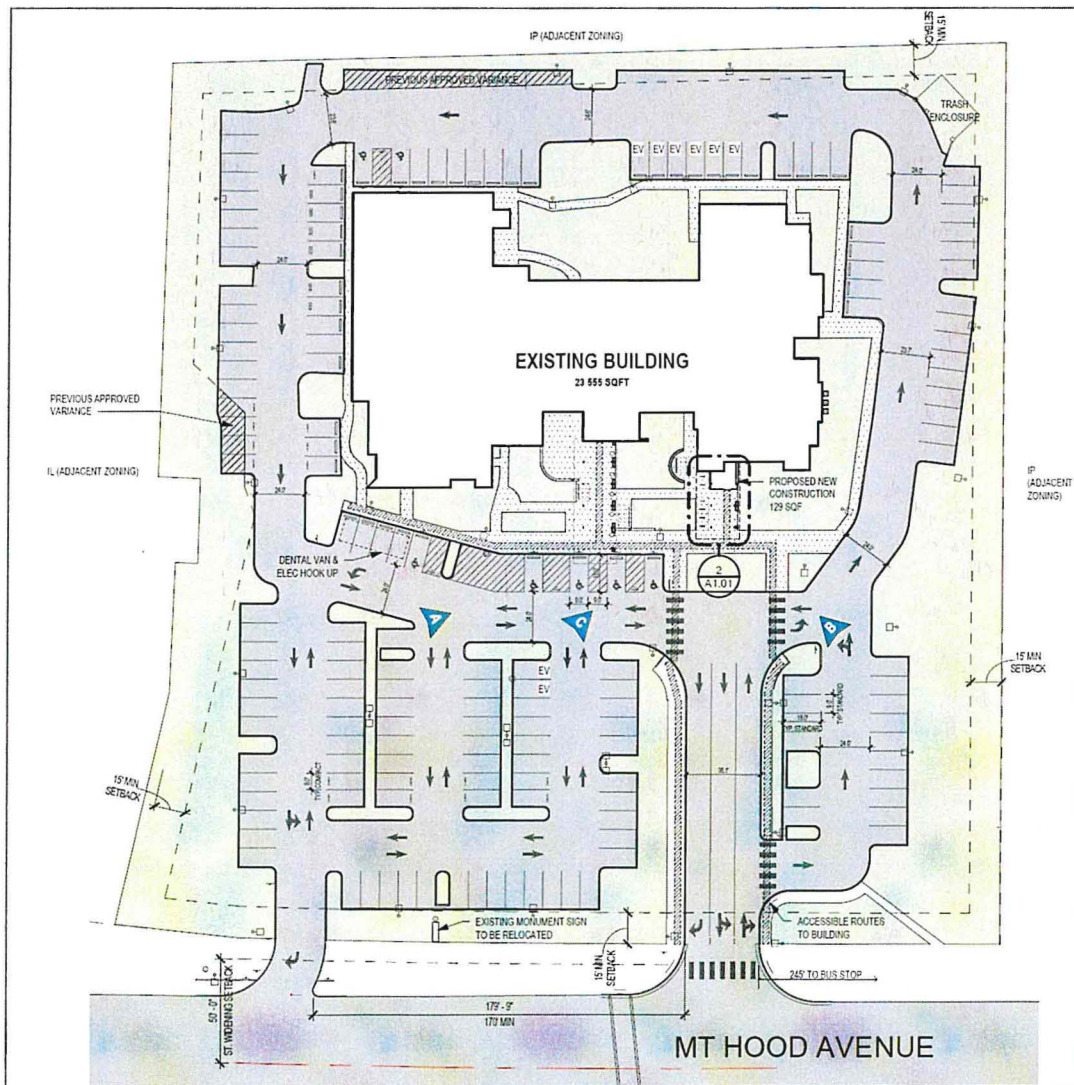
The proposal before the Planning Commission was a Design Review application to construct a 129 square foot front vestibule entryway to the pharmacy area, expand the existing parking lot to add 39 new stalls, and add a second driveway onto Mt Hood Avenue. While not relevant for the Design Review, the project also includes significant interior work to the existing building – new casework, flooring, baseboards, paint, and all new interior lighting, and several spaces will undergo layout changes that will require modifications to ceilings, structural, mechanical, and electrical components.

A Street Adjustment application was included to request a modified cross-section for Mt Hood Avenue. A Variance application was also included, with requests to not meet standards related to parking lot setback, street trees, perimeter screening, and on-site exterior lighting.

Public Hearing Summary

On January 11, 2024, the Planning Commission held a public hearing for this Type III Design Review (DR), Street Adjustment (SA), and Variance (VAR) application package. Written testimony was received by the property owner of 1055 Mt Hood Ave (Walt Griffiths, KWG Enterprises LLC, 3440 NW Covey Run Rd, Corvallis, OR 97330). Mr. Griffiths shared concerns about the applicant's Street Adjustment request, the street tree variance request, the proposed second driveway, emergency access through the site, and the perimeter screening variance request.

After closure of the record, the Commission deliberated, discussed the concerns brought up by Mr. Griffiths, and ultimately voted unanimously to approve the application package with the conditions recommended by staff in the staff report published January 4, 2024, except as modified by the staff memo dated January 9, 2024 to revise the due date of certain conditions to be prior to building permit final inspection.



Site Plan

Conditions of Approval

1. Substantial conformance: The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with this application, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.
2. Public Works conditions: The developer shall follow the attached "Public Works Conditions December 27, 2023" (Attachment 102).
3. Grading Permit: If required by 5.01.04B, the developer shall submit application for and obtain approval of a Grading Permit prior to beginning any grading or construction work on-site.
4. Fence Permit: To demonstrate conformance with 2.06.02 and 5.01.03, the developer shall submit application for and obtain approval of a Fence Permit for any new or modified fencing.
5. Mt Hood Avenue crosswalk: The developer shall re-stripe the crosswalk, install new reflective curbing along the median island, and replace any missing bollards within the median island at the Mt Hood Avenue / Park Avenue intersection. These improvements shall meet applicable ODOT standards and are due prior to building permit final inspection.
6. Transit development fee: Pursuant to 3.01.03I and 3.01.09, the developer shall pay to the City a transit development fee of \$166 per net additional parking stall to help implement TSP Project T10. Fee payment is due prior to building permit issuance.
7. Easements: The developer shall complete the following prior to building permit final inspection:
 - a. Water line: To meet 3.02.01A, grant a public utility easement over the public water line being extended through the property. Minimum width of this easement is 16 feet.
 - b. Streetside PUE: To meet 3.02.01B and Figure 3.01B, grant a 10-foot-wide public utility easement along the frontage of Mt Hood Avenue.
8. Street lighting: Pursuant to 3.02.03A, adjacent street lighting for Mt Hood Avenue shall comply with City of Woodburn and Portland General Electric (PGE) standards and specifications. The applicant shall either provide documentation to the attention of the Public Works Department indicating that existing illumination complies with the

standards or install new lighting to conform. This is due prior to building permit final inspection.

9. Underground utilities: Pursuant to 3.02.04, all utility services to and within the development shall be underground.
10. Second driveway: The following conditions apply to the proposed second driveway:
 - a. Pursuant to 3.04.01D, the developer shall obtain the necessary approvals and/or permits from the Oregon Department of Transportation for the construction of a second driveway prior to building permit issuance. Documentation of the approval shall be provided as part of the building permit application.
 - b. Pursuant to 3.04.03B3, the proposed second driveway shall function as a right-out-only driveway. The developer shall install traffic control signage and pavement striping around the driveway to appropriately communicate this to drivers. Details of signage and striping shall be provided as part of the building permit application.
 - c. The maximum width of this driveway shall not exceed 12 feet at the property line.
11. On-site crosswalks: To meet 3.04.06D, the wide walkway crossings over the drive aisle shall be made visually distinct from the asphalt pavement by either using stamped concrete or constructing a raised walkway crossing. Revise site plans to demonstrate conformance as part of the building permit application.
12. Parking: The developer shall revise plans as needed to provide the following:
 - a. All existing and proposed parking stalls shall be delineated with double parallel line striping to meet 3.05.02K and Figure 3.05C.
 - b. Pursuant to 3.05.03B, accessible parking shall be provided to meet applicable state statute and building code requirements.
 - c. Pursuant to Table 3.05C, the developer shall provide at least 5 carpool/vanpool parking stalls that meet the striping and signage requirements in 3.05.03H.
 - d. Pursuant to Table 3.05E, the developer shall provide at least 8 electric vehicle parking stalls that meet the charging level, striping, and signage requirements in 3.05.03I.
 - e. Pursuant to 3.05.03E and Table 3.05D, the developer shall provide at least 25 bicycle parking stalls that meet the facility and dimension standards in 3.05.06 and Table 3.05G.
13. Trash enclosure: To meet 3.06.05A and Table 3.06D, the existing trash enclosure must be enclosed within an architectural wall that meets the design standards outlined in 3.06.06B. Revise plans as needed to demonstrate conformance.

14. Tree preservation: To protect and preserve the existing significant trees that are noted to remain, the developer shall follow the attached City of Portland Tree Protection Rules (Attachment 104) throughout the entire construction process.

15. Signage: As indicated on the site plans, the developer shall relocate the existing monument sign prior to building permit final inspection. The developer shall apply for and obtain a Sign Permit for this relocated sign, along with any other new or modified signage. The sign variance approved in March 2020 (VAR 2019-10) for this property shall continue to apply.

Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

1. Permits: Permits are applied for using the [Oregon ePermitting](#) online permit system. The City Building Division administers building and mechanical permits; Marion County Public Works administers plumbing and electrical permits.
2. Records: Staff recommends that the applicant retain a copy of the subject approval.
3. Fences, fencing, & free-standing walls: The approval excludes any new fences, fencing, & free-standing walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
4. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
5. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
6. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.
7. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Oregon Department of Transportation (ODOT), Public Works storm water practices and the Storm Drainage Master Plan. The applicant shall provide a final hydraulic analysis for the development and collection system, including the downstream capacity of the proposed storm sewer system. All required on-site detention area for the runoff from this site will need to be provided in accordance with the hydraulic analysis. The detention system is to be maintained by the applicant in perpetuity.

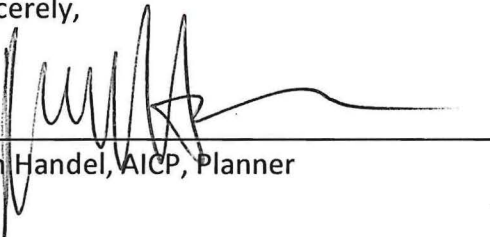
8. **Public Works Review:** Staff performs final review of the civil plans (within City right-of-way jurisdiction) during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, ODOT, as well as current Public Works construction specifications, Standard Drawings, Standard Details, and General Conditions. All improvements/work within the right-of-way shall be completed prior to final building inspection.
9. **ODOT review:** Applicant is required to obtain a permit from ODOT for all work within ODOT jurisdiction. Applicant to provide a copy of the ODOT permit approval prior to building permit issuance.
10. **Franchises:** The applicant provides for the installation of all franchised utilities and any required easements.
11. **Water:** All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.
12. **Grease Interceptor/Trap:** If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
13. **Fire:** Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
14. **SDCs:** The developer pays System Development Charges prior to building permit issuance.

Appeals

Per WDO 4.01.11E, the decision is final unless appealed pursuant to Oregon Revised Statutes (ORS), state administrative rules, and WDO 4.02.01. The appeal to City Council due date is twelve (12) days from the mailing date of this final decision notice per 4.02.01B1. A valid appeal must meet the requirements of 4.02.01.

A copy of the decision is available for inspection at no cost, and the City would provide a copy at reasonable cost at the Community Development Department, City Hall, 270 Montgomery Street, Woodburn, OR 97071. For questions or additional information, contact the Planning Division at (503) 982-5246 or planning@ci.woodburn.or.us.

Sincerely,



Dan Handel, AICP, Planner

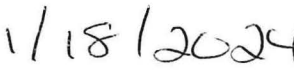


Date

Affirmed,



Lisa Ellsworth, Chair, Planning Commission



Date

Attachments:

1. Public Works Department conditions of approval (Staff Report Attachment 102)
2. City of Portland tree protection rules (Staff Report Attachment 104)
3. Approved site plans (Staff Report Attachment 106)



**Salud Medical Center Renovation
DR 23-09, SA 23-07 & VAR 23-07
1175 Mt Hood
Public Works Comments**

December 27, 2023

CONDITIONS OF LAND USE APPROVAL:

1. The Applicant, not the City, is responsible for obtaining permits from state, county and/or federal agencies that may require such permit or approval.
2. The Applicant, not the City, is responsible for obtaining permits from other property owners that may require access permits and connections to existing water main system.
3. Marion County plumbing permits must be issued for all storm sewer, sanitary sewer, and waterline work installed beyond the Public Right-of-Way, on private property.
4. All required on-site detention area(s) for the runoff from this site will need to be provided in accordance with a hydraulic analysis report provided by professional engineer in Oregon and approved by the Oregon Department of Transportation (ODOT) and the City's Public Works Department.
5. Applicant to provide street lighting along Highway 214 (Mt Hood Avenue). Streetlights shall be in accordance with street lighting plans approved by ODOT, the City and conforming to Portland General Electric (PGE) requirements and under PGE's option B.
6. All City-maintained facilities located on private property shall require a minimum of 16-foot-wide utility easement conveyed to the City by the property owner. This is the applicant's responsibility to provide, not the City's. Utilities of unusual depth, size or location may require a larger width.
7. Provide and record the required public utility easements prior to building permit final inspection.
8. Final Civil Plans review will be done during the Development Application for Construction. Public improvements will be designed and constructed in accordance with plans approved by Public Works and the Oregon Department of Transportation (ODOT).
9. All public improvements shall be deemed complete prior to building permit final inspection.
10. Applicant to pay all public improvements (right-of-way) fees for all public improvements

that are to be maintained by the City as per Ordinance #1795.

11. Fire protection access, fire hydrant locations and fire protection issues shall comply with current fire codes and Woodburn Fire District standards. All fire water meters, and fire service vaults shall be located on private property within a public easement.
12. The applicant shall complete a City of Woodburn Nonresidential Wastewater Survey and comply with the conditions of the Wastewater Permit. Contact Carol Leimbach, City of Woodburn Industrial Waste Coordinator, at 503-982-5283.
13. System Development fees shall be paid at the time of building permit issuance.

The applicant shall protect the preserved trees pursuant similar to City of Portland Title [11.60.030](#), specifically either the subsections set of C.1.a.(1), (3) and C.1.b., e., & f. (clear and objective) and D.; or, the subsections set of C.2.a., b., & d.-f. (arborist's discretion) and D. as modified below and shall do so between land use approval and issuance of certificate of occupancy (C of O):

C. Protection methods. The Tree Plan shall show that the contractor adequately protects trees to be preserved during construction using one of the methods described below:

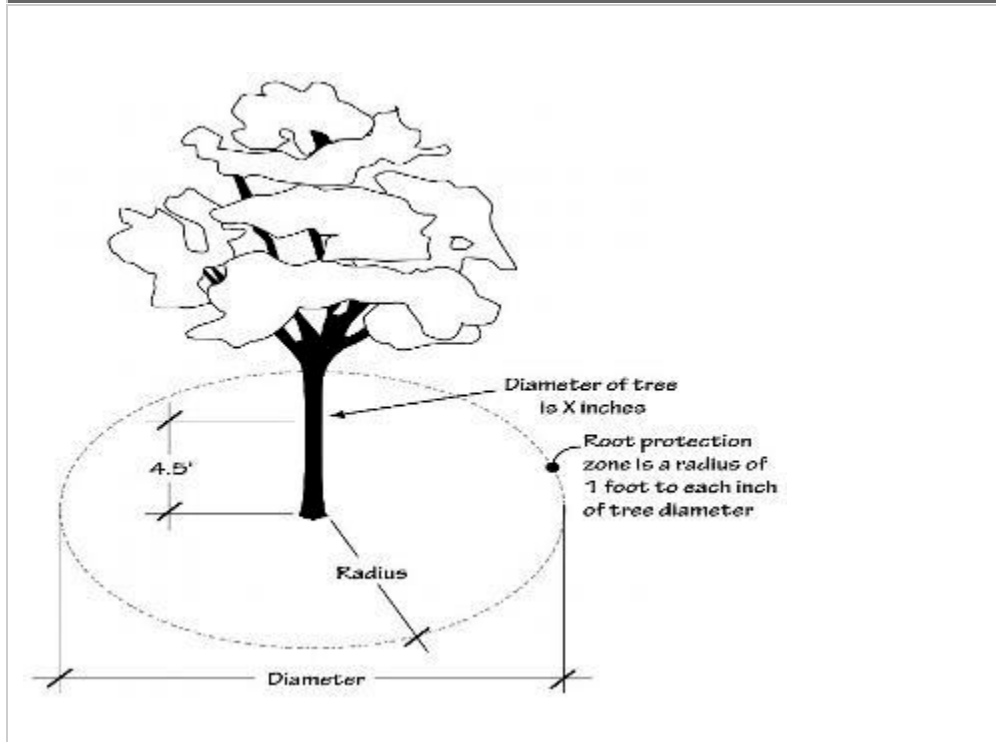
1. Clear & Objective Path.

a. A root protection zone is established as follows:

- (1) For trees on the development site - a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter (see Figure 80-2)

Figure 80-2

Root Protection Zone

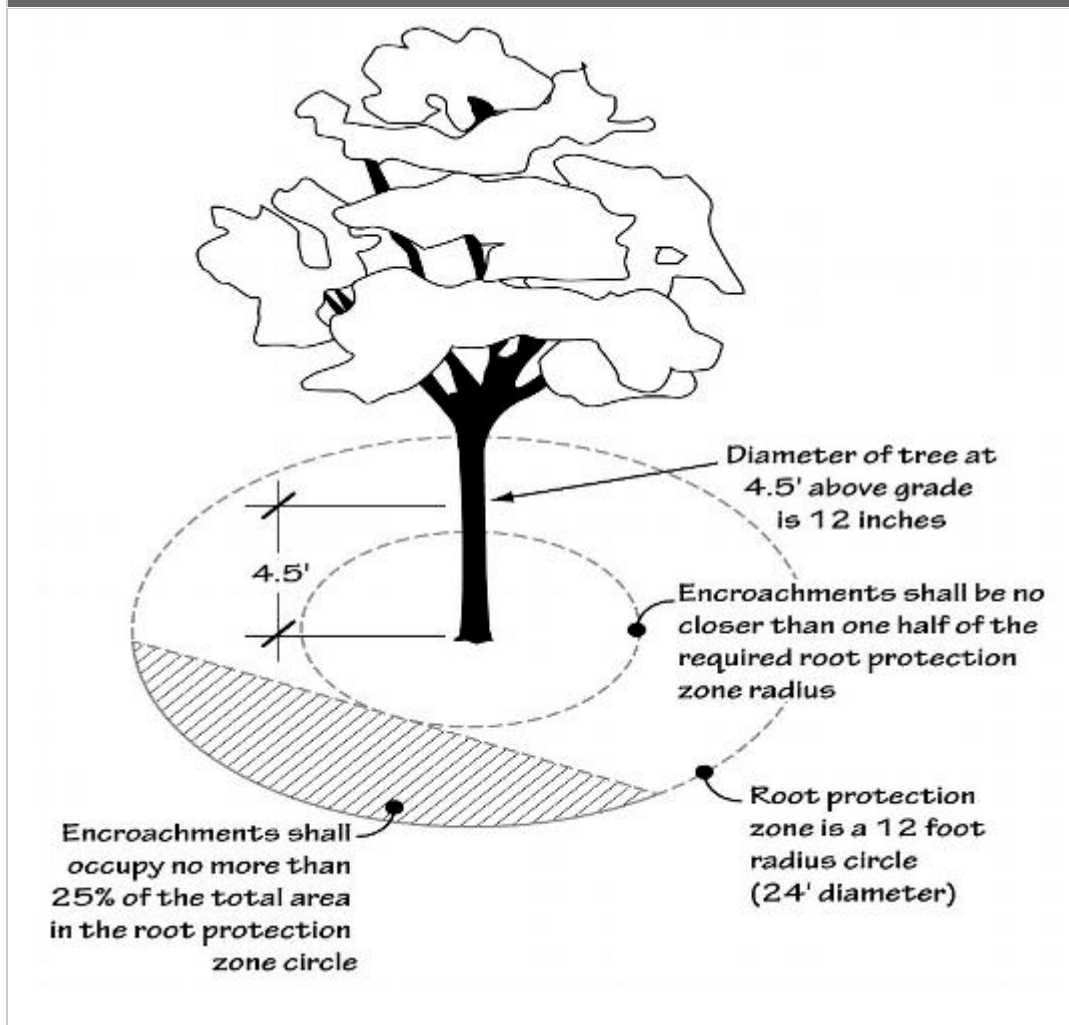


(3) Existing encroachments into the root protection zone, including structures, paved surfaces and utilities, may remain. New encroachments into the root protection zone are allowed provided:

- (a) the area of all new encroachments is less than 25 percent of the remaining root protection zone area when existing encroachments are subtracted; and
- (b) no new encroachment is closer than $1/2$ the required radius distance (see Figure 60-1);

Figure 60-1

Permissible RPZ Encroachments



b. Protection fencing

(1) Protection fencing consisting of a minimum 6-foot high metal chain link construction fence, secured with 8-foot metal posts shall be established at the edge of the root protection zone and permissible encroachment area on the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

(2) When a root protection zone extends beyond the development site, protection fencing is not required to extend beyond the development site. Existing structures and/or existing secured fencing at least 3½ feet tall can serve as the required protective fencing.

e. The following is prohibited within the root protection zone of each tree or outside the limits of the development impact area: ground disturbance or construction activity including vehicle or equipment access (but excluding access on existing streets or driveways), storage of

equipment or materials including soil, temporary or permanent stockpiling, proposed buildings, impervious surfaces, underground utilities, excavation or fill, trenching or other work activities; and

f. The fence shall be installed before any ground disturbing activities including clearing and grading, or construction starts; and shall remain in place until final inspection by Planning Division staff.

2. Arborist's Discretion. When the prescriptive path is not practicable, the applicant may propose alternative measures to modify the clear and objective root protection zone (RPZ), provided the following standards are met:

a. The alternative RPZ is prepared by an arborist who has visited the site and examined the specific tree's size, location, and extent of root cover, evaluated the tree's tolerance to construction impact based on its species and health, identified any past impacts that have occurred within the root zone, and forwarded a report through the developer to Planning Division staff;

b. The arborist has prepared a plan providing the rationale used to demonstrate that the alternate method provides an adequate level of protection based on the findings from the site visit described above;

d. If the alternative methods require the arborist be on site during construction activity, the applicant shall submit a copy of the contract for those services prior to permit issuance and a final report from the arborist documenting the inspections and verifying the viability of the tree(s) prior to final inspection by the Planning Division;

e. If the alternative tree protection method involves alternative construction techniques, an explanation of the techniques and materials used shall be submitted;

f. The arborist shall sign the tree preservation and protection plan and include contact information.

D. Changes to tree protection. Changes to the tree protection measures during the course of the development may be approved as a revision to a permit provided that the change is not the result of an unauthorized encroachment into a root protection zone (RPZ), and the applicant demonstrates that the tree protection standards of this Section continue to be met. When an unauthorized encroachment has occurred, the City may pursue an enforcement action or other remedy.



3.07.06 STANDARDS FOR NON-RESIDENTIAL STRUCTURES IN COMMERCIAL AND PUBLIC/SEMI PUBLIC ZONES - COMPLIANCE

PROJECT ZONE: C0
FACADES FACING STREETS AND PUBLIC PARKING AREAS, SOUTH MASS AND BULK ARTICULATION GUIDELINES:
THE SOUTH FACADE (FACING MT HOOD ST) IS ARTICULATED WITH MULTIPLE CANOPIES. TWO VESIBLES PROJECT FROM THE FACADE LINE. THE FACADE IS ARTICULATED IN 11 PLANE.
3 DIMENSIONAL DESIGN FEATURES: MULTIPLE PUBLIC DOORWAYS, MULTIPLE OFFSETS, TWO EXTRUDING WOOD CANOPIES, MULTIPLE FACADE MATERIALS INCLUDING STUCCO, STOREFRONT, BRICK AND WOOD SIDING.
MATERIAL AND TEXTURE GUIDELINES
OVER 30% GLASS ON NEW ADDITION (SEE ELEVATIONS)
SIDING IS BRICK, WOOD AND STUCCO
FACADE MATERIALS AND CANOPIES ARE EARTH TONE COLORS
NO FLUORESCENT LIGHTS ARE PROPOSED ON THE EXTERIOR
MULTI-PLANE ROOF GUIDELINES
THE ROOF HAS MANY VARIATIONS IN HEIGHT AND PLANE. THE PROPOSED CANOPY IS A NEW PLANE.
ROOF MOUNTED EQUIPMENT GUIDELINES:
(1) NEW UNIT IS PROPOSED AND WILL BE SCREENED BY AN EXISTING WALL
WEATHER PROTECTION
(1) NEW 21' LONG BY 21' WIDE CANOPY IS PROPOSED. THIS IS DESIGNED TO MATCH THE EXISTING WOOD CANOPY.
SOLAR ACCESS PROTECTION
THE PROPOSED EXTERIOR ADDITION (VESTIBULE AND CANOPY) ON THE SOUTH PORTION OF THE BUILDING DOES NOT BLOCK SOLAR ACCESS FOR ANY ADJACENT BUILDINGS
BUILDING LOCATION GUIDELINES
THE BUILDING LOCATION IS EXISTING
GLAZING
NEW ADDITION HAS SOUTH FACING FACADE FACING MT HOOD HWY. REF SOUTH ELEVATION ON G1.04. GLAZING IS 73% OF THIS ELEVATION, THIS EXCEEDING THE 30% REQUIRED.
BUILDING HEIGHT
ZONE CO = MAX 35'. NEW ADDITION IS 11,12 TO THE PEAK OF THE ROOF WHICH IS LESS THAN 35'
BUILDING ENTRY
THE NEW ADDITION CANOPY IS 1' SHORTER AND SET BACK 12' FROM THE MAIN ENTRY CANOPY SO AS NOT TO DETRACT FROM THE CLARITY OF THE MAIN ENTRANCE.
LOT COVERAGE
PER TABLE 2.03D LOT COVERAGE IS LIMITED BY SETBACKS, OFF-STREET PARKING, AND LANDSCAPING REQUIREMENTS. FOR THE LANDSCAPE REQUIREMENT REFER TO SHEET L1.1 PLANT UNIT REQUIREMENT MAP.

PARKING REQUIREMENTS			
	EXISTING	REQUIRED	PROPOSED
BIKE PARKING	13	15% X 168 = 25 50% COVERED = 13	13 (E) + 12 (N) = 25 (14 COVERED)
CAR PARKING	129	30,385 GSF / 250 SF = 122 MIN 2 X 124 = 244 MAX	168
ADA PARKING	6	3% X 168 = 5 + 1 VAN	6 + 1 VAN
VAN/CARPOOL	0	3% X 168 = 5	6
EV CHARGING	0	5% X 168 = 8	8

20% OF CAR PARKING MAY BE COMPACT. 34
10 COMPACT CAR PARKING PROPOSED



PERSPECTIVE A

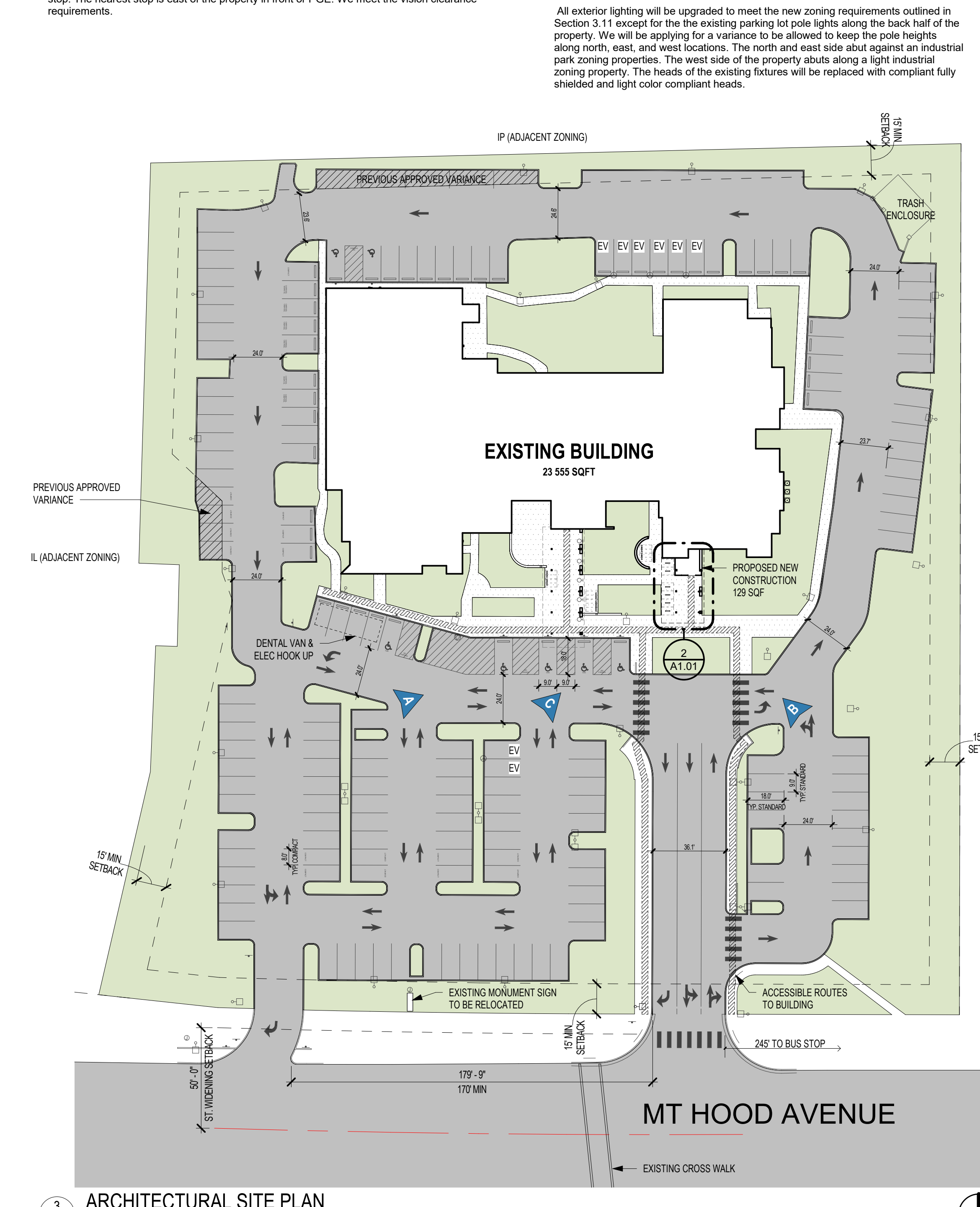


PERSPECTIVE B



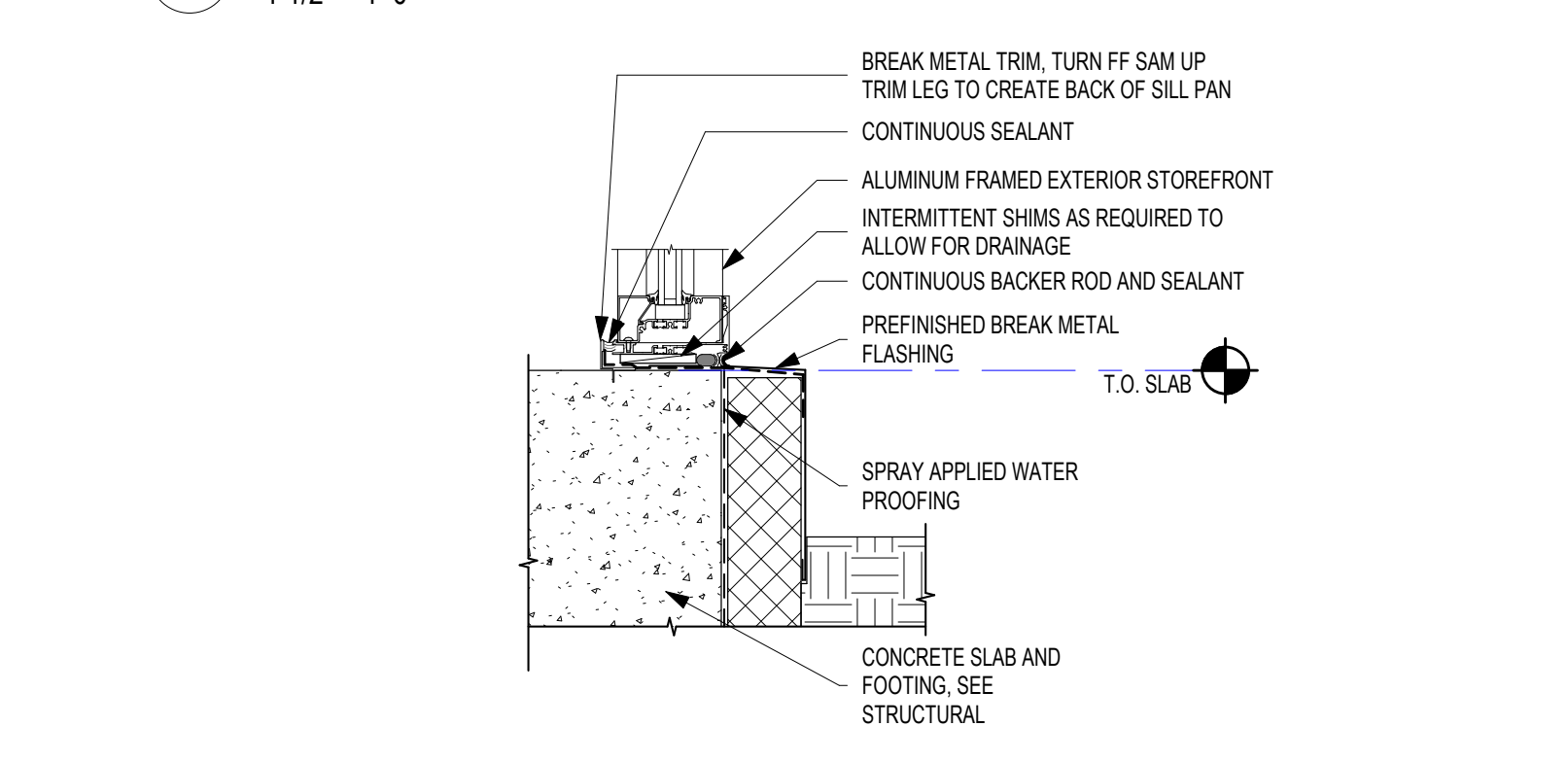
PERSPECTIVE C

- Non-conformance:**
Per 04.03C3(b) Where off street parking increases from an existing amount by 25% (32) or more would put us at full redevelopment. Then all nonconformities exterior to buildings will need to be upgraded. This includes any of frontage, street, and public improvements that are nonconforming.
A. The existing site had 129 parking spaces.
B. The submitted plan showed 168 spaces. Which means we added 39 spaces and are above the 25% (32) and full redevelopment will be required.
- Parking:**
Per the current code (3.05.03A#2), the number of parking shall not exceed two times the amount set in table 305A. Per table 305A the site is allowed to have 12250 SF of the gross floor area. The gross floor area is the sum of the floor areas of the spaces within the building. This is typically measured from the interior face of the exterior walls. The current square feet of the gross floor area is: 22,319 SF (Level One) + 6,066 SF (Level Two) = 30,385 GSF
A. 30,385 GSF / 250 SF = 122 minimal spaces allowed
B. 122 x 2 = 244 max parking spaces allowed
a. The proposed plan is in conformance with the current development ordinance requirements, and set back requirements.
b. We are proposing 168 spaces because we still need to meet the lot coverage, landscape requirements, and set back requirements.
c. Per ORS 447.233. We will need to provide 5 ADA spaces and 1 van space. The current design exceeds this requirement.
d. Per table 305C 3% (5 spaces) of the 168 spaces will need to be Van/Carpool parking. These spaces need to be a maximum of 50 feet to a building perimeter walkway and can be in the back of the property. The current design meets this requirement.
e. Per table 305D 15% (25 spaces) will need to be provided for Bike Parking. If not visible from sidewalk signage must be provided. At least 50% (13 spaces) of the outdoor bike parking must be covered. The location of the bike parking must be within 50' of the main entrance. There are 13 existing bike parking spaces, two of them are covered. The current design provides twelve (12) new covered spaces.
f. Per table 305E 5% (8 spaces) of the 168 spaces will need to be EV charging stations. These stations will need to be located 50 feet to a building perimeter walkway, but they can be located in the back of the property. We meet this standard by providing at total of 8 EV stations. Six in the back and two in the front.
- Street Improvements:**
The non-conformance will require full site improvements as outlined in Section 3.01 Street Improvements required. Per transportation system plan Mt Hood Avenue is considered a Major arterial street and we would need to match figure 3.01B.
A. The existing conditions does not meet the cross-section requirements. The project will be submitting for zoning adjustment. There are bike lanes, cross walks with signage and flashing lights. The sidewalk width exceeds the width required. There is pedestrian access from the bus stop. The nearest stop is east of the property in front of PGE. We meet the vision clearance requirements.
- Vehicular Access:**
Per 3.04.03 Access management: Driveway Standards the city prefers the number of driveways to be minimized based on overall site design. The city might allow a second driveway but a written traffic analysis memo on traffic patterns, queuing issues, and volume etc. would be required. Per 3.04.03D Access Management #5 the new drive aisle would be allowed if it were limited to an east only and right-hand turn only. ODOT typically requires 300 feet between drive aisles. If drive aisle is exit only and right-hand turn, then 170' between drive aisle would be acceptable. The second drive aisle would require a new streetlight. The new streetlight would require coordination with PGE. PGE would create their own drawings and determine where the pole will be located.
- Significant Tree:**
The city prefers to keep the trees between the property and the sidewalk and to preserve as many significant trees as possible. Removal of significant trees should be considered last resort option. An arborist of the owner's selection will need to document the DBH, health, species and size of the significant tree that will be removed. Per 3.06.07 D, the owner will be replacing each tree removed with one replacement tree. Each replacement tree will be at least two inches in caliper. Each replacement tree will be of a species not prohibited by this section. The replacement tree shall be of the same size range at maturity as the significant tree replaced. Refer to section 3.06 Landscaping for further requirements.
A. Per Table 3.06A the entire setback excluding driveways shall be landscaped at a 1 PU/15 SF. Also 20% of the paved surface area for off street parking, loading, and circulation shall be landscaped at 1 small tree per 10 parking spaces, or 1 medium tree per 15 parking spaces, or 1 large tree per 25 parking spaces, and 1 PU/20 SF excluding required trees.
B. Landscape island or peninsulas shall cap each aisle end to protect parked vehicles from moving vehicles, emphasize vehicular circulation patterns, and shade vehicles, and pedestrians as well as provide a six seven foot architectural wall between our project's property and the adjacent light industrial and industrial park zoned properties. Currently the north and west properties have an architectural wall that appears to meet this requirement. The east side of the property only has a sight-obscuring fence. Per the table the property being developed must provide screening if no comparable screening exists on the abutting protected property. We will be applying for a variance for zoning code 3.06.05, Table 3.06D.
C. The project is applying for a variance on zoning code 3.06.03 landscape standards #1 street frontage trees. Refer to Landscape and Arborist report for how the project is meeting all other landscape requirements.
- Screening:**
Per 3.06.04B the entire setback area excluding driveways will need to be landscaped. Also 20% of the paved surface area for off street parking, loading, and circulation will need to be landscaped. Per table 3.06D we will need to provide a six seven foot architectural wall between our project's property and the adjacent light industrial and industrial park zoned properties. Currently the north and west properties have an architectural wall that appears to meet this requirement. The east side of the property only has a sight-obscuring fence. Per the table the property being developed must provide screening if no comparable screening exists on the abutting protected property. We will be applying for a variance for zoning code 3.06.05, Table 3.06D.
- Exterior Lighting:**
All exterior lighting will be upgraded to meet the new zoning requirements outlined in Section 3.11 except for the existing parking lot pole lights along the back half of the property. We will be applying for a variance to be allowed to keep the pole heights along north, east, and west locations. The north and east side abut against an industrial park zoning properties. The west side of the property abuts along a light industrial zoning property. The heads of the existing fixtures will be replaced with compliant fully shielded and light color compliant heads.

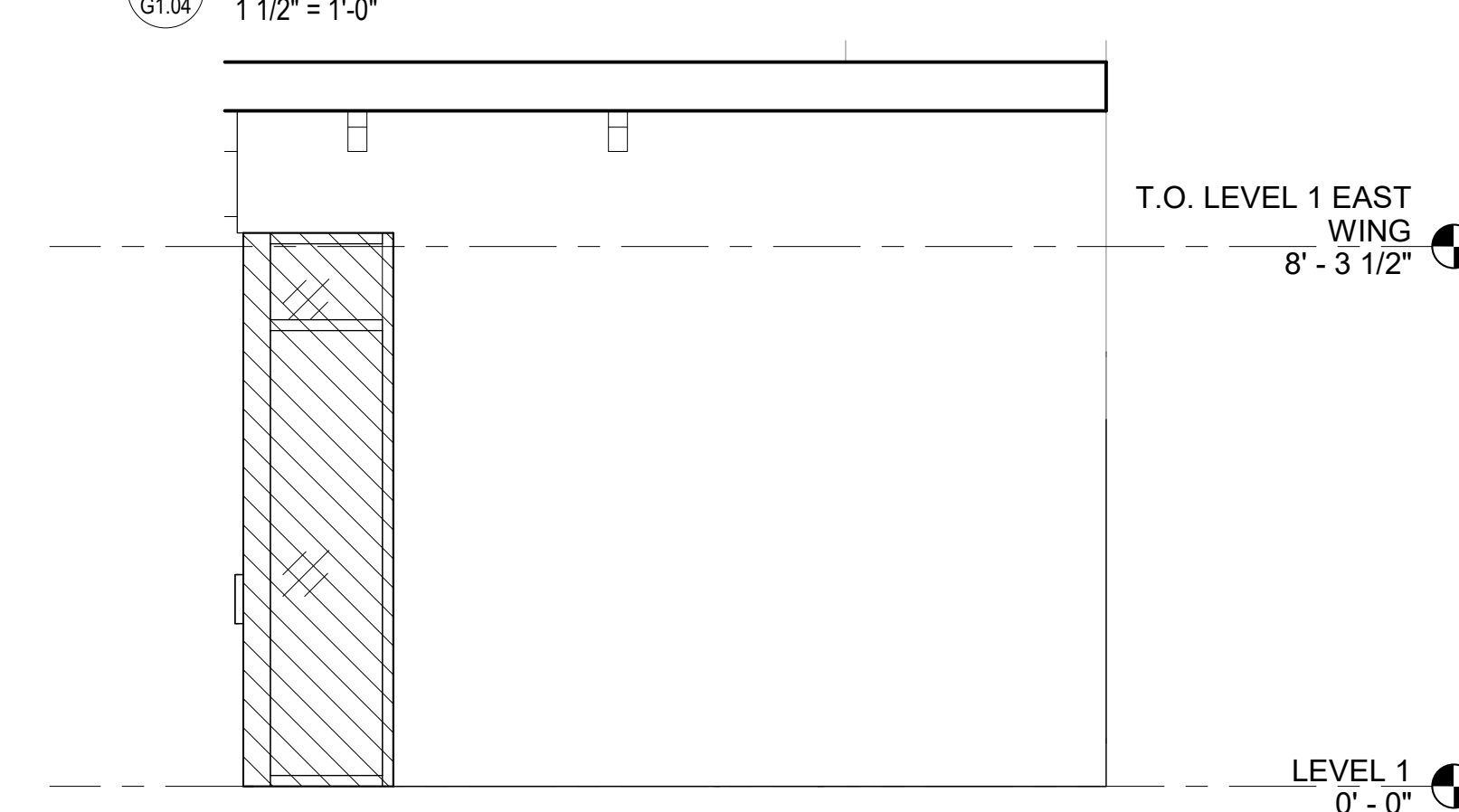


ARCHITECTURAL SITE PLAN
1" = 40'-0"

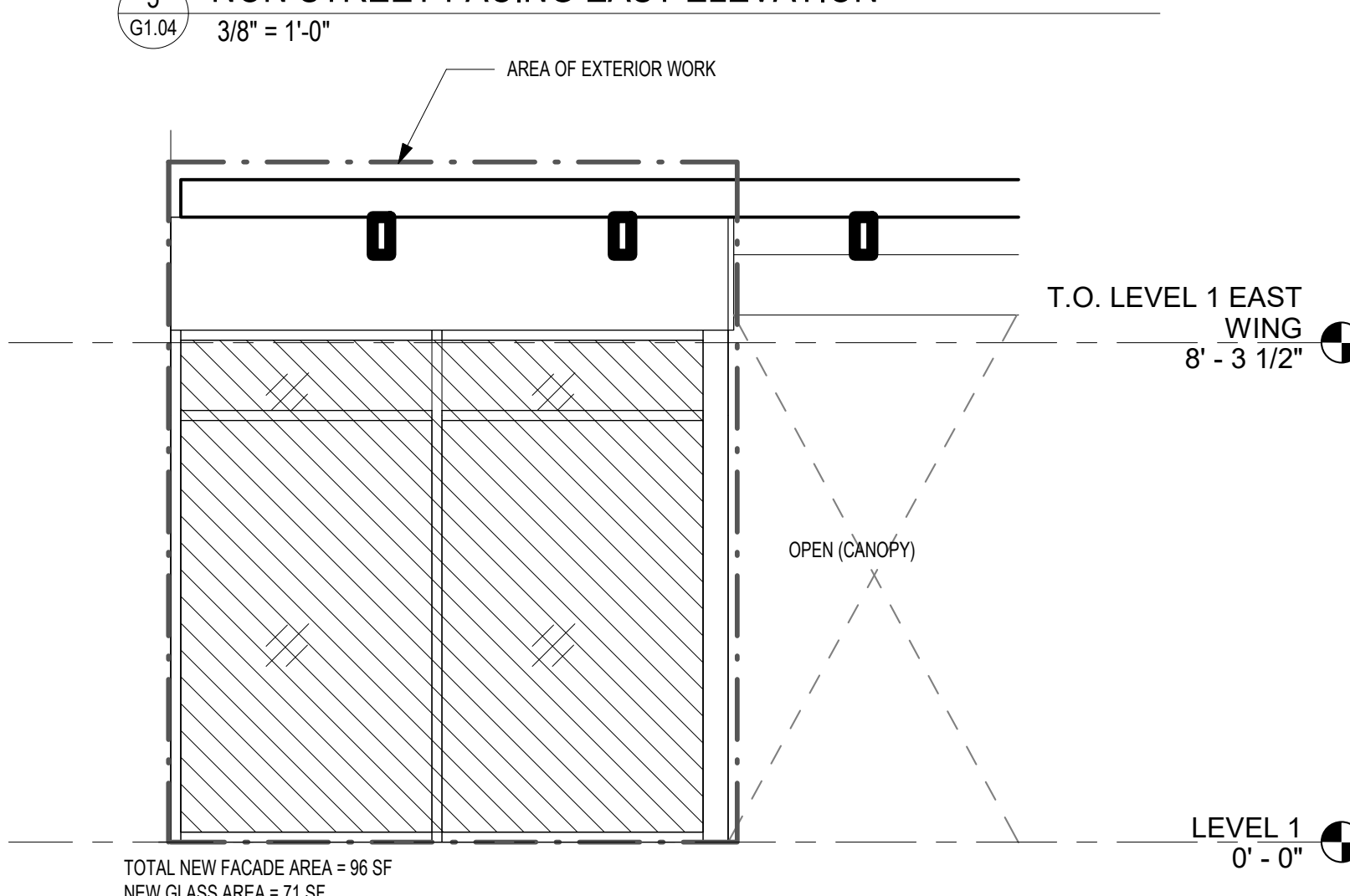
STOREFRONT HEAD AT CANOPY
1 1/2" = 1'-0"



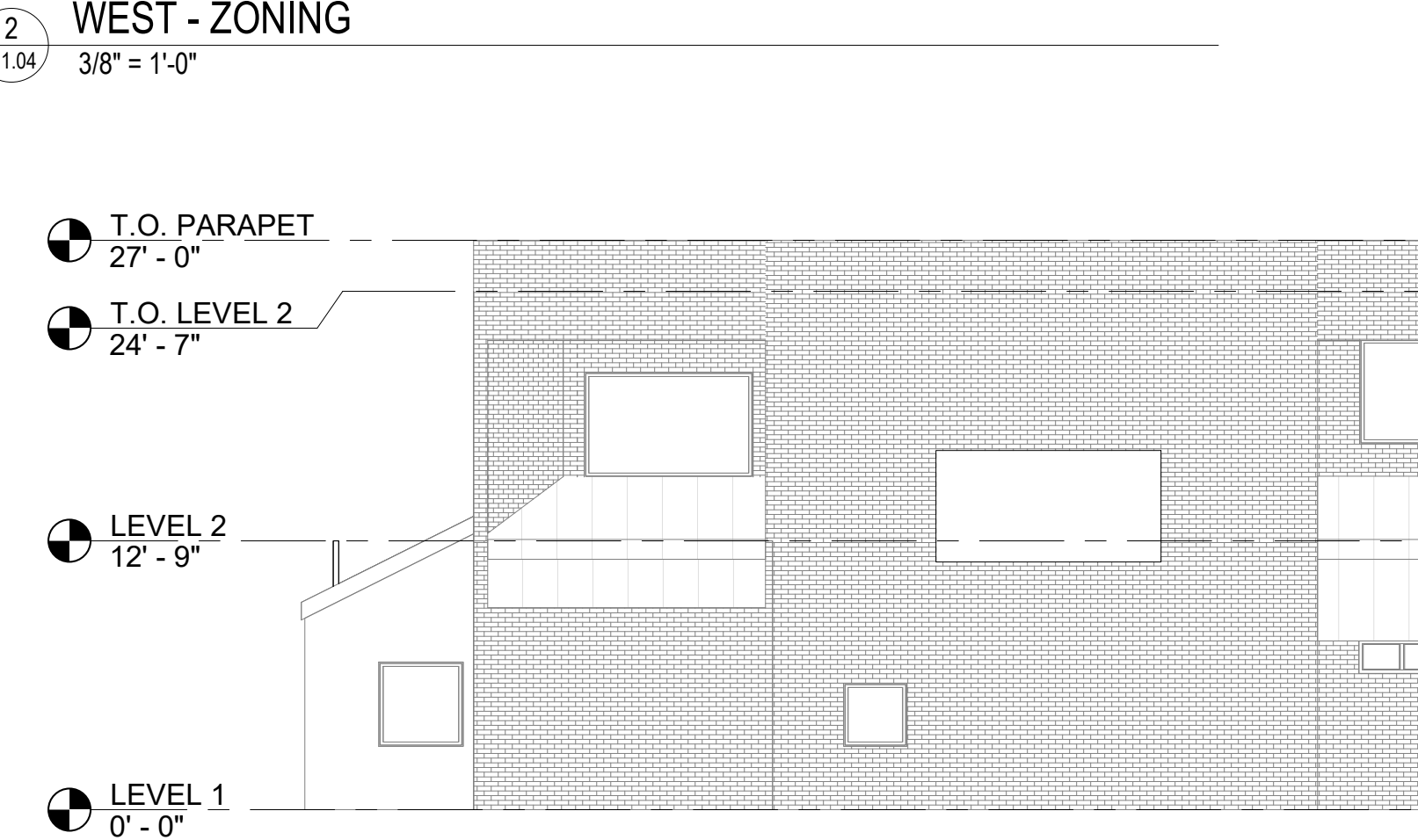
STOREFRONT AT FOUNDATION ZONING
1 1/2" = 1'-0"



NON STREET FACING EAST ELEVATION
3/8" = 1'-0"



WEST - ZONING
3/8" = 1'-0"



SOUTH ELEVATION - GLAZING COMPLIANCE
1/8" = 1'-0"

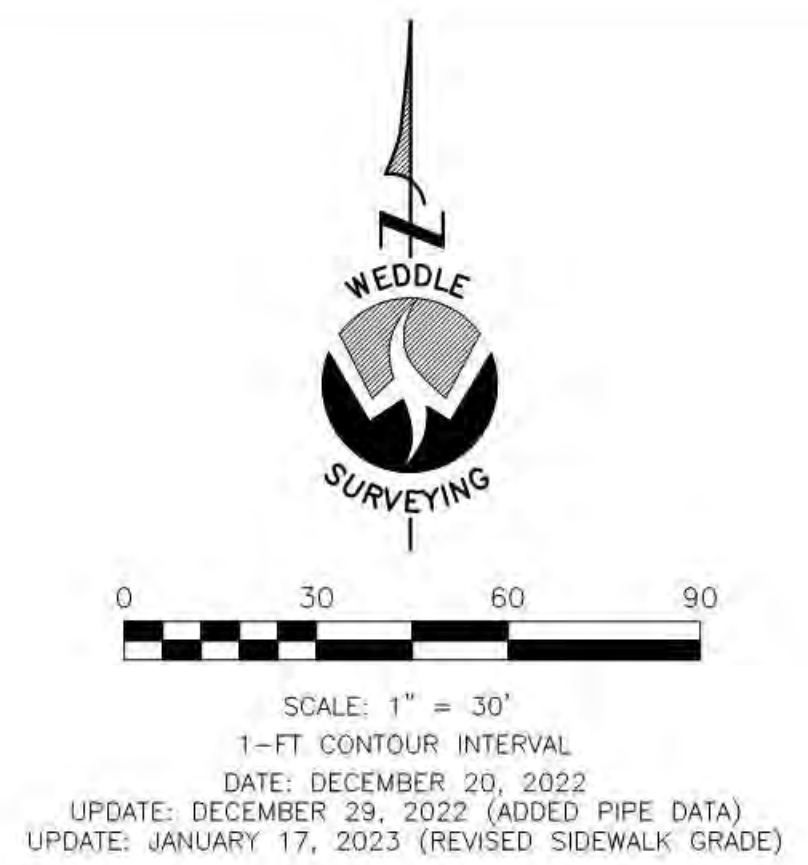


TOPOGRAPHIC SURVEY

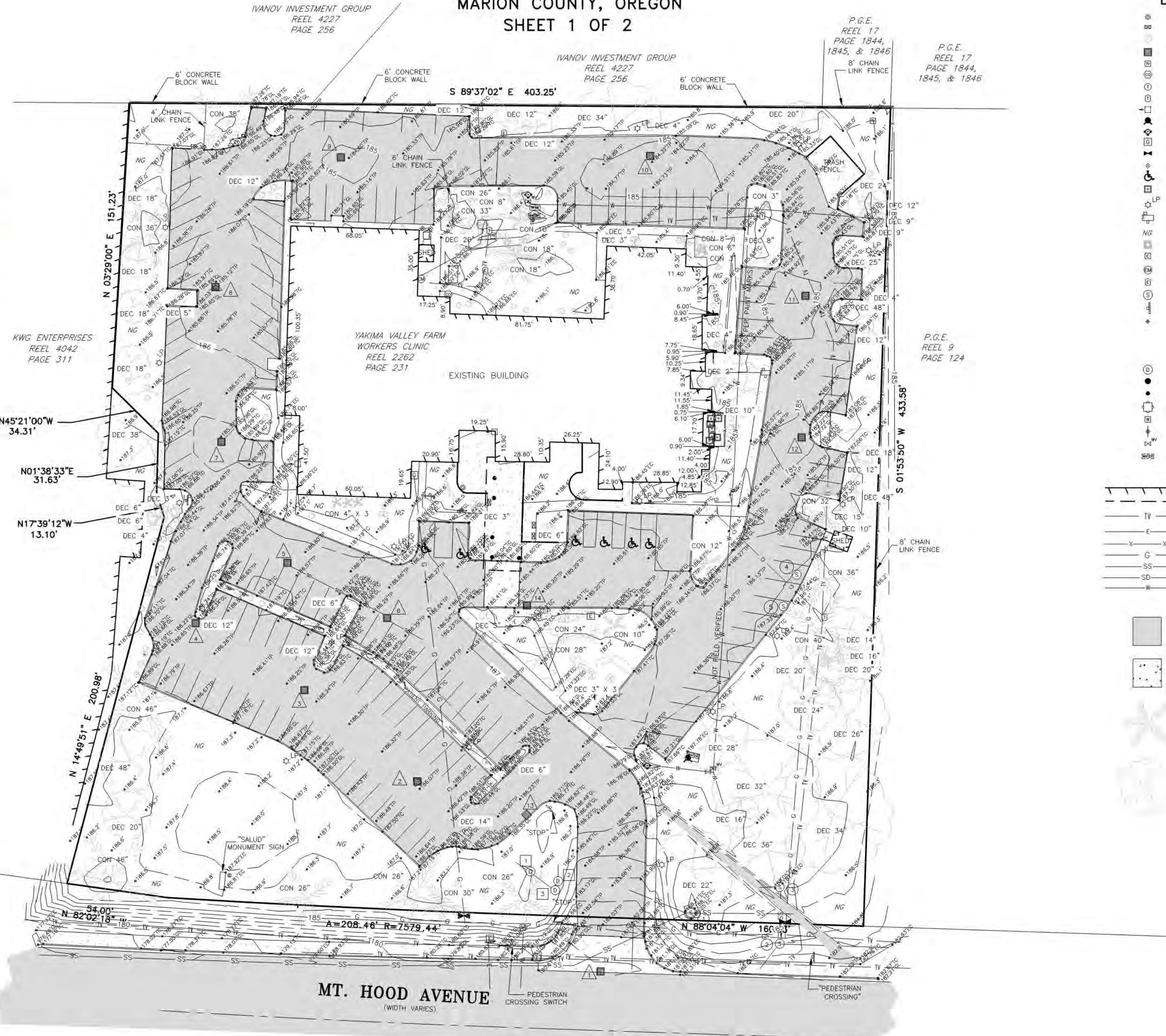
"SALUD MEDICAL CENTER"

1175 MT. HOOD AVENUE
LOT 1, SALUD MC
IN THE NE 1/4 OF SECTION 8,
T.5 S., R.1 W., W.M.,
CITY OF WOODBURN
MARION COUNTY, OREGON

SHEET 1 OF 2



- SANITARY SEWER/STORM DRAIN MAINTENANCE LID:**
- 1. SANITARY SEWER MAINTENANCE LID
RIM = 188.18'
LOCKED-UNABLE TO OPEN
 - 2. SANITARY SEWER MAINTENANCE LID
RIM = 183.85'
IE 8" IN (N) = 172.78'
IE 12" IN (E) = 163.88'
IE 12" OUT (SW) = 152.37'
 - 3. SANITARY SEWER MAINTENANCE LID
RIM = 188.05'
IE 6" IN (N) = 172.78'
IE 9" IN (W) = 172.53'
IE 8" OUT (S) = 172.37'
 - 4. SEWER (UNKNOWN TYPE) MAINTENANCE LID
RIM = 187.09'
UNDER VEHICLE - NO ACCESS
 - 5. SEWER (UNKNOWN TYPE) MAINTENANCE LID
RIM = 187.35'
UNDER VEHICLE - NO ACCESS
- STORM DRAIN CATCH BASIN:**
- 1. STORM DRAIN CATCH BASIN
RIM = 180.81'
 - 2. STORM DRAIN CATCH BASIN (E)
RIM = 184.89'
 - 3. STORM DRAIN CATCH BASIN SIPHON (S)
RIM = 185.95'
 - 4. STORM DRAIN CATCH BASIN SIPHON (E)
RIM = 184.51'
 - 5. STORM DRAIN CATCH BASIN SIPHON (S)
RIM = 186.17'
 - 6. STORM DRAIN CATCH BASIN SIPHON (E)
RIM = 184.18'
 - 7. STORM DRAIN CATCH BASIN SIPHON (S)
RIM = 186.02'
 - 8. STORM DRAIN CATCH BASIN SIPHON (E)
RIM = 184.09'
 - 9. STORM DRAIN CATCH BASIN
RIM = 186.52'
IE 4" PVC (SE) = 184.59'
 - 10. STORM DRAIN CATCH BASIN SIPHON (W)
RIM = 184.16'
 - 11. STORM DRAIN CATCH BASIN (SE)
RIM = 185.52'
 - 12. STORM DRAIN CATCH BASIN (NW)
RIM = 184.25'
IE 4" PVC (NW) = 184.25'
IE 4" PVC (SE) = 184.23'
 - 13. STORM DRAIN CATCH BASIN
RIM = 185.13'
IE 4" PVC (NE) = 182.81'
 - 14. STORM DRAIN CATCH BASIN SIPHON (S)
RIM = 185.00'



- LEGEND**
- AREA DRAIN
 - BIKE RACK
 - BUSH
 - CATCH BASIN
 - CATV RISER
 - CLEAN OUT
 - COMMUNICATIONS MANHOLE
 - COMMUNICATIONS RISER
 - DOWN SPOUT
 - FIRE DEPT CONNECT
 - FIRE HYDRANT
 - GAS METER
 - GAS VALVE
 - GATE POST
 - HANDICAP PAINT
 - HVAC UNIT
 - LIGHT POLE
 - MAIL BOX
 - NATURAL GROUND
 - PEDESTRIAN CROSSING SWITCH
 - POWER RISER/PULLBOX
 - POWER METER
 - POWER RISER
 - SANITARY SEWER MAINTENANCE LID
 - SIGN "AS NOTED"
 - SPOT ELEVATION
EC = EDGE OF CONCRETE
TC = TOP BACK CURB
TP = TOP OF PAVEMENT
SP = SPOT ELEVATION
 - STORM DRAIN MAINTENANCE LID
 - SURVEY MONUMENT FOUND
 - SUPPORT COLUMN
 - TRANSFORMER
 - WATER METER
 - WATER RISER (HOSE BIB)
 - WATER VALVE
 - WATER VAULT
- SYMBOLS:**
- BUILDING FOOTPRINT
 - BUILDING OVERHANG
 - CATV LINE
 - ELECTRIC (UNDERGROUND)
 - FENCE LINE
 - GAS LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - WATER LINE
- HATCHES:**
- ASPHALT HATCH
 - CONCRETE HATCH
- NOTES:**
- CON = CONIFEROUS
 - DEC = DECIDUOUS

SURVEYOR'S NOTES

- THE BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON COORDINATE SYSTEM OF 1983, NORTH ZONE, NAD 83 (2011). THIS IS NOT A RECORDABLE BOUNDARY SURVEY.
- UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.

BENCHMARK

THE BENCHMARK USED FOR THIS PROJECT IS AN OPUS-DERIVED ELEVATION ON A 3/8" IRON ROD WITH A RED PLASTIC CONTROL CAP, LOCATED IN THE GRASSY AREA IN THE S.W. CORNER OF THE PROPERTY, 20' SOUTH OF A LIGHT POLE.

ELEVATION: 188.53' NAVD88 (GEOID18)

REGISTERED PROFESSIONAL LAND SURVEYOR

ANTHONY B. RYAN
58833

EXPIRES: DECEMBER 31, 2024

WEDDLE SURVEYING, INC.
Excellence is our benchmark.

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1175 Mt Hood Ave, Woodburn, OR 97071

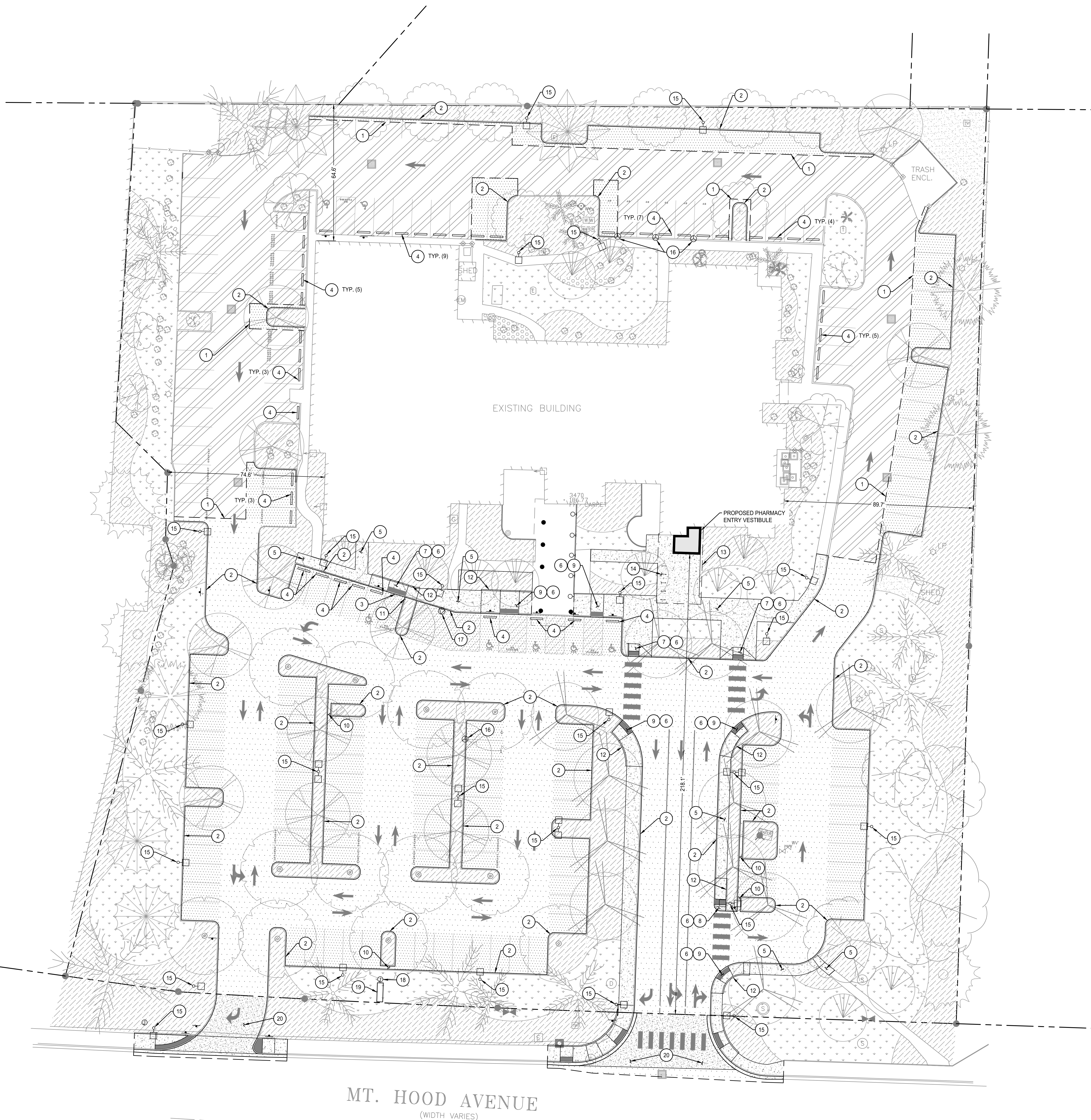


ISSUE DATE: 03.22.23
REVISIONS:

DESIGN DEVELOPMENT

EXISTING CONDITIONS

C1.00
PROJECT NO.: 21057



SHEET NOTES

1. ALL SIDEWALK JOINTS SHALL BE CONSTRUCTED PER DETAIL 18/C7.00.
2. PROPOSED FRONTAGE IMPROVEMENTS IN RIGHT-OF-WAY SHOWN FOR REFERENCE ONLY. TO BE PERMITTED UNDER SEPARATE PUBLIC WORKS PERMIT.
3. ALL PARKING STALLS SHALL BE STANDARD ASPHALT PAVEMENT PER DETAIL 1/C7.00. ALL DRIVE AISLES SHALL BE HEAVY ASPHALT PAVEMENT PER DETAIL 2/C7.00.
4. SEE SHEET C3.01 FOR ONSITE SIGNAGE AND STRIPING.

KEY NOTES

#	DESCRIPTION	DETAIL REF.
1	SAWCUT LINE	
2	STANDARD CURB	3/C7.00
3	FLUSH CURB	17/C7.00
4	WHEEL STOP	10/C7.00
5	CONCRETE SIDEWALK	4/C7.00
6	DETECTABLE WARNING	11/C7.00
7	CURB RAMP - STANDARD	12/C7.00
8	CURB RAMP - SMALL CURVE	14/C7.00
9	CURB RAMP - DROP PANEL	15/C7.00
10	CONCRETE CHANNEL	5/C7.00
11	CONCRETE CURB - ENDING	13/C7.00
12	CANE STOP	12/C7.00
13	CANOPY OUTLINE	
14	BIKE RACKS. SEE LANDSCAPE PLANS FOR DETAILS.	
15	LIGHT POLE. SEE ELECTRICAL PLANS FOR DETAILS.	
16	EV CHARGER. SEE ELECTRICAL PLANS FOR DETAILS.	
17	PROVIDE PEDESTAL. SEE ELECTRICAL PLANS FOR MORE INFORMATION.	
18	EXTEND MONUMENT SIGN CIRCUIT CONDUIT AND CONDUCTORS TO LOCATION SHOWN. SEE ELECTRICAL PLANS FOR MORE INFORMATION.	
19	MONUMENT SIGN	
20	DRIVEWAY. SEE PUBLIC WORKS PLANS FOR LAYOUT AND DETAILS.	

SHEET LEGEND

	PROPERTY LINE	
	SAWCUT LINE	
	CONCRETE SIDEWALK	4 7.00
	STANDARD ASPHALT PAVEMENT	1 7.00
	HEAVY ASPHALT PAVEMENT	2 7.00
	CONCRETE DRIVEWAY. SEE PUBLIC WORKS PLANS FOR DETAIL.	
	PROTECT AND RESURFACE EXISTING ASPHALT	

IMPERVIOUS AREA OF LOT			
TOTAL AREA	IMPERVIOUS	PERVIOUS	NET NEW IMPERVIOUS
3.92 AC	2.35 AC	1.57 AC	---
3.92 AC	2.62 AC	1.30 AC	0.27 AC (11,644 SQFT)

LOT COVERAGE BY STRUCTURES	
EXISTING	2.35 AC
PROPOSED	2.62 AC

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ISSUE DATE: 10.04.23
 REVISIONS:

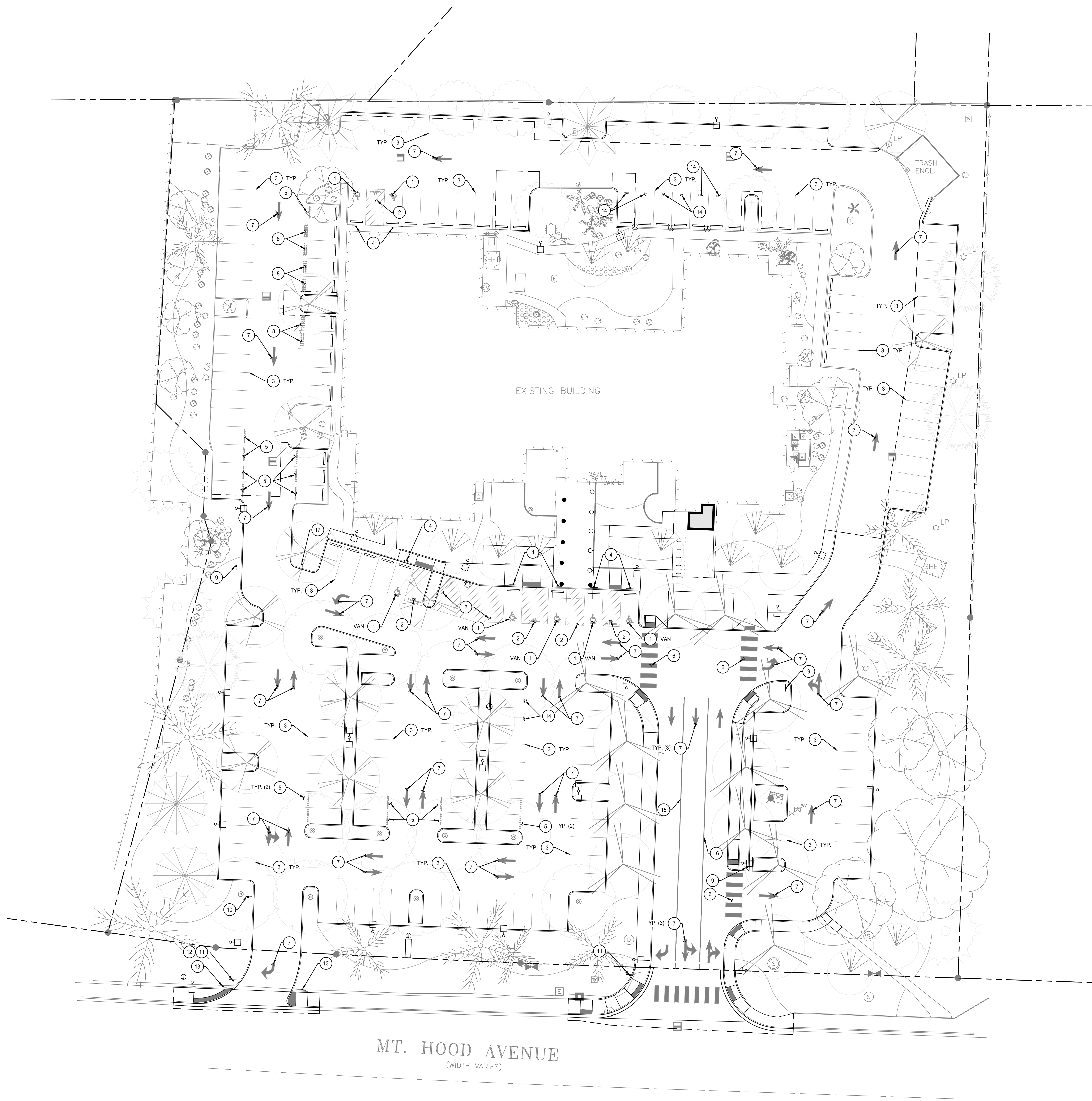
DESIGN REVIEW SET

SITE PLAN

C3.00

PROJECT NO.: 21057





SHEET NOTES

1. PLAN SHEET INTENT IS TO NOTE SIGNAGE AND STRIPING. SEE SHEET C3.00 FOR OTHER SITE FEATURES.

KEY NOTES

#	DESCRIPTION	DETAIL REF.
1	ADA PARKING STALLS AND STRIPING	6/C7.00
2	'NO PARKING' ZONE STRIPING	
3	4" WIDE WHITE STRIPE	
4	ADA PARKING SIGN	7/C7.00
5	'COMPACT' PARKING STAMP	16/C7.00
6	CROSSWALK STRIPING	8/C7.00
7	DIRECTIONAL ARROWS	9/C7.00
8	'CARPOOL/VANPOOL' PARKING STAMP	
9	INSTALL 'ONE WAY ONLY' SIGN (MUTCD R6-1R/R6-1L)	
10	INSTALL 'WEST BOUND ONLY' SIGN	
11	INSTALL STOP SIGN 9 (MUTCD R1-1)	
12	INSTALL 'RIGHT TURN ONLY' SIGN (MUTCD R3-5R)	
13	INSTALL 'DO NOT ENTER' SIGN (MUTCD R5-1)	
14	'EV' PARKING STAMP	
15	SOLID 4" WIDE WHITE LANE STRIPE	
16	SOLID 4" WIDE YELLOW LANE STRIPE	
17	INSTALL LEFT TURN ONLY (MUTCD R3-5L)	



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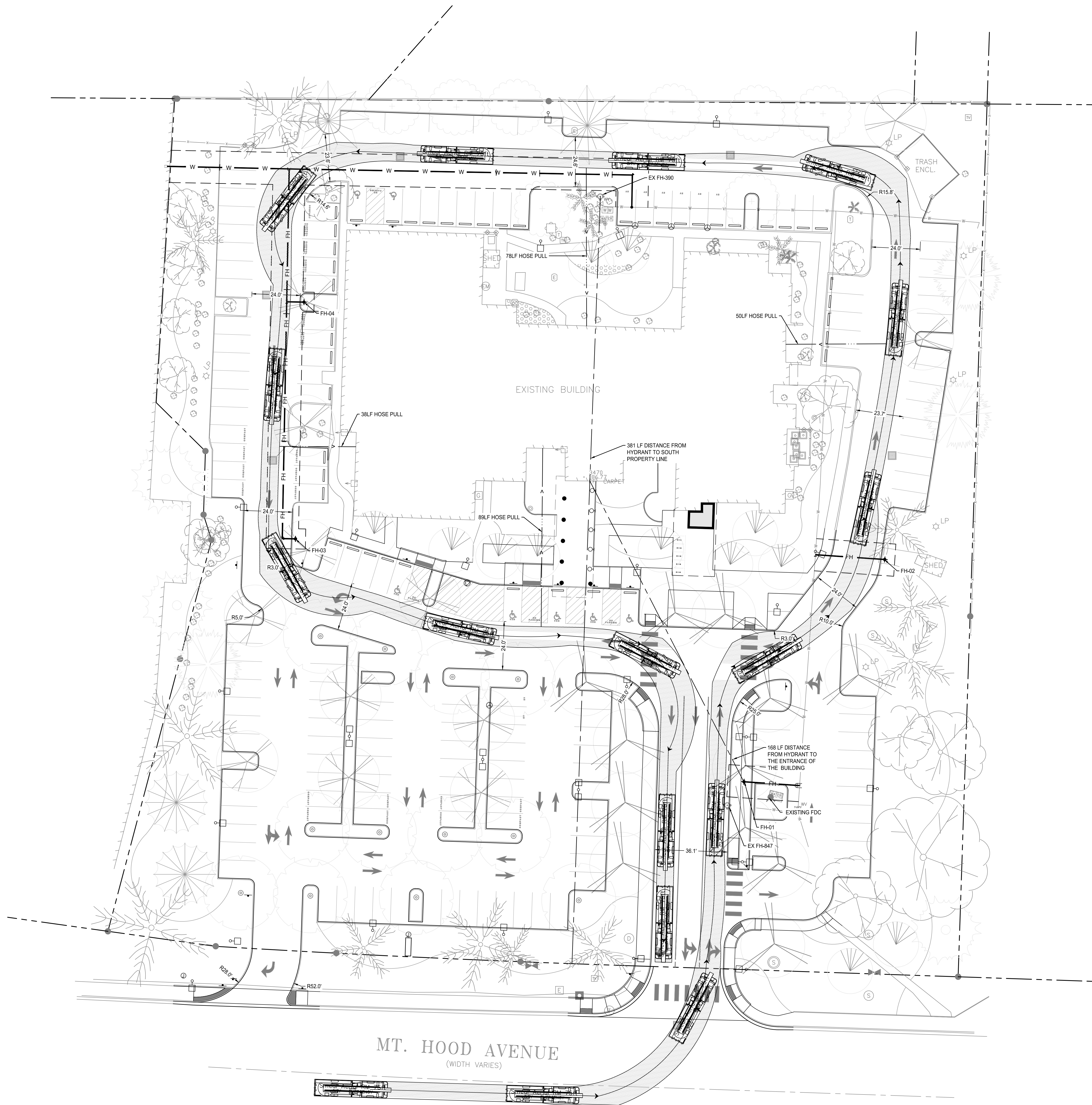
ISSUE DATE: 10.04.23
 REVISIONS:

DESIGN REVIEW SET

SIGNAGE AND STRIPING PLAN

C3.01
 PROJECT NO.: 21057





SHEET LEGEND

- HYDRANT RADIUS
- HOSE PULL
- PUBLIC UTILITY EASEMENT

FIRE FLOW CALCULATION

EXISTING BUILDING CONSTRUCTION TYPE: VB
 BUILDING ADDITION CONSTRUCTION TYPE: VB
 TOTAL AREA OF CLINIC POST-CONSTRUCTION: 30,006
 PER OFC TABLE B105.2 FIRE FLOW: 4,750 GPM

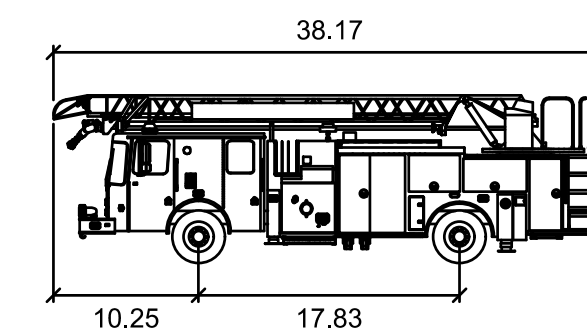
REQUIRED FIRE FLOW: 4,750 GPM FOR 4 HOURS AT 20PSI
 PER OFC TABLE C105.1 REQ. HYDRANTS: 5 HYDRANTS

TOTAL OF 5 HYDRANT COVERAGE
 EX FH-390 - NORTH END OF THE EXISTING BUILDING
 FH-01 - EAST SIDE OF THE MAIN ENTRY
 FH-02 - EAST SIDE OF EXISTING BUILDING ACROSS DRIVE AISLE
 FH-03 - ADJACENT TO SOUTHWESTERN CORNER OF EXISTING BUILDING
 FH-04 - WEST SIDE OF MAIN BUILDING

FLOW TEST RESULTS DATE: 04/13/2023

FLOW TESTED HYDRANT
 MAP NUMBER - EX FH-847 (TO BE REMOVED AND REPLACED WITH FH-01)
 HYDRANT LOCATION - EAST SIDE OF EXISTING DRIVEWAY

ORIFICE DIAMETER - 2.5-IN
 STATIC PRESSURE - 58 PSI
 RESIDUAL PRESSURE - 56 PSI
 PITOT - 16 PSI
 OBSERVED DISCHARGE - 624 GPM
 ADJUSTMENT TO FLOW @ 20 PSI RESIDUAL: 3,060 GPM



Smeal Aerial RM 75ft

	feet
Width	: 8.33
Track	: 7.92
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

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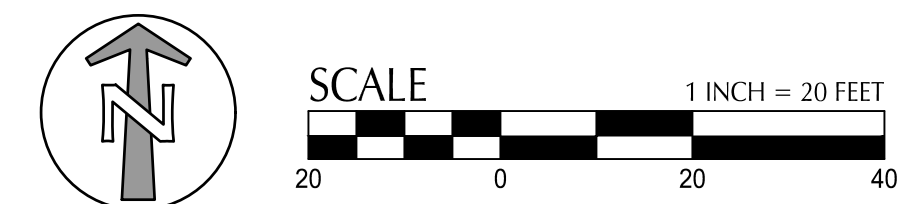


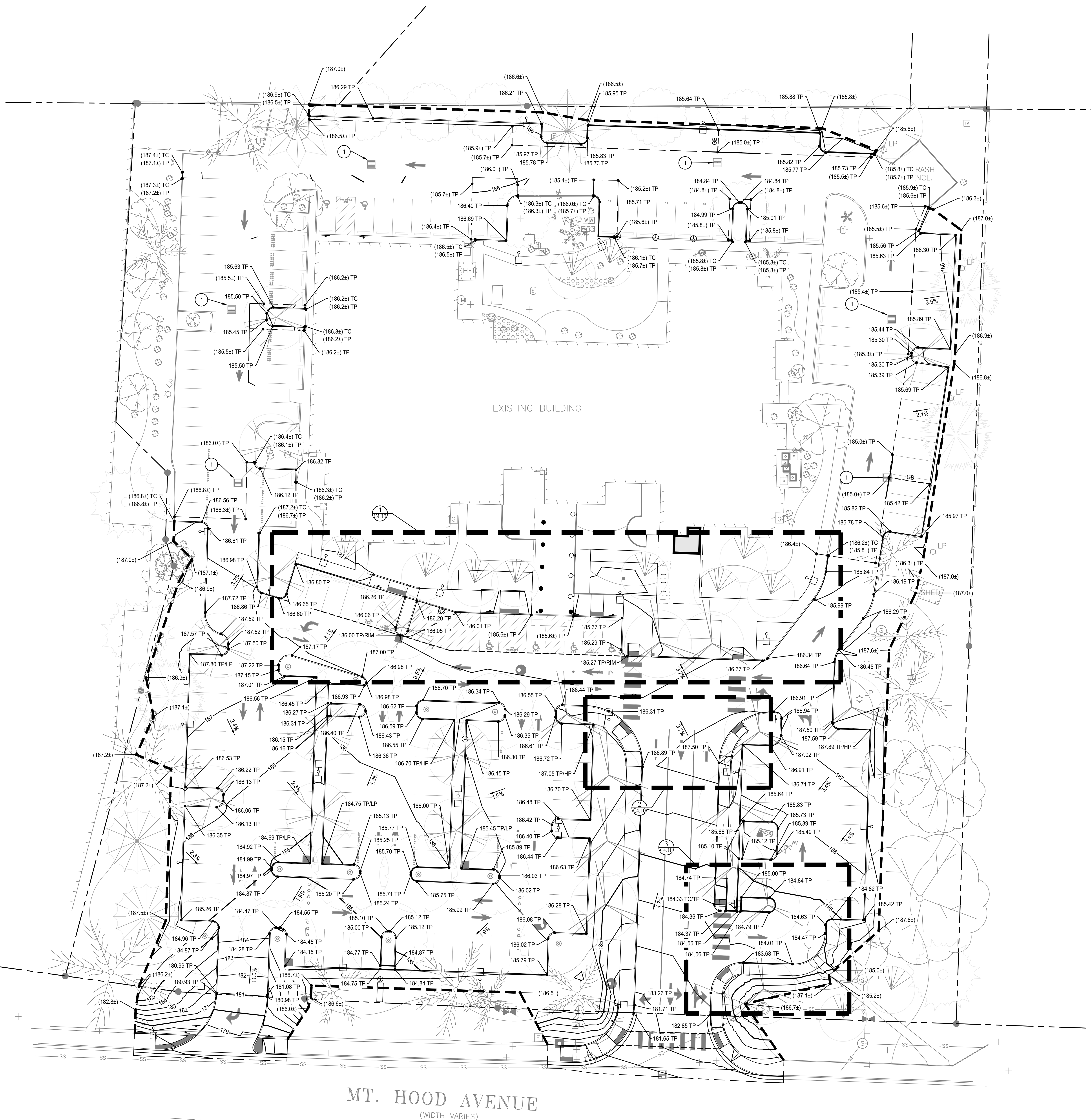
ISSUE DATE: 10.04.23
 REVISIONS:

DESIGN REVIEW SET

FIRE ACCESS PLAN

C3.50
 PROJECT NO.: 21057





SHEET NOTES

1. SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. MAXIMUM SLOPE IN ACCESSIBLE PARKING STALLS SHALL BE 2.0% IN ANY DIRECTION.
4. MAXIMUM PEDESTRIAN RAMP LONGITUDINAL SLOPE SHALL BE 8.3% AND MAXIMUM CROSS SLOPE SHALL BE 2.0% UNLESS NOTED OTHERWISE. LANDINGS SHALL BE PROVIDED AT THE TOP OF EACH RAMP THAT ARE 2.0% MAXIMUM SLOPE IN ANY DIRECTION UNLESS NOTED OTHERWISE.
5. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAA).
6. SLOPES TO MATCH EXISTING GRADE IN LANDSCAPE AREAS NOT TO EXCEED 4H:1V SLOPES.
7. GRADING SHALL BE COMPLETED PER CONTOURS, SPOT ELEVATIONS, AND ROADWAY PROFILES IF PROVIDED. FINISH GRADE SLOPES ARE PROVIDED FOR REFERENCE ONLY.
8. ALL TOP OF CURB ELEVATIONS ARE 6" ABOVE TP GRADES UNLESS NOTED OTHERWISE.
9. CATCH BASIN RIM ELEVATIONS SHOWN IN C5.00 SERIES ARE TO CENTER OF STRUCTURE AND MAY SLIGHTLY DIFFER FROM PAVEMENT GRADES. DESIGN INTENT WILL BE FOR CATCH BASINS TO BE AT OR SLIGHTLY LOWER THAN ADJACENT PAVEMENT GRADES TO FACILITATE POSITIVE DRAINAGE.
10. PUBLIC IMPROVEMENTS GRADING SHOWN FOR REFERENCE ONLY. REFER TO PUBLIC IMPROVEMENT PLANS FOR GRADING INFORMATION ASSOCIATED WITH THE PUBLIC IMPROVEMENTS.
11. CONTRACTOR SHALL ENSURE THAT POSITIVE DRAINAGE IS MAINTAINED.

KEY NOTES

NOTE	DESCRIPTION	DETAIL REF.
1	MAINTAIN PAVEMENT DRAINAGE TOWARD EXISTING STORM STRUCTURES	
2	CONTRACTOR TO FIELD VERIFY EXISTING GRADES. NOTIFY CIVIL ENGINEER IMMEDIATELY IF GRADES DIFFER FROM PLAN.	
3	INSTALL AREA DRAIN AND LOW SPOT TO COLLECT STORMWATER IN LANDSCAPE AREAS.	

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
[X.XX]	SLOPE ORIENTATION INDICATING DIRECTION OF MAXIMUM GRADE (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
EG	EXISTING GRADE
FG	FINISHED GRADE
HP	HIGH POINT
LP	LOW POINT
RM	RIM OF STRUCTURE
TC	TOP OF CURB
TP	TOP OF PAVEMENT
(XXX.Xx)	EXISTING GRADE (MATCH WHERE APPLICABLE)

SHEET LEGEND

---	GRADE BREAK
---	SAWCUT LINE
---	EX. CONTOUR MINOR
---	EX. CONTOUR MAJOR
---	CONTOUR MINOR (FG)
---	CONTOUR MAJOR (FG)
---	LIMITS OF GRADING

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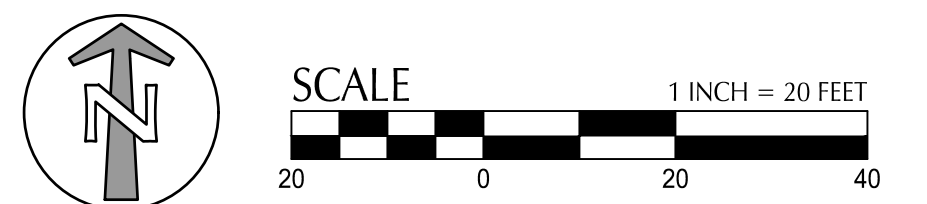


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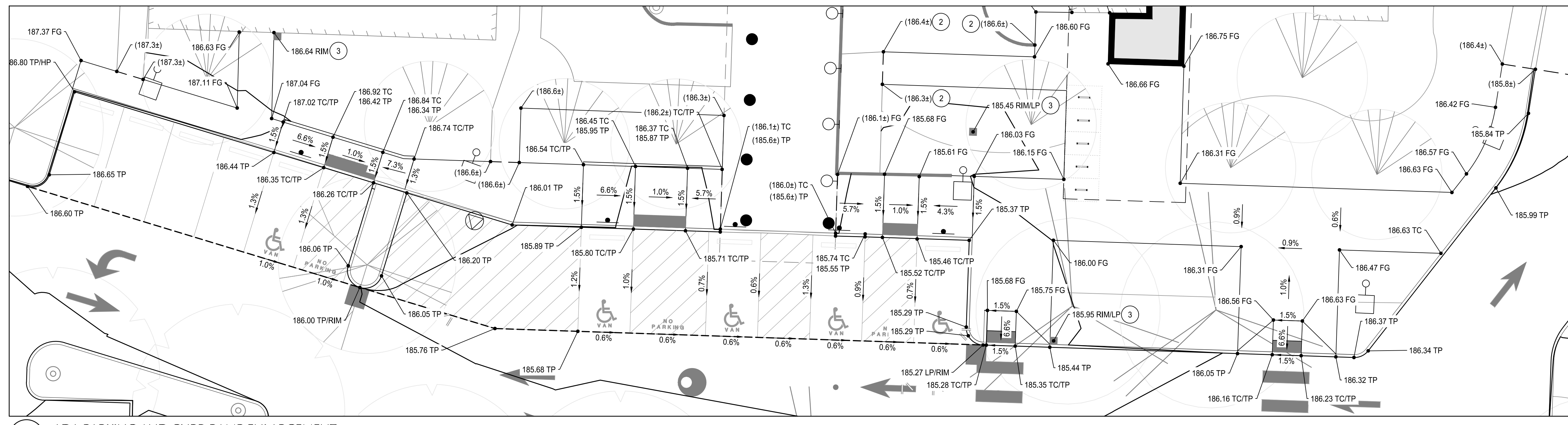


GRADING PLAN

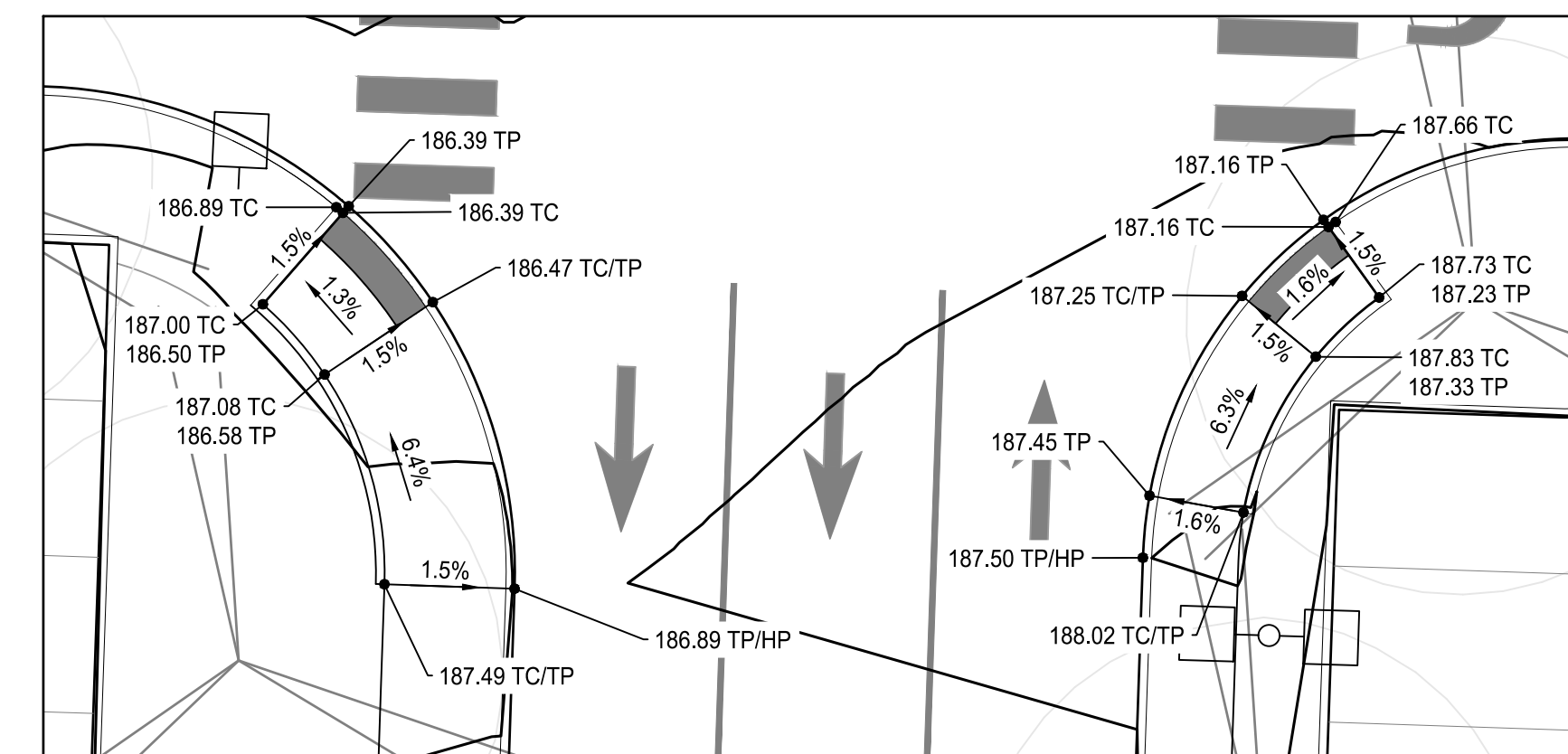
C4.00

PROJECT NO.: 21057

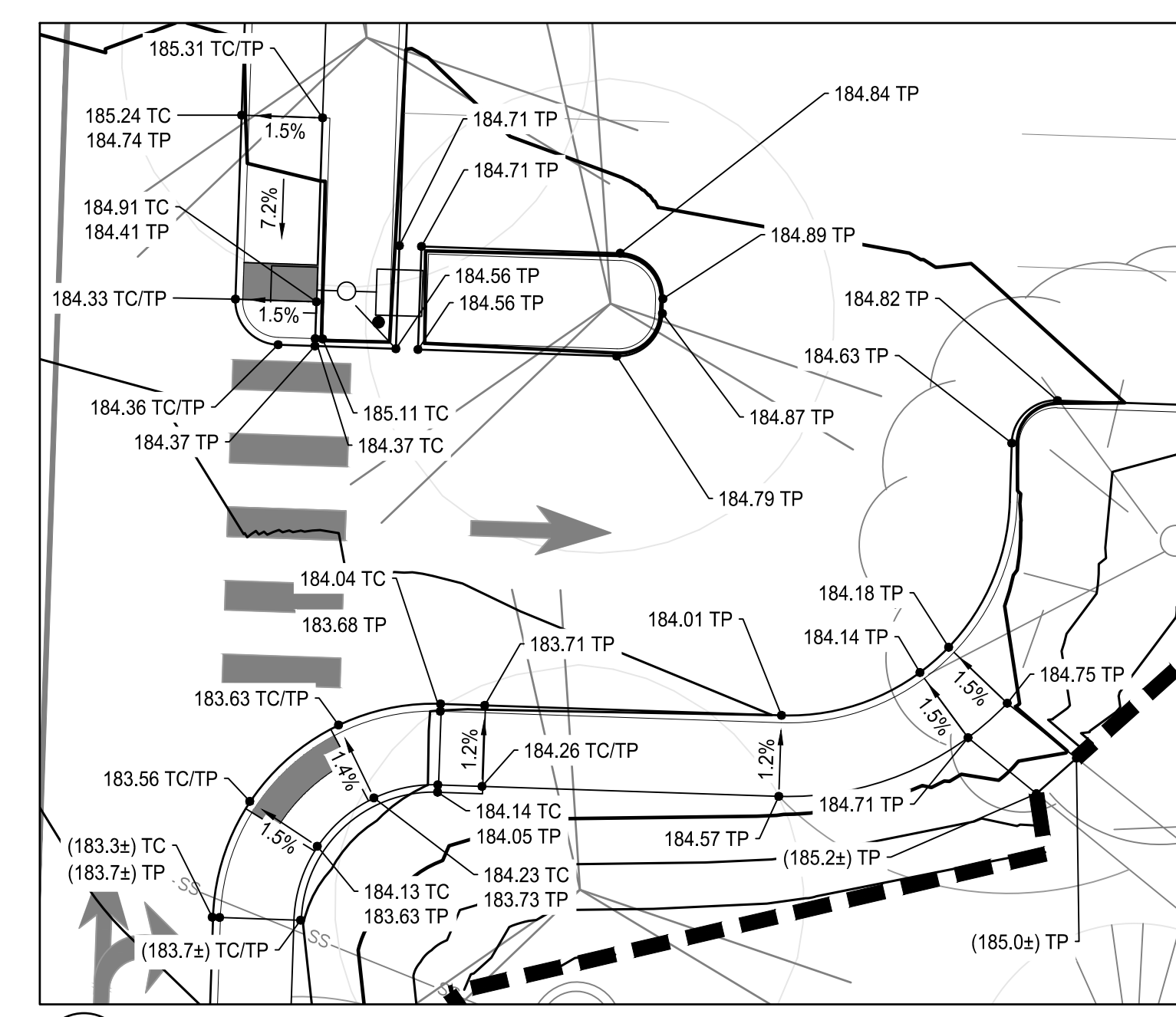
DESIGN REVIEW SET



1 ADA PARKING AND CURB RAMP ENLARGEMENT
SCALE: 1" = 10'



2 CURB RAMP ENLARGEMENT
SCALE: 1" = 10'



3 CURB RAMP ENLARGEMENT
SCALE: 1" = 10'

SHEET NOTES

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GRADING LABEL LEGEND

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FG	FINISHED GRADE
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TP	TOP OF PAVEMENT
(XXX.X)	EXISTING GRADE (MATCH WHERE APPLICABLE)

SHEET LEGEND

---	GRADE BREAK
---	SAWCUT LINE
---	EX. CONTOUR MINOR
---	EX. CONTOUR MAJOR
---	CONTOUR MINOR (FG)
---	CONTOUR MAJOR (FG)
---	LIMITS OF GRADING

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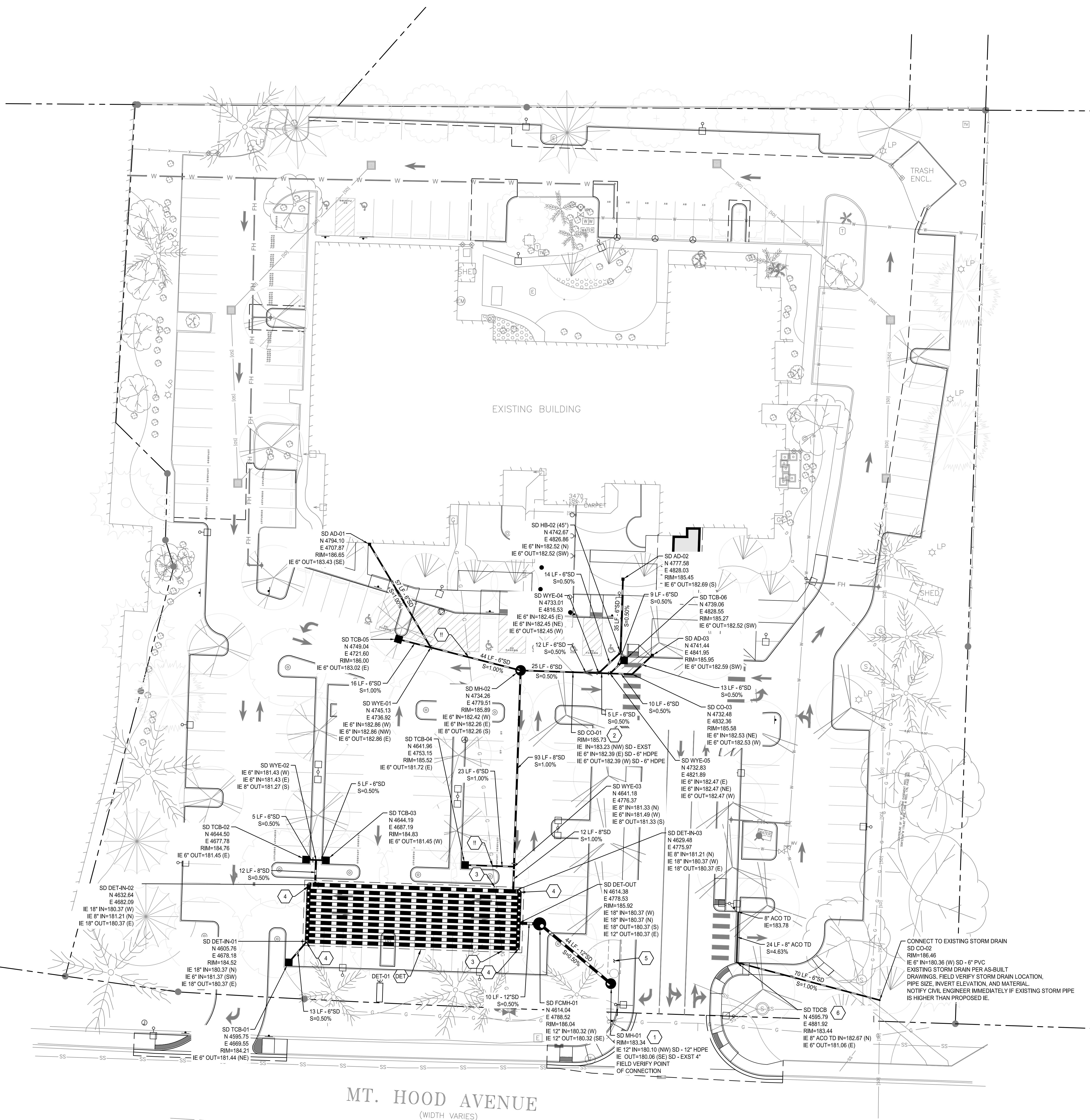
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GRADING ENLARGEMENTS

C4.10
PROJECT NO.: 21057





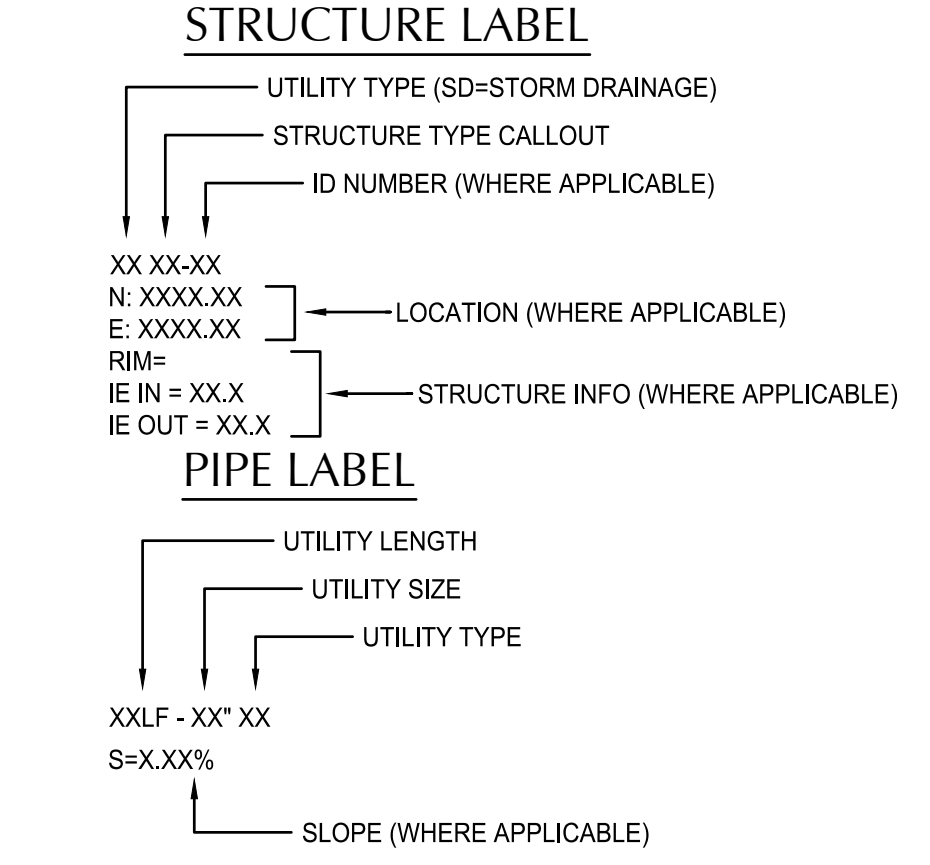
SHEET NOTES

- PIPE BEDDING AND BACKFILL FOR ALL UTILITIES SHALL BE DONE PER DETAIL 1/C7.10.
- RIM ELEVATIONS, STATIONS, AND OFFSETS SHOWN ON STRUCTURES ARE SHOWN AT CENTER OF STRUCTURE.

STORM KEY NOTES

NOTE	DESCRIPTION	DETAIL REF.
1	REPLACE EXISTING MANHOLE WITH NEW MANHOLE. PRIOR TO ORDERING MANHOLE, VECTOR EXISTING MANHOLE AND CONFIRM ALL EXISTING PIPE SIZES, INVERT ELEVATIONS, MATERIAL, AND LOCATIONS. DESIGN INTENT IS TO CONTINUE POSITIVE DRAINAGE THROUGH EXISTING PIPING TOWARDS HWY 214. EXISTING PIPE IE BASED ON RECORD DRAWINGS AND SURVEY INFORMATION.	5/C7.10
2	INTERCEPT EXISTING STORM PIPE. FIELD VERIFY PIPE SIZE, INVERT ELEVATION, AND LOCATION. INSTALL CLEANOUT AT WYE FITTING.	
3	CONTRACTOR TO FIELD VERIFY IE, HORIZONTAL LOCATION, PIPE SIZE, AND MATERIAL OF GAS LINE. NOTIFY CIVIL ENGINEER IMMEDIATELY IF THERE IS CONFLICT WITH DET-01.	
4	INSTALL MAINTENANCE RISERS AT DETENTION FACILITY PER MANUFACTURERS RECOMMENDATIONS. AT A MINIMUM, INSTALL RISERS AT THE 4 CORNERS OF THE DETENTION FACILITY.	
5	PER CORRESPONDENCE WITH THE CITY OF WOODBURN AND ODOT, THE EXISTING DETENTION FACILITY IS TO BE REMOVED. THE AVAILABLE VOLUME FROM THE EXISTING DETENTION FACILITY WILL BE ADDED TO THE PROPOSED FACILITY.	
6	TDCB BASIS OF DESIGN IS ACO K200 SERIES.	
DET	UNDERGROUND DETENTION FACILITY. BASIS OF DESIGN IS 10 ROWS OF 18" PERFORATED PIPE EQUALING 3,500 CF OF TOTAL AVAILABLE STORAGE.	7/C7.10
SD	CONNECT TO STORM DRAIN/ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.	
!!	UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE. U.N.O.	

STORM LABEL LEGEND



STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
CO	CLEANOUT TO GRADE	3/C7.10
DET-IN	DETENTION FACILITY INLET	
DET-OUT	DETENTION FACILITY OUTLET	
FOMH	FLOW CONTROL MANHOLE (60" DIAMETER)	6/C7.10
MH	MANHOLE	5/C7.10
TCB	TRAPPED CATCH BASIN	2/C7.10
TD	TRENCH DRAIN	4/C7.10
TDCB	INLINE TRENCH DRAIN CATCH BASIN	4/C7.10
WYE	WYE	

STORMWATER NARRATIVE:

PER CORRESPONDENCE WITH THE CITY OF WOODBURN AND OREGON DEPARTMENT OF TRANSPORTATION, THE PROJECT DOES NOT REQUIRE STORMWATER TREATMENT FACILITIES FOR THE PROPOSED IMPROVEMENTS.

DETENTION AND FLOW CONTROL IS REQUIRED FOR THE NET NEW IMPERVIOUS AREA AND IS DESIGNED IN ACCORDANCE WITH THE ODOT HYDRAULICS MANUAL. THE PROPOSED DETENTION SYSTEM WILL BE 10 ROWS OF 18-INCH PERFORATED PIPE SURROUNDED BY ROCK AND WRAPPED IN SEPARATION FABRIC. THE NEW DETENTION FACILITY WILL ALSO INCLUDE THE VOLUME OF THE EXISTING DETENTION PIPE SO THAT IT MAY BE REMOVED TO ALLOW FOR A SAFE PEDESTRIAN ACCESS SIDEWALK.

FOR INFORMATION ONLY



Salud Medical Center
 YAKIMA VALLEY FARM WORKERS CLINIC
 1175 Mt Hood Ave, Woodburn, OR 97071



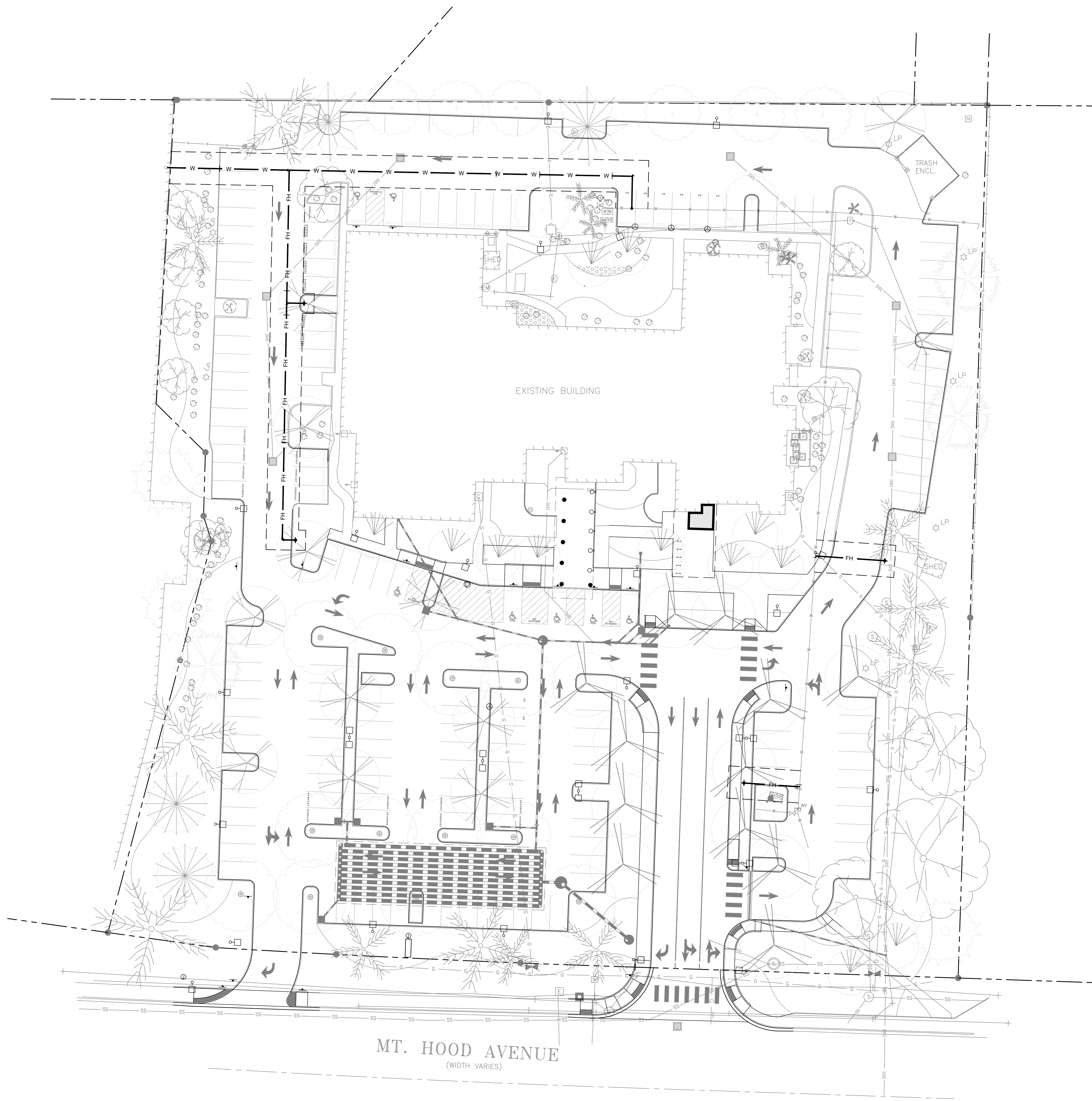
ISSUE DATE: 10.04.23
 REVISIONS:

DESIGN REVIEW SET

STORM PLAN

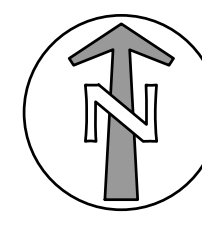
C5.00
 PROJECT NO.: 21057





SHEET NOTES

- THIS SHEET IS PROVIDED FOR REFERENCE ONLY. SEE PUBLIC WORKS PLANS FOR DETAILED ENGINEERING DESIGN RELATED TO THE PUBLIC WATER MAIN AND FIRE HYDRANTS.



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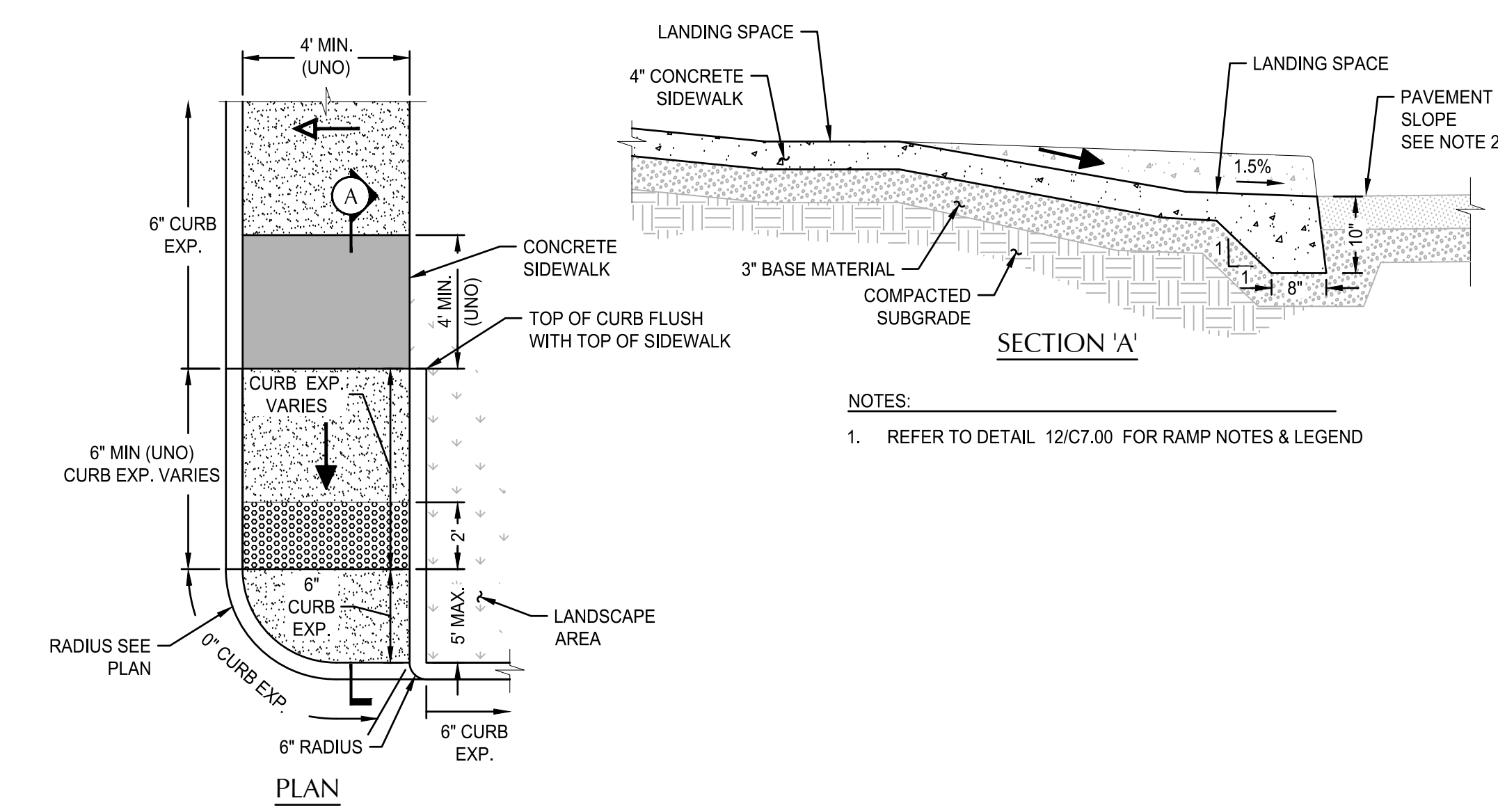


ISSUE DATE: 10.04.23
REVISIONS:

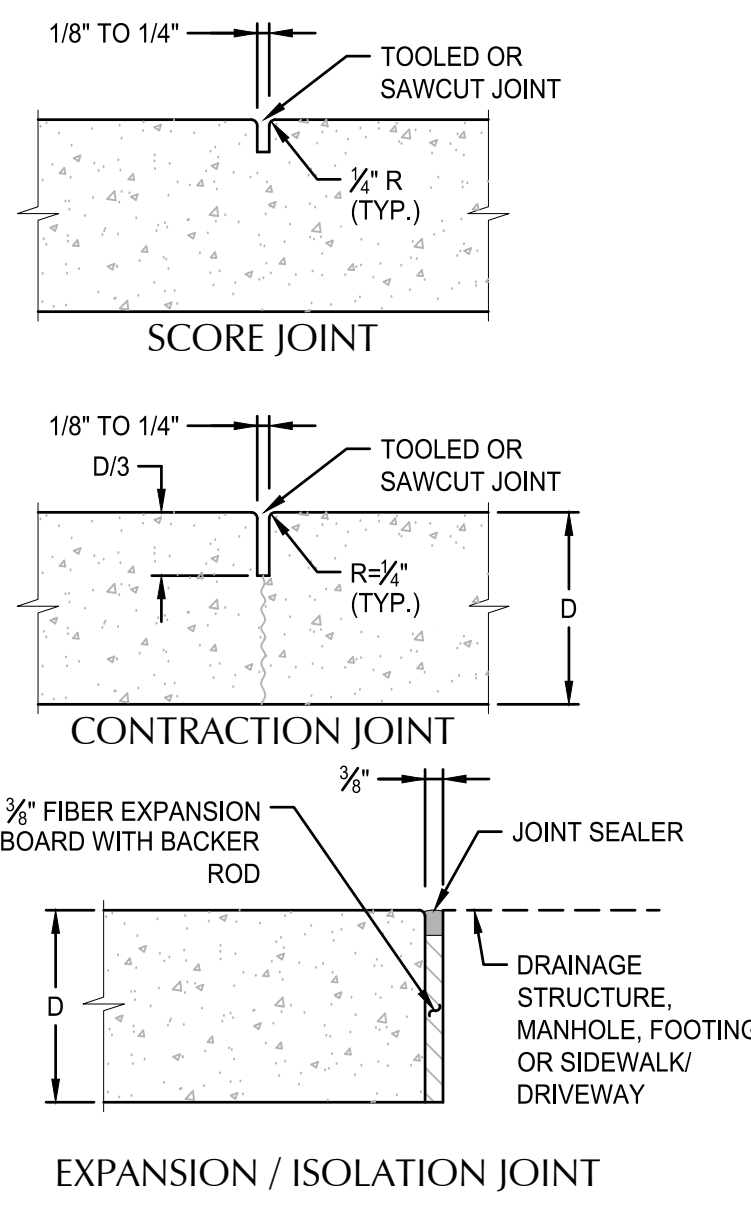
UTILITY PLAN

C6.00
PROJECT NO.: 21057

DESIGN REVIEW SET



14 CURB RAMP - SMALL CURVE
SCALE: NTS

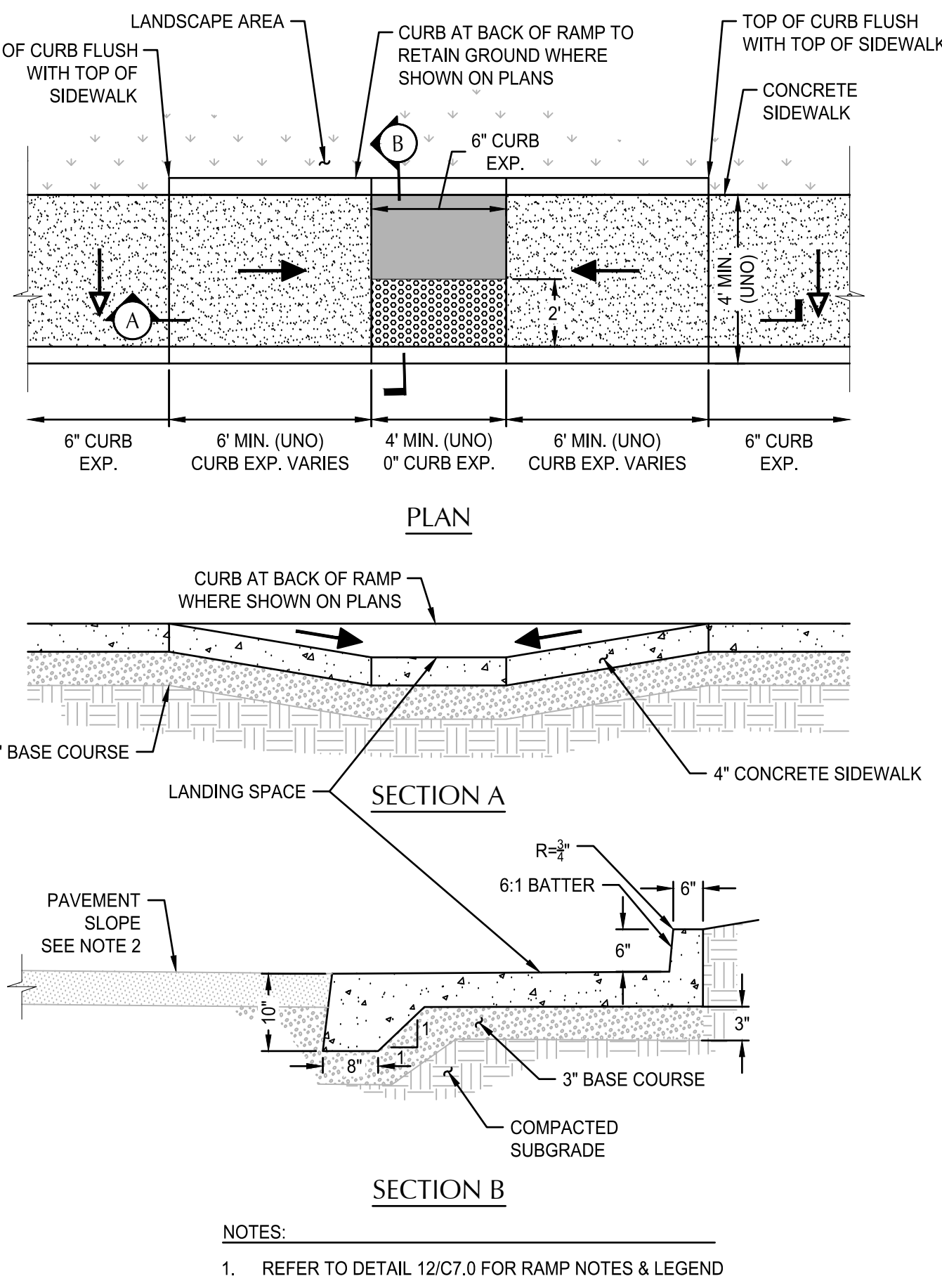


JOINT INTERVALS TABLE

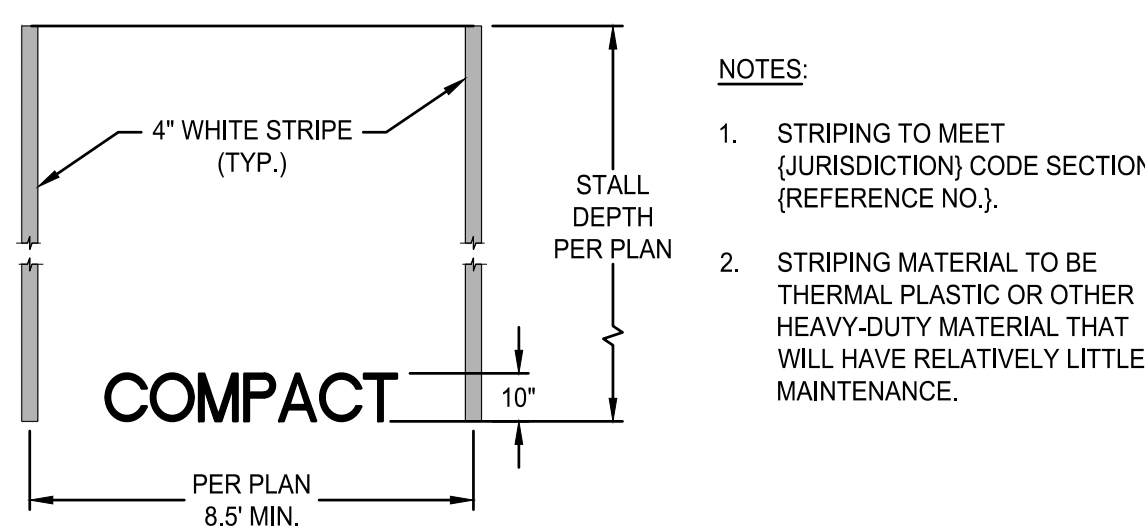
TYPE	SPACING	OR AT...
SCORE	5' TYP.	LOCATIONS SHOWN ON PLANS
CONTRACTION	15' MAX.	END OF RAMPS AND DRIVEWAYS
EXPANSION / ISOLATION	200'	POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY OR OTHER FIXED OBJECTS

- NOTES:
1. CONTRACTION JOINTS MAY BE USED IN PLACE OF SCORE JOINTS.
2. CONSTRUCTION COLD JOINTS MAY BE USED IN PLACE OF CONTRACTION JOINTS.
3. PROVIDE MEDIUM BROOM FINISH WITH NO TOOL MARKS.

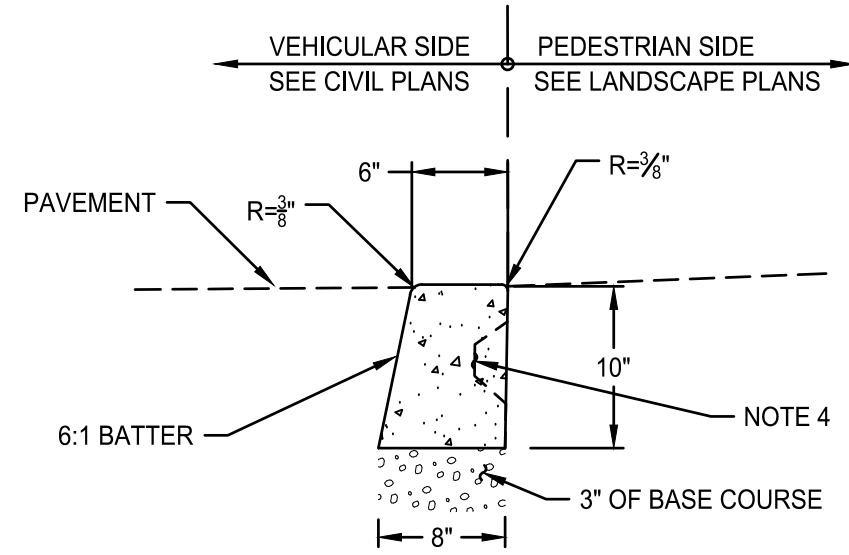
18 SIDEWALK JOINTS
SCALE: NTS



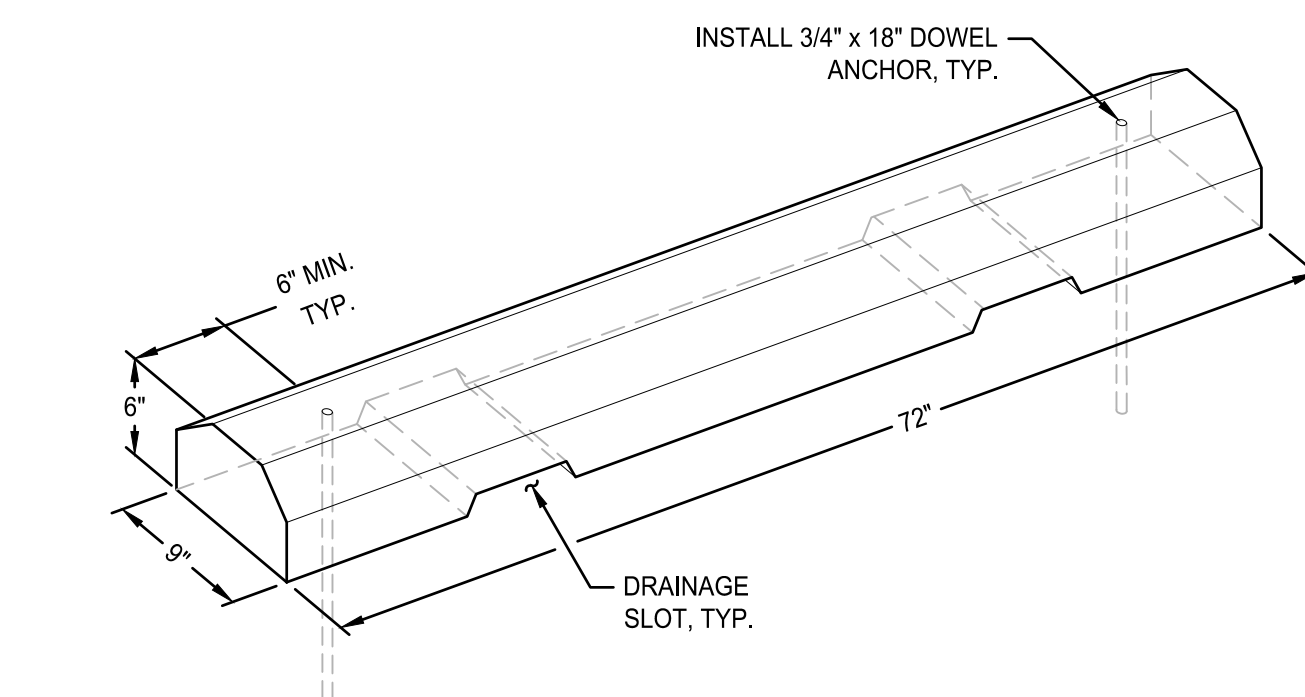
15 CURB RAMP - DROP PANEL
SCALE: NTS



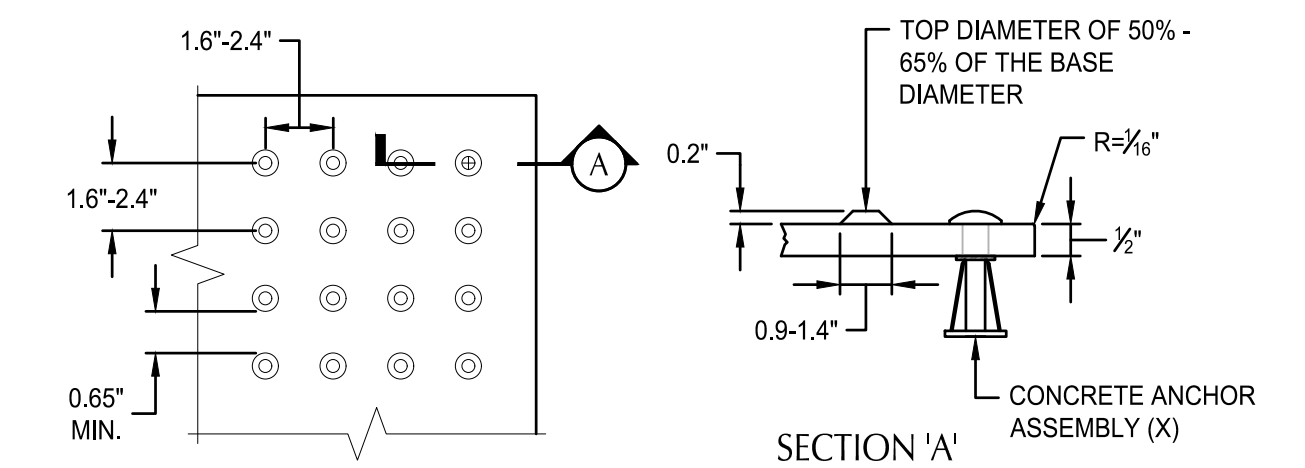
16 COMPACT STRIPING
SCALE: NTS



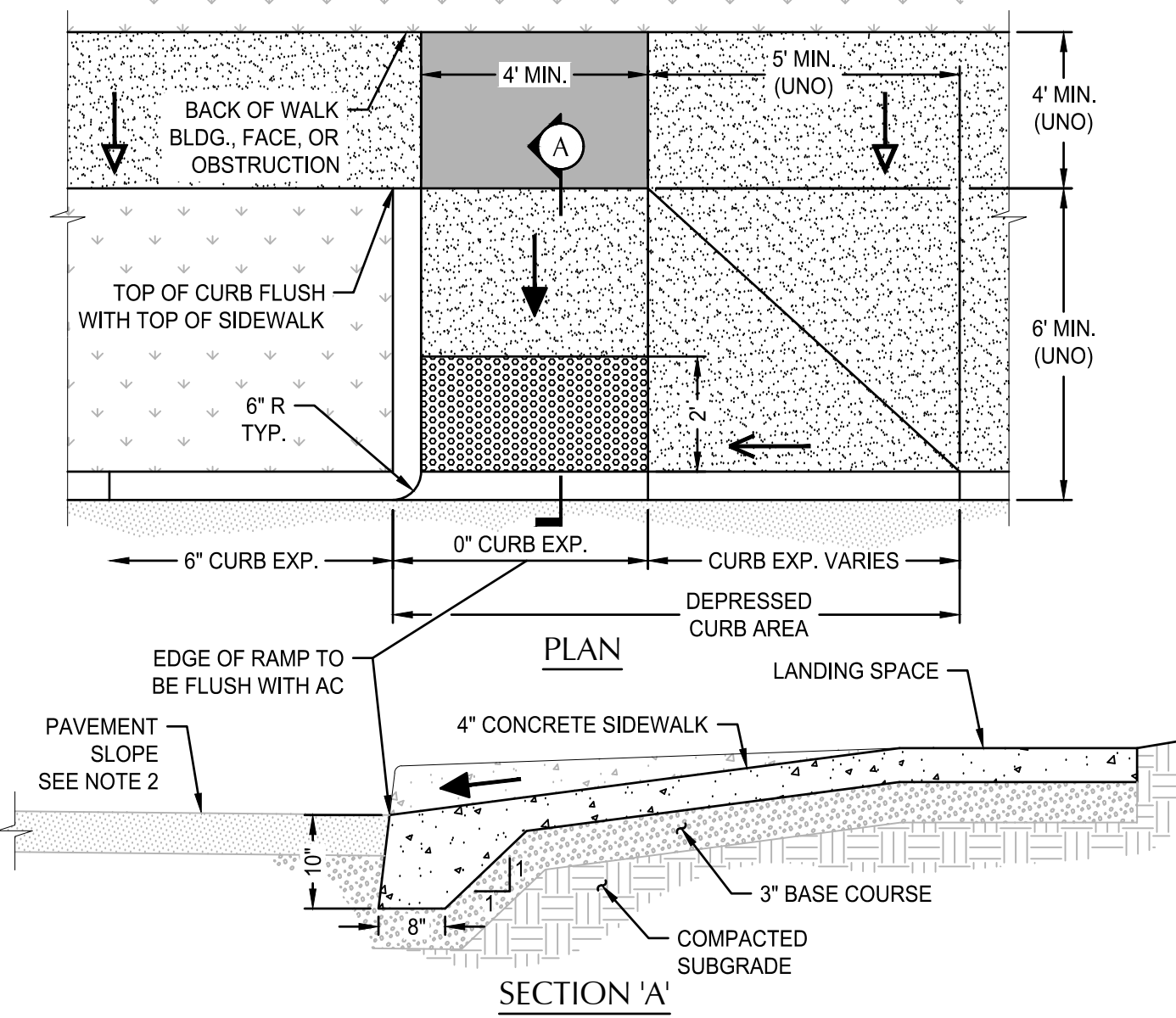
17 FLUSH CURB
SCALE: NTS



10 PRECAST CONCRETE WHEEL STOP
SCALE: NTS

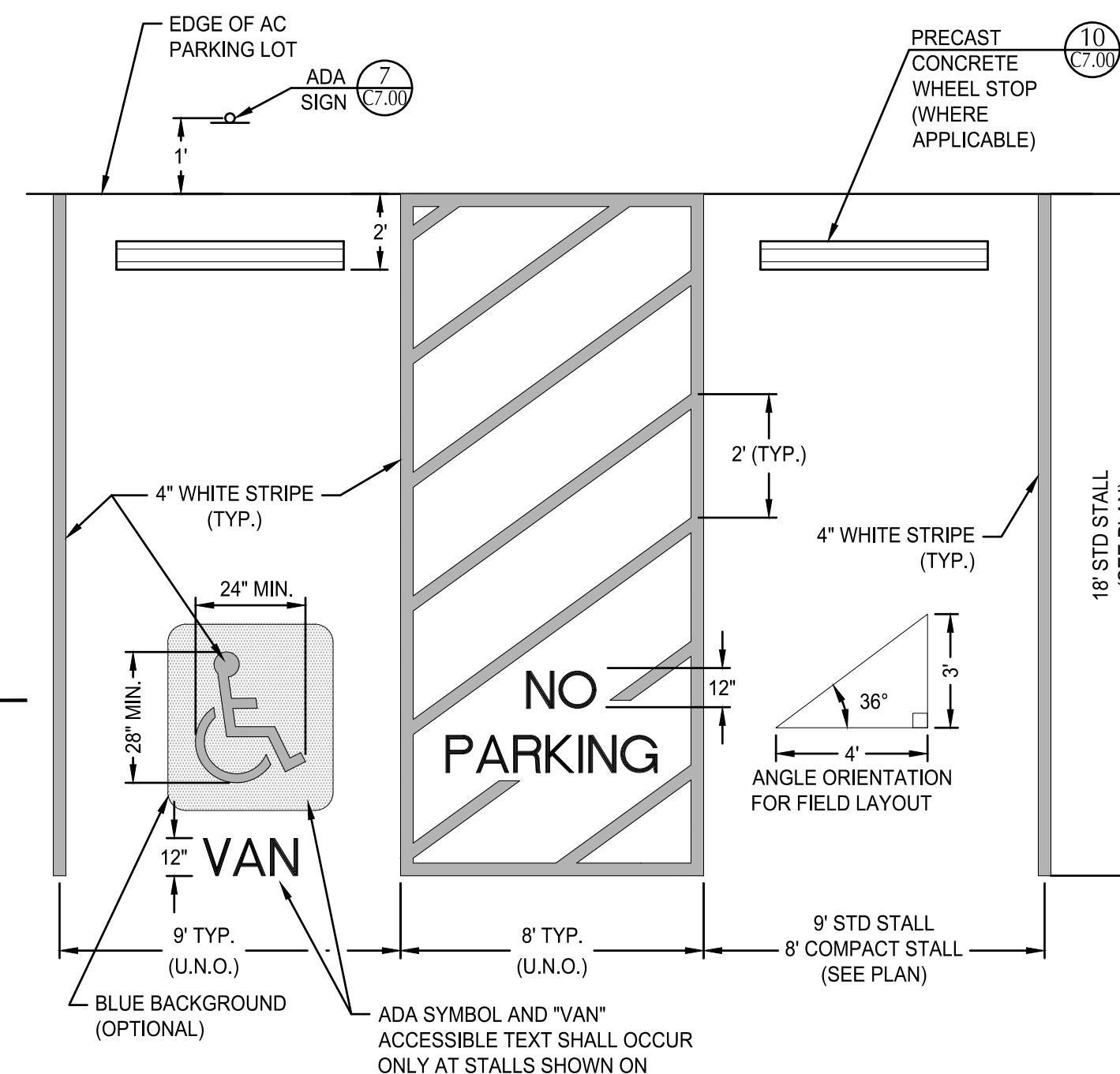


11 DETECTABLE WARNING - TYPE 2
SCALE: NTS

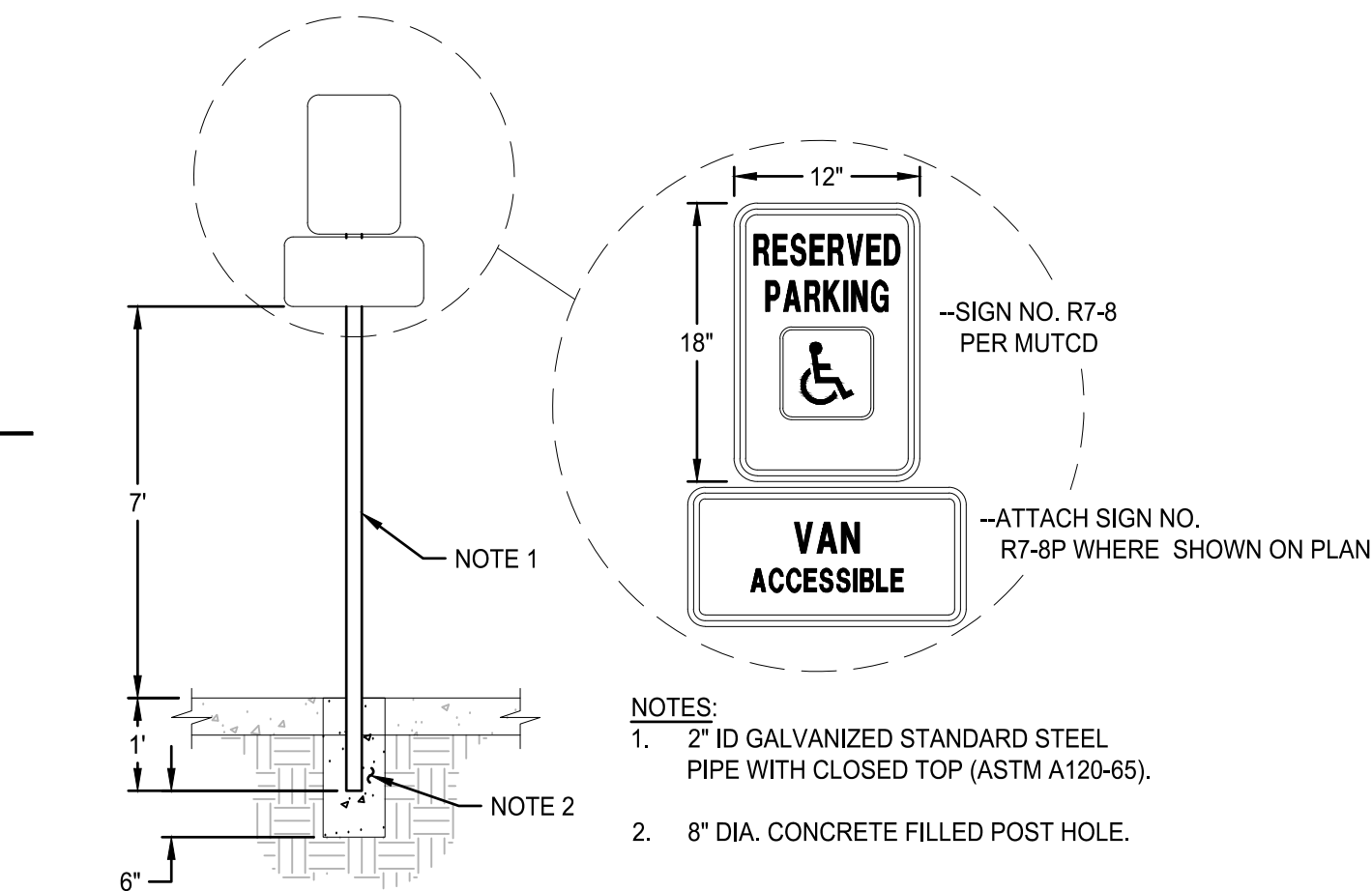


12 CURB RAMP - STANDARD
SCALE: NTS

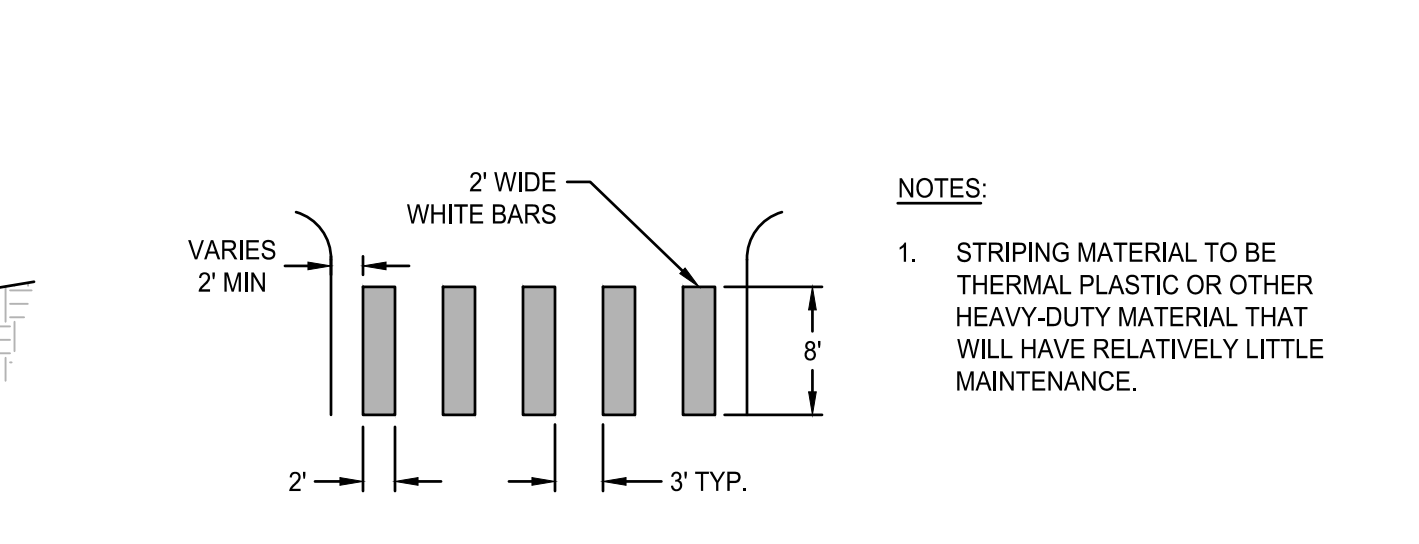
13 CONCRETE CURB - ENDING
SCALE: NTS



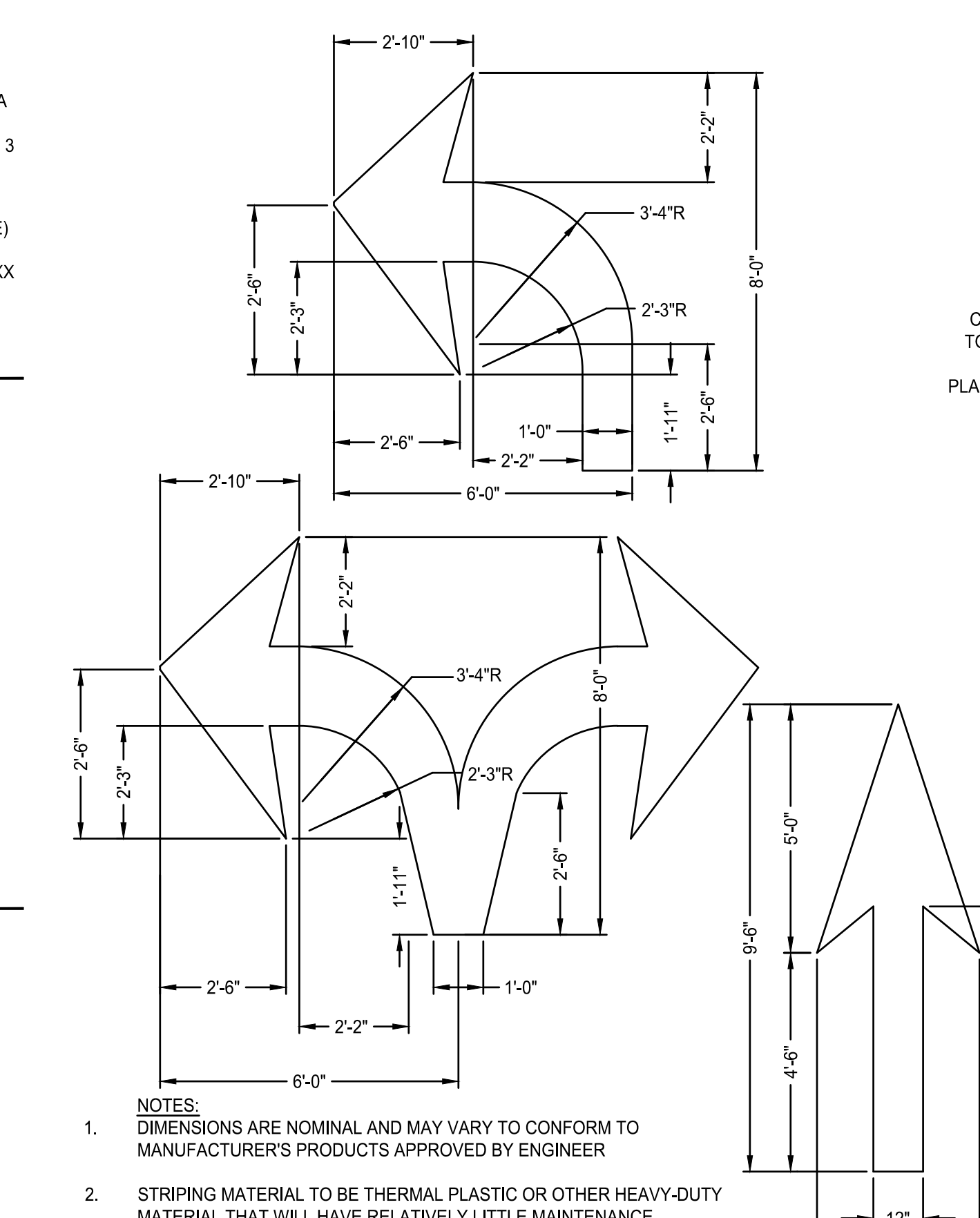
6 TYPICAL PARKING LAYOUT
SCALE: NTS



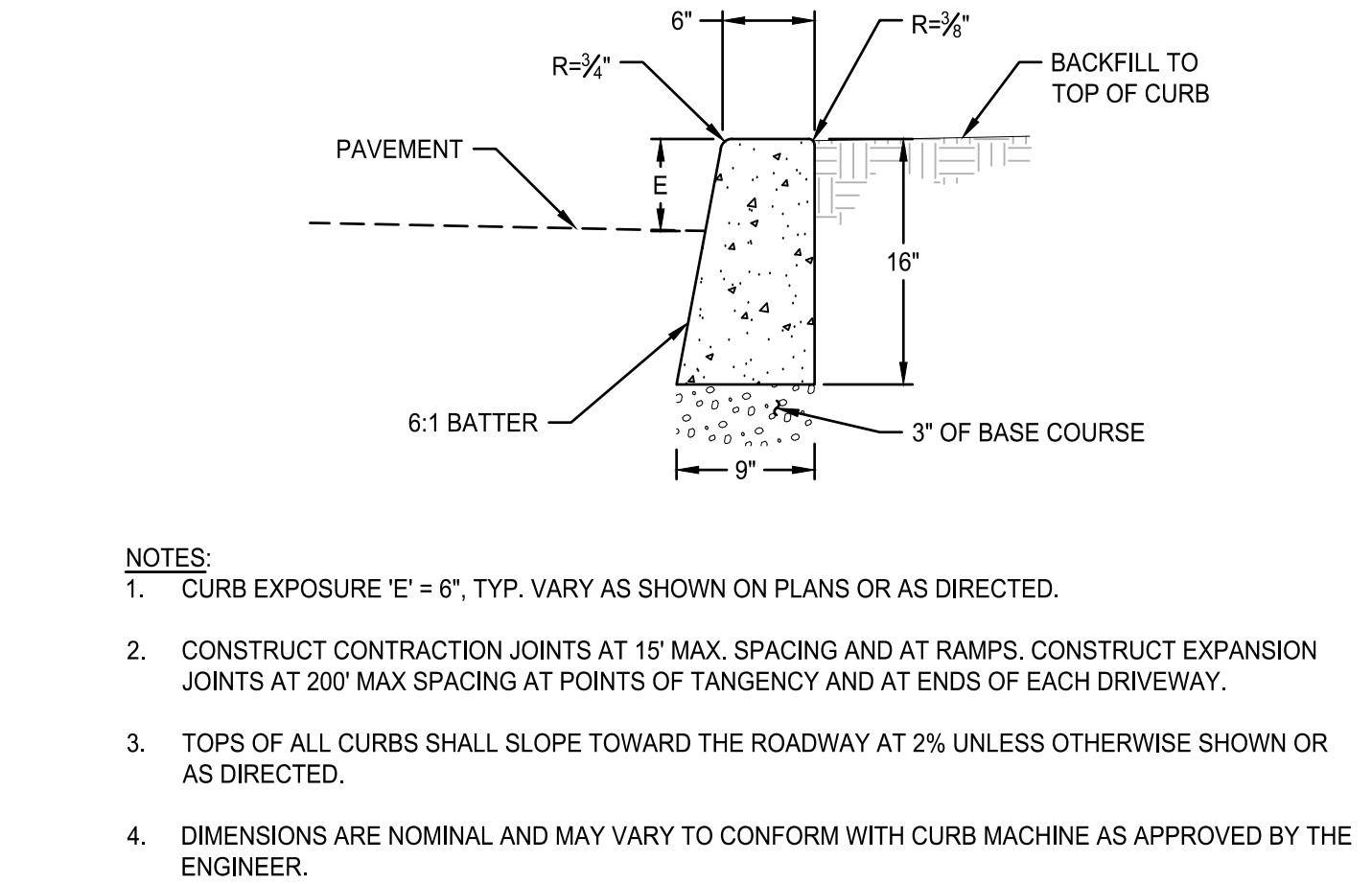
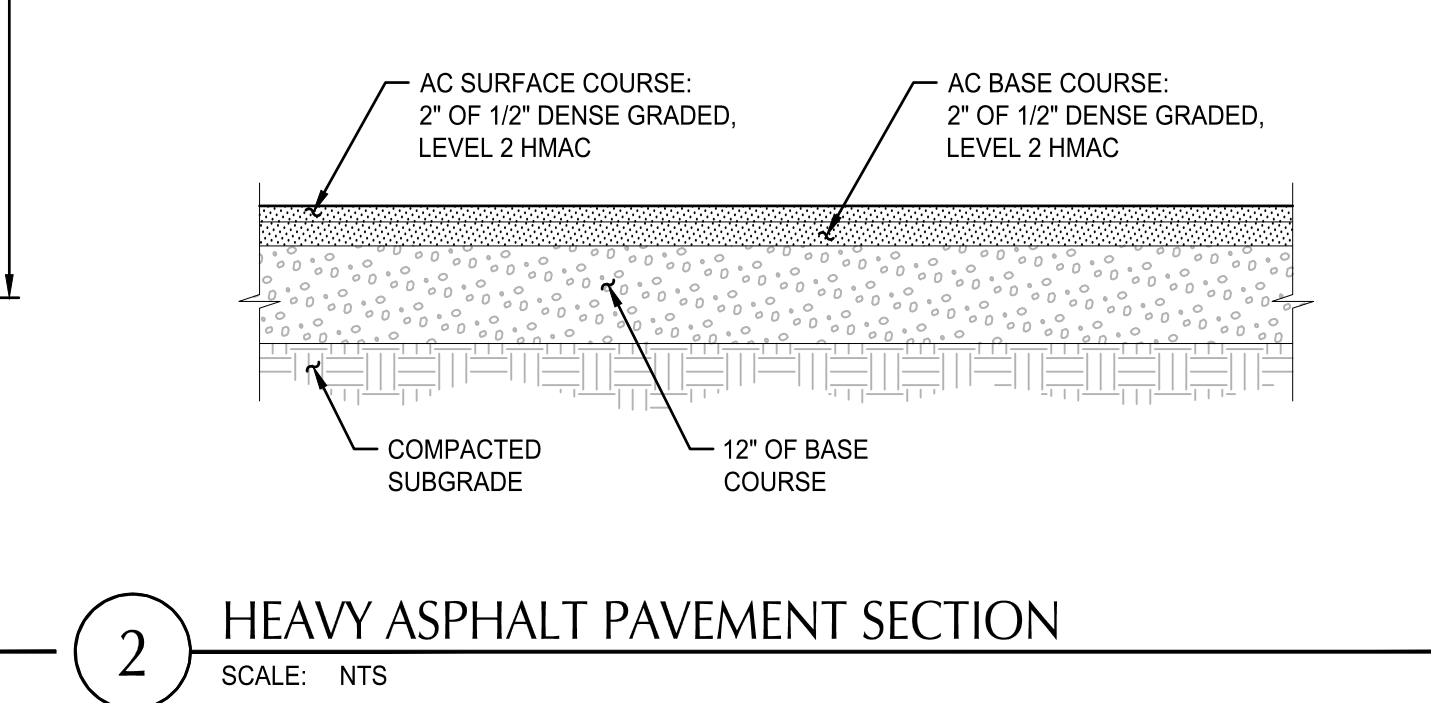
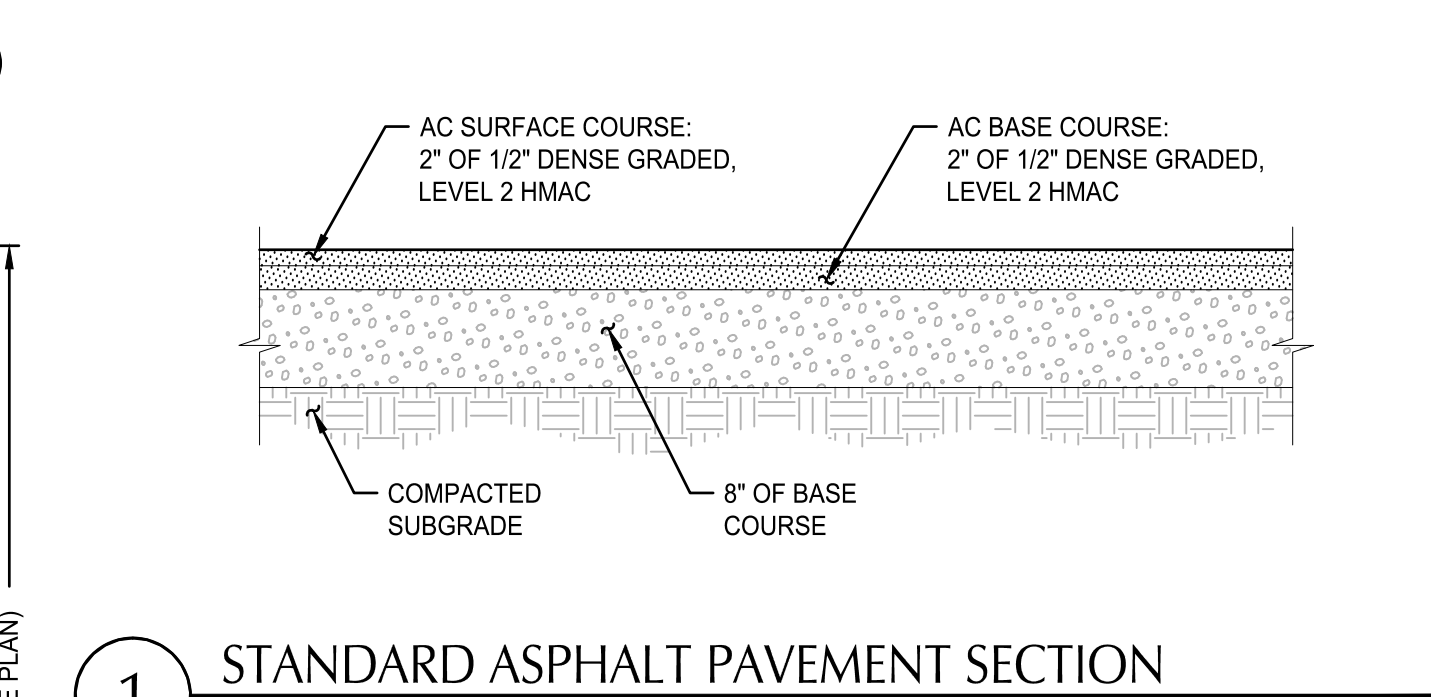
7 ADA PARKING SIGN
SCALE: NTS



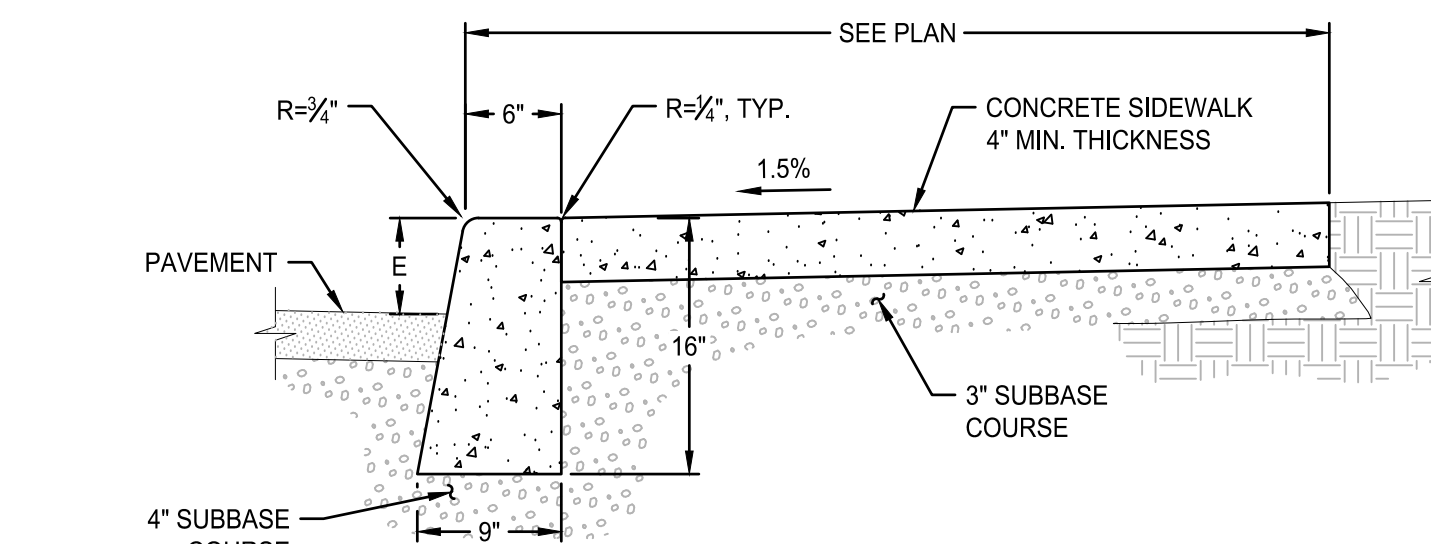
8 CROSSWALK STRIPING
SCALE: NTS



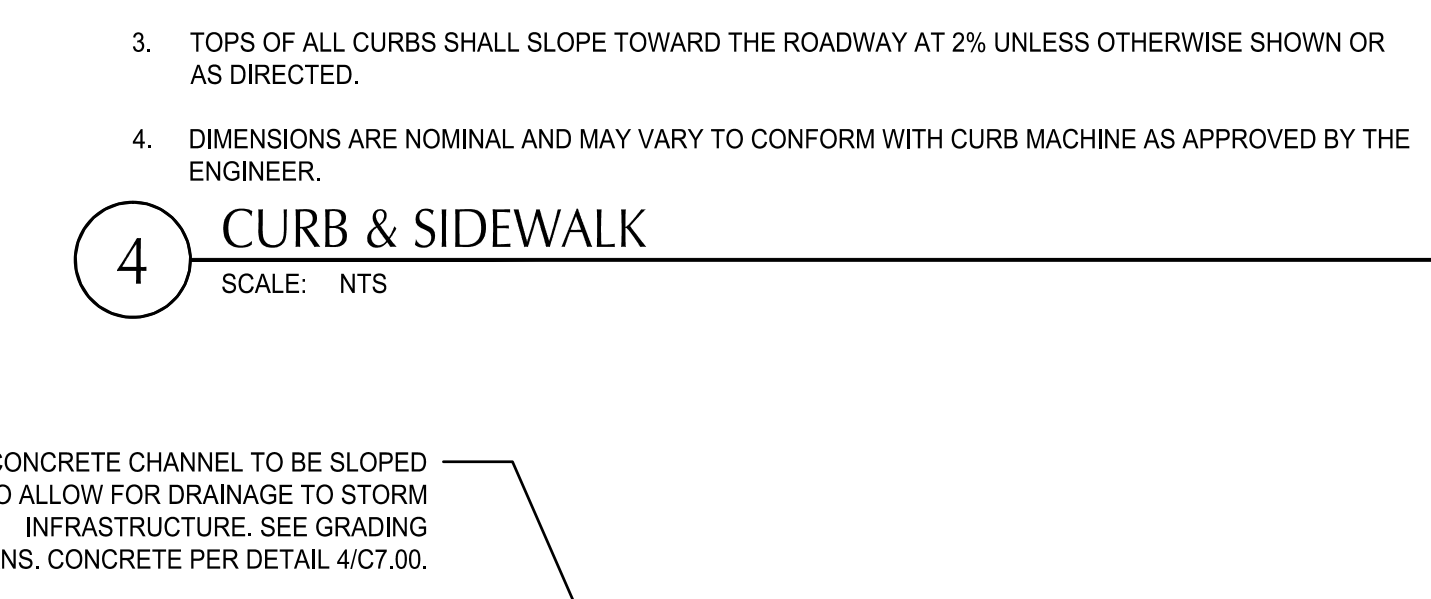
9 DIRECTIONAL ARROWS
SCALE: NTS



3 CONCRETE CURB
SCALE: NTS



4 CURB & SIDEWALK
SCALE: NTS



5 CONCRETE CHANNEL
SCALE: NTS

FOR INFORMATION ONLY



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Salud Medical Center
YAKIMA VALLEY FARM WORKERS CLINIC
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ISSUE DATE: 04.14.23
REVISIONS:

DETAILS

C7.00
PROJECT NO.: 21057

GENERAL STREET LIGHTING NOTES (PGE OPTION B)

- A. OPTION B IS FOR MAINTENANCE AND ENERGY SUPPLIED TO EQUIPMENT OWNED BY THE CUSTOMER... B. FOR OPTION B STREETLIGHTS (OWNED BY THE MUNICIPALITY/CITY)... C. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE STREET LIGHT POLES AND FIXTURES...

PGE TRENCH AND INSTALLATION REQUIREMENTS

- A. ONLY PGE-APPROVED EXCAVATION CONTRACTORS AND CONTRACTORS WHO HAVE MADE SPECIAL ARRANGEMENTS WITH PGE WILL BE ALLOWED TO WORK UNDER A PGE STREET RIGHT-OF-WAY PERMIT... B. THE DEVELOPER/CUSTOMER IS RESPONSIBLE FOR ALL TRENCH EXCAVATION AND BACKFILLING... C. PGE REQUIRES THE CONTRACTOR TO INSTALL THE BOTTOM PIECE OF STREETLIGHT POLE AND/OR CONCRETE FOOTING...

STREET LIGHTING CONDUIT AND ELBOW REQUIREMENTS

- A. ALL CONDUIT ROUTES MUST BE APPROVED BY PGE PRIOR TO INSTALLATION BY THE CUSTOMER... B. ALL CONDUCTORS ARE TO BE INSTALLED IN CONDUIT... C. HOPE DUCT MAY BE USED FOR HORIZONTAL, DIRECTIONAL BORING APPLICATIONS... D. ALL CONDUITS MUST BE GRAY ELECTRICAL GRADE SCHEDULE 40 PVC... E. ALL CONDUITS ARE TO CONTAIN A 300-POUND TEST NON-CONDUCTIVE PULL STRING...

JUNCTION BOX NOTES

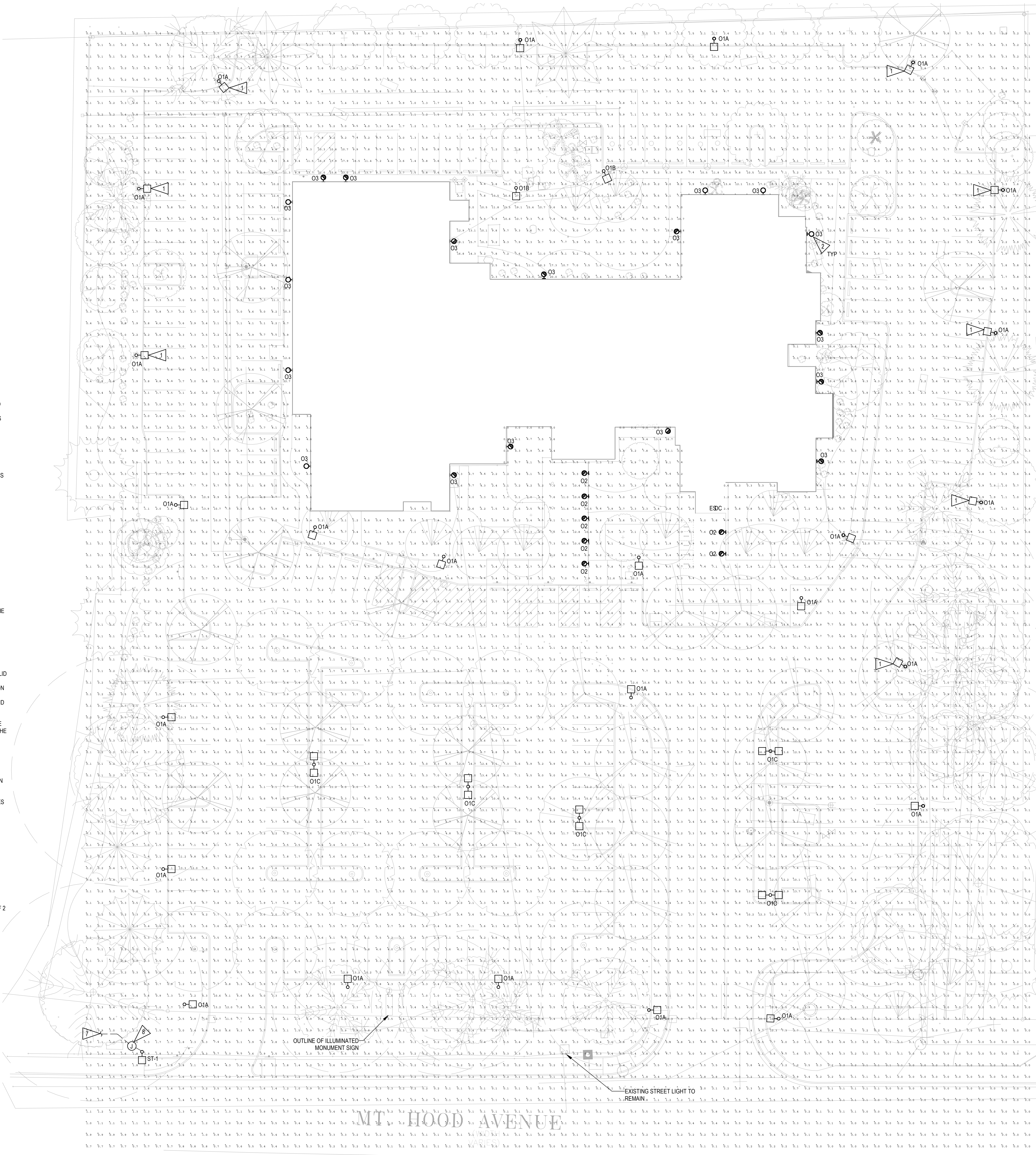
- A. ALL JUNCTION BOXES ARE TO BE PGE-APPROVED (AVAILABLE UPON REQUEST OF YOUR PGE PROJECT MANAGER)... B. MINIMUM 6 INCHES OF 3/4-INCH MINUS WELL-COMPACTED BACKFILL UNDER AND AROUND THE OUTSIDE OF THE JUNCTION BOX... C. CUSTOMER TO INSTALL A PGE-PROVIDED GROUND ROD INSIDE THE JUNCTION BOX... D. JUNCTION BOX MUST BE SET 2 INCHES ABOVE FINAL GRADE OR ON THE HIGH SIDE OF THE SLOPE...

LIGHT AND POLE PLACEMENT NOTES

- A. WHERE THERE IS A PLANTER STRIP, STREETLIGHTS ARE TO BE PLACED A MINIMUM OF 2 FOOT FACE OF POLE, FACE OF CURB... B. WHERE SIDEWALK IS DIRECTLY BEHIND CURB, STREETLIGHT PLACEMENT IS 8 INCHES BEHIND WALK... C. CONDUIT AND JUNCTION BOXES ARE TO BE PLACED IN THE PUBLIC UTILITY EASEMENT (PUE)... D. ALL OTHER LOCATIONS MUST BE APPROVED BY A PGE LIGHTING PROJECT MANAGER...

OPTION B - LIGHT AND POLE INSTALLATION BY CONTRACTOR

- A. WHERE JUNCTION BOXES ARE INSTALLED, THE CONTRACTOR SHALL RUN CONTINUOUS #10 CU 3-CONDUCTOR STREETLIGHT WIRE FROM THE LUMINAIRE TO THE JUNCTION BOX... B. WHERE JUNCTION BOXES ARE NOT INSTALLED, THE CONTRACTOR SHALL RUN CONTINUOUS #10 CU 3-CONDUCTOR STREETLIGHT WIRE FROM THE LUMINAIRE TO THE HAND HOLE OF THE POLE... C. IN BOTH CASES, 18" OF EXTRA CONDUCTOR SHALL BE PROVIDED FOR PUE TO MAKE THE CONNECTION... D. ALL DIRECT BURIAL TYPE STREETLIGHT POLES ARE TO BE SET TO THE DEPTH SPECIFIED IN PGE STANDARDS...



SHEET NOTES

- A. NOT USED.
B. NOT USED.
C. STREET LIGHTING COORDINATION WITH PGE TO CONTINUE DURING NEXT DESIGN PHASE. EXACT POWER SOURCE LOCATION AND INSTALLATION REQUIREMENTS, INCLUDING POLE BASE TYPE TO BE DETERMINED AND WILL BE COORDINATED DURING NEXT DESIGN PHASE.

FLAG NOTES

- 1. EXISTING POLE TO REMAIN. PROVIDE NEW O1A FIXTURE TO EXISTING POLE.
2. PROVIDE WALL-MOUNTED AREA LIGHT
3. NOT USED.
4. NOT USED.
5. NOT USED.
6. NOT USED.
7. POWER AND CONDUIT ROUTED BACK TO PGE POWER SOURCE.
8. INSTALL PGE 13" X 24" X 18" JUNCTION BOX WITH LID MARKED "ELECTRIC". REFER TO DETAIL #1 ON SHEET E7.00 FOR MORE INFORMATION.

CLARK KOS ARCHITECTS, LLC
SAZAN GROUP
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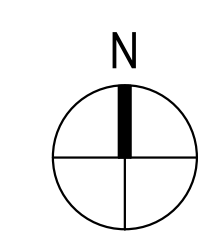


ISSUE DATE: 09.29.23

REVISIONS:

ELECTRICAL - SITE PHOTOMETRIC PLAN

E0.02



LUMINAIRE SCHEDULE

FIXTURE TYPE	DESCRIPTION	MOUNTING	CCT / CRI	INPUT WATTS (W)	LUMEN OUTPUT	EFFICACY (LUMENS / WATTS)	BALLAST / TRANSFORMER / DRIVER	VOLTAGE	LENS / REFLECTOR / BEAM	HOUSING	TRIM / FLANGE / BAFFLE / FINISH	MANUFACTURER / CATALOG #	REMARKS / ACCESSORIES/ OPTIONS
EXTERIOR LIGHTING													
O1A	TYPE IV DISTRIBUTION POLE LED LUMINAIRE	14' POLE	3000K 80CRI	109	12930	118	0-10V DIMMING DRIVER	UNV	ACRYLIC LENS	ALUMINUM	BY ARCHITECT	LITHONIA LIGHTING - RSX1 SERIES	PROVIDE 14' POLE. PROVIDE PHOTOCELL. FOR EXISTING TO REMAIN POLES PROVIDE O1A FIXTURE ONLY. SEE PLANS FOR ADDITIONAL INFORMATION.
O1B	TYPE IV DISTRIBUTION POLE LED LUMINAIRE	10' POLE	3000K 80CRI	109	12930	118	0-10V DIMMING DRIVER	UNV	ACRYLIC LENS	ALUMINUM	BY ARCHITECT	LITHONIA LIGHTING - RSX1 SERIES	PROVIDE 10' POLE. PROVIDE PHOTOCELL.
O1C	DOUBLE HEAD TYPE IV DISTRIBUTION POLE LED LUMINAIRE	14' POLE	3000K 80CRI	109	12930	118	0-10V DIMMING DRIVER	UNV	ACRYLIC LENS	ALUMINUM	BY ARCHITECT	LITHONIA LIGHTING - RSX1 SERIES	PROVIDE 14' POLE. PROVIDE PHOTOCELL.
O2	TYPE TFTM DISTRIBUTION WALL PACK LED LUMINAIRE	8' MOUNTING ON WALL	3000K 80CRI	32	3015	94	0-10V DIMMING DRIVER	UNV	ACRYLIC LENS	ALUMINUM	BY ARCHITECT	LITHONIA LIGHTING - WDGE 2 SERIES	PROVIDE INTEGRAL BATTERY PACK AND PHOTOCELL
O3	TYPE IV DISTRIBUTION WALL PACK LED LUMINAIRE	8' MOUNTING ON WALL	3000K 80CRI	51	7145	140	0-10V DIMMING DRIVER	UNV	ACRYLIC LENS	ALUMINUM	BY ARCHITECT	LITHONIA LIGHTING - WDGE 3 SERIES	PROVIDE INTEGRAL BATTERY PACK AND PHOTOCELL

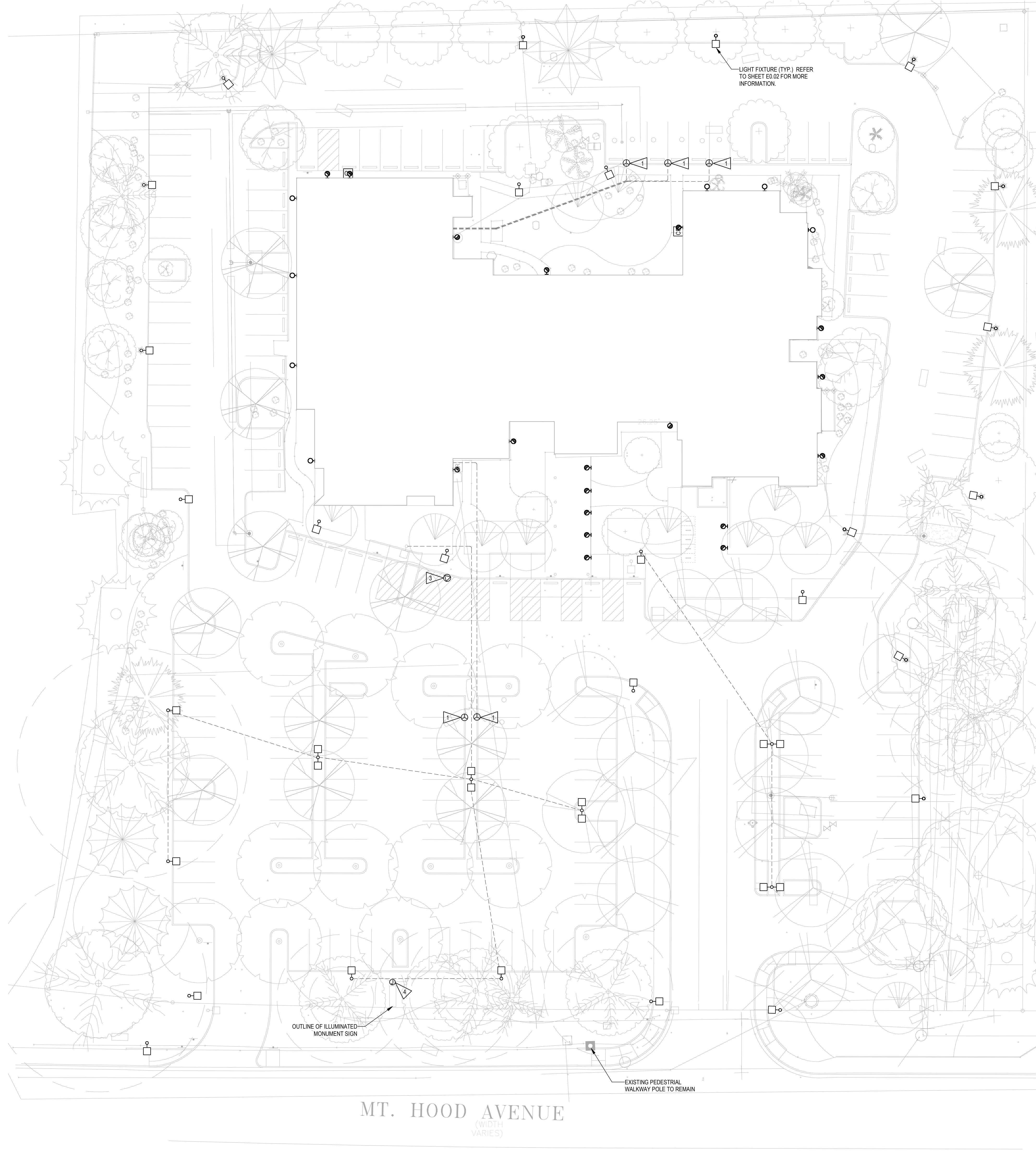
STREET LIGHTING LUMINAIRE SCHEDULE

FIXTURE TYPE	DESCRIPTION	MOUNTING	CCT / CRI	INPUT WATTS (W)	LUMEN OUTPUT	EFFICACY (LUMENS / WATTS)	VOLTAGE	LENS / REFLECTOR / BEAM	HOUSING	TRIM / FLANGE / BAFFLE / FINISH	MANUFACTURER / CATALOG #	REMARKS / ACCESSORIES/ OPTIONS	
INTERIOR LIGHTING													
ST-1	STREET POLE LIGHT WITH TYPE II MEDIUM DISTRIBUTION LED LUMINAIRE	35' POLE	3000K 80 CRI	88	10230	128	UNV	MICRO LENS	ALUMINUM	GRAY	GCM2-40H-MV-WW-2R-GY-700-PCR7-R WG-WL-FDC	LEOTEK - GCM2-40H-MV-WW-2R-GY-700-PCR7-R WG-WL-FDC	VERIFY SPECIFIED POLE AND ARM WITH THE CITY OF WOODBURN.

PHOTOMETRIC ANALYSIS SUMMARY (ILLUMINANCE METHOD)

ROADWAY	CLASSIFICATION	PEDESTRIAN CONFLICT AREA	PASS/FAIL	AVERAGE LIGHT LEVEL [FC]		UNIFORMITY [AVG/MIN]	
				TARGET	CALCULATED	TARGET	CALCULATED
MT. HOOD AVE/HILLSBORO-SILVERTON HW...	MAJOR	HIGH	TARGET ACHIEVED	>=1.2	1.6	<=3.0	1.5



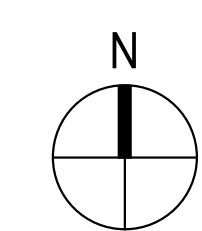


SHEET NOTES

A. CIRCUITING INFORMATION TO BE PROVIDED DURING NEXT DESIGN PHASE.

FLAG NOTES

1. PROVIDE 40A, LEVEL 2, DUAL-PORT, PEDESTAL-MOUNT EV CHARGING STATION. BASIS OF DESIGN: EV CHARGER, BASIS OF DESIGN CHARGE POINT CT4021.
2. INTERCEPT EXISTING CIRCUIT AND EXTEND TO REPLACEMENT LUMINAIRE.
3. PROVIDE PEDESTAL WITH (1) NEMA 14-50R, (1) NEMA 14-50R, (1) NEMA 14-30R, & (1) NEMA 5-20R.
4. EXTEND MONUMENT SIGN CIRCUIT CONDUITS AND CONDUCTORS TO LOCATION SHOWN.



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EXHIBIT B

PRELIMINARY
 NOT FOR CONSTRUCTION



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ISSUE DATE: 07.14.23
 REVISIONS:

CONSTRUCTION DOCUMENTS - 50% SET

PLANT UNIT REQUIREMENT MAP

L1.1

PROJECT NO.: 21057



LEGEND	
	EXISTING TREES TO REMAIN
	OFF STREET PARKING/BUFFER PLANTINGS - 78,865 S.F. (1PLANT UNIT PER 20 S.F.) FOR 'CO' ZONE 20% OF PARKING LOT AREA IS USED TO CALCULATE TOTAL PLANT UNIT REQUIREMENT.
	20' SETBACK AWAY FROM PARKING LOT LANDSCAPING CONSTITUTES THE AREA DESIGNATED FOR OFF STREET PARKING BUFFER PLANTINGS. BUFFER YARDS DO NOT NEED TO BE COUNTED WITHIN THIS ZONE. - 29,835 S.F.
	RIGHT OF WAY SETBACK PLANTINGS - 5,178 S.F. (1PLANT UNIT PER 15 S.F.)
	BUFFER PLANTINGS - 9,471 S.F. (1PLANT UNIT PER 20 S.F.)
	OTHER YARDS PLANTING - 1PU/50 S.F.

PLANTING REQUIREMENTS (SEE LEGEND FOR PROPOSED PLANT QUANTITIES)

MINIMUM LANDSCAPE REQUIREMENT	AREA
TOTAL SITE AREA	170,381 S.F.
TOTAL LANDSCAPE AREA PROVIDED	62,943 S.F. (34.5%)
PLANT UNIT REQUIREMENTS	PLANT UNITS
PARKING AND LOADING LANDSCAPING (1 PLANT UNIT PER 20 S.F. OF LANDSCAPED AREA FOR 20% OF PARKING LOT AREA) 78,865 S.F. X 20% = 15,773 / 20 = 789 P.U'S	789 P.U.
BUFFER LANDSCAPING - 9,471 S.F. (1 PLANT UNIT PER 20 S.F. OF LANDSCAPED AREA)	474 P.U.
OTHER YARD LANDSCAPING - 5,456 S.F. (1 PLANT UNIT PER 50 S.F. OF LANDSCAPED AREA)	113 P.U.
STREETSIDE SETBACK LANDSCAPING - 5,178 S.F. (1 PLANT UNIT PER 15 S.F. OF LANDSCAPED AREA)	345 P.U.
TOTAL PLANT UNITS REQUIRED	1,717 P.U.
TOTAL LANDSCAPE AREA PLANT UNITS PROVIDED	
SIGNIFICANT EXISTING TREES (15 P.U.) - 13	195 P.U.
LARGE EXISTING TREES (10 P.U.) - 4	40 P.U.
MEDIUM EXISTING TREES (8 P.U.) - 15	116 P.U.
SMALL EXISTING TREES (4 P.U.) - 14	56 P.U.
PROPOSED LARGE TREES (10P.U.) - 9	90 P.U.
PROPOSED MEDIUM TREES (8 P.U.) - 38	304 P.U.
PROPOSED SMALL TREES (4 P.U.) - 21	84 P.U.
EXISTING LARGE SHRUB (4'X4' OR LARGER) (2 P.U.) - 17	34 P.U.
LARGE SHRUB (4'X4' OR LARGER) (2 P.U.) - 330	660 P.U.
EXISTING SMALL TO MEDIUM SHRUB (4'X4' OR SMALLER) (1 P.U.) - 63	63 P.U.
SMALL TO MEDIUM SHRUB (4'X4' OR SMALLER) (1 P.U.) - 564	564 P.U.
GROUNDCOVER (1 P.U. PER 50 S.F.) - 13,550 S.F.	271 P.U.
LAWN (1 P.U. PER 50 S.F.) - 22,010 S.F.	440 P.U.
TOTAL PLANT UNITS	2,917 P.U.

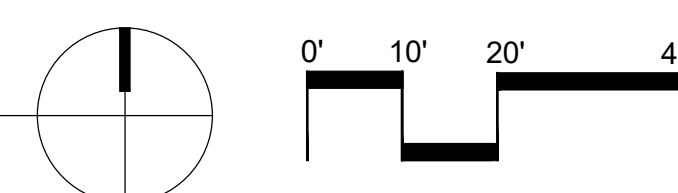
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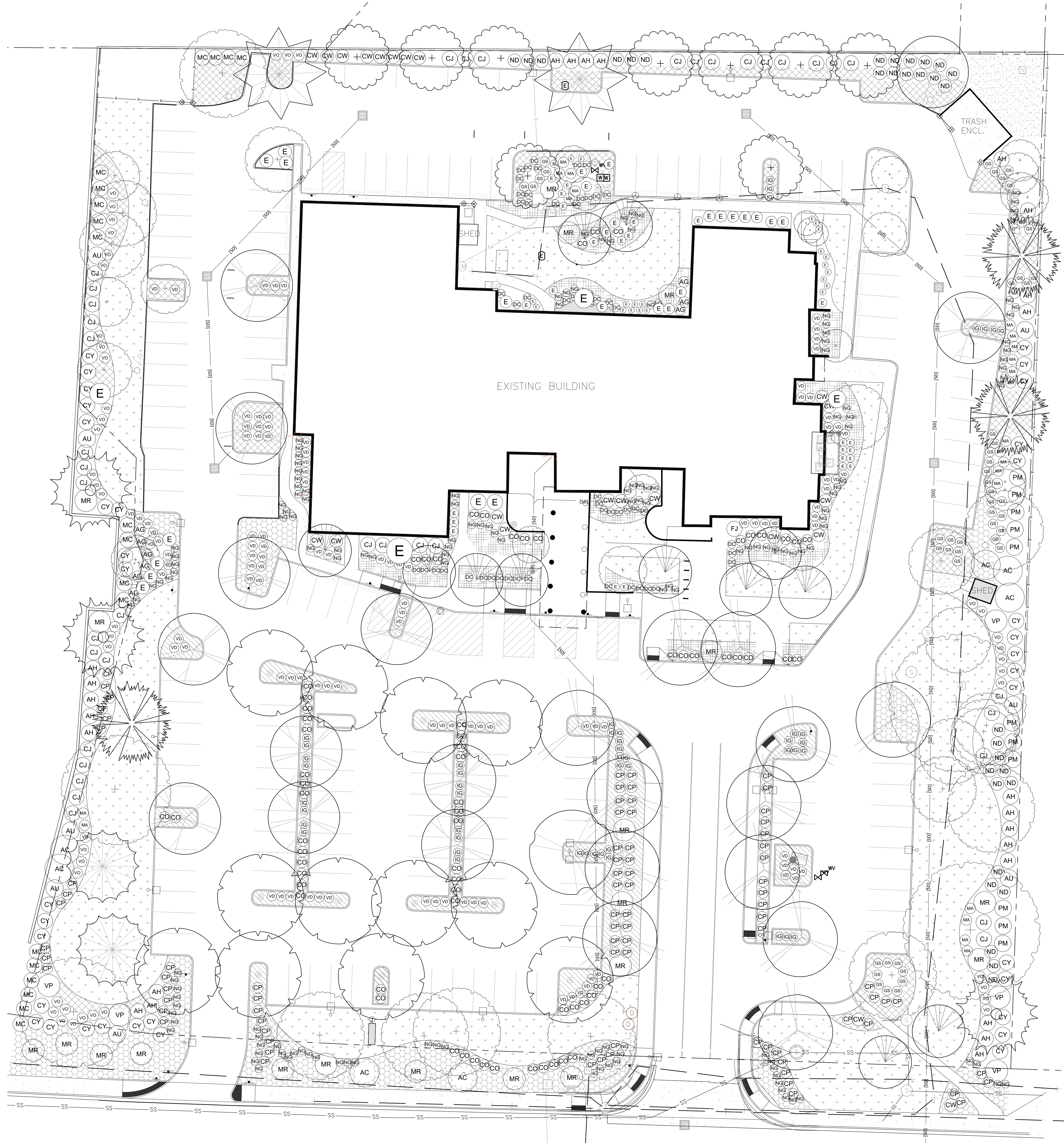
- ALL REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED UNLESS IT IS DOCUMENTED THAT PROPOSED LANDSCAPING DOES NOT REQUIRE IRRIGATION.
- (1) TREE FOR EVERY 30' SHALL BE PLANTED IN THE RIGHT OF WAY. OR PAY A FEE IN LIEU OF PLANTING.
- PLANT UNITS ARE REQUIRED FOR 20% OF THE TOTAL OF THE PARKING AND LOADING PAVED AREAS FOR 'CO' ZONED SITES.
- OFF STREET PARKING AREAS WILL INCLUDE (1) SMALL TREE PER (10) PARKING SPACES, (1) MEDIUM TREE PER (15) PARKING SPACES OR (1) LARGE TREE PER 25 PARKING SPACES.
- THERE SHALL BE NO MORE THAN 10 CONTIGUOUS PARKING SPACES WITHOUT AN INTERMEDIATE PLANTING ISLAND. PLANTING ISLANDS SHALL BE A MINIMUM OF 6' WIDE AND A MINIMUM OF 84 SQUARE FEET IN SIZE.

PLANTING NARRATIVE

EXISTING TREES WILL BE RETAINED AS SHOWN AND 65 NEW TREES WILL ADDED THROUGHOUT THE SITE. LAWN HAS BEEN MAXIMIZED AND SPECIFIED WHERE IT MAKES SENSE AND PLANTING BEDS WILL BE PLANTED USING AS MANY SHRUBS AND AS LITTLE GROUNDCOVER AS POSSIBLE. PERIMETER BEDS WILL RECEIVE LARGER SHRUBS THAT FILL THE PLANTING BEDS WITHOUT MANY LAYERS WHILE THE PLANTING BEDS AROUND THE BUILDING WILL BE MORE DENSELY PLANTED. THE HILLSIDE ON MT. HOOD AVE. IS HEAVILY SLOPED AND IT WILL BE PLANTED WITH FAST SPREADING GROUNDCOVER AT A RATE OF 4-6' ON CENTER WHERE PLANTING BEDS ARE SHOWN.

01 PLANT UNIT REQUIREMENT MAP
 1" = 20'-0"





TREE SCHEDULE (L-LARGE) (M-MEDIUM) (S-SMALL)								
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY.	P.U.'S
○	EXISTING TREES TO REMAIN							
○	CALOCEDRUS DECURRENS (L)	INCENSE CEDAR	E	12-14' TALL	AS SHOWN	B&B	9	2
○	CORNUS FLORIDA (S)	FLOWERING DOGWOOD	D	2' CAL	AS SHOWN	B&B	16	9
○	CORNUS KOUSA 'VENUS' (S)	VENUS DOGWOOD	D	2' CAL	AS SHOWN	B&B	11	12
○	PINUS FLEXILIS 'VANDERWOLF' (M)	VENUS DOGWOOD	E	12-14' TALL	AS SHOWN	B&B	11	3
○	PYRUS CALLERYANA (M)	CALLERY PEAR	D	2' CAL	AS SHOWN	B&B	2	12
○	PISTACIA CHINENSIS (M)	CHINESE PISTACHE	D	2' CAL	AS SHOWN	B&B	10	12
○	PRUNUS YEODENSIS (M)	YOSHINO CHERRY	D	2' CAL	AS SHOWN	B&B	10	12
○	PSEUDOTSUGA MENZIESII (L)	DOUGLAS FIR	E	12-14' TALL	AS SHOWN	B&B	10	3
○	LAGERSTROEMIA INDICA 'NATCHEZ' (S)	NATCHEZ CRAPE MYRTLE	D	2' CAL	AS SHOWN	B&B	9	-
○	QUERCUS GARRYANA (L)	OREGON WHITE OAK	D	2' CAL	AS SHOWN	B&B	28	3

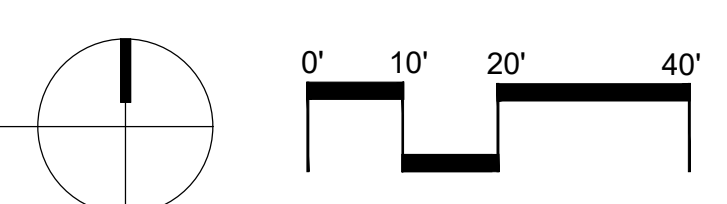
SHRUB SCHEDULE (L - LARGE: OVER 4'X4' IS SIZE) (SM - SMALL TO MEDIUM)								
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY.	P.U.'S
AC	ACER CIRCINATUM (L)	VINE MAPLE	E	6-8' TALL	AS SHOWN	CONTAINER	7	14
AG	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' (SM)	ABELIA	E	5 GALL	AS SHOWN	CONTAINER	10	10
AU	ARBUTUS UNEDO (L)	STRAWBERRY TREE	E	15 GAL	AS SHOWN	CONTAINER	9	18
AH	ARCTOSTAPHYLOS 'HOWARD MCMINN' (L)	MANZANITA	E	5 GAL	AS SHOWN	CONTAINER	24	52
CW	CAMELLIA SASANQUA 'WINTERS SNOWMAN' (L)	WINTERS SNOWMAN CAMELLIA	E	5 GAL	AS SHOWN	CONTAINER	22	44
CY	CAMELLIA SASANQUA 'YULETIDE' (L)	YULETIDE CAMELLIA	E	5 GAL	AS SHOWN	CONTAINER	35	70
CJ	CEANOTHUS THYRSIFLORUS 'JULIA PHELPS' (L)	BLUE BLOSSOM	E	5 GAL	AS SHOWN	CONTAINER	38	76
CO	CISTIS OBTUSIFOLIUS (SM)	ROCKROSE	E	3 GAL	AS SHOWN	CONTAINER	70	70
CP	CISTIS PURPUREUS (L)	ROCKROSE	E	3 GAL	AS SHOWN	CONTAINER	83	166
CK	CORNUS STOLONIFERA 'KELSEY' (SM)	REDTWIG DOGWOOD	D	5 GAL	AS SHOWN	CONTAINER	-	-
CT	CHOISYA TERNATA (L)	MEXICAN ORANGE	E	5 GAL	AS SHOWN	CONTAINER	-	-
DC	DAPHNE X 'CAROL MACKIE' (SM)	CAROL MACKIE DAPHNE	E	3 GAL	AS SHOWN	CONTAINER	53	53
DO	DAPHNE ODORA 'PERFUME PRINCESS' (SM)	ZUIKO NISHIKI DAPHNE	E	3 GAL	AS SHOWN	CONTAINER	-	-
GS	GAULTHERIA SHALLON (SM)	SALAL	E	5 GAL	AS SHOWN	CONTAINER	49	49
IG	ILEX GLABRA 'SHAMROCK' (SM)	INKBERRY	E	5 GAL	AS SHOWN	CONTAINER	48	48
MR	MAGNOLIA STELLATA 'ROYAL STAR' (L)	ROYAL STAR MAGNOLIA	E	15 GAL	AS SHOWN	CONTAINER	20	40
MA	MAHONIA AQUIFOLIUM 'COMPACTA' (SM)	COMPACT OREGON GRAPE	E	3 GAL	AS SHOWN	CONTAINER	23	23
MC	MYRICA CALIFORNICA (L)	PACIFIC WAX MYRTLE	E	5 GAL	AS SHOWN	CONTAINER	18	36
ND	NANDINA DOMESTICA 'MOYERS RED' (L)	MOYERS RED HEAVENLY BAMBOO	E	5 GAL	AS SHOWN	CONTAINER	31	62
NG	NANDINA DOMESTICA 'GULF STREAM' (SM)	GULF STREAM HEAVENLY BAMBOO	E	3 GAL	AS SHOWN	CONTAINER	152	152
PM	PINUS MUGO (L)	MUGO PINE	E	5 GAL	AS SHOWN	CONTAINER	11	22
PF	POTENTILLA FRUTICOSA 'HAPPY FACE' (SM)	SHRUBBY CINQUEFOIL	D	3 GAL	AS SHOWN	CONTAINER	-	-
SC	SARCOCOCCA CONFUSA (SM)	SWEETBOX	E	5 GAL	AS SHOWN	CONTAINER	-	-
VD	VIBURNUM DAVIDII (SM)	DAVIDS VIBURNUM	E	5 GAL	AS SHOWN	CONTAINER	111	111
VP	VIBURNUM PLICATUM 'TOMENTOSUM 'MARESII' (L)	DOUBLEFIRE VIBURNUM	E	5 GAL	AS SHOWN	CONTAINER	12	24
VO	VACCINIUM OVATUM (L)	EVERGREEN HUCKLEBERRY	E	5 GAL	AS SHOWN	CONTAINER	44	88

GROUNDCOVERS								
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY.	P.U.'S
•••	'DOT MULTI-PURPOSE' BY SUNMARK	NATIVE ECOTURF	E	SEED	1 LB. PER 1,000 S.F.	SEED	1 LB.	438
○	ARCTOSTAPHYLOS HOOKERI 'WAYSIDE'	WAYSIDE MANZANITA	E	1 GAL	36" O.C.	CONTAINER	-	-
○	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY CALIFORNIA LILAC	E	1 GAL	36" O.C.	CONTAINER	444	99
○	NASELLA TENUISSIMA	MEXICAN FEATHER GRASS	E	1 GAL	24" O.C.	CONTAINER	659	53
○	MAHONIA REPENS	CREeping MAHONIA	E	1 GAL	30" O.C.	CONTAINER	711	82
○	TRACHELSPERMUM (SM) JASMINOIDES	STAR JASMINE	E	1 GAL	AS SHOWN	CONTAINER	251	37

- ### PLANTING NOTES
1. PLANTING PLAN AND PLANT MATERIALS COMPLY WITH CHAPTER 3.06 - LANDSCAPING OF THE CITY OF WOODBURN CODE.
 2. REMOVE ALL SHRUBS THAT ARE NOT MARKED WITH A PLANT SYMBOL WITH THE INITIAL 'E'.
 3. SEE CIVIL DRAWINGS FOR EXTENT OF SITE GRADING, UTILITIES, STORMWATER FACILITY DESIGN.
 4. SEE TREE PROTECTION/REMOVAL PLAN FOR TREES TO BE PROTECTED.
 5. SEE L2.2 FOR A MORE DETAILED ANALYSIS OF PLANT UNITS REQUIRED BY THE CITY OF WOODBURN AS WELL AS PLANT UNITS PROVIDED.
 6. ALL REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED UNLESS IT IS DOCUMENTED THAT PROPOSED LANDSCAPING DOES NOT REQUIRE IRRIGATION.
 7. (1) TREE FOR EVERY 30' SHALL BE PLANTED IN THE RIGHT OF WAY. OR PAY A FEE IN LIEU OF PLANTING.
 8. OFF STREET PARKING AREAS WILL INCLUDE (1) SMALL TREE PER (10) PARKING SPACES, (1) MEDIUM TREE PER (15) PARKING SPACES OR (1) LARGE TREE PER 25 PARKING SPACES.
 9. THERE SHALL BE NO MORE THAN 10 CONTIGUOUS PARKING SPACES WITHOUT AN INTERMEDIATE PLANTING ISLAND. PLANTING ISLANDS SHALL BE A MINIMUM OF 6' WIDE AND A MINIMUM OF 84 SQUARE FEET IN SIZE.
 10. ALL TREES TO BE A MINIMUM OF 2" CALIPER OR 10' TALL MINIMUM.
 11. SMALL AND MEDIUM SHRUBS SHALL BE A MINIMUM OF (1) GALLON SIZE. LARGE SHRUBS SHALL BE A MINIMUM OF (3) GALLON IN SIZE.
 12. PLANT SUBSTITUTES WILL BE APPROVED BY LANDSCAPE ARCHITECT. SUBMIT REQUESTS TO LANDSCAPE ARCHITECT BEFORE INSTALLATION.
 13. TREE AND PLANT HEALTH SHALL BE OPTIMAL ACCORDING TO NURSERYMAN STANDARDS. LANDSCAPE ARCHITECT TO APPROVE HEALTH OF TREES AND PLANTS PRIOR TO INSTALLATION.

- ### SOIL PREPARATION NOTES
1. FOR SOIL PREPARATION INSTALLATION METHOD AND MATERIALS SEE SPECIFICATION SECTION 32 91 13.
 2. SEE SOIL PREPARATION DETAILS FOR METHOD OF SOIL PREPARATION.
 3. IN AREAS OF FILL, 6" OF SANDY LOAM TOPSOIL WILL BE INSTALLED ON TOP OF EXISTING SOILS. EXISTING SOILS TO BE SCARIFIED TO A 4" DEPTH BEFORE INSTALLING.
 4. IN AREAS WHERE CUT IS REQUIRED, BLEND 4" OF COMPOST INTO EXISTING SOILS AND TILL INTO EXISTING SOILS.
 5. SOILS BELOW TREES SHALL BE AMENDED TO ALLOW FOR OPTIMAL HEALTH. NO LESS THAN 3'-6" OF SOIL SHALL BE PROVIDED.
 6. PROVIDE 3" OF DARK HEMLOCK MULCH IN ALL PLANTING BEDS. ALTERNATE IS TO INSTALL 3" OF 1-2" LOCAL RIVER ROCK.
 7. ADD MICRORIZHAL FUNGI TO ADDED SOIL AMENDMENTS WHEN PREPARING SOILS.

01 PLANTING PLAN
1" = 20'-0"



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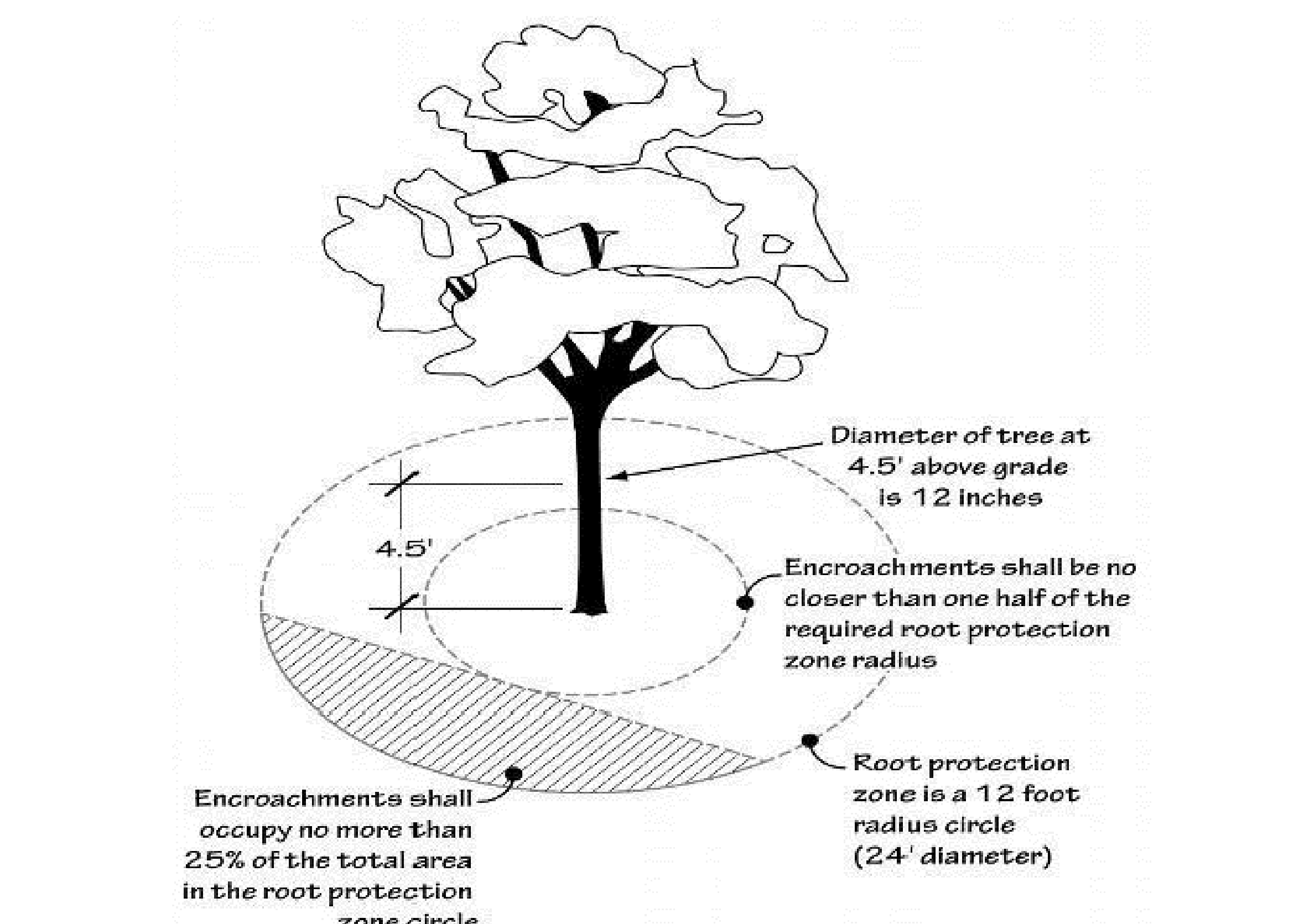
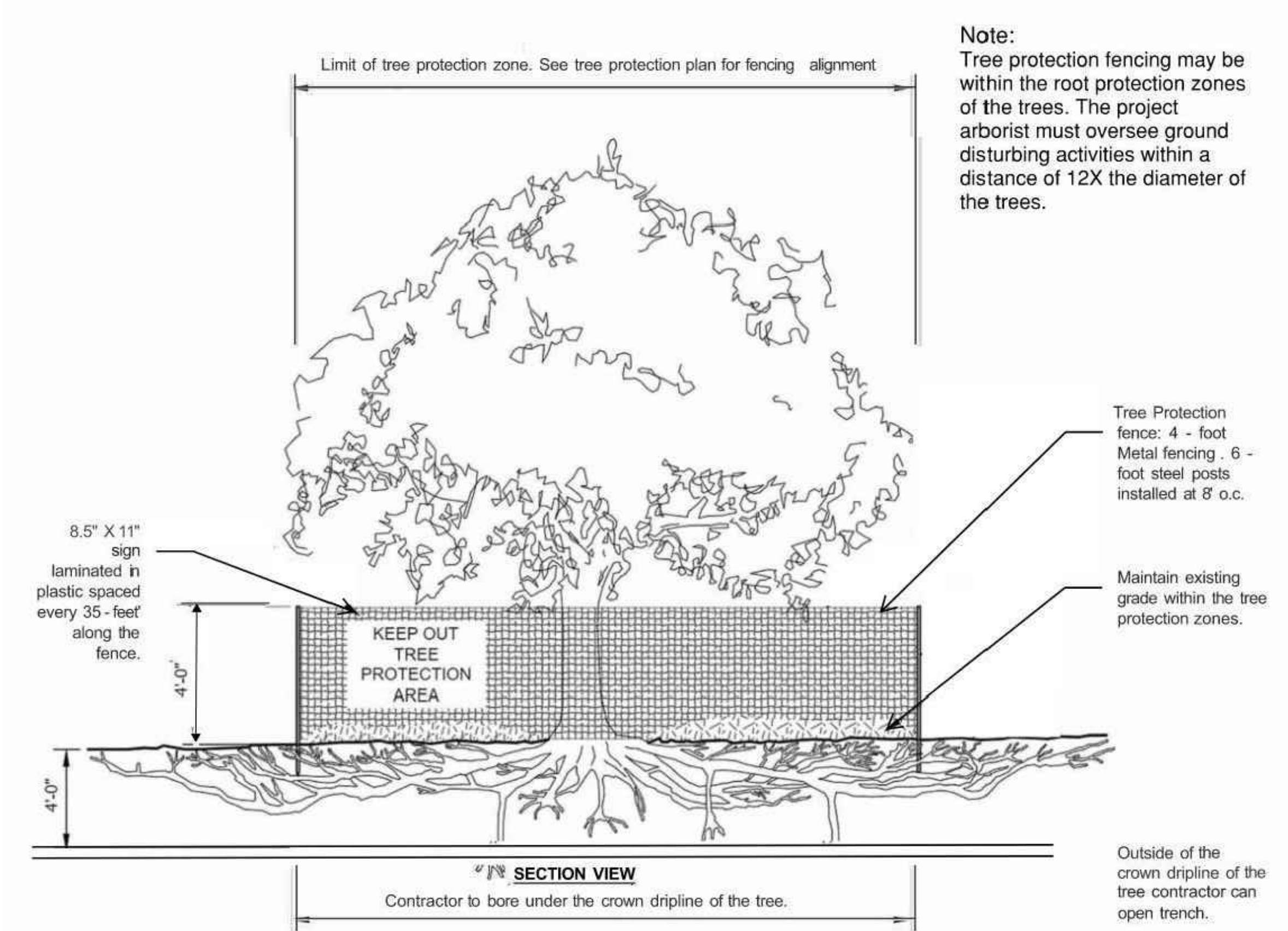


ISSUE DATE: 07.14.23
REVISIONS:

CONSTRUCTION DOCUMENTS - 50% SET

TREE PROTECTION/REMOVAL SCHEDULE

TREE #	DBH	CROWN RADIUS	LATIN NAME	COMMON NAME	PROTECT	REMOVE	EXEMPT REMOVAL	PU VALUE RETAINED	CONDITION IN HEALTH	CONDITION IN STRUCTURE	NOTES
T01	11		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA		X	X		GOOD	GOOD	SHRUB
T02	9		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA		X	X		GOOD	GOOD	SHRUB
T03	9		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA		X	X		GOOD	GOOD	SHRUB
T04	28	25	QUERCUS GARRYANA	OREGON WHITE OAK		X	X		POOR	POOR	FUNGAL DISORDER AND DECAY IN LOWER TRUNK. DISCOLORED AND MISSING BARK. PROPOSED REMOVAL DUE TO SAFETY ISSUES.
T05	29	20	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR		X			FAIR	FAIR	
T06	34	18	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR		X			FAIR	FAIR	
T06.1	8		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA		X	X		GOOD	GOOD	SHRUB
T07	18		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA		X	X		GOOD	GOOD	SHRUB
T08	9	8	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			10	GOOD	GOOD	SHRUB
T09	11	18	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			10	POOR	FAIR	CHLOROTIC THIN TOP
T10	22	18	QUERCUS GARRYANA	OREGON WHITE OAK		X			FAIR	POOR	MAJOR ASSYMETRY. OVERWATERED BY LAWN IRRIGATION TO THE SOUTH
T11	21	18	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR		X			POOR	POOR	CHLOROTIC THIN CANOPY. OVERWATERED BY LAWN IRRIGATION TO THE SOUTH
T12	4	3	CHAMAECYPARIS OBTUSA	HINOKI CYPRESS	X			4	GOOD	GOOD	
T13	7	3	CHAMAECYPARIS OBTUSA	HINOKI CYPRESS	X			4	GOOD	GOOD	
T14	8	3	CHAMAECYPARIS OBTUSA	HINOKI CYPRESS	X			4	GOOD	GOOD	
T15	21	11	PRUNUS AVIUM	SWEET CHERRY		X			POOR	FAILING	CAVITIES IN TRUNK
T16	3	3	THUJA OCCIDENTALIS	AMERICAN ARBIVATAE	X			10	GOOD	GOOD	
T17	8	12	GLEDISIA TRIACANTHOS	HONEY LOCUST	X			4	GOOD	GOOD	
T18	15	11	PRUNUS SEROTINA	BLACK CHERRY	X			8	FAIR	POOR	CAVITIES IN TRUNK
T19	10	11	PRUNUS SEROTINA	BLACK CHERRY	X			8	FAIR	POOR	
T20	10	11	MALUS SYLVESTRIS	CRABAPPLE	X			4	FAIR	POOR	LARGE SUNSCALLED AREA
T21	10	11	MALUS SYLVESTRIS	CRABAPPLE	X			4	FAIR	POOR	
T22	26	25	QUERCUS GARRYANA	OREGON WHITE OAK		X			FAIR	FAIR	BARK DAMAGE FROM PREVIOUS IRRIGATION SYSTEM
T23	50	25	QUERCUS GARRYANA	OREGON WHITE OAK		X			FAIR	FAIR	LOOSE BARK. SOME DECAY AT BASE. CODOMINANT STEMS INCLUDED.
T24	6		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA	X		X	2	FAIR	FAIR	
T25	12		PRUNUS SEROTINA	BLACK CHERRY	X				DEAD	DYING	
T26	6		CORNUS SPP.	DOGWOOD SPECIES	X			4	GOOD	FAIR	
T27	11	10	GLEDISIA TRIACANTHOS	HONEY LOCUST	X			4	GOOD	GOOD	
T28	20	10	PRUNUS AVIUM	SWEET CHERRY	X				POOR	POOR	LARGE CAVITY IN LOWER TRUNK
T29	10	10	PRUNUS AVIUM	SWEET CHERRY	X				POOR	POOR	LARGE CAVITY IN LOWER TRUNK
T30	30	10	PRUNUS AVIUM	SWEET CHERRY	X				POOR	POOR	NUISANCE TREE
T31	37	20	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X				FAIR	FAIR	LARGE CAVITY IN LOWER TRUNK
T32	18	10	PRUNUS AVIUM	SWEET CHERRY		X	X		FAIR	FAIR	NUISANCE TREE
T33	10	10	PRUNUS AVIUM	SWEET CHERRY		X	X		FAIR	FAIR	NUISANCE TREE
T34	10	6	THUJA OCCIDENTALIS	AMERICAN ARBIVATAE	X		X		FAIR	FAIR	
T34.1	10	6	THUJA OCCIDENTALIS	AMERICAN ARBIVATAE		X			FAIR	FAIR	
T35	24		PSEUDOTSUGA MENZIESSII	DOUGLAS FIR		X	X		DYING	FAILING	
T36	30	25	QUERCUS GARRYANA	OREGON WHITE OAK		X			FAIR	POOR	
T37	2.5	3	NYSSA SYLVATICA	BLACK TUPELO		X	X		GOOD	GOOD	
T38	4	3	NYSSA SYLVATICA	BLACK TUPELO		X	X		GOOD	GOOD	
T39	4	3	NYSSA SYLVATICA	BLACK TUPELO		X	X		GOOD	GOOD	
T40	37	5	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	FAIR	
T41	41	5	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	FAIR	LEANING TRUNK NORTH
T42	14	10	PRUNUS AVIUM	SWEET CHERRY	X		X		FAIR	FAIR	NUISANCE / TOPPED
T43	14	10	PRUNUS AVIUM	SWEET CHERRY	X		X		FAIR	FAIR	NUISANCE / TOPPED
T44	18	10	PRUNUS AVIUM	SWEET CHERRY	X		X		FAIR	FAIR	NUISANCE / TOPPED
T45	18	10	PRUNUS AVIUM	SWEET CHERRY	X		X		FAIR	FAIR	NUISANCE / TOPPED
T46	25	15	CORNUS NUTTALII	PACIFIC DOGWOOD	X			15	FAIR	FAIR	CAVITY IN LOWER TRUNK
T47	35	25	QUERCUS GARRYANA	OREGON WHITE OAK	X			15	FAIR	FAIR	LARGE DEADWOOD. PRUNE TO REMOVE.
T48	33	25	QUERCUS GARRYANA	OREGON WHITE OAK		X	X		FAIR	FAIR	CAVITY ROOT FLARE
T49	10	5	ACER PALMATUM	JAPANESE MAPLE		X	X		GOOD	GOOD	
T50	16	5	ACER PALMATUM	JAPANESE MAPLE		X	X		GOOD	GOOD	
T51	4	3	CORNUS SPP.	DOGWOOD	X			4	GOOD	GOOD	
T52	6	5	MAGNOLIA SPP.	TBD		X	X		GOOD	GOOD	
T53	8	5	ACER PALMATUM	JAPANESE MAPLE		X	X		GOOD	GOOD	
T54	12	5	ACER PALMATUM	JAPANESE MAPLE		X	X		GOOD	GOOD	
T55	28	25	QUERCUS GARRYANA	OREGON WHITE OAK		X			POOR	FAIR	LARGE CANOPY DAMAGE FROM ICE STORM
T55.1	28	25	QUERCUS GARRYANA	OREGON WHITE OAK		X			POOR	FAIR	
T56	16	15	QUERCUS GARRYANA	OREGON WHITE OAK		X	X		FAIR	FAIR	LARGE CANOPY DAMAGE FROM ICE STORM
T57	48	25	QUERCUS GARRYANA	OREGON WHITE OAK	X			15	FAIR	FAIR	ICE DAMAGE
T58	27	25	FRAXINUS LATIFOLIA	OREGON ASH		X			FAIR	FAIR	
T59	33	25	QUERCUS GARRYANA	OREGON WHITE OAK		X		15	FAIR	FAIR	
T60	30	28	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	FAIR	
T60.1	28		PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	FAIR	
T61	30		PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	FAIR	
T62	28		PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	FAIR	
T63	47	25	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	FAIR	SOME SURFACE ROOT DAMAGE AND RECENT IMPACTS DUE TO CONSTRUCTION
T64	13	10	CORYLUS AVELANA	FILBERT		X			FAIR	FAIR	
T65	21	10	CORYLUS AVELANA	FILBERT		X			FAIR	FAIR	
T66	50	20	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X				FAIR	FAIR	LARGE SHALLOW BUTTRESS ROOTS. OVER PRUNED.
T67	11	11	ACER PALMATUM	JAPANESE MAPLE		X	X		GOOD	POOR	
T68	8	10	PRUNUS SEROTINA	BLACK CHERRY	X			8	GOOD	FAIR	
T69	5	6	PRUNUS SEROTINA	BLACK CHERRY	X			8	GOOD	FAIR	
T70	6	6	PRUNUS SEROTINA	BLACK CHERRY	X			8	GOOD	FAIR	
T71	5	6	ACER PALMATUM	JAPANESE MAPLE	X			4	GOOD	FAIR	
T72	42	35	QUERCUS GARRYANA	OREGON WHITE OAK	X			15	FAIR	POOR	LARGE PRUNING CUTS. HALF THE CANOPY MISSING.
T73	11		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA	X			2	FAIR	FAIR	
T74	6	8	ACER PALMATUM	JAPANESE MAPLE	X			4	FAIR	FAIR	
T75	11		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA	X			2	FAIR	FAIR	
T76	11		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA	X			2	FAIR	FAIR	
T77	26	15	PINUS SYLVESTRIS	SILVESTER PINE	X			10	FAIR	POOR	TRUNK DAMAGE ON LEFT SIDE OF TREE. CODOMINANT TREE.
T78	11		PHOTINIA SERRATIFOLIA	CHINESE PHOTINIA	X			2	FAIR	FAIR	
T79	12	8	ZELKOVA SERRATA	ZELKOVA	X			4	FAIR	POOR	TOPPED.
T80	47	20	PSEUDOTSUGA MENZIESSII	DOUGLAS FIR	X			15	FAIR	POOR	BRANCH TIP DIE BACK.



01 TREE PROTECTION FENCING DETAIL

NTS

DETAIL

NOTES

- SEE ACCOMPANYING ARBORIST REPORT FOR MORE INFORMATION.
- REMOVED TREES 24" CALIPER OR GREATER ARE CONSIDERED SIGNIFICANT TREES. IF REMOVED, IT SHALL BE REPLACED AT A ONE TO ONE RATIO WITH A SPECIES THAT IS EQUIVALENT IN SIZE WHEN MATURE. REPLACEMENT TREES TO BE 2" CALIPER OR GREATER AT THE TIME OF PLANTING.
- A TYPE 1 TREE REMOVAL PERMIT SHALL BE OBTAINED BY THE CLIENT FOR THE REMOVAL OF SIGNIFICANT TREES ON THE SITE. SIGNIFICANT TREES ARE ALL TREES THAT ARE 24" CALIPER OR MORE AT 4.5' DBH.
- A CURRENTLY QUALIFIED ISA CERTIFIED ARBORIST (PROJECT ARBORIST) WILL BE ON-SITE AT ALL TIMES DURING ANY PAVING INSTALLATION, SURFACE DISTURBANCE OR EXCAVATION WORK WITHIN 25-FT OF PRESERVED TREES.
- A PRE-CONSTRUCTION MEETING WILL TAKE PLACE BETWEEN THE CONTRACTORS AND THE PROJECT ARBORIST TO DISCUSS TREE PROTECTION PLANNING FOR THE TWO PRESERVED TREES.
- THE PLACEMENT OF ALL TREE PROTECTION FENCING, AS DETAILED ON THE CONSTRUCTION PLANS, MUST OCCUR BEFORE ANY CONSTRUCTION, EXCAVATION OR STORAGE OF MATERIALS OR EQUIPMENT TAKES PLACE AT THE SITE. THE PROJECT ARBORIST MUST APPROVE THE LOCATION OF THE FENCING BEFORE SITE WORK COMMENCES.
- TREE PROTECTION FENCING WILL CONSIST OF SECURELY JOINED SECTIONS OF 4-FT TALL TEMPORARY FENCING SECURED FIRMLY INTO THE GROUND BY METAL POSTS OR REBAR.
- NO CONSTRUCTION ACTIVITY, INCLUDING VEHICLE ACCESS, OR ANY STORAGE OF SPOIL, MATERIALS OR EQUIPMENT WILL OCCUR WITHIN THE AREA PROTECTED BY THE TREE PROTECTION FENCE UNLESS APPROVED BY THE PROJECT ARBORIST.
- THE PROTECTION FENCE LOCATIONS AS DETAILED IN THE CONSTRUCTION PLANS WILL NOT BE ALTERED OR BREACHED AT ANY TIME WITHOUT THE EXPLICIT APPROVAL OF THE PROJECT ARBORIST.
- ALL SEVERED OR BADLY DAMAGED ROOTS OF ANY PRESERVED TREE MUST BE CUT CLEANLY USING HAND-HELD TOOLS (E.G. HAND SAW, RECIPROCATING SAW, CIRCULAR SAW, ANGLE GRINDER OR BY OTHER MEANS APPROVED BY THE PROJECT ARBORIST).
- THE CRZ, AS DETERMINED BY ARBORIST, MATCHES THE DIAMETER AT BREST HEIGHT OF EACH TREE LISTED.
- ANY REQUIRED PRUNING OF THE PRESERVED TREES MUST BE COMPLETED BEFORE INSTALLATION OF THE TREE PROTECTION FENCING AND BEFORE ANY CONSTRUCTION WORK COMMENCES. ALL TREE PRUNING WORK MUST BE COMPLETED BY AN ISA CERTIFIED ARBORIST.



LEGEND

- PROPERTY LINE
- EXISTING PARKING LOT OUTLINE
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- ON SITE TREE PROTECTION FENCING - 4' TALL ORANGE TEMPORARY FENCING

TREE PROTECTION NOTES

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2. REMOVED TREES 24" CALIPER OR GREATER ARE CONSIDERED SIGNIFICANT TREES. IF REMOVED, IT SHALL BE REPLACED AT A ONE TO ONE RATIO WITH A SPECIES THAT IS EQUIVALENT IN SIZE WHEN MATURE. REPLACEMENT TREES TO BE 2" CALIPER OR GREATER AT THE TIME OF PLANTING.
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4. A CURRENTLY QUALIFIED ISA CERTIFIED ARBORIST (PROJECT ARBORIST) WILL BE ON-SITE AT ALL TIMES DURING ANY PAVING INSTALLATION, SURFACE DISTURBANCE OR EXCAVATION WORK WITHIN 25-FT OF PRESERVED TREES.
5. A PRE-CONSTRUCTION MEETING WILL TAKE PLACE BETWEEN THE CONTRACTORS AND THE PROJECT ARBORIST TO DISCUSS TREE PROTECTION PLANNING FOR THE TWO PRESERVED TREES.
6. THE PLACEMENT OF ALL TREE PROTECTION FENCING, AS DETAILED ON THE CONSTRUCTION PLANS, MUST OCCUR BEFORE ANY CONSTRUCTION, EXCAVATION OR STORAGE OF MATERIALS OR EQUIPMENT TAKES PLACE AT THE SITE. THE PROJECT ARBORIST MUST APPROVE THE LOCATION OF THE FENCING BEFORE SITE WORK COMMENCES.
7. TREE PROTECTION FENCING WILL CONSIST OF SECURELY JOINED SECTIONS OF 4-FT TALL TEMPORARY FENCING SECURED FIRMLY INTO THE GROUND BY METAL POSTS OR REBAR.
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