



November 26, 2025

Conner Hayes, Director
Blitz Holdings
506 Second Ave, Ste 1009
Seattle WA 98104

RE: Status of DR 25-13 "Thoroughbred Car Wash" at 1299 N Pacific Hwy (Tax Lot051W08DB02400)

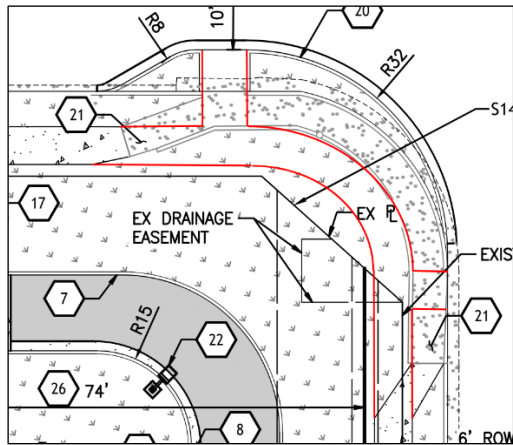
Dear Mr. Hayes:

Thank you for submitting a Design Review (DR) application on October 29, 2025 for the subject property. Staff reviewed the application for completeness and determined it to be incomplete as of November 26, 2025. You are receiving this letter in compliance with Oregon Revised Statutes (ORS) [227.178\(2\)](#).

Needed items to deem the application complete are outlined below. Section references are to the [Woodburn Development Ordinance \(WDO\)](#).

Part 1- Necessary additions/changes

- Provide a Traffic Impact Analysis (TIA). The City uses a third-party transportation planning consultant, DKS Associates, for TIA reviews. Please refer to the attached memo from DKS and respond to the comments.
- Narrative: describe who Nick Ciero is to the property, provide context for architectural choices
- Respond to and revise plans per ODOT's comments.
 - Either realign the sidewalk along N. Pacific Hwy to either be entirely within the ROW dedication (not in the PUE), or be prepared to dedicate a permanent access easement or to dedicate more ROW in that location.
 - ODOT has suggested a revision to the curb bump out on Alexandra. (See image below) Be prepared to meet their requirements.



- Show and be prepared to dedicate a Public Utility Easement (PUE) 5-feet wide along Alexandra Ave.
- Show vision clearance triangle on site plan (30' corner VCA).
- Show pedestrian access from streets- wide sidewalks from each street (3.04.06B).
(To not do this would require a Variance)
- Update site plan & landscape plan to match (landscape islands are not the same size).
- Confirm and clearly indicate 2 bike parking stalls.
- Clarify on plans if each façade meets 30% glazing (in area not lineal feet) (discuss in narrative).
- Include note regarding awnings on front of building- materials/dimensions (discuss in narrative).
- Provide a deed showing ownership of the property.
- Indicate sidewalk and landscape strips are 6-feet wide.

Public Works General Requirements:

- Provide an erosion control plan.
- Provide a copy of an approved DEQ 1200C permit, if required.
- Provide street light plans for both Alexandra Ave and Highway 99E, if required.
- Provide notes on plans to "abandon existing water, sewer and storm service lines up to the main lines" if they are not going to be used for this development.
- The City requests that the applicant construct curb extensions on the north side of the intersection of Alexandra Ave and Hwy 99E, to match the south side. Traffic SDC credits are applicable for the city's request to construct curb extensions on the north side only.
- Applicant to obtain permits from ODOT for all work within Hwy 99E rights-of-way.
- Applicant to obtain permits from Marion County Plumbing division for all work within private property.
- Make edits from the notes on attached "Public Works Comments" such as:
 - Install Continental Striping at the Alexandra Ave. crosswalk.
 - Follow storm drainage report for installation of Type 2 manhole.
 - Recommended ductile iron pipe, traffic rate (See note on attached C3.0)

Part 2- These items can be changed at this phase or staff will condition them during final review

- Photometric plan to include any street lighting per 3.02.03A and all exterior lighting per 3.11 (outdoor lighting has height limits 3.11.02)
- Staff will send this application to the Fire Marshal to review. Staff will send you his response as soon as possible. He may require a Fire Access Plan as described in the Pre-App notes.
- Show plan for wheel stops and striping per 3.05.02
- Check building code to determine if Electric Vehicle parking is required.
- 9 street trees are required along Alexandra Ave, but 6 are shown. Either change Landscape Plan or be prepared to pay a fee in lieu.
- 4 trees are required along N Pacific Hwy, but 3 are shown. Either change or be prepared to pay a fee in lieu.
- Street trees along N Pacific Hwy must be LARGE trees 60-120' tall at maturity. Revise Landscape Plan.
- Show detail of the architectural wall screening the property from the Residential zone to the West.
- Amend architectural lighting detail to show cover(s) meeting dark sky requirements (3.11).
- Ensure rooftop equipment will be screened.
- Signs will be reviewed separately, not part of this Land Use approval.
Ensure no neon or neon-like signs/lighting, as it is prohibited by 3.10.08F.

Please contact me at 503-980-2494 or <Heidi.hinshaw@ci.woodburn.or.us> with questions.

Sincerely,

Heidi Hinshaw, AICP
Associate Planner

cc: Brion Scott, ODOT Region 2
Dago Garcia, City Engineer
Omar Ortiz, Fire Marshal
Keana Poach, Assistant Planner, Core States Group, kpoach@core-states.com
Logan Piburn, Senior Project Architect, lpiburn@core-states.com
Nathan Machiela, Senior Civil Project Manager, Core States Group, nmachiela@core-states.com
Jeff Varley, Senior Landscape Architect, Core States Group, jvarley@core-states.com

Attachments:

101 TIA memo from DKS Associates
102 Public Works Comments



TRANSPORTATION REVIEW COMMENTS

DATE: November 26, 2025

TO: Heidi Hinshaw and Dan Handel | City of Woodburn

FROM: Reah Flisakowski, PE and Hallie Turk, EI, RSP₁ | DKS Associates

SUBJECT: Woodburn Thoroughbred Express Car Wash
Traffic Memorandum Review (DR 25-13)

Project #24150-001

INTRODUCTION

DKS has reviewed the traffic memorandum¹ for the proposed Woodburn Thoroughbred Express Car Wash prepared by Transpo Group. The proposed development would construct a car wash service with one car wash tunnel and 10 vacuum stations. The purpose of this review is to determine whether the submitted traffic memorandum meets the requirements of Section 3.04.05 in the Woodburn Development Ordinance.

TRAFFIC MEMORANDUM COMMENTS

1. DKS notes that the trip generation estimate is based on data collected from one existing Thoroughbred Express car wash site in Russellville, Kentucky.

Trip generation estimates are typically developed based on trip generation rates provided by the Institute of Transportation Engineers (ITE) Trip Generation Manual.² This manual provides trip generation rates that are based on data collected using methodology outlined in the ITE Trip Generation Handbook.³ Chapter 9 of the Trip Generation Handbook states that local trip generation data should only be used to estimate trip generation if the characteristics or setting of the proposed development and study site are not covered by land uses in the Trip Generation Manual.

DKS believes that trip generation for this proposed development can and should be estimated using ITE rates. Upon initial research, DKS suggests using trip generation rates provided for Land Use Code (LUC) 948 for Automated Car Wash. The ITE definition for LUC 948 is "An automated car wash is a facility that allows for the mechanical cleaning of the

¹ Woodburn Thoroughbred Express Car Wash – Traffic Study, Transpo Group, September 16, 2025.

² Trip Generation Manual, 12th Edition. Institute of Transportation Engineers, 2025.

³ Trip Generation Handbook, 3rd Edition. Institute of Transportation Engineers, 2017.

exterior of vehicles. Manual cleaning service may also be available at the facility.” The proposed development meets this description.

2. According to the proposed architectural plans, the car wash building area is approximately 3,070 square feet. There are also 10 outdoor manual cleaning stalls, which are encompassed in the ITE trip generation rate per the LUC 948 description provided by the Manual. The potential trip generation for a development of this size is shown in Table 1 below.

It should be noted the most recent edition of the ITE Trip Generation Manual does not provide a pass-by trip rate for this land use. Therefore, no pass-by trip reduction should be applied to the development’s trip generation estimate.

TABLE 1: POTENTIAL TRIP GENERATION ESTIMATE FOR PROPOSED DEVELOPMENT

Land Use	Daily	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Automated Car Wash (948) <i>Size: 3,070 square feet</i>	778	25	21	46	37	38	75

Note:

This table provides a potential trip generation estimate for the proposed development. The developer’s traffic engineer should independently confirm this estimate to ensure the correct land use description and building size.

3. If the developer believes that the ITE land use description for Automated Car Wash (948) is not applicable to the proposed development, the traffic memorandum must include the following:
 - An explanation for why the national *Trip Generation Manual* data is not appropriate for local applications. Chapter 9 of the ITE Trip Generation Handbook states, “It is critical that the analyst document a common-sense rationale for the local trip generation characteristics to be significantly different from that presented in the *Manual*”.
 - A description of the data collection process that satisfies the methodology outlined in Chapter 9 of the ITE Trip Generation Handbook. The handbook states data should be collected at a minimum of three local sites (five or more sites is preferable).

Please have the applicant revise the trip generation estimate to address these comments.

4. Section 3.04.05 of the [Woodburn Development Ordinance \(WDO\)](#)⁴ states that a transportation impact analysis (TIA) is required for a development with an estimated trip generation of at least 50 peak hour trips or 500 average daily trips. According to the initial estimate shown in Table 1, the revised trip generation estimate is likely to require a TIA. The submitted TIA must include all required elements outlined in WDO Section 3.04.05.

⁴ Section 3.04: Vehicular & Bicycle/Pedestrian Access, City of Woodburn Development Ordinance. Last amended July 2024.

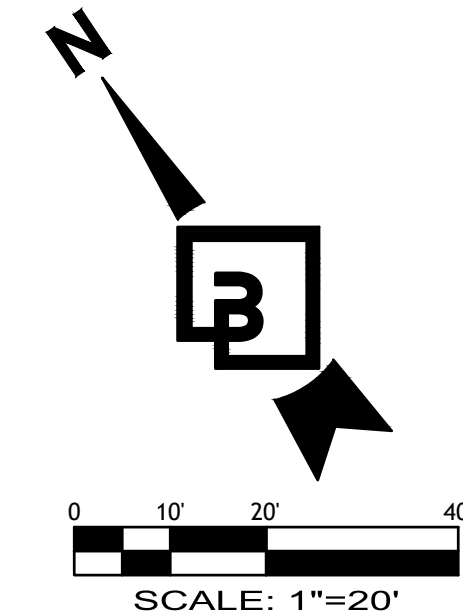
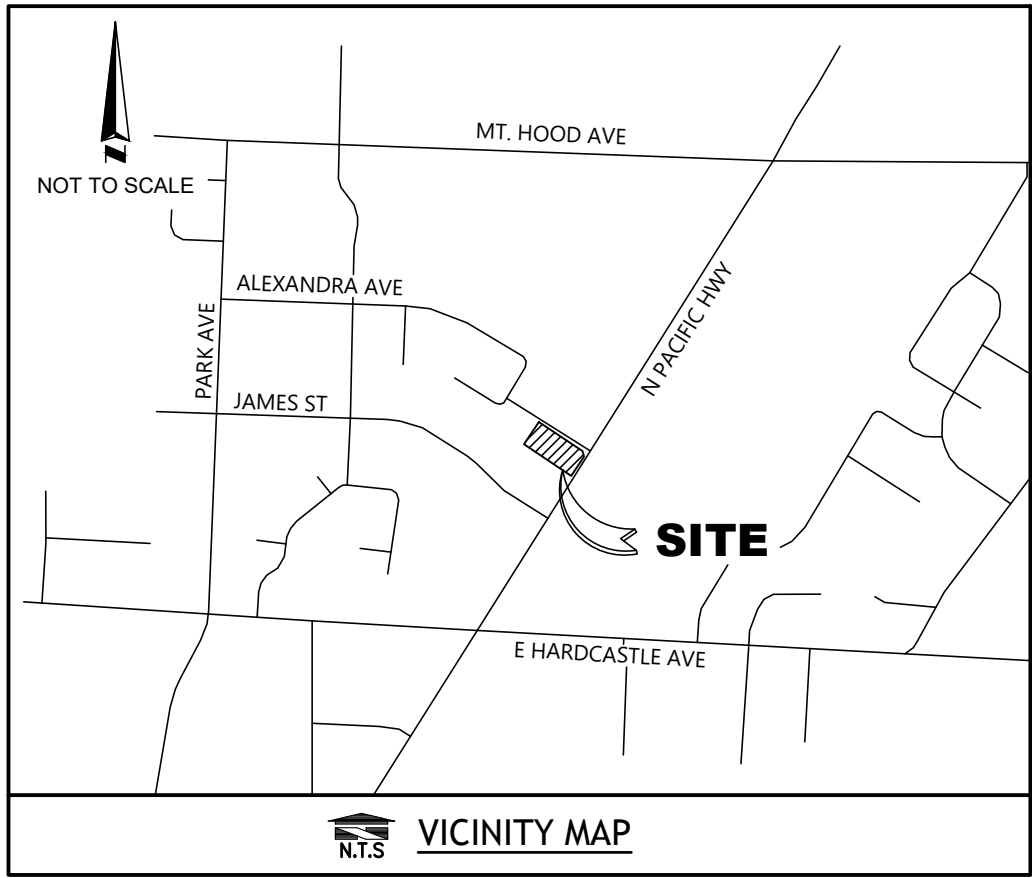
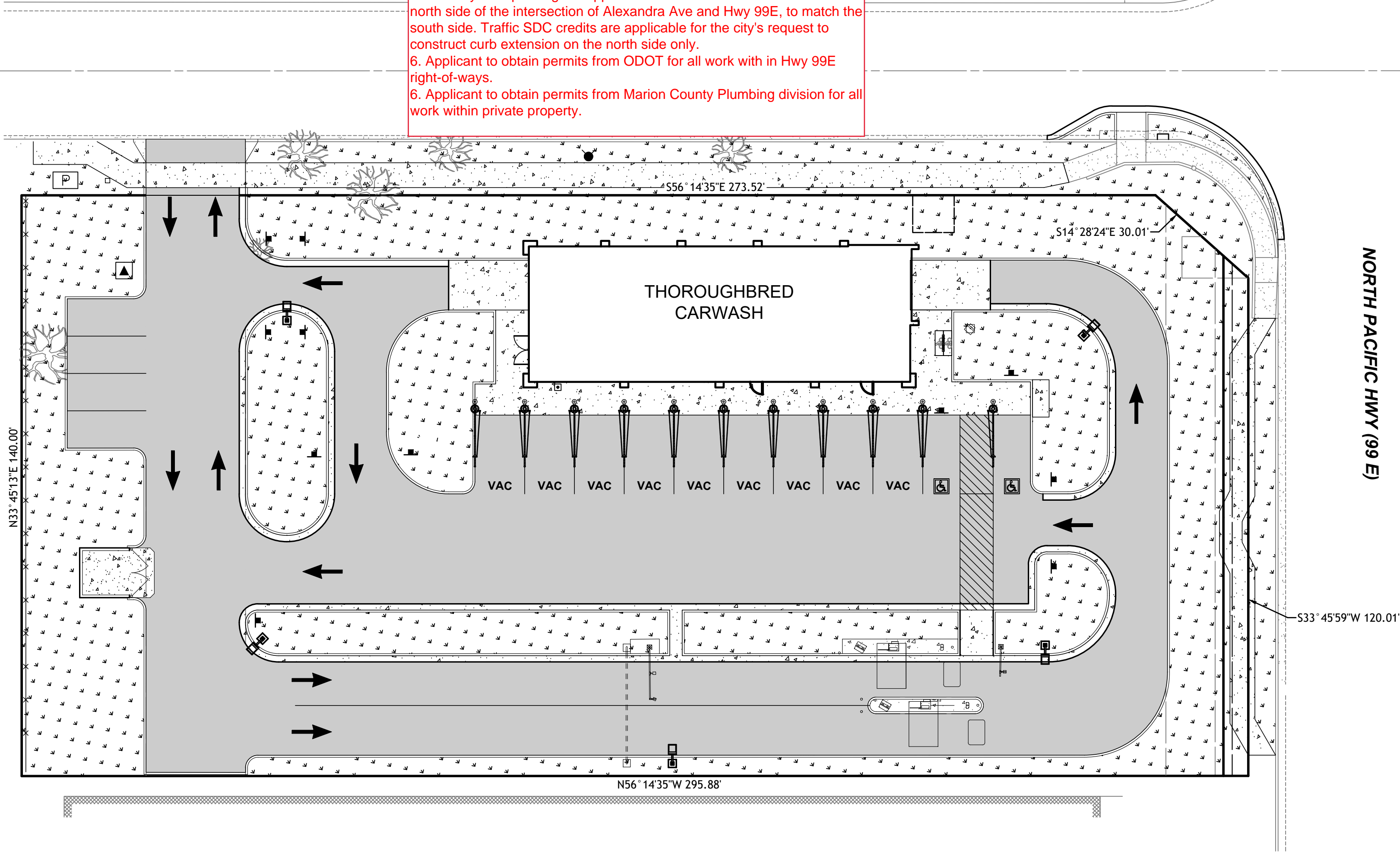


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GENERAL SITE NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC., UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

General Requirements:
1. Provide an erosion control plan
2. Provide a copy of an approved DEQ 1200C permit, if required
3. Provide street light plans for both Alexandra Ave and Highway 99E, if required
4. Provide notes on plans to "abandon existing water, sewer and storm service lines up to the main lines" if they are not going to be use for this development.
5. The City is requesting the applicant to construct curb extensions on the north side of the intersection of Alexandra Ave and Hwy 99E, to match the south side. Traffic SDC credits are applicable for the city's request to construct curb extension on the north side only.
6. Applicant to obtain permits from ODOT for all work with in Hwy 99E right-of-ways.
6. Applicant to obtain permits from Marion County Plumbing division for all work within private property.



SITE INFO

1299 N. PACIFIC HIGHWAY
WOODBURN, OR 97071
PARCEL #: 105982012091003
LAND USE: COMMERCIAL
ZONING: CG (COMMERCIAL GENERAL)
AREA: 41,201 SF (0.95 ACRES)

OWNER/APPLICANT

BLITZ HOLDINGS
3120 139TH AVE SE, SUITE 500
BELLEVUE, WA 98005
CONTACT: CONNER HAYES

ENGINEER

BARGHAUSEN CONSULTING ENGINEERS, LLC
400 COLUMBIA POINT DR, SUITE 101-B
RICHLAND, WA 99352
TEL: (425) 251-6222
CONTACT: NATHAN MACHIELA, P.E.

SURVEYOR

TERRAMARK
8196 SW HALL BOULEVARD, SUITE #111
BEAVERTON, OR 97008
TEL: (503) 860-2255
CONTACT: MICHAEL HOFFMAN

GEOTECHNICAL ENGINEER

PARTNER ENGINEERING AND SCIENCE INC.
3607 1ST AVE NW
SEATTLE, WA 98107
TEL: (800) 419-4923
CONTACT: ANDREW ATRY, P.E.

PRELIMINARY SHEET INDEX

Sheet Number	Sheet Title
C1.0	COVER SHEET
--	SURVEY TOPO MAP
C2.0	SITE PLAN
C3.0	GRADING AND STORM DRAINAGE PLAN
C4.0	UTILITY PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN

MONUMENT PROTECTION NOTE:

CONTRACTOR SHALL FIELD LOCATE ALL MONUMENTS WITHIN THE AREA OF DISTURBANCE PRIOR TO CONSTRUCTION AND PROTECT FROM DISTURBANCE/DESTRUCTION TO THE MAXIMUM EXTENT FEASIBLE. IF IT IS NECESSARY TO REMOVE OR REPLACE A MONUMENT DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION HAVING AUTHORITY (RCW 58.24.040) AND BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES PRIOR TO DISTURBANCE/DESTRUCTION OR RELOCATION OR REPLACEMENT (WAC 332-120). APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR AND MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES:

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES

PUBLIC LAND SURVEY OFFICE
1111 WASHINGTON STREET S.E.
P.O. BOX 47060
OLYMPIA, WASHINGTON 98504-7060
(206)902-1190

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED THAT ARE ABLE TO BE REPLACED, SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

GEOTECHNICAL REPORT NOTES

- THE FOLLOWING GEOTECHNICAL REPORT FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

SOILS REPORTS: GEOTECHNICAL ENGINEERING STUDY,
DATED MARCH 13, 2025
(PROJECT NO. 25-481446.2)

PREPARED BY: PARTNER ENGINEERING AND SCIENCE INC.
3607 1ST AVE NW
SEATTLE, WA 98107

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.

- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.

- THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

SURVEY INFORMATION

BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTER LINE OF PACIFIC HIGHWAY NO. 99E AS SHOWN ON A RECORD OF SURVEY FILED AS MCSR 38382 IN THE OFFICE OF THE MARION COUNTY SURVEYOR, STATE OF OREGON, BEING NORTH 33°45'59" WEST.

BASIS OF ELEVATION
ELEVATIONS SHOWN HEREON ARE BASED ON THE MARION COUNTY BENCHMARK 9416, WHICH BEARS AN ELEVATION OF 178.117' ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929(NGVD29).

FLOOD ZONE INFORMATION
FEMA MAP PANEL 41047C0139 G. SITE LOCATED IN FLOOD ZONE X (AREA OUTSIDE 500-YEAR FLOODPLAIN).

SITE INFORMATION

EXISTING SURFACE AREAS
TOTAL SITE AREA: 41,201 SF (0.95 AC)
IMPERVIOUS AREA: 24,718 SF (0.57 AC)
PERVIOUS/LANDSCAPE AREA: 16,483 SF (0.38 AC)

PROPOSED SURFACE AREAS
TOTAL SITE AREA: 41,201 SF (0.95 AC)
IMPERVIOUS AREA: 26,190 SF (0.60 AC)
PERVIOUS/LANDSCAPE AREA: 15,011 SF (0.35 AC)

LEGAL DESCRIPTION

LOT 2 AND LOT 3, IN BLOCK 1, LENNERS HIGHWAY SUBDIVISION (PLAT BOOK 14 PAGE 0043), IN THE CITY OF WOODBURN, MARION COUNTY, OREGON.

EXCEPTING THEREFROM THAT PART DESCRIBED IN PARCEL 1 OF EXHIBIT A, ATTACHED TO STIPULATED JUDGMENT ENTERED FEBRUARY 27, 1992 IN SUIT NO. 91C-12289, STATE OF OREGON, BY AND THROUGH ITS DEPARTMENT OF TRANSPORTATION. PLAINTIFF VS MILO E. BIBELHEIMER AND BONNIE J. BIBELHEIMER, AS TENANTS BY THE ENTIRETY, AS TO AN UNDIVIDED 1/2 INTEREST; AND WAYNE F. BRANDT AND JOYCE E. BRANDT, AS TENANTS BY THE ENTIRETY, AS TO AN UNDIVIDED 1/2 INTEREST, ALL AS TENANTS IN COMMON, AND RECORDED MARCH 12, 1992 IN REEL 931 PAGE 365, RECORDS FOR MARION COUNTY, OREGON.

THE LEGAL DESCRIPTION WAS CREATED PRIOR TO JANUARY 01, 2008.

THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME AS THAT PROPERTY DESCRIBED IN THE TITLE COMMITMENT IDENTIFIED AS "FIRST AMERICAN TITLE INSURANCE COMPANY" COMMITMENT NUMBER NCS-1245253-PRSTO, WITH A COMMITMENT DATE OF DECEMBER 19, 2024.

LEGEND:

PROPOSED	EXISTING
CURB AND GUTTER	FOUND AS INDICATED
BARRIER CURB	FOUND MAG NAIL
CONCRETE	NOT FOUND OR SET
ASPHALT	BOLLARD
SAWCUT	CONCRETE CURB AND GUTTER
CONTOUR	CONCRETE CURB EXTRUDED
WATER	IRRIGATION CONTROL VALVE
WATER METER	LIGHT POLE, PARKING
STORM	POWER TRANSFORMER
SANITARY	POWER VAULT
GAS	SANITARY SEWER MANHOLE
POWER	SANITARY SEWER STUB
PAINT STRIPE	SIGN
TYPE 1 CATCH BASIN	STORM CATCH BASIN
TYPE 2 CATCH BASIN	STORM MANHOLE
SANITARY SEWER CLEANOUT	TELEPHONE PEDESTAL
	WATER FIRE HYDRANT
	WATER SPIGOT
	WATER VALVE
	WATER METER
	TREE W/DIAMETER NOTED

COVER SHEET

1299 N. PACIFIC HIGHWAY
WOODBURN, OR, 97071

Title:

BLITZ HOLDINGS
506 SECOND AVE, SUITE 1009
SEATTLE, WA 98104

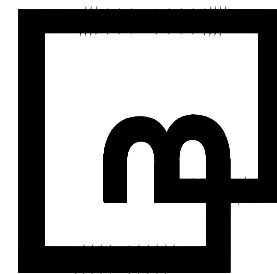
For:

PRELIMINARY

Scale:
Horizontal 1"=20'
Vertical N/A

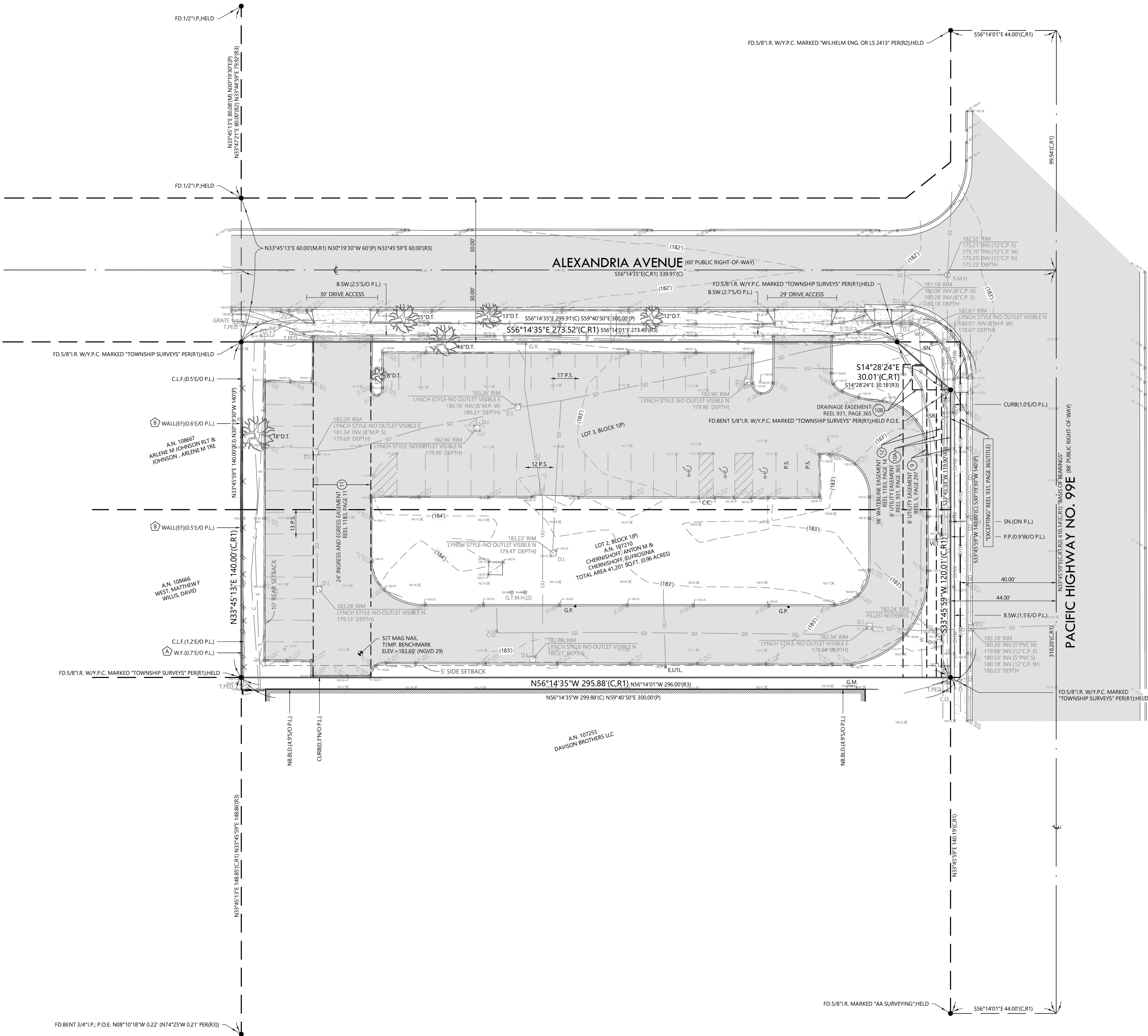
Designed: BSG
Drawn: BSG
Checked: NJM
Approved: NJM
Date: 10/16/25

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

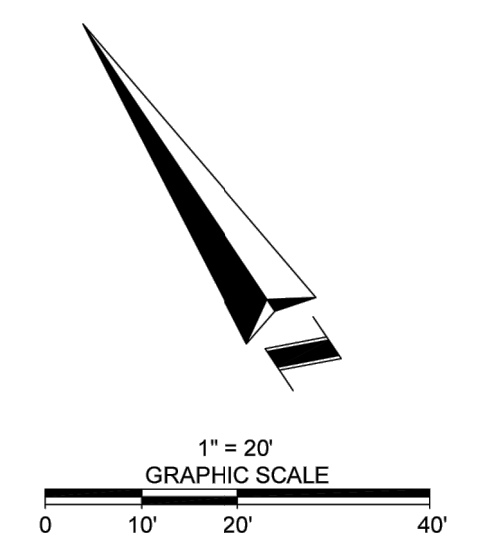


Job Number
23947

Sheet
C1.0 of 6



LEGEND			
BLD. (C) C.C. C.L. C.L.F. C.O. C.P. D.I. D.T. E.U.T.L. (EF) FD G.M. G.T.M.H. G.P. G.V. I.P. I.R. (M)	BUILDING CALCULATED DATA CURB CUT CENTER LINE CHAIN LINK FENCE CLEAN OUT CONCRETE PIPE DRAIN INLET DECIDUOUS TREE ELECTRIC UTILITY EAST FACE FOUND GAS METER GREASE TRAP MAN HOLE GUARD POST GAS VALVE IRON PIPE IRON ROD MEASURED DATA	M.P. NB. (P) P.L. P.O.E. P.P. P.S. (R1) (R2) (R3) RSL S.M.H. SN. T.PED. VLT. W.F. W.V. Y.P.C.	METAL PIPE NEIGHBORING LENNERS HIGHWAY SUBDIVISION VOL. 14 OF PLATS, PG. 43 PROPERTY LINE POINT OF ENTRY POWER POLE PARKING SPACE S.N. 38382 S.N. 35818 S.N. 33395 RISER SEWER MAN HOLE SIGN TELEPHONE PEDESTAL VAULT WOOD FENCE WATER VALVE YELLOW PLASTIC CAP
 BLOCK/CONCRETE WALL			
 CONCRETE			
 ASPHALTIC CONCRETE			
 BUILDING LINE			
 HANDICAP PARKING			
 CHAIN LINK FENCE			
 WOOD FENCE			
 LIGHT POLE			
 PROPERTY LINE			
 EASEMENT LINE			
 CABLE/COMMUNICATION LINE			
 ELECTRIC LINE			
 GAS LINE			
 IRRIGATION LINE			
 OVERHEAD WIRE			
 STORM DRAIN LINE			
 SEWER LINE			
 UNKNOWN UTILITY			
 WATER LINE			



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SHEET 2
OF 2

2021 ALTA/NSPS LAND TITLE SURVEY

WOODBURN THOROUGHbred

SITE ADDRESS

1299 N. PACIFIC HIGHWAY

WOODBURN, OREGON 97071

MARION COUNTY

PARTNER PROJECT NUMBER: 25-481446.3

COORDINATED BY

PARTNER

CORPORATE OFFICE
2154 Torrance Boulevard
Torrance, CA 90501
Phone: 888-213-7479
ALTA@partneresi.com
www.partneresi.com

DATE	REVISIONS	DRAWN BY: K.L.M.	DRAWING SCALE: 1" = 20'
3/4/25	NETWORK COMMENTS	CHECKED BY: M.A.H.	JOB NO.: 20256130
		FILENAME: 20256130 THOROUGHbred 1299 N. PACIFIC HWY., WOODBURN, OR DWG	

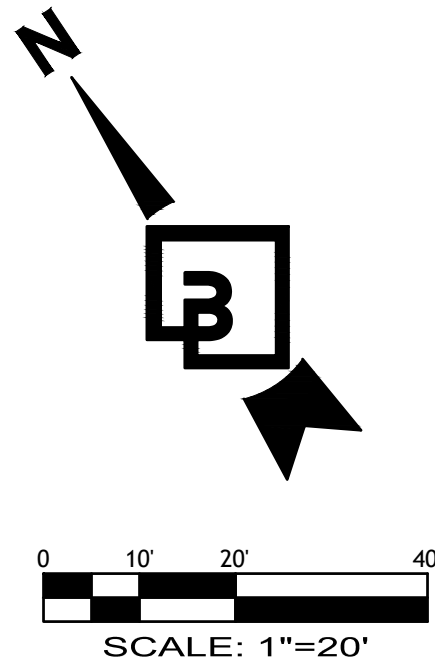
SURVEYED BY

TERRAMARK

8196 SW HALL BOULEVARD, SUITE #111
BEAVERTON, OR 97008; PH: 503/860-2255



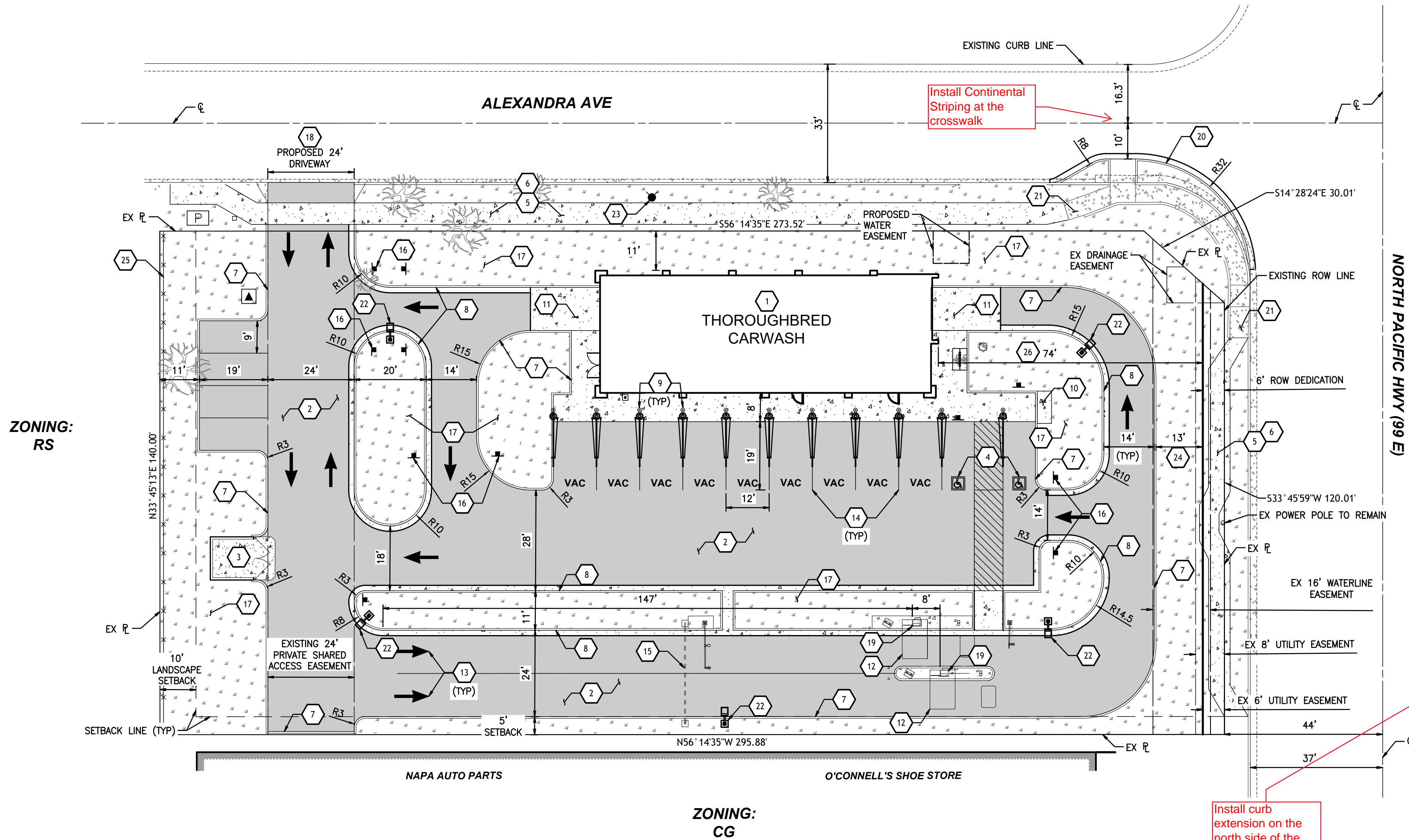
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WOODBURN THOROUGHbred EXPRESS WASH

NW 1/4 OF THE SE 1/4 OF SECTION 08, TWP. 05 SOUTH, RGE 01 WEST, WILLAMETTE MERIDIAN
CITY OF WOODBURN, MARION COUNTY, STATE OF OREGON

PRELIMINARY SITE PLAN



SITE PLAN KEYNOTES:

1. PROPOSED CAR WASH. CONFIRM ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. CONSTRUCT ASPHALT PAVEMENT (TYP).
3. TRASH ENCLOSURE, WITH CONCRETE PAD (HEAVY DUTY). SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
4. CONSTRUCT ACCESSIBLE PARKING STALL AND AISLE WITH ALL REQUIRED SIGNAGE.
5. ADA ACCESSIBLE PATH, SEE ACCESSIBLE PATH NOTE ON THIS SHEET. CROSS SLOPE OF SIDEWALKS AND LANDINGS AT DOOR NOT TO EXCEED 2%.
6. CONSTRUCT ON-SITE/OFF-SITE CONCRETE SIDEWALK.
7. CONSTRUCT ON-SITE CONCRETE BARRIER CURB.
8. CONSTRUCT ON-SITE CURB AND GUTTER.
9. INSTALL SELF SERVICE VACUUM UNIT, SEE ARCHITECTURAL PLANS FOR DETAILS. CONTRACTOR TO COORDINATE CONDUIT REQUIREMENTS WITH ELECTRICAL PLANS.
10. INSTALL 6" THICK CONCRETE VACUUM PUMP PAD, SEE ARCHITECTURAL PLANS FOR DETAILS. CONTRACTOR TO COORDINATE CONDUIT REQUIREMENTS WITH ELECTRICAL PLANS.
11. CONSTRUCT CONCRETE PAVEMENT (TYP).
12. INSTALL DRIVE-THRU CANOPY, SEE ARCHITECTURAL PLANS FOR DETAILS.
13. PAINT DIRECTIONAL PAVEMENT MARKINGS, TYPICAL. ALL STRIPING TO CONFORM WITH CITY OF WOODBURN STANDARDS AND SPECIFICATIONS.
14. PAINT 4" WIDE WHITE REFLECTIVE PAINT PARKING STALL STRIPES, TYPICAL. ALL STRIPING TO CONFORM WITH CITY OF WOODBURN STANDARDS AND SPECIFICATIONS.
15. INSTALL HEIGHT CLEARANCE SIGN, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
16. INSTALL "DO NOT ENTER" SIGN.
17. LANDSCAPE AREA, TYPICAL. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
18. CONSTRUCT 24' DRIVEWAY APPROACH PER CITY OF WOODBURN STD DET 4150-1.
19. INSTALL PAY STATION, SEE ARCHITECTURAL PLANS FOR DETAILS. CONTRACTOR TO COORDINATE CONDUIT REQUIREMENTS WITH ELECTRICAL PLANS.
20. INSTALL CURB EXTENSION. CONTRACTOR TO MATCH CURB AND GUTTER TO EXISTING PER CITY OF WOODBURN STANDARDS & SPECIFICATIONS AND ODOT STANDARDS AS APPLICABLE.
21. EXISTING ADA COMPLIANT SIDEWALK AND CURB TO REMAIN.
22. INSTALL DRIVE THROUGH LIGHT, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. CONTRACTOR TO COORDINATE CONDUIT REQUIREMENTS WITH ELECTRICAL PLANS.
23. INSTALL FIRE HYDRANT PER CITY OF WOODBURN STANDARDS AND SPECIFICATIONS.
24. REQUIRED 13' PARKING AND VEHICULAR CIRCULATION SETBACK FROM PROPOSED ROW DEDICATION LINE.
25. INSTALL ARCHITECTURAL LANDSCAPE WALL.
26. BUILDING SETBACK FROM ROW. BUILDING LOCATION IS COMPLAINT WITH MAXIMUM 80' SETBACK FROM ROW.

ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 48" IN WIDTH (PER PAR REQUIREMENTS FOUND IN PROWAG), HAVE A MAXIMUM 2.0% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ACCESSIBILITY STANDARDS (SECTION 405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20).

Revision

Appr.

Clad.

By

Date

No.

Title:

PRELIMINARY SITE PLAN
1299 N. PACIFIC HIGHWAY
WOODBURN, OR, 97071

For:

BLITZ HOLDINGS
506 SECOND AVE, SUITE 1009
SEATTLE, WA 98104

For:

PRELIMINARY

Scale:

Horizontal

1"=20'

Vertical

N/A

Designed

Drawn

Checked

Approved

Date

10/16/25

10/16/25

10/16/25

10/16/25

10/16/25

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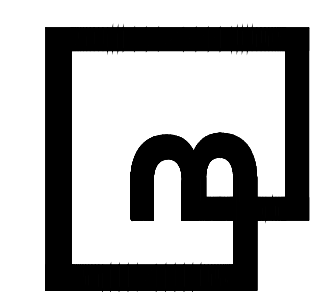
10/16/25

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10/16/25

10/16/25

Barghausen
Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222



Job Number

23947

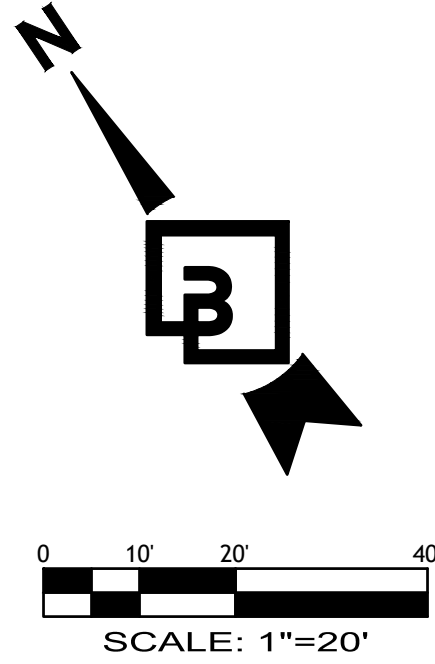
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WOODBURN THOROUGHbred EXPRESS WASH

NW 1/4 OF THE SE 1/4 OF SECTION 08, TWP. 05 SOUTH, RGE 01 WEST, WILLAMETTE MERIDIAN
CITY OF WOODBURN, MARION COUNTY, STATE OF OREGON

GRADING AND STORM DRAINAGE PLAN

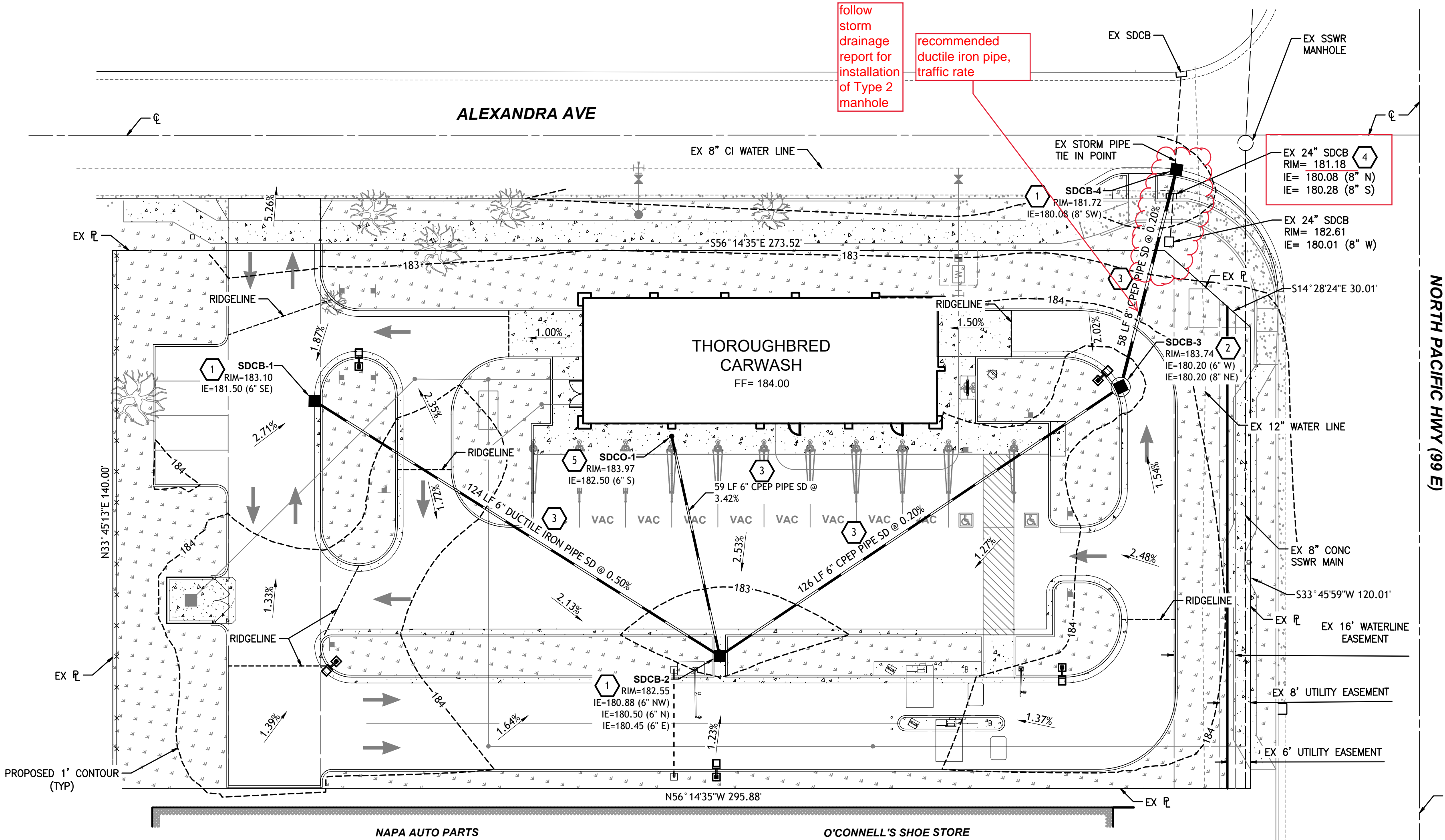
STORM DRAIN GENERAL NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
- CONTRACTOR SHALL USE PIPE/FITTING MATERIALS IN ACCORDANCE WITH CITY OF WOODBURN REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- PVC PIPES TO BE SDR-35, MAINTAIN MINIMUM 18" COVER OVER PVC STORM PIPES. ALL STORM PIPING INSTALLED WITH LESS THAN 18" OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
- ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.

UTILITY CROSSING NOTE:

MAINTAIN MINIMUM 12" VERTICAL SEPARATION BETWEEN STORM LINE AND SANITARY SEWER LINE. CONTRACTOR TO VERIFY DEPTH OF EXISTING SANITARY SEWER.

IF 12" VERTICAL SEPARATION CANNOT BE MAINTAINED, CONTRACTOR MUST CONTACT ENGINEER.



GRADING NOTES:

- ALL GRADING IS TO CONFORM TO THE REQUIREMENTS AND RECOMMENDATIONS PROVIDED IN GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED MARCH 13, 2025, AND IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARDS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS AND RECOMMENDATIONS, AND TO SEEK CLARIFICATION WITH THE CIVIL AND/OR GEOTECHNICAL ENGINEER(S) OF RECORD PRIOR TO CONSTRUCTION. ADDITIONAL GEOTECHNICAL INVESTIGATION REPORT NOTES ARE PROVIDED ON COVER SHEET C1.0.
- ALL GRADING IS TO CONFORM TO CITY OF WOODBURN STANDARDS AND SPECIFICATIONS. WHERE REQUIREMENTS AND RECOMMENDATIONS DIFFER BETWEEN THE LEAD JURISDICTION AND THE GEOTECHNICAL INVESTIGATION REPORT, THE MORE STRINGENT REQUIREMENTS AND RECOMMENDATIONS WILL BE FOLLOWED. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS. **Provide an erosion control plan**
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
- ALL REWORKED SOILS AND FILL MATERIALS SHALL MEET THE MATERIAL, PLACEMENT, AND COMPACTION REQUIREMENTS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND OBTAINING FIELD DENSITY TESTS AT THE TESTING FREQUENCIES DESCRIBED IN THE GEOTECHNICAL INVESTIGATION REPORT. ALL RESULTS ARE TO BE SENT TO THE GEOTECHNICAL ENGINEER FOR REVIEW AND APPROVAL.
- NO SLOPES TO EXCEED 2.5H:1V WITHOUT SLOPE STABILIZATION. ADDITIONAL SLOPE REQUIREMENTS CAN BE FOUND IN THE GEOTECHNICAL INVESTIGATION REPORT.
- EXCESS MATERIALS TO BE LEGALLY DISPOSED OF AND/OR SPREAD OFFSITE.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISH GRADE ELEVATIONS, AND BE FREE OF ANY ABRUPT VERTICAL CHANGES. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. LIDS AND RIMS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (FLOWLINE OR TOP OF PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- CONTRACTOR TO ORDER LOCATES AND FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION TO ENSURE THAT UTILITY CONFLICTS DO NOT EXIST. CONTRACTOR TO REVIEW UTILITY AS-BUILTS IN ORDER TO VERIFY EXISTING UTILITY LOCATIONS. CONTRACTOR SHALL POTHOLE ALL POTENTIAL UTILITY CONFLICTS PRIOR TO CONSTRUCTION. NOTIFY BARGHAUSEN CONSULTING ENGINEERS, LLC OF ANY CONFLICTS. CONTRACTOR TO REVIEW APPROPRIATE AS-BUILTS FROM UTILITY PURVEYOR AS PROVIDED WITHIN CONSTRUCTION RELEASE.

STORM DRAINAGE CONSTRUCTION NOTES:

- INSTALL 24" CATCH BASIN INLET WITH GRATE. INVERT AND RIM ELEVATIONS AS NOTED IN PLAN VIEW.
- INSTALL 48" TYPE 2 CATCH BASIN INLET WITH GRATE. INVERT AND RIM ELEVATIONS AS NOTED IN PLAN VIEW.
- INSTALL STORM PIPING, SLOPE, SIZE, MATERIAL, AND ELEVATION OF PIPES AS NOTED IN THE PLAN VIEW.
- EXISTING CATCH BASIN TO BE DEMOLISHED AND EXISTING SYSTEM REROUTED TO NEW CATCH BASIN.
- INSTALL 6" STORM DRAIN CLEAN OUT AT PROPOSED CONNECTION POINT TO ROOF DRAIN. INVERT AND RIM ELEVATIONS AS NOTED IN PLAN VIEW.

install a type 2 manhole as per storm drainage report

UTILITY CONFLICT NOTE:

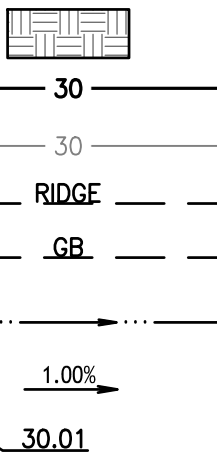
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, LLC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

GRADING ABBREVIATIONS:

EG - EXISTING GRADE SURFACE
FF - FINISH FLOOR
FG - TOP OF GRADE/FINISH GRADE SURFACE
FL - FLOWLINE
FS - FINISH SURFACE
FSH - FLUSH
GB - GRADE BREAK
HP - HIGH POINT
ME - MATCH EXISTING ELEVATION
RIM - RIM/GRATE ELEVATION OF STRUCTURE
SW - TOP OF SIDEWALK
TC - TOP OF CURB
TP - TOP OF PAVEMENT

GRADING LEGEND:

STORM CHAMBER
PROPOSED CONTOUR
EXISTING CONTOUR
PROPOSED RIDGE LINE
PROPOSED GRADE BREAK
SWALE FLOWLINE
PROPOSED GRADING SLOPE
SPOT ELEVATION



Revision

Appr.

Ctd.

By

Date

No.

Title: GRADING AND STORM DRAINAGE PLAN
1299 N. PACIFIC HIGHWAY
WOODBURN, OR, 97071

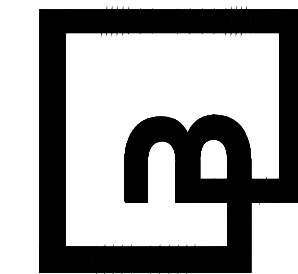
For: BLITZ HOLDINGS
506 SECOND AVE, SUITE 1009
SEATTLE, WA 98104

PRELIMINARY

Scale: Horizontal 1"=20' Vertical N/A

Designed: RSG Drawn: RSG Checked: NJM Approved: NJM Date: 10/16/25

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



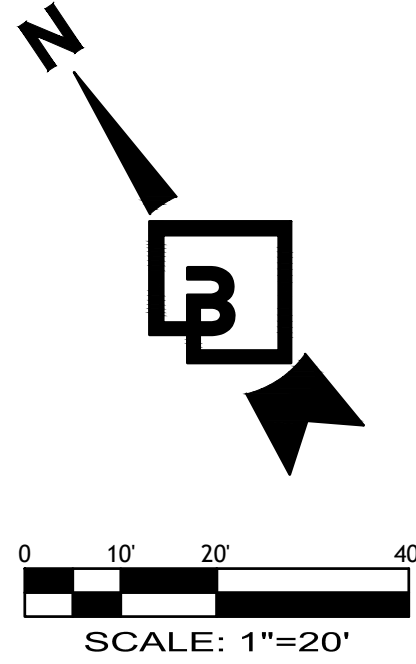
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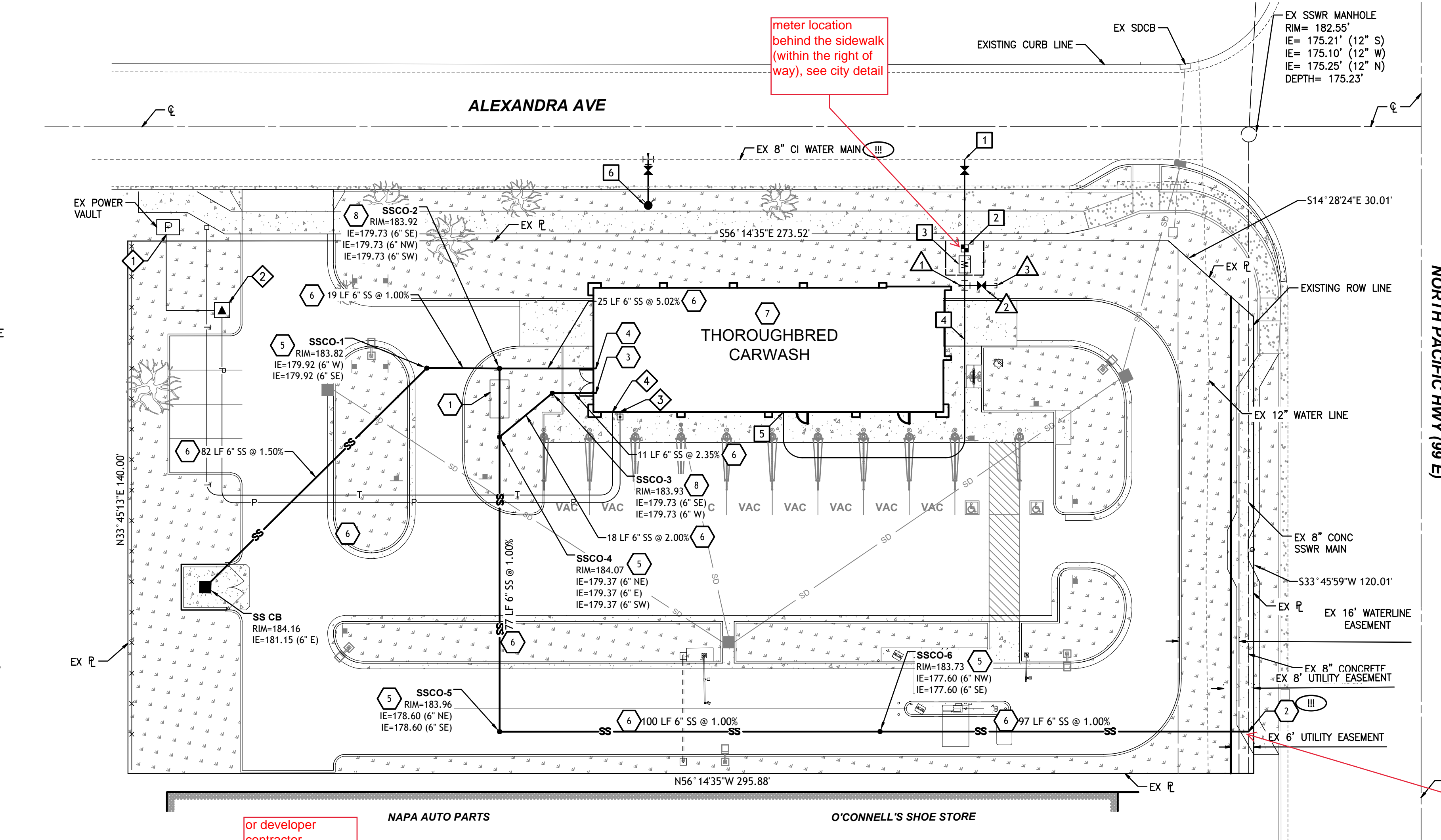
WOODBURN THOROUGHbred EXPRESS WASH

NW 1/4 OF THE SE 1/4 OF SECTION 08, TWP. 05 SOUTH, RGE 01 WEST, WILLAMETTE MERIDIAN
CITY OF WOODBURN, MARION COUNTY, STATE OF OREGON

PRELIMINARY UTILITY PLAN

GENERAL UTILITY NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- LOCATION OF ALL STRUCTURES, BENDS, WYES, CONNECTIONS, ETC. TO BE STAKED BY A LICENSED SURVEYOR. LOCATIONS ARE TO THE CENTER OF THE STRUCTURE AND BASED ON CAD PROVIDED BY ENGINEER. SURVEYOR AND/OR CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS OR CONSTRUCTABILITY CONCERNS.
- ALL UTILITY STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
- ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- CONTRACTOR SHALL USE PIPE/FITTING MATERIALS IN ACCORDANCE WITH CITY OF WOODBURN REQUIREMENTS AND MANUFACTURER SPECIFICATIONS. ALL PVC PIPE SHALL BE SDR-35 WITH 2' MIN COVER WHERE SUBJECT TO VEHICULAR LOADING.
- CONTRACTOR TO MAINTAIN ADEQUATE VERTICAL SEPARATION AT UTILITY CROSSINGS PER CITY OF WOODBURN STANDARDS AND SPECIFICATIONS. IF VERTICAL SEPARATION IS NOT FEASIBLE, CONTACT ENGINEER IMMEDIATELY.
- EXISTING WATER FEATURES SUCH AS METERS, HYDRANTS, AND APPURTENANCES SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY THE INSTALLATION OF ORANGE TEMPORARY FENCING.
- ALL WORK SHOWN WITHIN THE ROW SHALL BE COMPLETED UNDER A ROW USE PERMIT.



WATER CONSTRUCTION NOTES:

- CITY OF WOODBURN WATER DEPARTMENT TO INSTALL 2" TAP INTO EXISTING 8" CI MAIN AND 2" SERVICE LINE PER CITY OF WOODBURN STD DET 5000-4A.
- CITY OF WOODBURN WATER DEPARTMENT TO INSTALL 2" WATER METER PER CITY OF WOODBURN STD DET 5000-4A.
- INSTALL 2" REDUCED PRESSURE BACKFLOW DEVICE (RPBA) TO SERVICE THE CAR WASH FACILITY. RPBA SHALL BE PER CITY OF WOODBURN STANDARDS AND SPECIFICATIONS. BACKFLOW DEVICE TO BE TESTED IMMEDIATELY FOLLOWING INSTALL AND INSPECTED BY MCMINNVILLE WATER AND-LIGHT CROSS-CONNECTION SPECIALIST.
- INSTALL 2" WATER SERVICE LINE.
- APPROXIMATE LOCATION OF DOMESTIC WATER SERVICE. COORDINATE SERVICE LOCATION, SIZE, AND CONTRACTOR SCOPE OF WORK WITH MEP PLANS/PURVEYOR PRIOR TO CONSTRUCTION.
- INSTALL FIRE HYDRANT PER CITY OF WOODBURN STD DET 5070-1 AND 5070-2.

DRY UTILITY CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF CONNECTION POINT FOR POWER SERVICE LINE AND COMMUNICATION LINE(S). CONTRACTOR SHALL TRENCH FROM PROPOSED POINT OF CONNECTION TO PROPOSED SITE TRANSFORMER/PEDESTAL(S) LOCATIONS. CONTRACTOR SHALL COORDINATE SERVICE LOCATION, CONDUIT(S) SIZE, AND CONTRACTOR SCOPE OF WORK WITH PURVEYOR PLANS PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF PROPOSED TRANSFORMER. CONTRACTOR TO INSTALL TRANSFORMER PAD AS REQUIRED BY ELECTRICAL PURVEYOR. CONTRACTOR TO COORDINATE WITH PURVEYOR TO CONFIRM DIMENSIONS, SPECIFICATIONS, AND PLACEMENT LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL COORDINATE SERVICE STUB LOCATION, CONDUIT(S) SIZE, AND CONTRACTOR SCOPE OF WORK WITH PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF POWER CONNECTION TO BUILDING. CONTRACTOR SHALL TRENCH FROM PROPOSED SITE TRANSFORMER TO BUILDING POINT OF CONNECTION. CONTRACTOR SHALL COORDINATE INSTALLATION REQUIREMENTS, TRENCHING OR BORING WITH ELECTRICAL PURVEYOR. REFER TO ELECTRICAL PLANS FOR FINAL LOCATION. CONTRACTOR SHALL COORDINATE SERVICE LOCATION, CONDUIT(S) SIZE, AND CONTRACTOR SCOPE OF WORK WITH PURVEYOR PLANS PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF COMMUNICATIONS CONNECTION TO BUILDING. COORDINATE SERVICE LOCATION, CONDUIT(S) SIZE AND CONTRACTOR SCOPE OF WORK WITH MEP PLANS/PURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH PURVEYOR REGARDING CONNECTION REQUIREMENTS. COORDINATION WITH PURVEYOR SHALL BE DONE PRIOR TO CONSTRUCTION.

UTILITY POTHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, LLC. OF ANY CONFLICTS.

IRRIGATION CONSTRUCTION NOTES:

- CONTRACTOR TO INSTALL 1" TEE FITTING AND 1" IRRIGATION LINE OFF 2" WATER LATERAL.
- INSTALL 1" DCVA PER CITY OF WOODBURN SPECIFICATIONS. INSTALL LANDSCAPE IRRIGATION SYSTEM DOWNSTREAM OF DCVA.
- WATER SUPPLY CONNECTION FOR LANDSCAPE USE. REFER TO LANDSCAPE PLANS FOR MORE DETAILS.

SEWER CONSTRUCTION NOTES:

- OLDCASTLE OIL/WATER 660-SA SEPARATOR TANK. Pending review and approval by the city's wastewater coordinator.
- CONNECT 6" SANITARY SEWER SERVICE TO EXISTING 8" CONCRETE SEWER MAIN, INVERT ELEVATION AS SHOWN IN PLAN VIEW. CONTRACTOR TO PROVIDE NECESSARY FITTINGS AND COUPLINGS TO MAKE CONNECTION. CONTRACTOR TO VERIFY LOCATION, CONDITION, AND DEPTH OF PROPOSED CONNECTION AND ENSURE POSITIVE DRAINAGE CAN BE ACHIEVED PRIOR TO CONSTRUCTION. REPORT RESULTS TO ENGINEER.
- APPROXIMATE LOCATION OF SEWER CONNECTION TO CAR WASH BLACKWATER. SEE PLUMBING PLANS FOR CONTINUATION. CONFIRM EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH PLUMBING PLANS.
- APPROXIMATE LOCATION OF SEWER CONNECTIONS TO CAR WASH GREYWATER. SEE PLUMBING PLANS FOR CONTINUATION. CONFIRM EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH PLUMBING PLANS.
- INSTALL 6" CLEANOUT. SIZE, RIM ELEVATION, AND INVERT ELEVATIONS PER PLAN VIEW. INVERT ELEVATIONS ARE BASED ON APPROXIMATE LOCATIONS, SIZES, AND INVERT ELEVATIONS AT CONNECTION TO BUILDING. VERIFY BUILDING CONNECTION WITH PLUMBING PLANS AND ADJUST INVERT ELEVATIONS AS NECESSARY.
- INSTALL SEWER LATERAL (TYP ALL); PIPE SIZE, MATERIAL, LENGTH, AND SLOPE AS NOTED PER PLAN VIEW.
- APPROXIMATE LOCATION OF SEWER CONNECTION TO CAR WASH DRAINS NOT SHOWN. SEE PLUMBING PLANS FOR CONTINUATION INSIDE BUILDING FOOTPRINT. CONFIRM EXACT LOCATION WITH PLUMBING PLANS.
- INSTALL TWO-WAY CLEANOUT. SIZE, RIM ELEVATION, AND INVERT ELEVATIONS PER PLAN VIEW. INVERT ELEVATIONS ARE BASED ON APPROXIMATE LOCATIONS, SIZES, AND INVERT ELEVATIONS AT CONNECTION TO BUILDING. VERIFY BUILDING CONNECTION WITH PLUMBING PLANS AND ADJUST INVERT ELEVATIONS AS NECESSARY.

Revision

Appr.

Clad.

By

Date

No.

Title:

PRELIMINARY UTILITY PLAN
1299 N. PACIFIC HIGHWAY
WOODBURN, OR, 97071

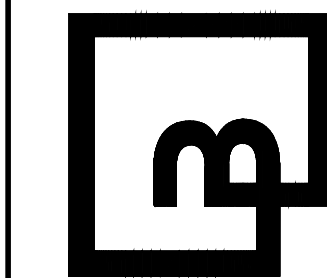
For:
BLITZ HOLDINGS
506 SECOND AVE, SUITE 1009
SEATTLE, WA 98104

PRELIMINARY

Scale:
Horizontal
1"=20'
Vertical
N/A

Designed
Drawn
Checked
Approved
Date

Barghausen
Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
23947

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