



WOODBURN CITY HALL BASEMENT REMODEL

CITY OF WOODBURN

270 Montgomery St
Woodburn, OR 97071

BID SET

4/15/2024

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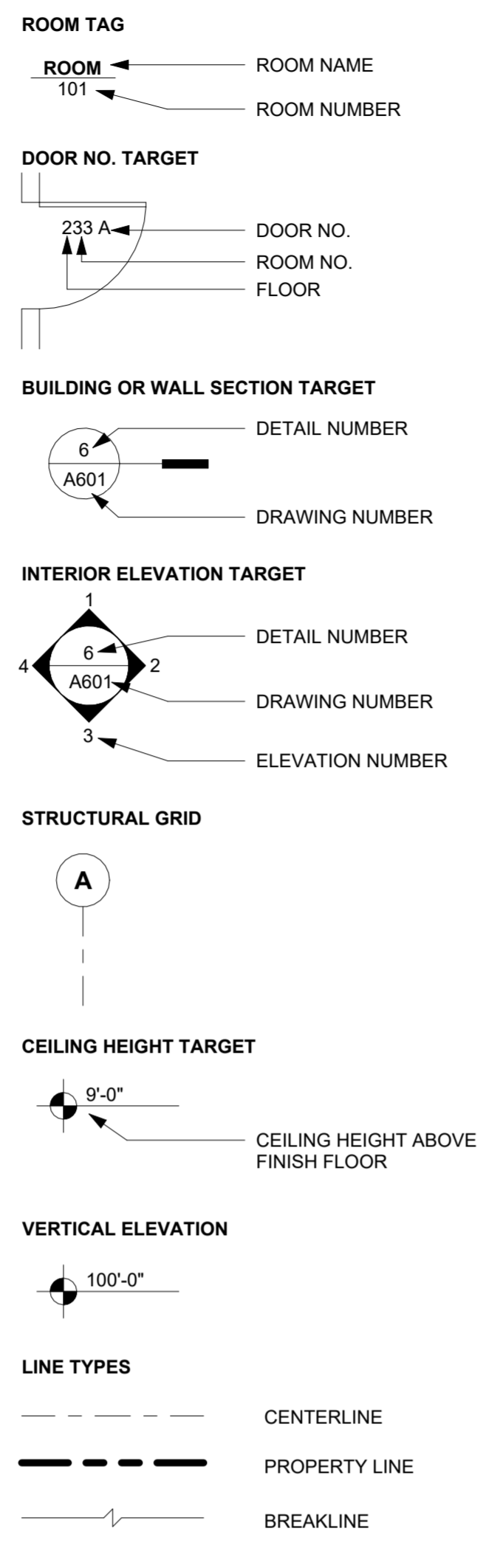
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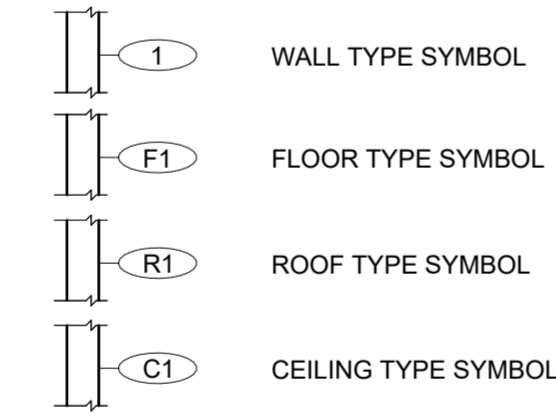
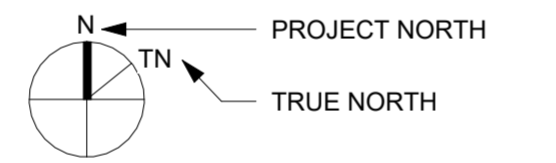
ABBREVIATIONS

∠	ANGLE	KDF	KNOCK-DOWN FRAME
⏟	CENTERLINE	LAV	LAVATORY
@	AT	LT	LIGHT
∅	DIAMETER or ROUND		
AB	ANCHOR BOLT	MACH	MACHINE
AC	AIR CONDITIONING	MAX	MAXIMUM
ACOUS	ACOUSTICAL	MECH	MECHANICAL
AD	AREA DRAIN	MEP	MECHANICAL, ELECTRICAL, PLUMBING
ADJ	ADJUST(ABLE), ADJACENT	MFR	MANUFACTURER
AFF	ABOVE FINISHED FLOOR	MIN	MINIMUM
AHJ	AUTHORITIES HAVING JURISDICTION	MISC	MISCELLANEOUS
AL, ALUM	ALUMINUM	MP	METAL PANEL
APPR(OX)	APPROXIMATE	MR	MIRROR
ARCH	ARCHITECTURAL	MTL	METAL
		MULL	MULLION
BCS	BABY CHANGING STATION		
BD	BOARD	(N)	NEW
BLDG	BUILDING	N	NORTH
BLKG	BLOCKING	NIC	NOT IN CONTRACT
B.O.	BOTTOM OF	NO	NUMBER
B.O.S.	BOTTOM OF STRUCTURE	NTS	NOT TO SCALE
BOT, BOTT	BOTTOM		
BRKT	BRACKET		
CB	CATCH BASIN	OC	ON CENTER
CG	CLEAR GLASS	OCC	OCCUPANCY
CIG	CLEAR INSULATED GLASS	OD	OUTSIDE DIAMETER
CJ	CONSTRUCTION/CONTROL JOINT	OFCl	OWNER FURNISHED-CONTRACTOR INSTALLED
CL	CENTER LINE	OFOI	OWNER FURNISHED-OWNER INSTALLED
CLG, CEIL	CEILING	OPP	OPPOSITE
CLR	CLEAR	P, PTD	PAINT(ED)
CMU	CONCRETE MASONRY UNIT	PL	PLATE
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONSTR	CONSTRUCTION	PR	PAIR
CONT	CONTINUOUS, CONTINUE	PSI	POUNDS PER SQUARE INCH
CPT	CARPET	PSF	POUNDS PER SQUARE FOOT
CT	CERAMIC TILE	PT	PRESSURE TREATED
CTG	CLEAR TEMPERED GLASS	PVC	POLYVINYL CHLORIDE
CTIG	CLEAR TEMPERED INSULATED GLASS		
D	DRYER	R	RISER
DEMO	DEMOLITION	R, RAD	RADIUS
DEPT	DEPARTMENT	RB	RUBBER BASE
DF	DRINKING FOUNTAIN	RD	ROOF DRAIN
DIA	DIAMETER	RDOO	ROOF DRAIN OVERFLOW DRAIN
DIST	DISTANCE	REF	REFRIGERATOR, REFERENCE
DIM, DIMS	DIMENSION(S)	REINF	REINFORCE(D)ING)
DN	DOWN	REQ, REQ'D	REQUIRE(D)MENT(S)
DR	DOOR	REV	REVISION(S)REVISED
DS	DOWNSPOUT	RM	ROOM
DTL	DETAIL	RO	ROUGH OPENING
DW	DISHWASHER		
DWG	DRAWING		
E	EAST	S	SOUTH
(E), EXIST	EXISTING	SC	SOLID CORE
EL	ELEVATION	SECT	SECTION
EJ	EXPANSION JOINT	SH	SHOWER
ELEC	ELECTRIC(AL)	SHT	SHEET
ELEV	ELEVATOR, ELEVATION	SIM	SIMILAR
EQ	EQUAL	SP	STAND PIPE
EQPM, EQUIP	EQUIPMENT	SPECS	SPECIFICATIONS
EXT	EXTERIOR	SS, SST	STAINLESS STEEL
		STD	STANDARD
		STL	STEEL
		STOR	STORAGE
		STRUC	STRUCTURAL
		SQ	SQUARE
		SUSP CLG	SUSPENDED CEILING
		SYM	SYMMETRICAL
FA	FIRE ALARM	TR	TREAD
FD	FLOOR DRAIN	TC	TOP OF CURB
FE	FIRE EXTINGUISHER	TEL	TELEPHONE
FEC	FIRE EXTINGUISHER CABINET	TG	TEMPERED GLAZING
FF	FINISHED FLOOR	T&G	TONGUE AND GROOVE
FH	FIRE HYDRANT	T.O.	TOP OF
FIN	FINISH(ED)	TYP	TYPICAL
FLR	FLOOR		
FDN	FOUNDATION		
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH		
FOM	FACE OF MASONRY		
FOS	FACE OF STUD		
FR	FIRE RETARDANT, RESISTIVE		
FT	FOOT(FEET)	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
		VEST	VESTIBULE
		VIF	VERIFY IN FIELD
GA	GAGE GAUGE	W	WEST, WASHING MACHINE
GALV	GALVANIZED	WI	WITH
GYP BD, GB, GWB	GYPSPUM BOARD	WB	WOOD BASE
		WC	WATER CLOSET
		WCP	WOOD CEILING PANEL
		WD	WOOD
		WO	WITHOUT
		WP	WOOD PANEL, WATERPROOF
		WRB	WATER RESISTANT BARRIER
		WSF	WELDED STEEL FRAME
HB	HOSE BIBB		
HDWD	HARDWOOD		
HOR(IZ)	HORIZONTAL		
HVAC	HEATING, VENTILATING & AIR CONDITIONING		
ID	INSIDE DIAMETER, IDENTIFY		
IN	INCH(ES)		
INFO	INFORMATION		
INSUL	INSULATION		
INT	INTERIOR		
JAN	JANITOR		
JT	JOINT		

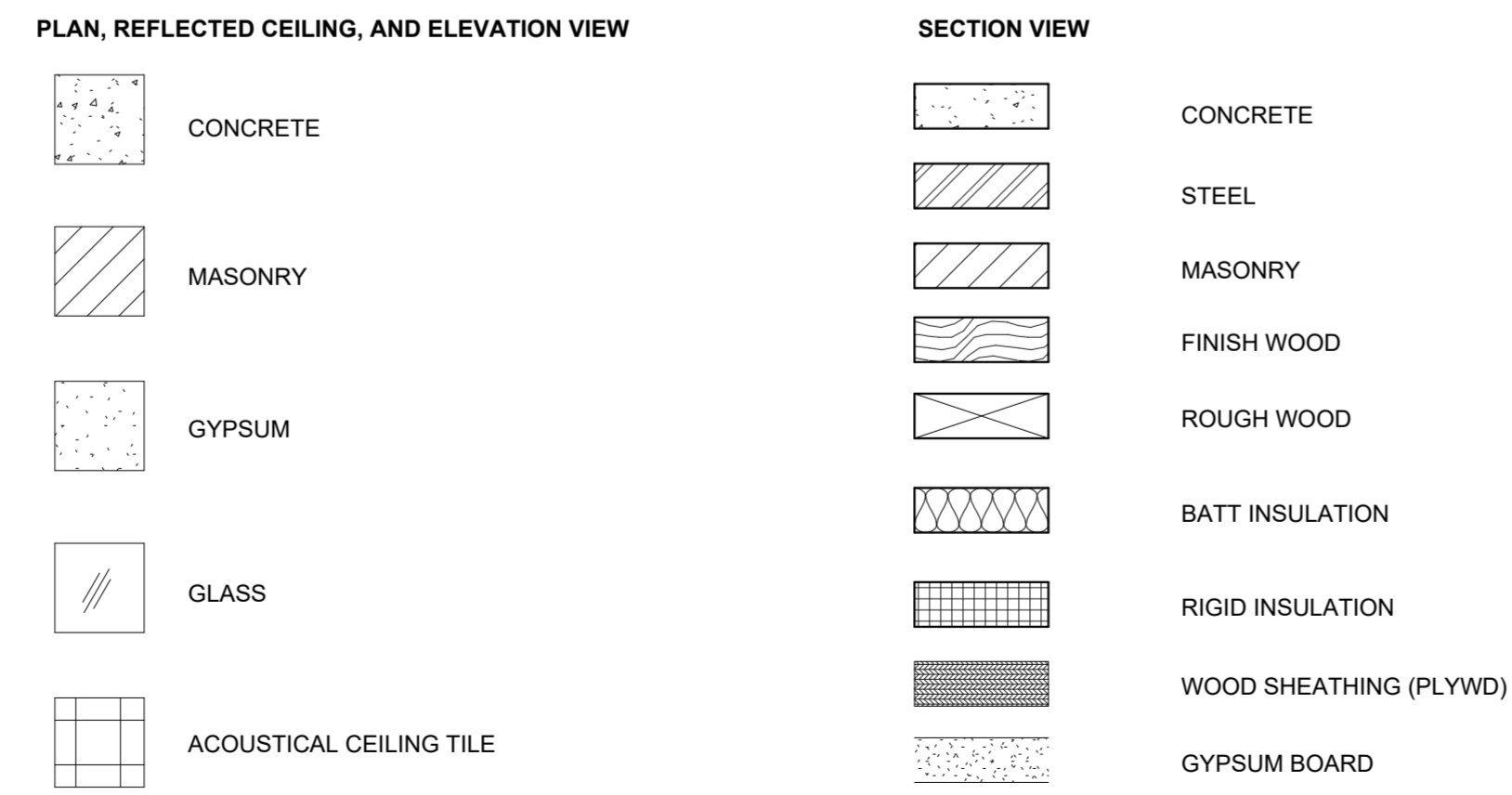
TARGETS



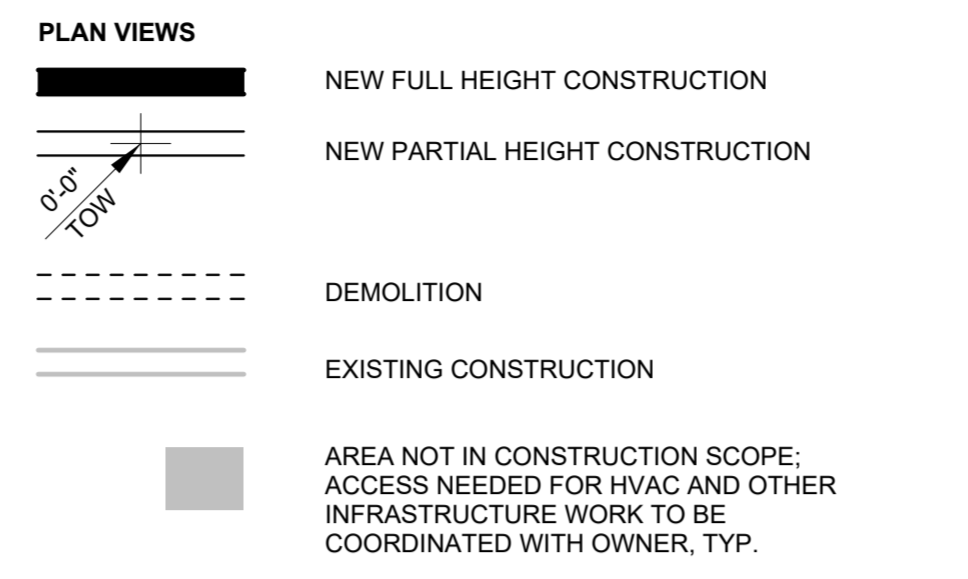
NORTH ARROW



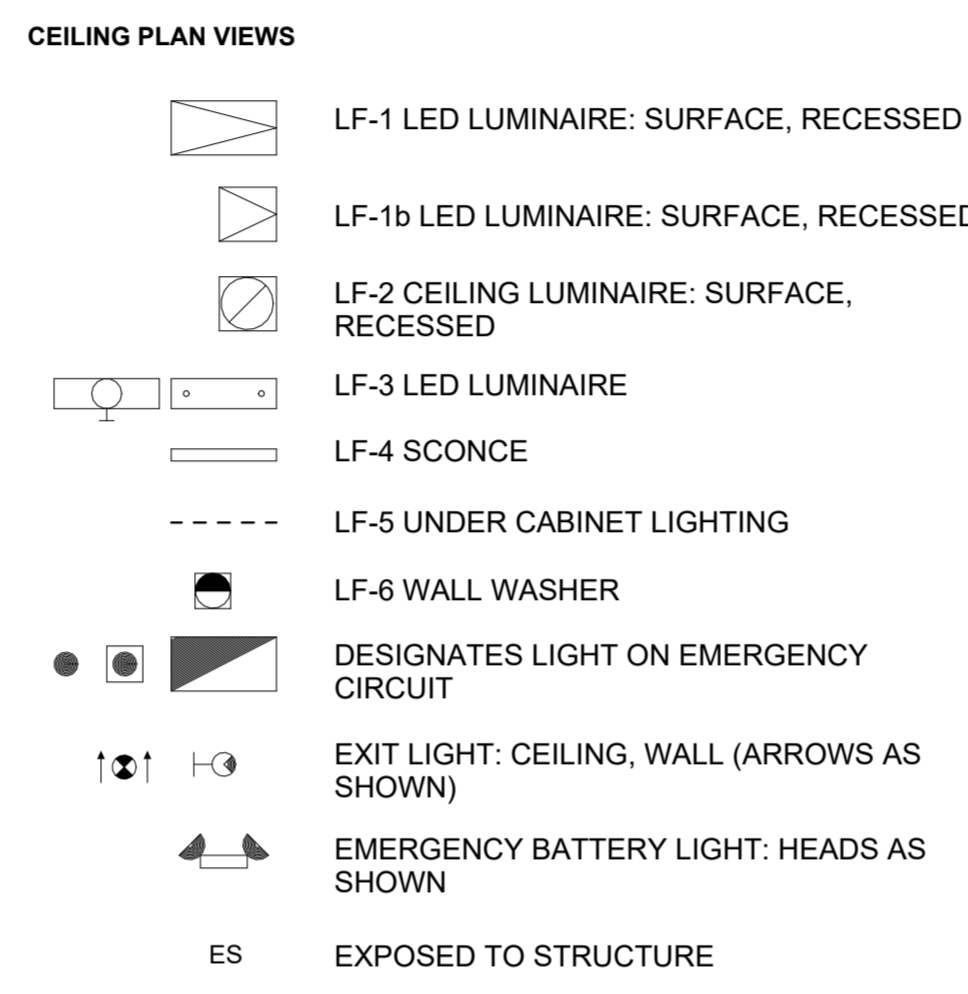
MATERIALS



LEGEND



LEGEND



DRAWING SHEET INDEX

GENERAL

G001	ABBREVIATIONS, SHEET INDEX, PROJECT CONTACTS
G002	GENERAL AND BIDDER DESIGNED SYSTEM NOTES
G003	LIFE SAFETY PLAN AND CODE SUMMARY

ARCHITECTURAL

A001	ARCHITECTURAL SITE PLAN
A011	DEMOLITION PLAN AND RCP - BASEMENT
A101	FLOOR PLAN - BASEMENT
A102	ELECTRICAL PLAN - BASEMENT
A130	ENLARGED FLOOR PLAN
A201	REFLECTED CEILING PLAN - BASEMENT
A501	INTERIOR ELEVATIONS
A601	INTERIOR DETAILS
A602	INTERIOR DETAILS, ACOUSTIC CEILING TILE
A603	INTERIOR DETAILS
A700	ROOM FINISH SCHEDULE/DOOR HARDWARE

MECHANICAL

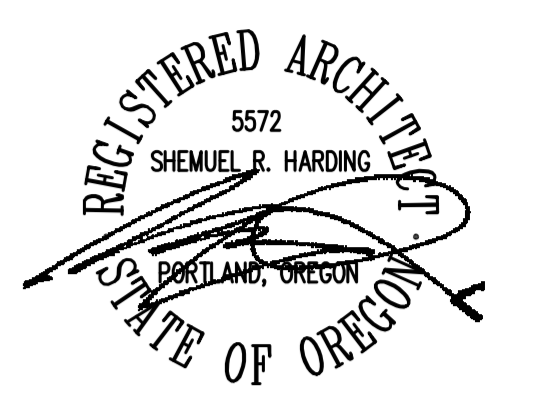
M000	GENERAL NOTES & SYMBOLS
M011	FLOOR PLAN - BASEMENT - HVAC DEMO
M012	FLOOR PLAN - BASEMENT - PIPING DEMO
M100	FLOOR PLAN - BASEMENT - HVAC
M101	FLOOR PLAN - BASEMENT - PIPING
M400	MECHANICAL DETAILS
M600	MECHANICAL SCHEDULES
M601	MECHANICAL SCHEDULES

PROJECT TEAM

OWNER
 CITY OF WOODBURN
 270 Montgomery Street
 Woodburn, OR
 tel (503) 982-5265
 Jim Row / Jim.row@ci.woodburn.or.us

ARCHITECT
 DECA ARCHITECTURE, INC.
 935 SE Alder Street
 Portland, OR 97214
 tel (503) 239-1987
 Meredith Curran / curran@deca-inc.com

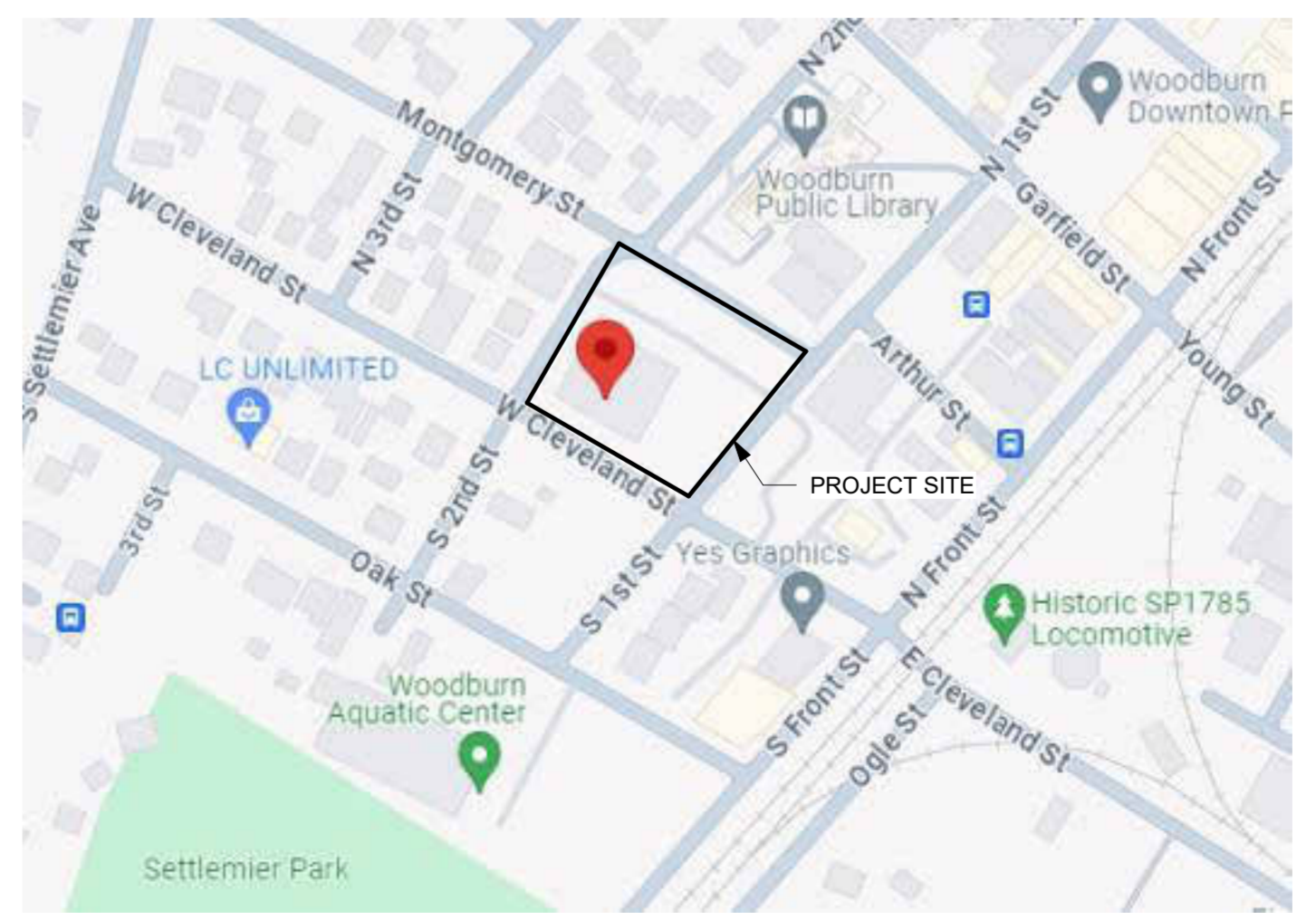
MECHANICAL ENGINEER
 KCL ENGINEERING
 312 NW 10TH AVE, SUITE 100
 Portland, OR 97209
 tel (503) 980-5696
 Gustavo Vela-Moreno / gvela-moreno@kclengineering.com



**WOODBURN CITY HALL
 BASEMENT REMODEL**

CITY OF WOODBURN
 270 Montgomery St
 Woodburn, OR 97071

VICINITY MAP



Issue	Revision	Date
BID SET		4/15/2024

**ABBREVIATIONS,
 SHEET INDEX,
 PROJECT CONTACTS**

Scale As indicated
 Date 4/15/2024
 Sheet No. **G001**

FIRE SUPPRESSION SYSTEM NOTES

- REMODEL EXISTING SPRINKLERS, BRANCH LINES AND MAINS WITHIN AREAS OF WORK AS NEEDED TO MAINTAIN COVERAGE AND ACCOMMODATE NEW WORK. COORDINATE SPRINKLERS WITH OTHER SYSTEM AND NOTIFY ARCHITECT OF ANY CONFLICTS.
- PROVIDE FULL SPRINKLER COVERAGE FOR ALL VISIBLE AND CONCEALED AREAS IN ACCORDANCE WITH NFPA 13 AND LOCAL FIRE CODES.
- ANY SHUTDOWN OF FIRE SUPPRESSION SYSTEMS SHALL BE COORDINATED WITH OWNER AND AHJ, AND CONTRACTOR SHALL PROVIDE THE APPROPRIATE LIFE SAFETY MEASURES SUCH AS A FIRE WATCH OR OTHER MEASURES.
- EXAMINE AGE AND CONDITION OF EXISTING SPRINKLER HEADS AND NOTIFY OWNER AGE-RELATED TESTING THAT MAY BE WARRANTED PER NFPA 25.
- SUBMIT FIRE SUPPRESSION SYSTEM DRAWINGS AND PRODUCT INFO FOR REVIEW PRIOR TO ORDERING MATERIALS, PER BIDDER-DESIGNED SYSTEM NOTES.

PLUMBING SYSTEMS NOTES

- PROVIDE AND INSTALL NEW WATER, DRAIN, WASTE, VENT AND OTHER PIPING AS NEEDED TO COMPLETE THE WORK. REMODEL EXISTING SYSTEMS AS REQUIRED AND COORDINATE PIPING WITH NEW WORK.
- CONTRACTOR TO CONFIRM THE NEED FOR NEW/REPLACED HOT WATER SUPPLY AND INCLUDE PROVISION FOR ADEQUATE HOT WATER SUPPLY IN THE WORK.
- INSTALL ALL NEW PIPING IN CONCEALED SPACES, UNO, DEMO OR REMOVE EXISTING FINISHES OR OTHER ELEMENTS AS REQUIRED TO INSTALL PIPING AND PATCH AND REPAIR FINISH SYSTEMS AS NEEDED.
- NEW PIPING TO BE TYPE K COPPER, SOLDERED OR BRAZED JOINTS.
- SUBMIT PLUMBING SYSTEMS DRAWINGS AND PRODUCT INFO FOR REVIEW PRIOR TO ORDERING MATERIALS, PER BIDDER-DESIGNED SYSTEM NOTES.

ELECTRICAL SYSTEMS NOTES

- EXISTING SYSTEM DEMO TO INCLUDE CONDUIT SUPPORTS AND HANGERS, CABLING AND CONDUCTORS BACK TO SOURCE, OR LAST ACTIVE DEVICE TO REMAIN. DO NOT LEAVE EXISTING ABANDONED WIRING IN PLACE.
- NEW CONDUCTORS AND RACEWAYS TO BE CONCEALED BEHIND FINISH SURFACES. NOTIFY ARCHITECT IF ANY EXPOSED RACEWAY IS REQUIRED. DEMO OR REMOVE EXISTING FINISHES OR OTHER ELEMENTS AS REQUIRED TO INSTALL NEW ELECTRICAL AND PATCH AND REPAIR FINISH SYSTEMS AS NEEDED.
- NEW CONDUCTOR AND RACEWAY SYSTEMS TO BE EMT CONDUIT TO MATCH EXISTING. UNO, MIN. 3/4" SIZE FOR HOME RUNS AND 1/2" SIZE FOR LOCAL CONTROLS. FLEX/MC CABLE MAY ONLY BE USED FOR LOCAL CONNECTIONS, MAX. 60" LENGTH.
- PROVIDE ELECTRICAL CONNECTIONS FOR ALL NEW EQUIPMENT, APPLIANCES AND OTHER ITEMS REQUIRING THEM. PROVIDE DEDICATED CIRCUITS AND GFCI DEVICES WHERE REQUIRED.
- PROVIDE UPDATED TYPEWRITTEN PANELBOARD SCHEDULES FOR PANELS AFFECTED BY DEMOLITION.
- SUBMIT ELECTRICAL SYSTEM DRAWINGS AND PRODUCT INFO FOR REVIEW PRIOR TO ORDERING MATERIALS, PER BIDDER-DESIGNED SYSTEM NOTES.

GENERAL NOTES

- VERIFY AND COORDINATE SITE CONDITIONS, EXISTING CONDITIONS, AND DIMENSIONS. BRING INCONSISTENCIES TO ATTENTION OF ARCHITECT BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL ACKNOWLEDGE AND UNDERSTAND THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS, AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED WHEN IDENTIFIED. CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE ARCHITECT ANY DEFICIENCIES OR BEAR THE RISK AND EXPENSE OF ANY FAILURE TO DO SO. THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND IMMEDIATELY REPORT ANY DEFICIENCIES.
- IN PERFORMING PROFESSIONAL SERVICES FOR THIS PROJECT, DECA ARCHITECTURE, INC. ISSUES, EXPRESSES OR IMPLIES NO WARRANTIES OR CERTIFICATIONS.
- CONTRACTOR SHALL PROVIDE SHORING, BRACING, SUPPORT, AND PROTECTION AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND SHALL COORDINATE ALL CONSTRUCTION EFFORTS WITH OWNER'S REQUIREMENTS.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR LOCATING, IDENTIFYING, OR SPECIFYING MEANS OF REMOVAL FOR ANY HAZARDOUS MATERIALS. HAZARDOUS MATERIAL TESTING SHALL BE COMPLETED BY OWNER CONTRACTED CONSULTANT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNER AND OWNER PROVIDED CONTRACTORS AS REQUIRED TO IMPLEMENT SCOPE OF WORK.
- REFER TO PROJECT MANUAL AND/OR SPECIFICATIONS (IF PROVIDED) FOR ADDITIONAL INFORMATION.

BIDDER-DESIGNED SYSTEM NOTES/DEFERRED SUBMITTALS

- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE FOLLOWING MATERIALS AND SYSTEMS ON A BIDDER-DESIGNED BASIS (ALSO KNOWN AS DESIGN-BUILD OR DELEGATED DESIGN). FOR THESE SYSTEMS AND MATERIALS, DESIGN, ENGINEERING AND SUBMITTALS TO THE AHJ ARE THE RESPONSIBILITY OF THE CONTRACTOR:

1.1 ELECTRICAL SYSTEM & LIGHTING	SEPARATE PERMIT
1.2 PLUMBING SYSTEM	SEPARATE PERMIT
1.3 FIRE SPRINKLER AND SUPPRESSION SYSTEM	SEPARATE PERMIT
1.4 FIRE AND SMOKE ALARM SYSTEMS	SEPARATE PERMIT
- DEPENDING ON AHJ REQUIREMENTS, BIDDER-DESIGNED SYSTEMS MAY REQUIRE SEPARATE PERMITS, DEFERRED SUBMITTALS, BOTH OR NEITHER.
- DRAWINGS, DETAILS, AND CALCULATIONS FOR THE PORTIONS OF WORK IDENTIFIED AS BIDDER-DESIGNED ARE TO BE PROVIDED BY THE CONTRACTOR AND SHALL INCLUDE WORK REQUIRED TO IMPLEMENT THE ENTIRE PROJECT SCOPE AND COORDINATE WITH OTHER WORK.
- BIDDER-DESIGN SUBMITTALS MAY REQUIRE REVIEW BY BOTH ARCHITECT AND ENGINEER, AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
- PERMIT ACQUISITION AND PERMIT FEE PAYMENT FOR THE DEFERRED/ DESIGN-BUILD SCOPE OF WORK SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ADEQUACY OF ALL UTILITIES AND EQUIPMENT, AND COORDINATE UTILITY REQUIREMENTS AND LOCATIONS.
- THE PROCEDURE FOR DEFERRED/ DESIGN-BUILD SUBMITTAL IS AS FOLLOWS:
 - INITIAL DESIGN REVIEW SHOP DRAWINGS SHALL BE SUBMITTED TO OWNER AND ARCHITECT FOR PRELIMINARY REVIEW.
 - FINAL DESIGN, ENGINEERING, AND SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND OWNER FOR REVIEW. SUCH DRAWINGS SHALL BE STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER (PE) WHEN REQUIRED BY AHJ.
 - FOLLOWING ARCHITECT AND OWNER REVIEW, THE CONTRACTOR SHALL SUBMIT TO AHJ FOR PERMIT APPROVAL AND ACQUISITION.
 - PROCUREMENT, FABRICATION, AND OTHER WORK RELATED TO BIDDER-DESIGNED SUBMITTALS SHALL NOT BE PERFORMED UNTIL THE SUBMITTAL HAS BEEN REVIEWED AND APPROVED BY OWNER & ARCHITECT.

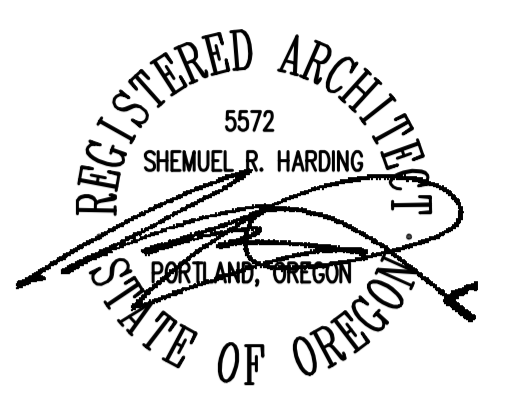
BID ALTERNATES

- DEDUCTIVE COST ALTERNATE:** CHANGE ROOM TOILET 028 TO BE A RESPITE ROOM BY DELETING THE WATER CLOSET, WALL MOUNTED LAVATORY, GRAB BARS AND TOILET ACCESSORIES, VANITY LIGHT L-4 AND WALL TILE FROM TOILET 028. MOVE THE CASEWORK, SINK AND TOILET ACCESSORIES FROM RESPITE 029 TO NORTH WALL OF ROOM TOILET 028. DELETE DOOR 029. DELETE WALL BETWEEN RESPITE 029 AND BINS 030.
- DEDUCTIVE COST ALTERNATE:** DELETE UPPER AND LOWER CASEWORK LOCATED AT SW CORNER OF OPEN 007.
- DEDUCTIVE COST ALTERNATE:** DELETE UPPER CASEWORK AT SE CORNER OF OPEN 007 ADJACENT TO REFRIGERATOR.
- DEDUCTIVE COST ALTERNATE:** DELETE LOWER CASEWORK AT SE CORNER OF OPEN 007 ADJACENT TO REFRIGERATOR.



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BASEMENT REMODEL

CITY OF WOODBURN

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GENERAL AND BIDDER
DESIGNED SYSTEM
NOTES

Scale

Date

4/15/2024

Sheet No.

G002

PROJECT DESCRIPTION

TENANT IMPROVEMENT TO THE BASEMENT LEVEL OF THE BUILDING ADDING ACCESSIBLE RESTROOMS, OFFICES, AND MEETING AREAS.

ZONING CODE INFORMATION

PROJECT ADDRESS: 270 MONTGOMERY ST. WOODBURN, OR 97071
 PROPERTY ID: R108129
 TAX LOT: 051W18BA06400
 MAP NO.: 05 1W 07CB WOODBURN
 ZONING: DDC (DOWNTOWN DEVELOPMENT AND CONSERVATION)
 URBAN RENEWAL: YES
 SITE AREA: 42,635 sf / 0.98 acres
 BUILDING COVERAGE: 12,957 sf (30%)
 BUILDING HEIGHT: 1 STORY W/ BASEMENT

BUILDING CODE SUMMARY

APPLICABLE BUILDING CODES
 2022 OREGON STRUCTURAL SPECIALTY CODE (2021 IBC)
 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (ASHRAE 90.1-2019)
 2021 OREGON ELECTRICAL SPECIALTY CODE (2020 NEC)
 2022 OREGON MECHANICAL SPECIALTY CODE (2018 IMC)
 2021 OREGON PLUMBING SPECIALTY CODE (2021 UPC)
 2022 OREGON FIRE CODE (2018 IFC)

302 OCCUPANCY

EXISTING: A-3 (Council Chambers), B (City Hall)

(Occupancies stated on issued building permit for TI of the building, Permit #971-19-000008-STR)

Total Space Occupant Load:

Existing	Proposed
435 occs.	375 occs.

Occupant load decreased from previous permit due to proposed basement level TI changes and due to changes in how occupant loads are calculated in business areas from the 2014 OSSC to the 2022 OSSC.

No change of existing occupancies is proposed

503 ALLOWABLE HEIGHT AND AREA

No change in building area or height proposed

602 CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B (Sprinklered)

907 FIRE ALARM & DETECTION

The building has an existing fire alarm and detection system.

908 AUTOMATIC SPRINKLER SYSTEMS

The building is fully sprinklered per NFPA 13 requirements.

1017 EXIT ACCESS TRAVEL DISTANCE

Per Table 1017.2 maximum exit access travel distance in a sprinklered building is 300 feet for a B occupancy.

2902 REQUIRED PLUMBING FIXTURES

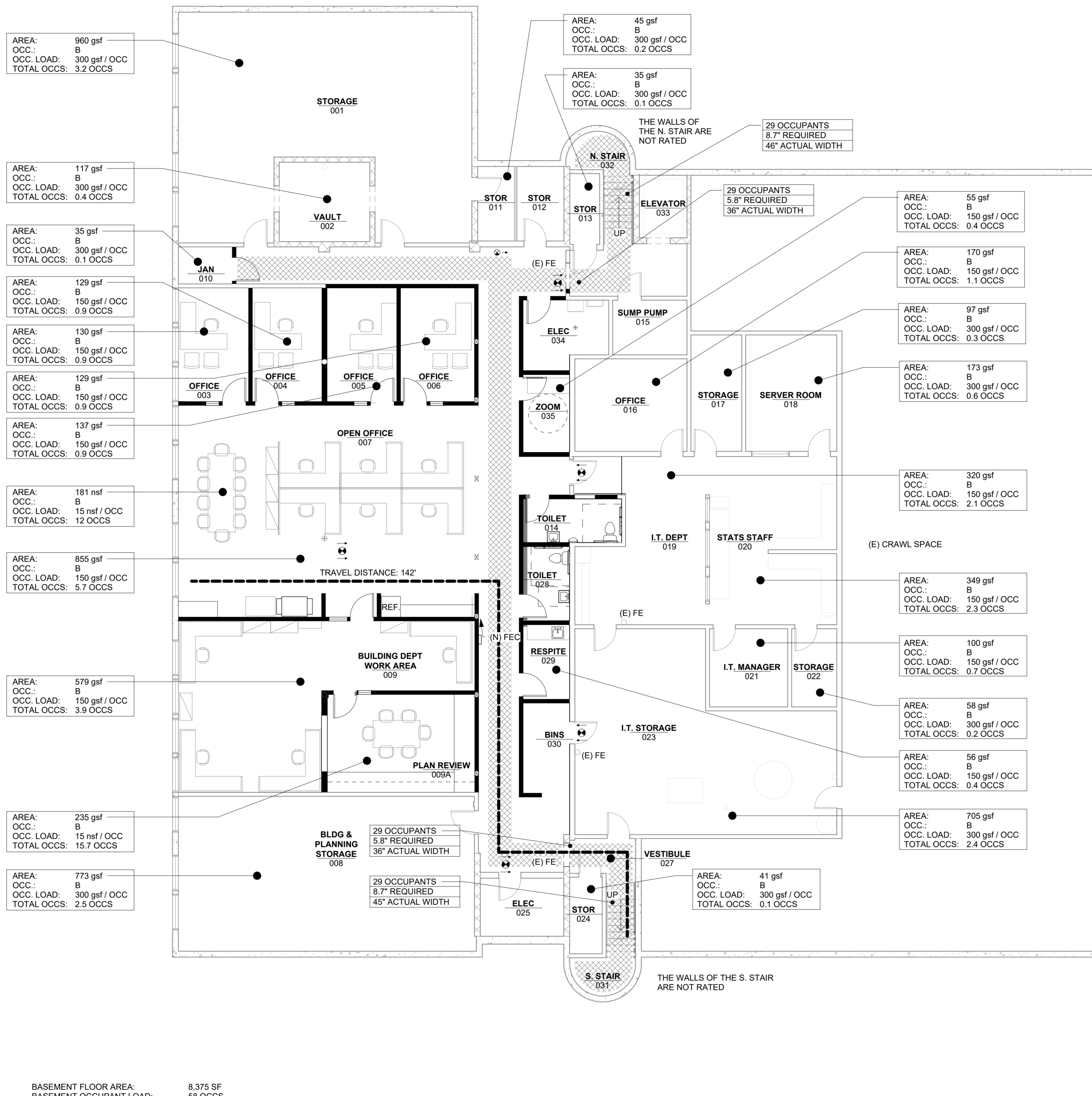
TOTAL OCCUPANT LOAD: 94 OCCS (47 MEN, 47 WOMEN)

	M.WC/UR*	W.WC	M.LAVS	W.LAVS	DF
A3 (75 M. / 75 W.)	0.6	1.2	1.0	1.0	1 per floor
B (113M. / 113 W.)	3.3	3.3	2.4	2.4	
TOTAL REQ'D FIXTURES:	3.9	4.5	3.4	3.4	1 ground level
EXISTING FIXTURES:	6.64	6.0	4.0	6.0	1 ground level
PROPOSED FIXTURES:	1	-	1	-	0
TOTAL FIXTURES:	7.64	6.0	5.0	6.0	1 ground level

*URINALS COUNTED AT 0.66 OF A WATER CLOSET PER TABLE 2902.1

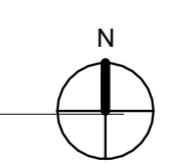
LIFE SAFETY PLAN LEGEND

- EMERGENCY EGRESS LIGHTING - MIN. OF 1 FC AT FLOOR LEVEL FOR MIN. DURATION OF 90 MINUTES. ILLUMINATED PATH MIN. 36" WIDE. BACKUP POWER REQUIRED.
- 1 HR RATED FIRE BARRIER
- 1 HR RATED FIRE PARTITION (GREY)
- 2 HR RATED FIRE BARRIER
- PATH OF TRAVEL DISTANCE
- FECS FIRE EXTINGUISHER CABINET
- NEW EXIT SIGN
- EXISTING EXIT SIGN
- GROUP X / XX SF OCC LOAD: XX GSF/OCC TOTAL OCCS: XX
- ROOM TAG SHOWING OCCUPANCY, GROSS SF, LOAD FACTOR AND OCCUPANT COUNT
- EGRESS TAG SHOWING OCCUPANT LOADING & WIDTH FOR A GIVEN EXIT



BASEMENT FLOOR AREA: 8,375 SF
 BASEMENT OCCUPANT LOAD: 58 OCCS.

1 LIFE SAFETY PLAN - BASEMENT
 1/8" = 1'-0"



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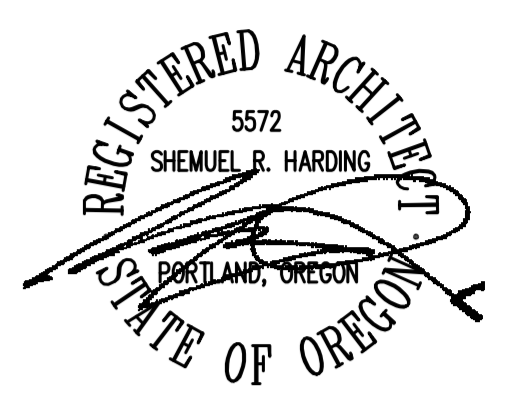
LIFE SAFETY PLAN AND CODE SUMMARY

Scale: As indicated
 Date: 4/15/2024
 Sheet No. **G003**



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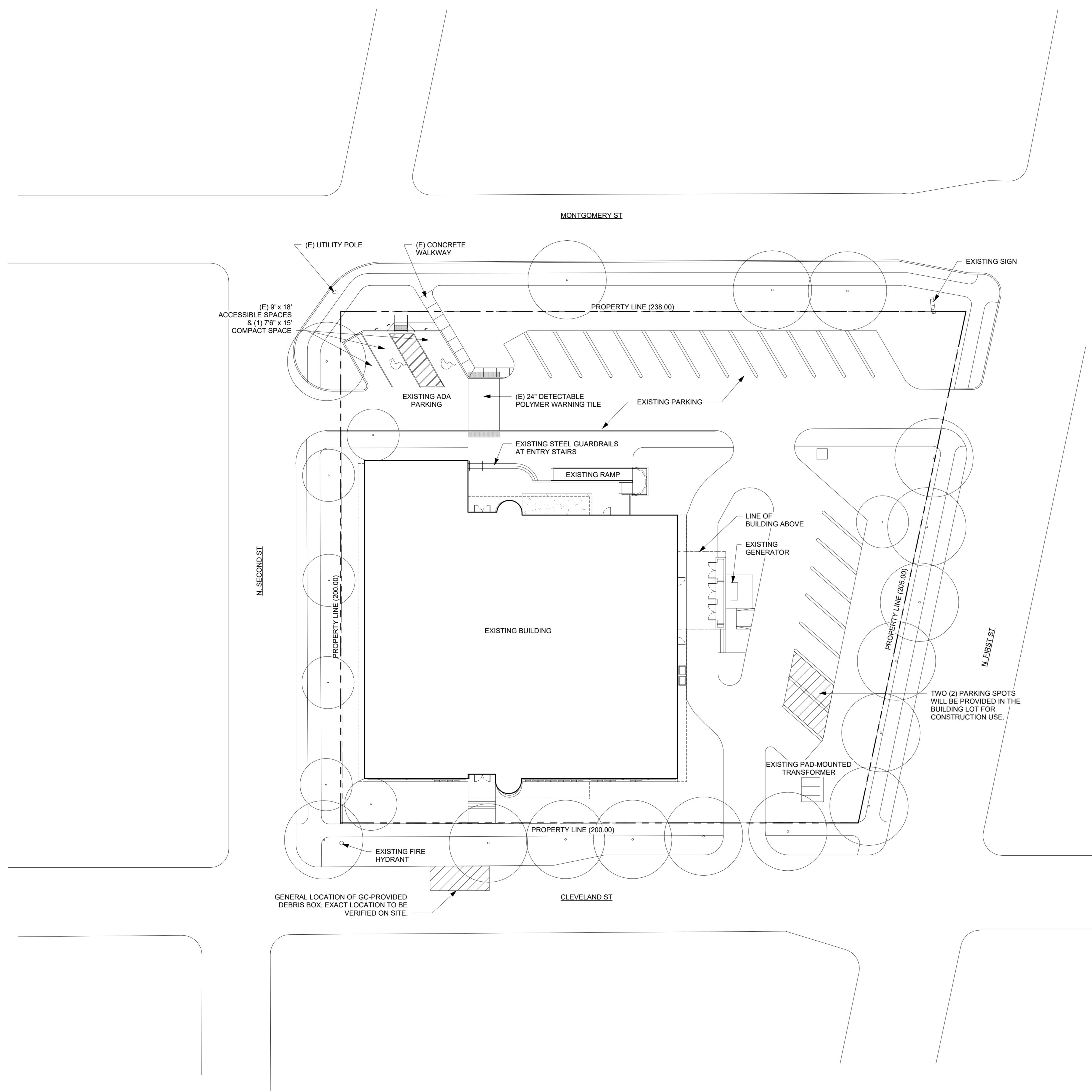
LEGEND

PLAN VIEWS

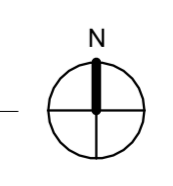
- LOCATION OF CONSTRUCTION STAGING AREA
- PROPERTY LINE

NOTES THIS SHEET

1. PROTECT ALL EXISTING LANDSCAPING AND TREES ON SITE, WHERE TRUCKS AND RELATED DEBRIS CONTAINERS MAY BE LOCATED. ANY DISTURBED LANDSCAPING IS TO BE REPLACED WITH SIM.
2. FIVE (5) PARKING SPOTS WILL BE RESERVED IN THIS LOT BY THE CITY OF WOODBURN FOR USE DURING CONSTRUCTION.



① SITE PLAN
1" = 20'-0"



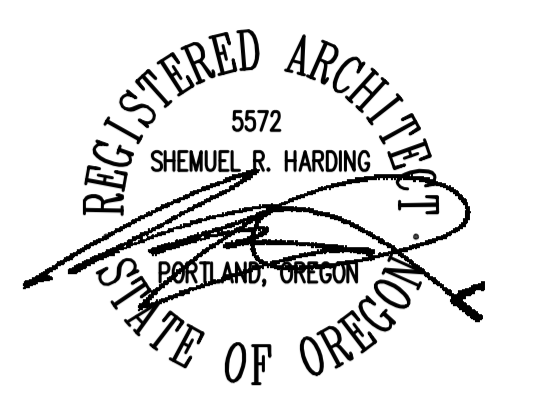
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**ARCHITECTURAL SITE
PLAN**

Scale As indicated

Date 4/15/2024

Sheet No. **A001**



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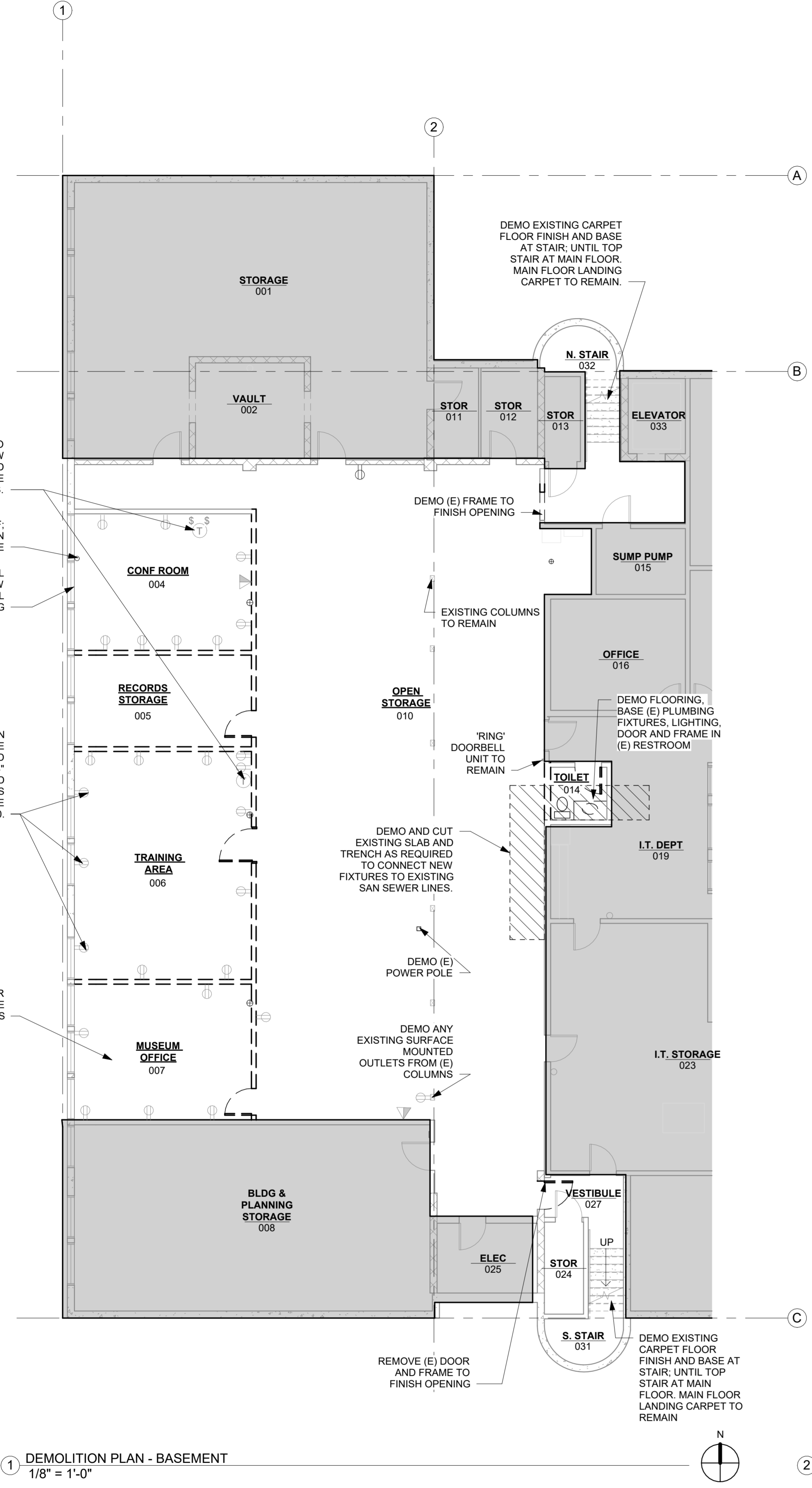
LEGEND

PLAN VIEWS

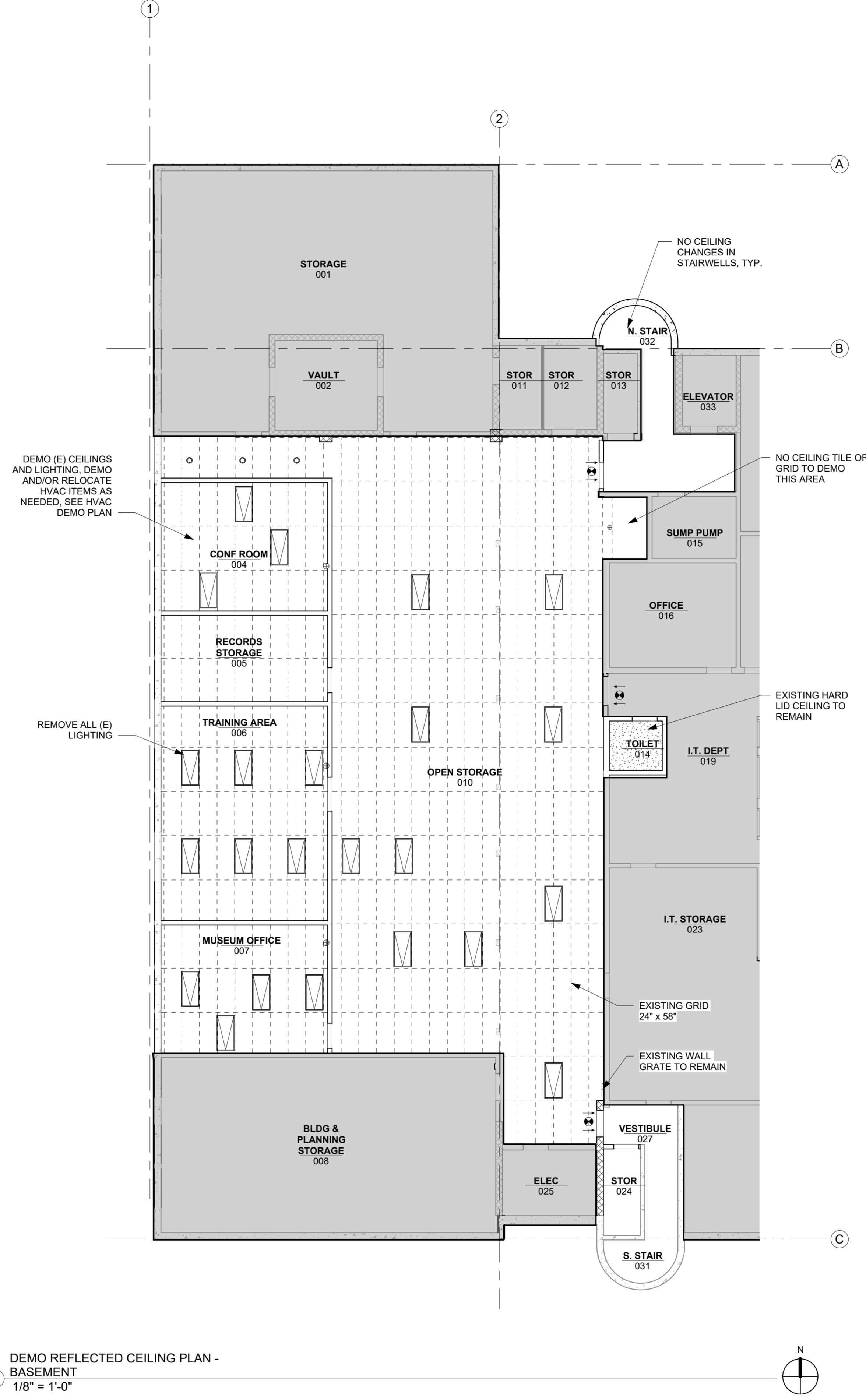
- NEW FULL HEIGHT CONSTRUCTION
- NEW PARTIAL HEIGHT CONSTRUCTION
- DEMOLITION
- EXISTING CONSTRUCTION
- AREA NOT IN CONSTRUCTION SCOPE; ACCESS NEEDED FOR HVAC AND OTHER INFRASTRUCTURE WORK TO BE COORDINATED WITH OWNER, TYP.

- NOTES THIS SHEET - DEMOLITION PLAN**
- FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS, NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES.
 - DEMO EXISTING FINISHES AS REQUIRED FOR INSTALLATION OF NEW WORK, PATCH AND REPAIR AS NEEDED TO MATCH ADJACENT EXISTING, UNO.
 - CLEAN AND ADEQUATELY PREPARE ALL EXISTING SURFACES AND SUBSTRATES SCHEDULED TO RECEIVE NEW FINISHES.
 - RETURN ALL SALVAGEABLE ITEMS TO OWNER AS NEEDED.
 - CONTRACTOR RESPONSIBLE FOR DESIGN AND ENGINEERING OF SHORING, FORMWORK, UNDERPINNING OR OTHER TEMPORARY MEASURES REQUIRED TO COMPLETE WORK.
 - INFILL ANY EXISTING ABANDONED HOLES AND RECESSES IN CONCRETE SLABS OR WALLS.
 - CONTRACTOR TO RELOCATE AND RE-ROUTE ALL UTILITIES IN CONFLICT WITH PROPOSED WORK. REMOVE ABANDONED UTILITIES TO EXTENT POSSIBLE AND CAP BEHIND FINISHED SURFACES.
 - RELOCATE ANY ELECTRICAL DEVICES OR OTHER FUNCTIONAL ITEMS ON WALLS TO BE DEMOLISHED TO NEAREST AVAILABLE SURFACE, UNO. COORDINATE WITH ARCHITECT.
 - CUT AND CORE EXISTING CONCRETE AS REQUIRED TO INSTALL NEW UTILITIES.
 - MAINTAIN SURFACE-MOUNTED POWER 24" AFF AND BELOW AT WEST PERIMETER WALL. REMOVE J-BOXES, OUTLETS AND WIRING 24" AFF AND ABOVE; CAN BE CAPPED ABOVE CEILING BUT NOT SHOWING ON WALLS.
 - REMOVE ALL EXISTING FLOOR, CEILING AND WALL FINISHES AS REQUIRED TO PREPARE FOR INSTALLATION OF NEW CONSTRUCTION
 - WHERE WALLS ARE DEMOLISHED, REMOVE OR CAP WALL OUTLETS; REMOVE CONDUIT, WIRING AND DEVICES. CUT BACK TO FURTHEST ACCESSIBLE POINT AND CAP OR PATCH AS NEEDED. REUSE WIRING AS ABLE IN NEW DEVICE LOCATIONS.
 - RELOCATE/REMOVE ALL EXISTING WALL OUTLETS, SWITCHES, LIGHTING, AND HVAC CONTROLS IN DEMOLISHED WALLS
 - OWNER WILL REMOVE ALL EXISTING FURNITURE AND EQUIPMENT NOT FIXED IN PLACE

- NOTES THIS SHEET - RCP DEMOLITION**
- PRESERVE WIRING AS ABLE FOR NEW FIXTURES AND/OR ELECTRICAL OUTLETS; SEE BID ALTERNATE NOTE G002
 - COORDINATE CEILING DEMO WITH HVAC DEMO, SEE HVAC DEMO PLAN
 - REMOVE (E) SWITCHES; SEE A201 FOR NEW SWITCH LOCATIONS
 - MAINTAIN SPRINKLER COVERAGE; RELOCATE AS REQUIRED FOR NEW LAYOUT.
 - REMOVE ALL (E) GRID AND TILE, SUPPORT WIRES AND EDGE TRIM.
 - (E) EXIT SIGNS TO REMAIN



1 DEMOLITION PLAN - BASEMENT
 1/8" = 1'-0"



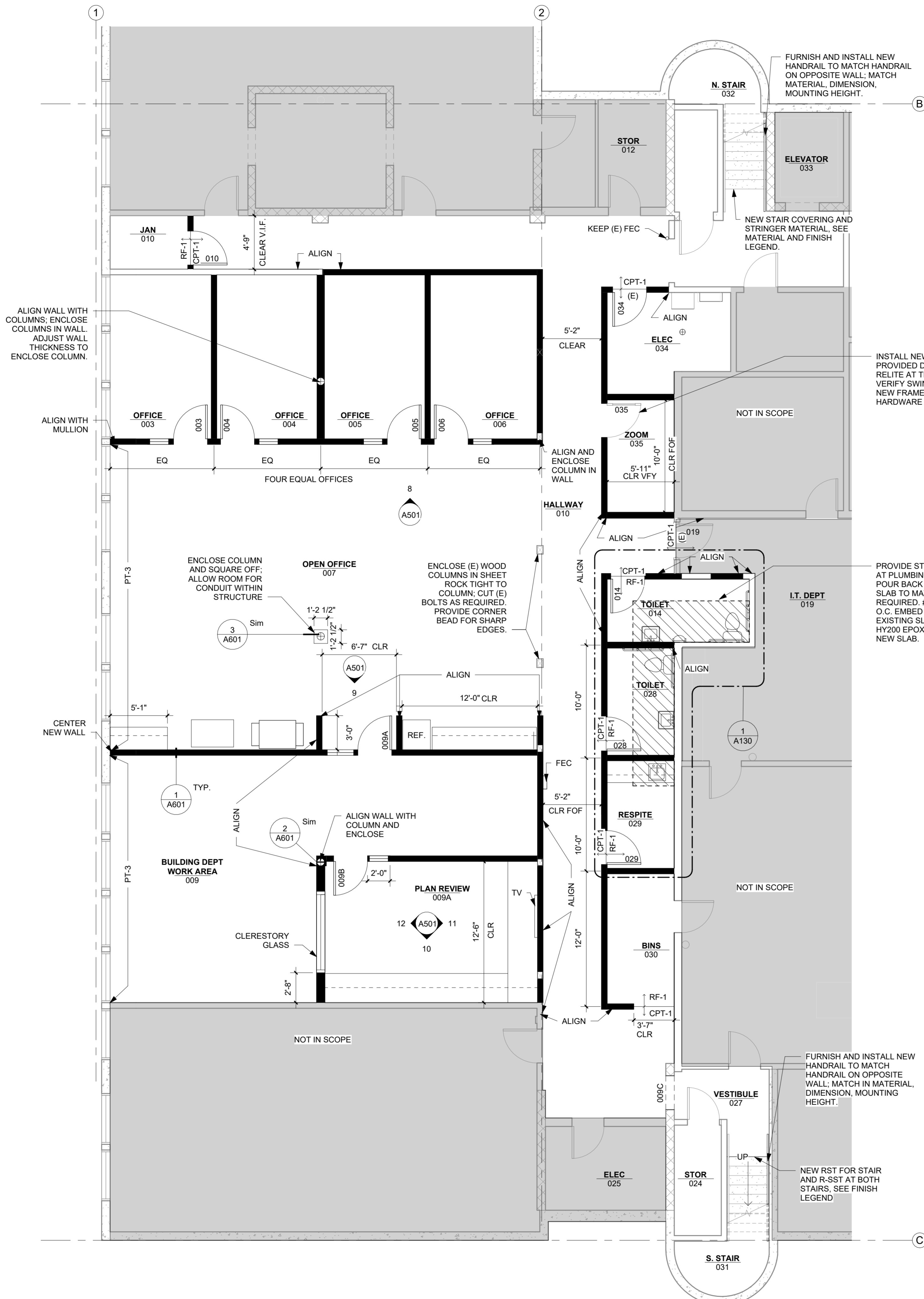
2 DEMO REFLECTED CEILING PLAN - BASEMENT
 1/8" = 1'-0"

Issue	Revision	Date
BID SET		4/15/2024

DEMOLITION PLAN AND RCP - BASEMENT

Scale As indicated
 Date 4/15/2024

Sheet No. **A011**



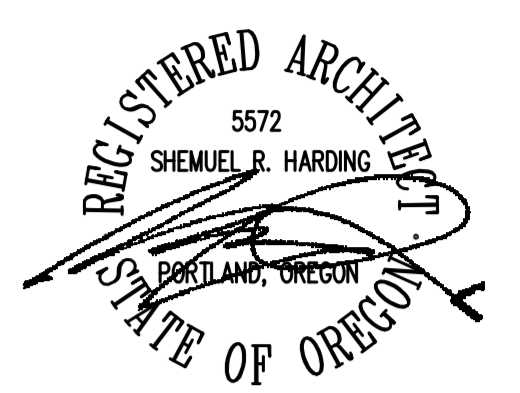
LEGEND

PLAN VIEWS

- NEW FULL HEIGHT CONSTRUCTION
- NEW PARTIAL HEIGHT CONSTRUCTION
- ITEMS ABOVE
- EXISTING CONSTRUCTION
- AREA NOT IN CONSTRUCTION SCOPE. ACCESS NEEDED FOR HVAC AND OTHER INFRASTRUCTURE WORK TO BE COORDINATED WITH OWNER, TYP.

NOTES THIS SHEET

1. ALL NEW WALLS TO BE TYPE 1, 1/A601 U.N.O.
2. PATCH & REPAIR ALL GYP. WALL SURFACES AS NEEDED
3. ALL DIMENSIONS ARE TO FACE OF FINISH, WHERE NOTED, CENTERLINE OF FRAMING, UNO.
4. WHERE NEW WALLS ALIGN WITH OR INFILL EXISTING, PROVIDE APPROPRIATE FRAMING, FURRING, GYP LAYERS OR OTHER MEANS TO ALIGN FINISH SURFACES.
5. PROVIDE 2X SOLID WOOD BLOCKING AT ALL WALL MOUNTED ITEMS.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED, UNO.
7. RELOCATE EXISTING OR INSTALL NEW SPRINKLER HEADS TO MAINTAIN COVERAGE AT ALL AREAS; HEADS TO MATCH EXISTING, UNO.
8. ROUTE NEW UTILITIES IN CONCEALED SPACES; NO SURFACE RACEWAYS ARE ALLOWED EXCEPT WHERE NEEDED AT EXTERIOR WALLS. IF NEEDED ELSEWHERE, VERIFY WITH ARCHITECT PRIOR TO WORK.
9. PROVIDE NEW DEVICES AND COVER PLATES WITH WHITE FINISH, U.N.O.
10. RELOCATE FIRE DEVICES, SPEAKERS AND OTHER LOW VOLTAGE ITEMS TO MAINTAIN SYSTEM COVERAGE.
11. MAINTAIN ACCESS CONTROL WHERE EXISTS.
12. WHERE WALLS ENCASE COLUMNS, BUILD WALLS TO ENCLOSE ENTIRE COLUMN WITHIN WALL.
13. WHERE NEW WALLS JOIN (E), PROVIDE FLUSH FACE AND SEAMLESS TRANSITION
14. SEE 4/A601 FOR DOOR JAMB CONDITION.
15. ALL NEW CONCRETE TO MEET REQUIREMENTS OF ACI 301, 3,000 PSI, REINFORCING STEEL ASTM A615, GRADE 60, MIN. BAR COVER 1.5", OR 3" WHEN POURED AGAINST EARTH.



**WOODBURN CITY HALL
 BASEMENT REMODEL**

CITY OF WOODBURN

270 Montgomery St
 Woodburn, OR 97071

Issue	Revision	Date
BID SET		4/15/2024

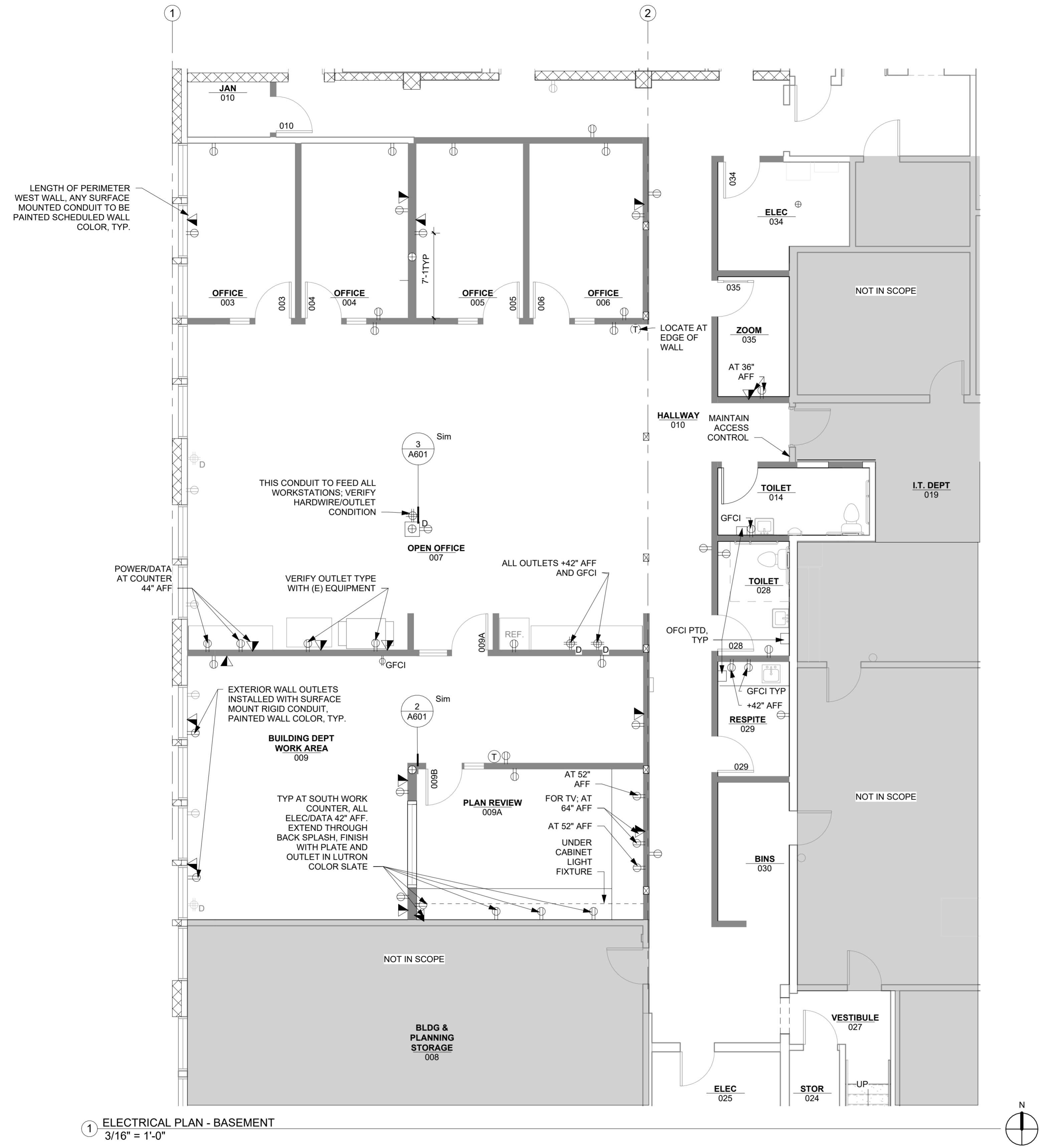
1 FLOOR PLAN - BASEMENT
 3/16" = 1'-0"

**FLOOR PLAN -
 BASEMENT**

Scale As indicated

Date 4/15/2024

Sheet No. **A101**



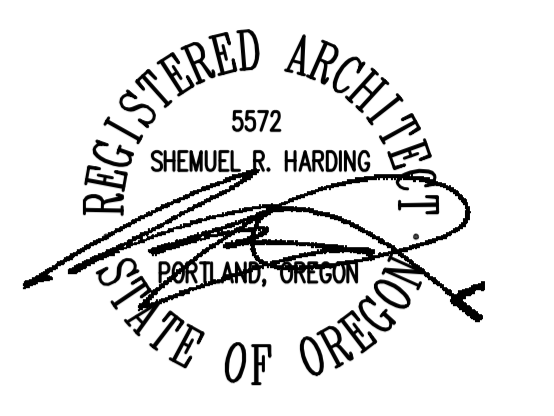
1 ELECTRICAL PLAN - BASEMENT
3/16" = 1'-0"

LEGEND

- Ⓧ THERMOSTAT
- ▼ NEW DATA TERMINATION
- ⊕ NEW DUPLEX POWER RECEPTACLE
- ⊕ (E) POWER RECEPTACLE
- ⊕ NEW DEDICATED CIRCUIT POWER RECEPTACLE
- ⊕ GFCI NEW GFCI DUPLEX RECEPTACLE
- ⊕ NEW FOURPLEX RECEPTACLE

NOTES ON THIS SHEET

1. REFER TO THE ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES.
2. PROVIDE FIRESTOPPING AT ALL PENETRATIONS THROUGH RATED STAIR ENCLOSURES, RATED EGRESS CORRIDORS, RATED SHAFTS, FLOOR AND CEILING ASSEMBLIES.
3. PROVIDE FLEXIBLE CONNECTIONS FOR ALL CONDUITS CROSSING EXPANSION JOINTS.
4. COORDINATE EQUIPMENT CONNECTIONS WITH MECHANICAL CONTRACTOR.
5. VERIFY EQUIPMENT ELECTRICAL REQUIREMENTS.
6. ALL PENETRATIONS AND ROUTING PATHS OF EXPOSED CONDUIT SHALL BE COORDINATED AND REVIEWED BY THE ARCHITECT PRIOR TO INSTALLATION.
7. FOR DATA LOCATIONS SHOWN ON PLAN, CONTRACTOR TO PROVIDE BACK BOXES AND 3/4" EMT CONDUIT WITH PULL STRINGS TO ACCESSIBLE CEILING PLENUM. OWNER SHALL INSTALL DATA TERMINATIONS AND CABLING. COORDINATE WORK WITH OWNER'S IT PERSONNEL. PRIOR TO INSTALL, CONTRACTOR TO CONDUCT A FIELD WALK WITH OWNER TO CONFIRM FINAL DATA LOCATIONS.
8. ALL ELECTRICAL PANELS/DISTRIBUTION BOARDS/UPS SYSTEMS ARE EXISTING UNLESS OTHERWISE NOTED.
9. PROVIDE GFCI OUTLETS AS REQUIRED BY CODE.
10. VERIFY CURRENT PANEL(S) CAN SUPPORT NEW ELECTRICAL LOAD; IF NEW PANEL REQUIRED, DISCUSS LOCATION AND COST WITH OWNER AND ARCHITECT PRIOR TO ANY WORK.
11. COORDINATE POWER NEEDS AND CONNECTION WITH FURNITURE TYPE AND VENDOR AT OPEN 007.
12. WHERE OUTLETS ARE SURFACE MOUNTED USE RIGID CONDUIT TIGHT TO WALL. PAINT CONDUIT TO MATCH WALL COLOR.
13. AT NEW TEL/DATA RECEPTACLES, PROVIDE METAL BOXES, EMT CONDUIT RACEWAY AND PULL STRINGS PER BUILDING STANDARD.



**WOODBURN CITY HALL
BASEMENT REMODEL**

CITY OF WOODBURN

270 Montgomery St
Woodburn, OR 97071

Issue	Revision	Date
BID SET		4/15/2024

SPECIALTY EQUIPMENT SCHEDULE

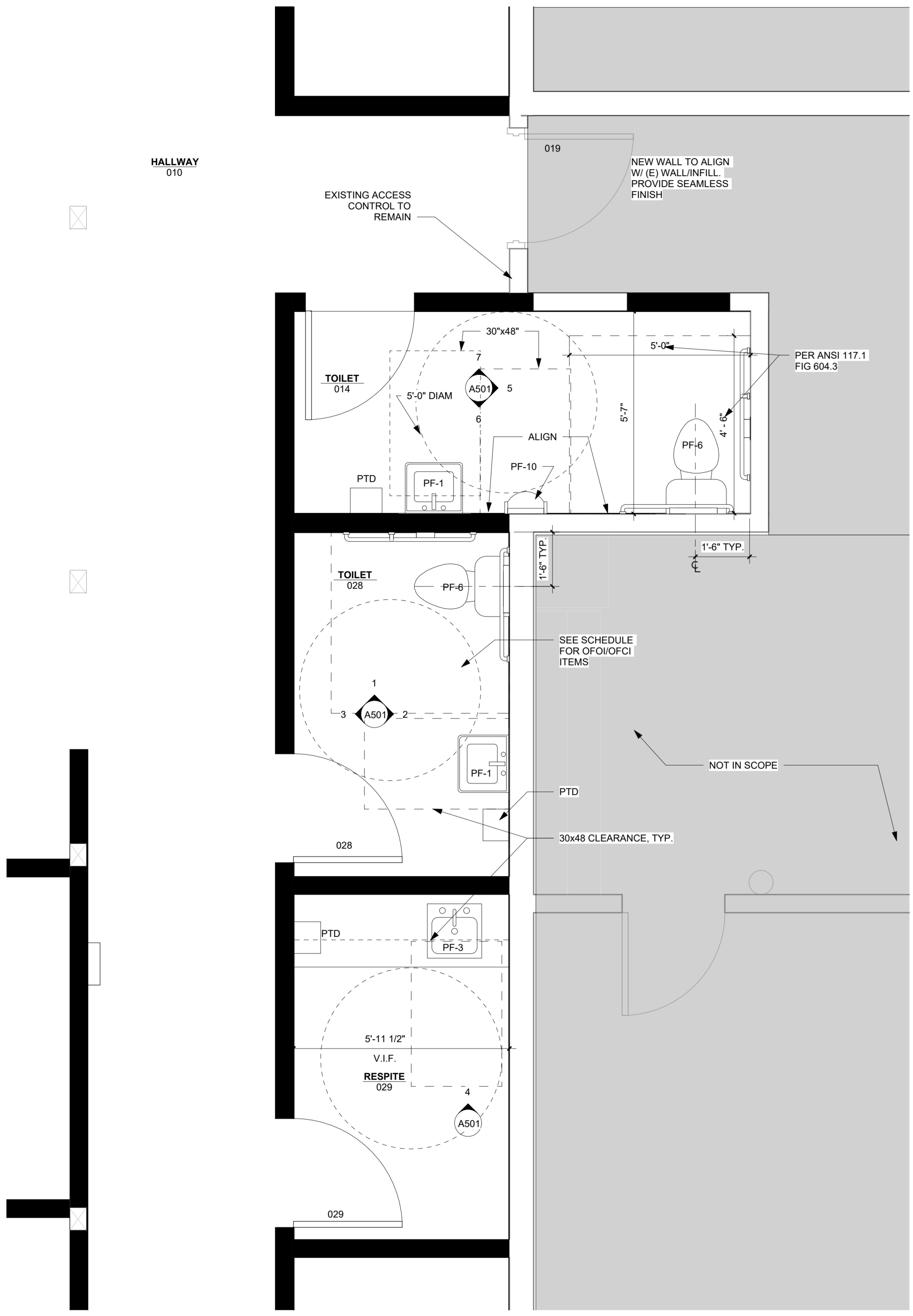
MARK	MFGR.	MODEL	DESCRIPTION	VOLTS	AMPS	FURNISHED BY	COMMENTS
REF-1	GENERAL ELECTRIC	GTS18HYNRFS	17.5 CU FT TOP-FREEZER REFRIGERATOR	120V	15A	OFOI	30-5/8"W x 32-5/8"D x 67-3/8"H
MIC-1	TBD		MICROWAVE OFOI			OFOI	
COPY	KYOCERA	TASKalfa 5052ci	COLOR LASER MULTIFUNCTION PRINTER (E)	120V	12A	OFOI	VERIFY WITH OWNER
PLOT	HP	HP DesignJet T2600dr	MULTIFUNCTION PRINTER, PLOTTER (E)	100-240V	NA	OFOI	MACHINE ON SITE
TV-1			77" W x 45" H OFOI			OFOI	VERIFY WITH OWNER

**ELECTRICAL PLAN -
BASEMENT**

Scale As indicated

Date 4/15/2024

Sheet No. **A102**

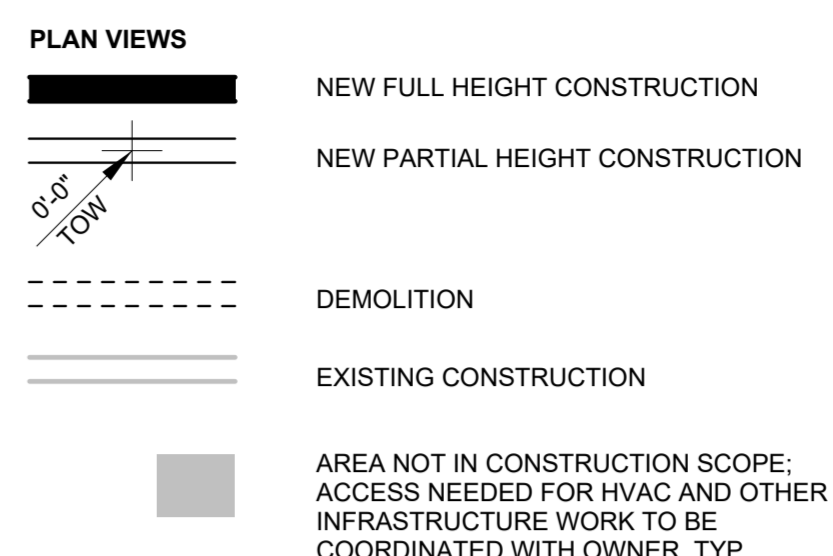


1 ENLARGED FLOOR PLAN - BASEMENT, TOILET 014 & 028, RESPITE 029
1/2" = 1'-0"

PLUMBING AND ACCESSORIES SCHEDULE

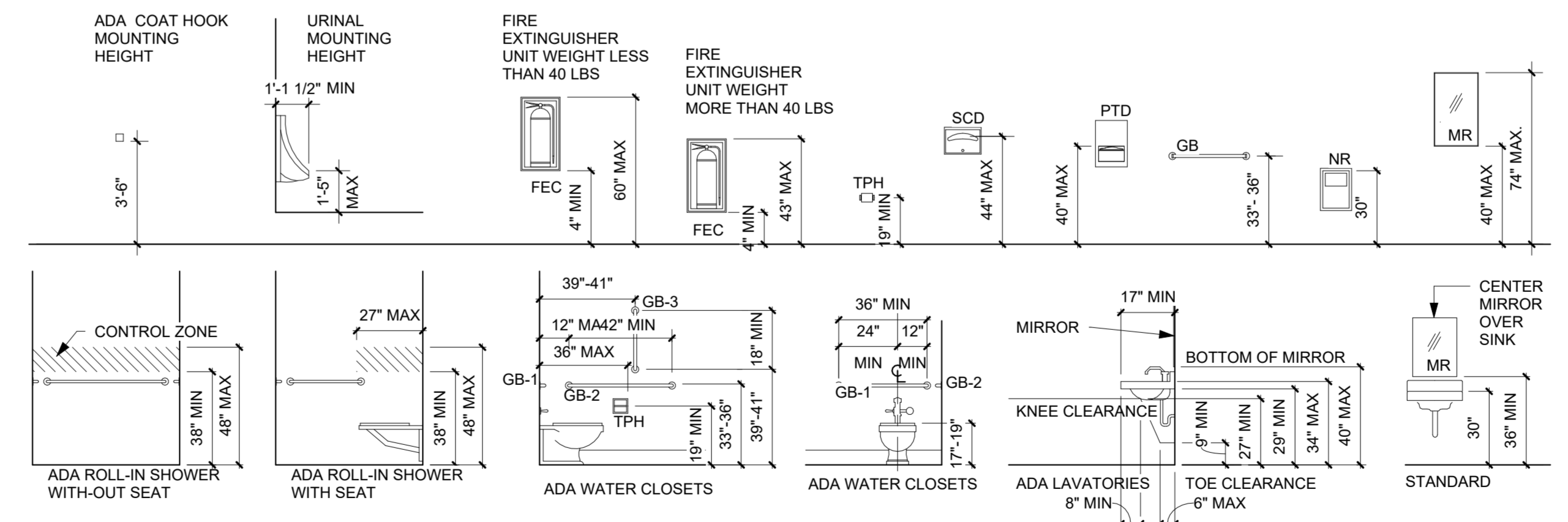
CODE	DESCRIPTION	MFGR.	MODEL	COLOR/FINISH	SIZE	SOURCE	REMARKS
PF-1	SINK	KOHLER	K-2084-L	WHITE	20.5"W x 18.25"D	CFCI	TOILET ROOM
PF-3	SINK	ELKAY	ELUHAD121255PD	STAINLESS STEEL	14.5"L x 14.5"W x 5.5"H	CFCI	RESPITE
PF-4	FAUCET	AMERICAN STANDARD	7025103.295 .35 GPM	BRUSHED NICKEL	7.5"L x 2"W x 7.5" H	CFCI	TOILET ROOM
PF-5	FAUCET	ELKAY	LKAV3021	LUSTROUS STEEL	6"L x 8"W x 12"H	CFCI	RESPITE
PF-6	TOILET	TOTO	MS854114ELG	WHITE	28"L x 16"W x 29"H	CFCI	TOILET ROOM
PF-7	NOT USED						
PF-8	NOT USED						
PF-9	NOT USED						
PF-10	URINAL	TOTO	UT447E#01	WHITE		CFCI	TOILET ROOM 014, WITH ASSOCIATED FLUSHOMETER VALVE
CH	COAT HOOK	BOBRICK	B-542	STAINLESS STEEL, SATIN		CFCI	TOILET ROOM
MR-1	MIRROR	BOBRICK	B-290 2436	STAINLESS STEEL, SATIN	24"W x 36"H	CFCI	TOILET ROOM
DS-1	DOOR STOP	BALDWIN	HALF DOME STOP 4000.030	BRUSHED NICKEL		CFCI	FLOOR TYPE
GB-1	GRAB BAR	BOBRICK	B-6806.99X36	SSTL, SATIN	.99"DIA x 36"W	CFCI	
GB-2	GRAB BAR	BOBRICK	B-6806.99X42	SSTL, SATIN	.99"DIA x 42"W	CFCI	
GB-3	GRAB BAR	BOBRICK	B-6806.99X18	SSTL, SATIN	.99"DIA x 18"W	CFCI	
TPH	TOILET PAPER HOLDER	BOBRICK	B-540	STAINLESS STEEL, SATIN		CFCI	
PTD	PAPER TOWEL DISPENSER	WAXIE	ELECTRONIC UNIVERSAL TOWEL DISP. DS-4002	BLACK	10.50"W x 15.75"H x 8.75"D	OFCI	BATTERY OPERATED
SCD	SEAT COVER DISPENSER	KLEENLINE	1/2 FOLD TOILET SEAT COVER DISP. KLN-1	WHITE	16"W x 12"H x 3"D	OFCI	
SD	SOAP DISP.	WAXIE	MANUAL SOAP DISPENSER, 9033-12-BCE00	BLACK	5.68"W x 11.18"H x 5.09"D	OFCI	
T	TRASH BIN	RUBBERMAID	10.25 GAL WASTEBASKET FG295700BLA	BLACK	15.25" x 11.25" x 20"	OFOI	
SND	SANITARY NAPKIN DISPOSAL	WAXIE	METAL WALL MOUNT RECEPT. ND-1W	WHITE	8"W x 11"H x 4"	OFCI	

LEGEND

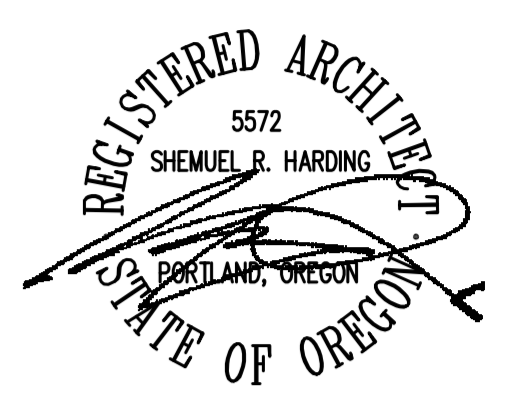


NOTES THIS SHEET

- ALL NEW WALLS TO BE 1/A601, U.N.O. : 2/A601 FOR PLUMBING WALL. SEE 5/A601 FOR CEILING AND WALL CONDITION AT TOILET ROOMS.
- PATCH & REPAIR ALL GYP. WALL SURFACES AS NEEDED
- ALL DIMENSIONS ARE TO FACE OF FINISH, WHERE NOTED, CENTERLINE OF FRAMING, UNO.
- WHERE NOTED, WALLS TO EXTEND TO STRUCTURAL DECK ABOVE WITH DEFLECTION HEADS.
- WHERE NEW WALLS ALIGN WITH OR INFILL EXISTING, PROVIDE APPROPRIATE FRAMING, FURRING, GYP LAYERS OR OTHER MEANS TO ALIGN FINISH SURFACES, WITH SMOOTH TRANSITION.
- PROVIDE 2X SOLID WOOD BLOCKING AT ALL WALL MOUNTED ITEMS.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED, UNO.
- RELOCATE EXISTING OR INSTALL NEW SPRINKLER HEADS TO MAINTAIN COVERAGE AT ALL AREAS; HEADS TO MATCH EXISTING, UNO.
- ROUTE NEW UTILITIES IN CONCEALED SPACES; NO SURFACE RACEWAYS ARE ALLOWED EXCEPT WHERE NEEDED AT EXTERIOR WALLS. IF NEEDED ELSEWHERE, VERIFY WITH ARCHITECT PRIOR TO WORK.
- PROVIDE NEW DEVICES AND COVER PLATES WITH WHITE FINISH, U.N.O.
- RELOCATE FIRE DEVICES, SPEAKERS AND OTHER LOW VOLTAGE ITEMS TO MAINTAIN SYSTEM COVERAGE.
- AT NEW TEL/DATA RECEPTACLES, PROVIDE METAL BOXES, EMT CONDUIT RACEWAY AND PULL STRINGS PER BUILDING STANDARD.
- MAINTAIN ACCESS CONTROL WHERE IT EXISTS.
- WHERE WALLS ENCASE COLUMNS, BUILD WALLS THICK ENOUGH TO ENCLOSE ENTIRE COLUMN WITHIN WALL AND ALLOW FOR CONDUIT WHERE NOTED.
- FURNISH AND INSTALL SPECIFIED URINAL AND ALL ASSOCIATED EQUIPMENT PER MANUFACTURER'S SPECIFICATION



2 TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



WOODBURN CITY HALL
BASEMENT REMODEL

CITY OF WOODBURN

270 Montgomery St
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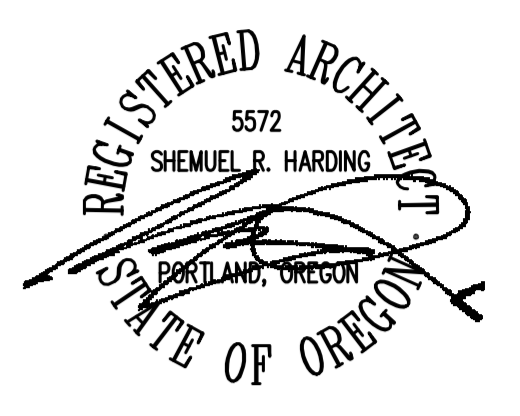
Issue	Revision	Date
BID SET		4/15/2024

ENLARGED FLOOR PLAN

Scale As indicated

Date 4/15/2024

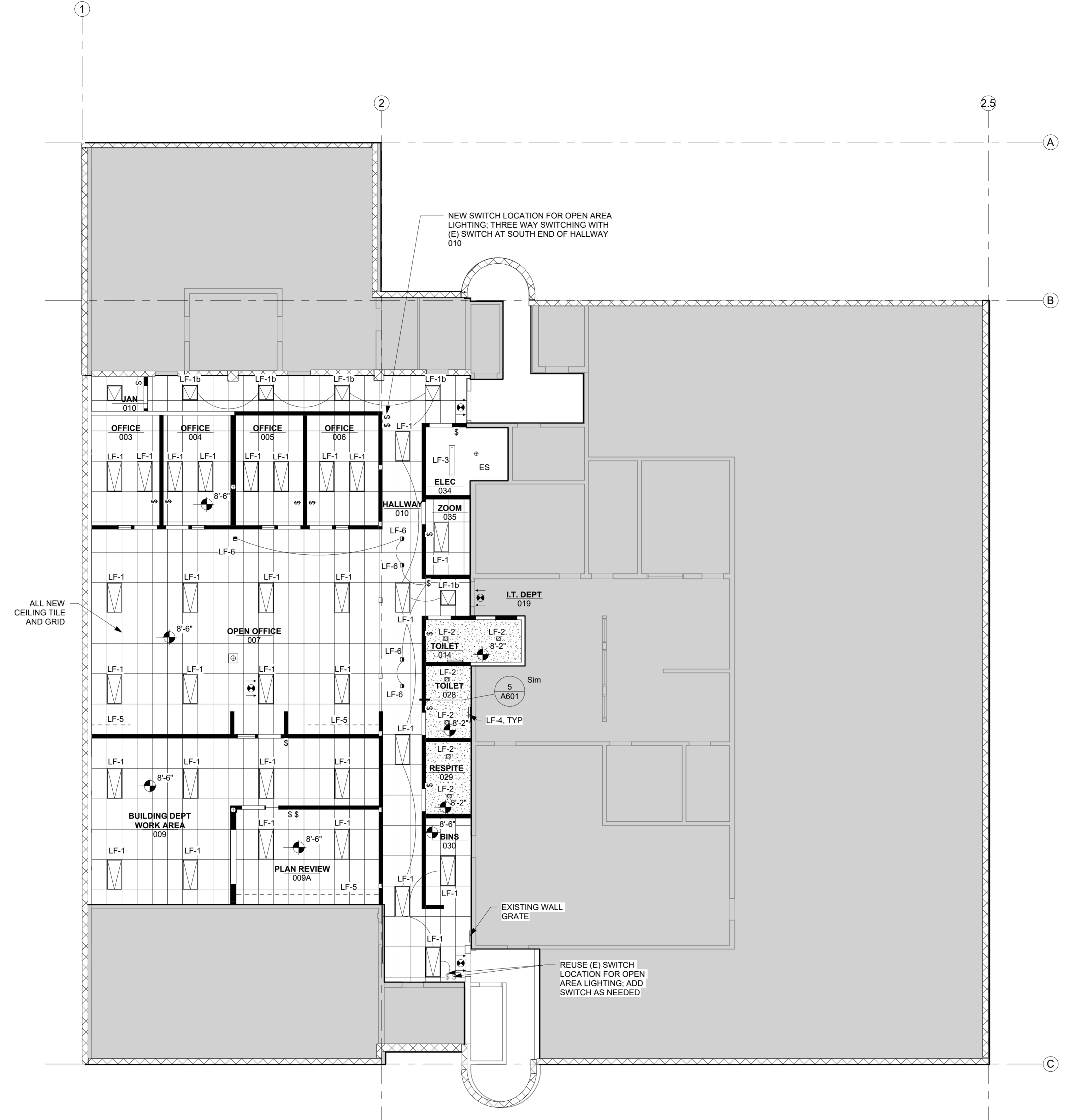
Sheet No. **A130**



**WOODBURN CITY HALL
 BASEMENT REMODEL**

CITY OF WOODBURN

270 Montgomery St
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LEGEND

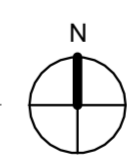
CEILING PLAN VIEWS

- LF-1 LED LUMINAIRE: SURFACE, RECESSED
- LF-1b LED LUMINAIRE: SURFACE, RECESSED
- LF-2 CEILING LUMINAIRE: SURFACE, RECESSED
- LF-3 LED LUMINAIRE
- LF-4 SCONCE
- LF-5 UNDER CABINET LIGHTING
- LF-6 WALL WASHER
- DESIGNATES LIGHT ON EMERGENCY CIRCUIT
- EXIT LIGHT: CEILING, WALL (ARROWS AS SHOWN)
- EMERGENCY BATTERY LIGHT: HEADS AS SHOWN
- ES EXPOSED TO STRUCTURE

NOTES THIS SHEET

1. (E) EXIT SIGNS TO REMAIN; ADD WHERE INDICATED
2. REFER TO MEP NARRATIVE FOR DESCRIPTION OF MECHANICAL, ELECTRICAL AND PLUMBING WORK REQUIRED
3. MODIFY EXISTING FIRE ALARM AND SMOKE DETECTION SYSTEM AND INSTALL NEW COMPONENTS AS NEEDED.
4. PROVIDE NEW COVERS AT ALL SPRINKLER HEADS, PAINTED TO MATCH SURFACE WHERE THEY ARE INSTALLED.
5. MAINTAIN ALL EXISTING AND NEW FIRE RATED ASSEMBLIES.
6. CONNECT LIGHTING TO EMERGENCY ELECTRICAL SYSTEM WHERE REQUIRED BY CODE.
7. PROVIDE SEPARATE SWITCHING FOR EACH LIGHTING TYPE IN EACH ROOM, SEE LIGHTING SCHEDULE FOR SWITCHING NOTES.

REFLECTED CEILING PLAN - BASEMENT
 1 - NEW
 1/8" = 1'-0"



LIGHTING SCHEDULE: MATCH UPPER FLOOR UNO

CODE	DESCRIPTION	MFGR.	MODEL	COLOR/FINISH	SIZE	INPUT WATTS	LAMP SOURCE	POWER SUPPLY	INPUT VOLTAGE	MOUNTING	INSTALLATION	REMARKS
CONTRACTOR PROVIDED FIXTURES												
LF-1	2X4 RECESSED	FINELITE	HPR LED-F-2X4_S-840-120V-SC TO MATCH MAIN FLOOR	WHITE	2' x 4'			INTEGRAL ELECTRONIC 0-10V DIMMING	120	RECESSED	CFCI	
LF-1b	2X2 RECESSED	FINELITE	MATCH 2X4 MODEL IN 2X2 VERSION	WHITE	2' X 2'							
LF-2	CAN LIGHT 4" EVO SQUARE	GOETHAM	EVO SQ 40/20 4WR MVOLT GZ10								CFCI	TOILET ROOMS
LF-3	LED SUSPENDED	LITHONIA	FMMCL 24 840 PIR M4	WHITE	24"						CFCI	ELEC/TRASH
LF-4	WALL SCONCE	MATCH UPPER FLOOR	FMVCLS 24IN MVOLT 30K35K40K 90CRI BN M6		24"			INTEGRAL ELECTRONIC 0-10V DIMMING	120	SURFACE MOUNT	CFCI	TOILET ROOMS CYLINDER VANITY
LF-5	UNDER CABINET LIGHT	TRULUX	STL-WW 3000K WITH ARMACOST LIGHTING LIGHT CHANNEL FLAT DIFFUSER	WHITE						SURFACE MOUNT	CFCI	DIMMING
LF-6	ART LIGHT - MONOPOINT	JUNO	CYLINDRA TRAC HEAD T254L-G2-30K-90CRI-NFL-WH	WHITE								DIMMING
EXIT	MATCH UPPER FLOORS											

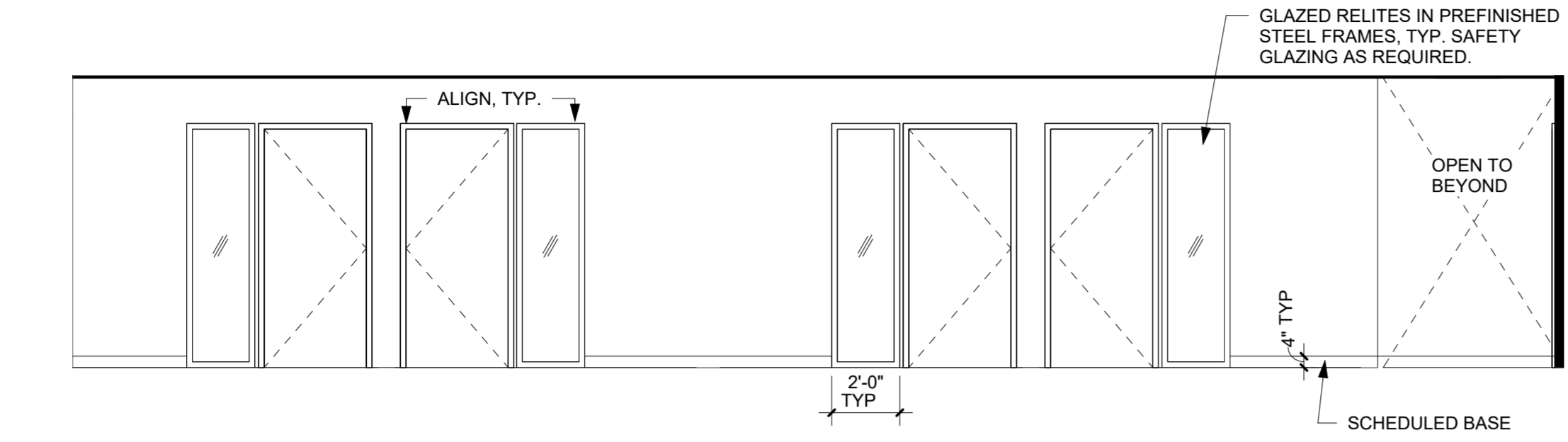
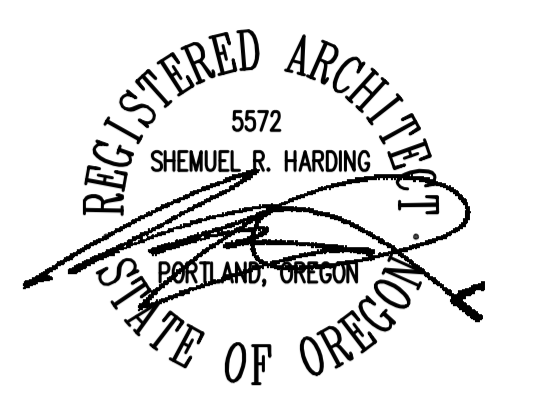
Issue	Revision	Date
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**REFLECTED CEILING
 PLAN - BASEMENT**

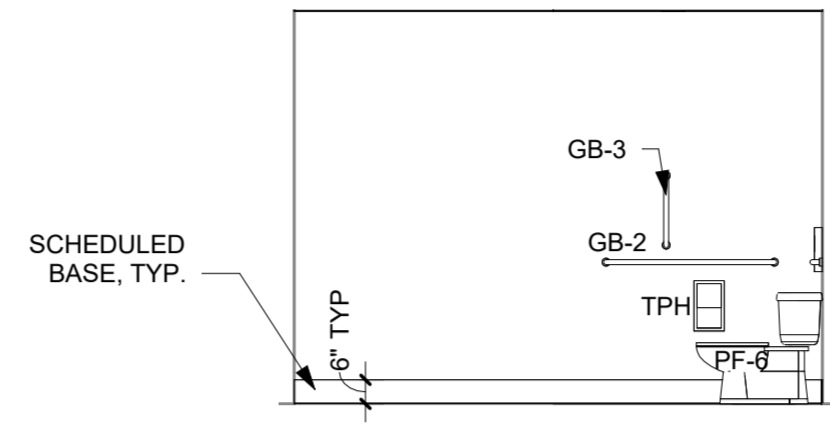
Scale As indicated

Date 4/15/2024

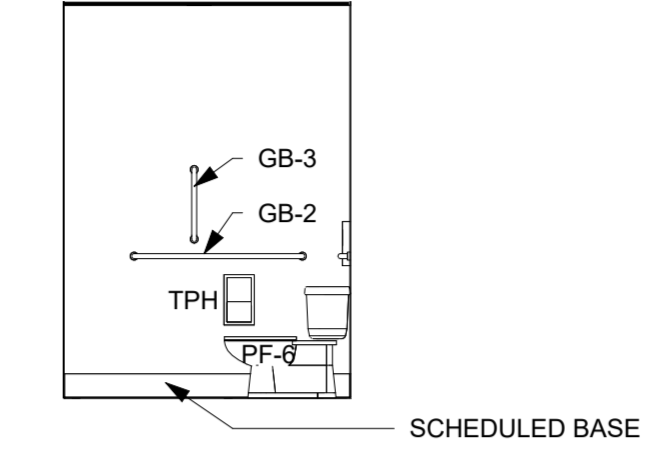
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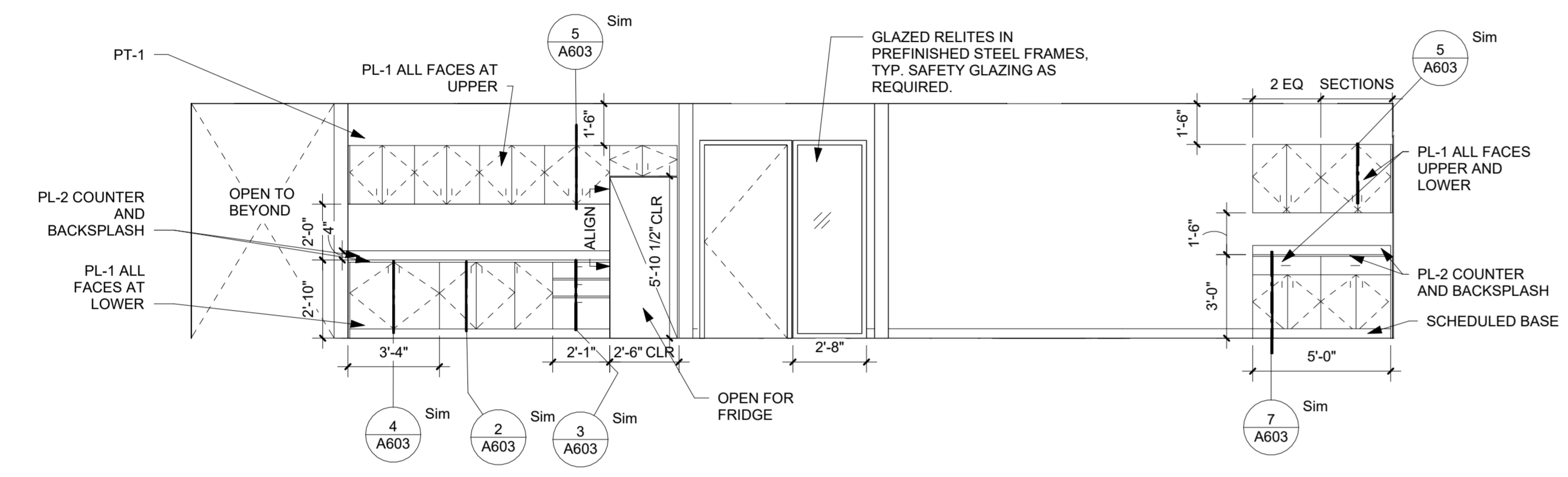
8 ELEVATION - OPEN OFFICE 007 NORTH
 1/4" = 1'-0"



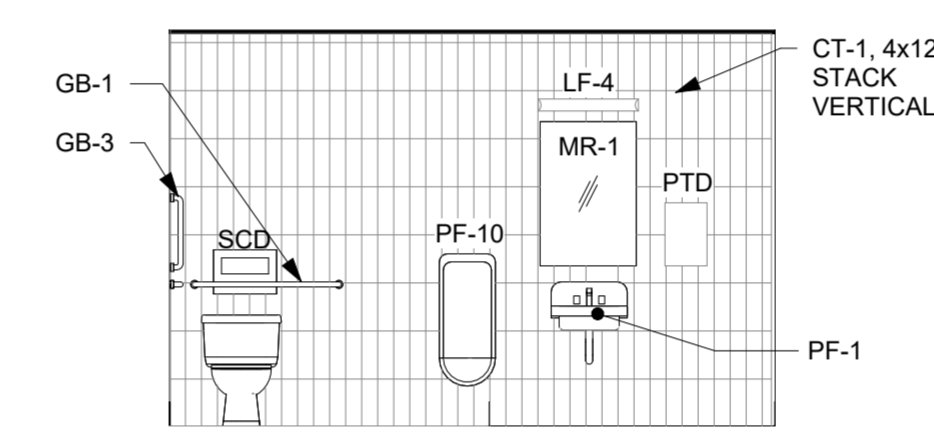
5 ELEVATION - TOILET 014 - E
 1/4" = 1'-0"



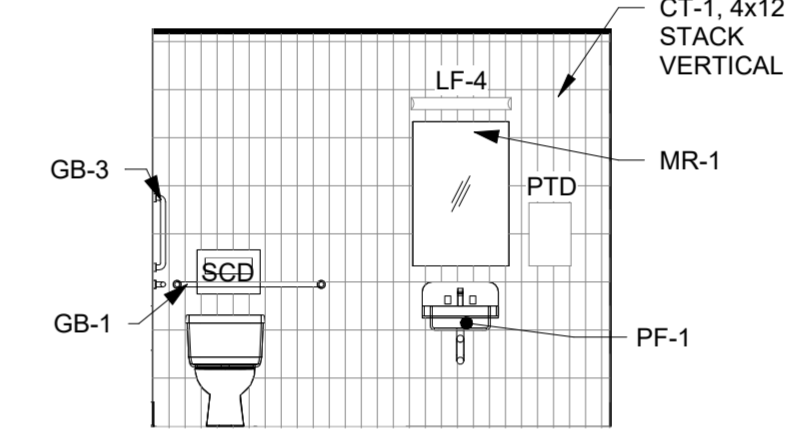
1 ELEVATION - TOILET 028 - N
 1/4" = 1'-0"



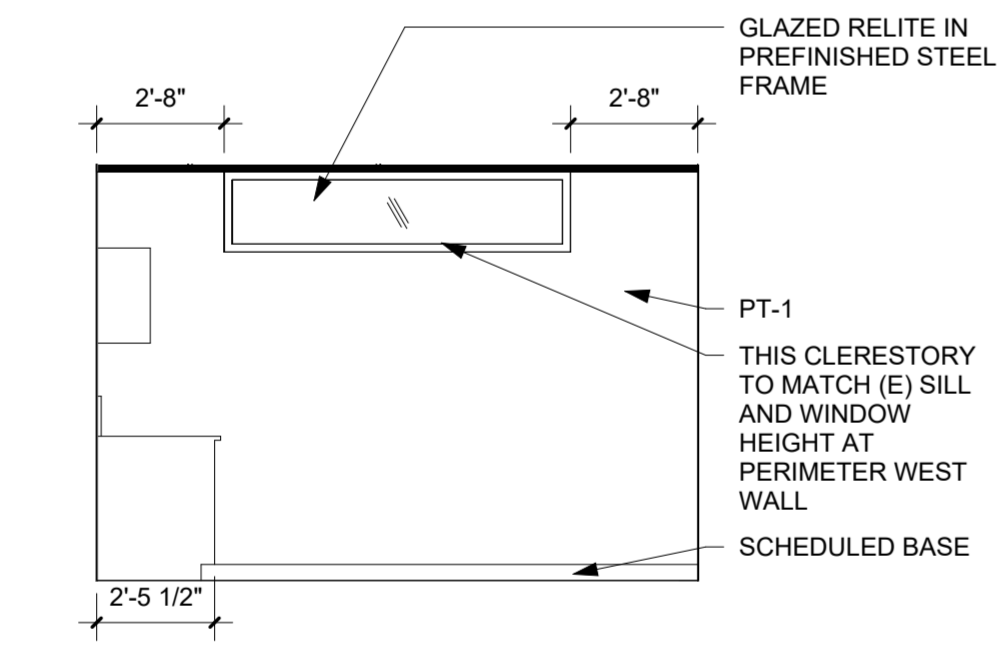
9 ELEVATION - KITCHENETTE & COPY - S
 1/4" = 1'-0"



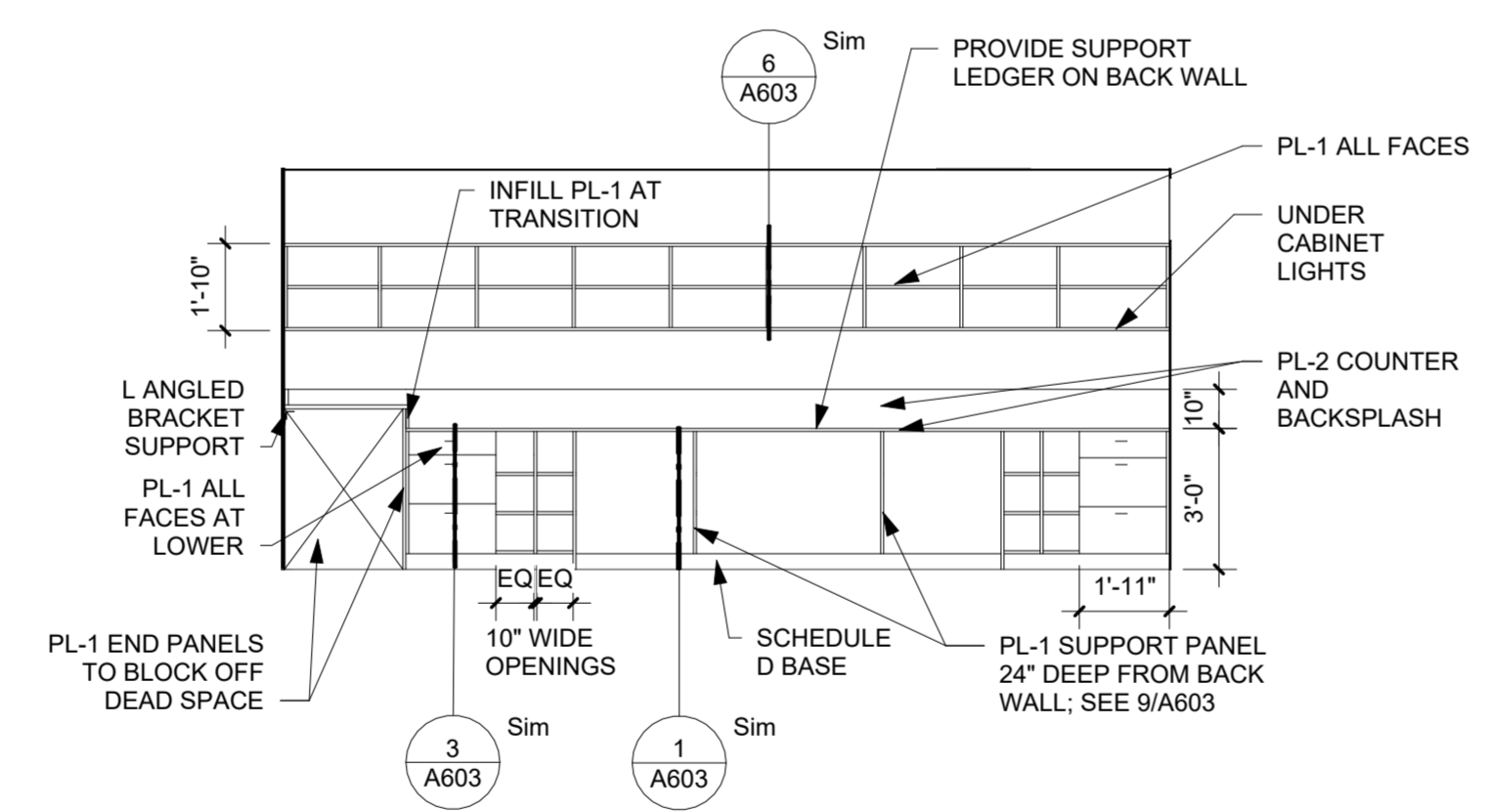
6 ELEVATION - TOILET 014 - S
 1/4" = 1'-0"



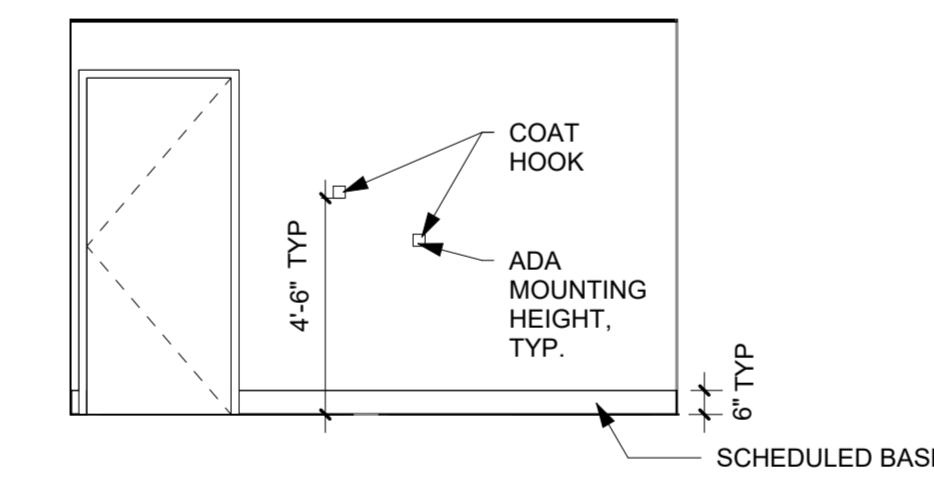
2 ELEVATION - TOILET 028 - E
 1/4" = 1'-0"



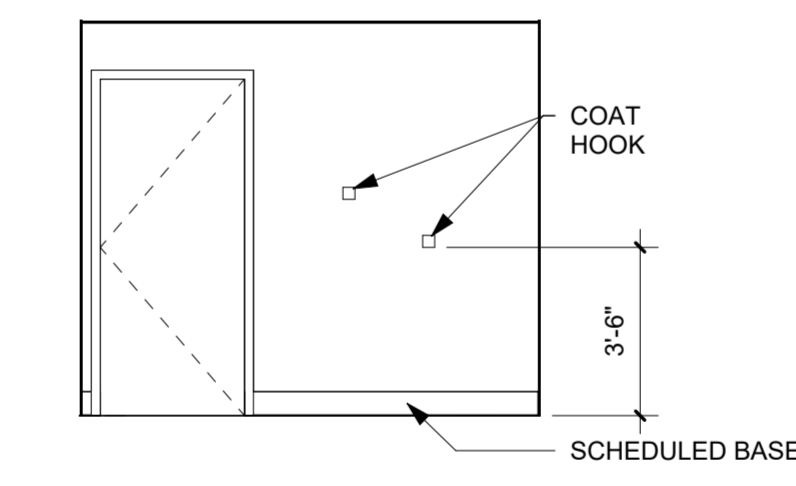
12 ELEVATION - PLAN REVIEW 009A - W
 1/4" = 1'-0"



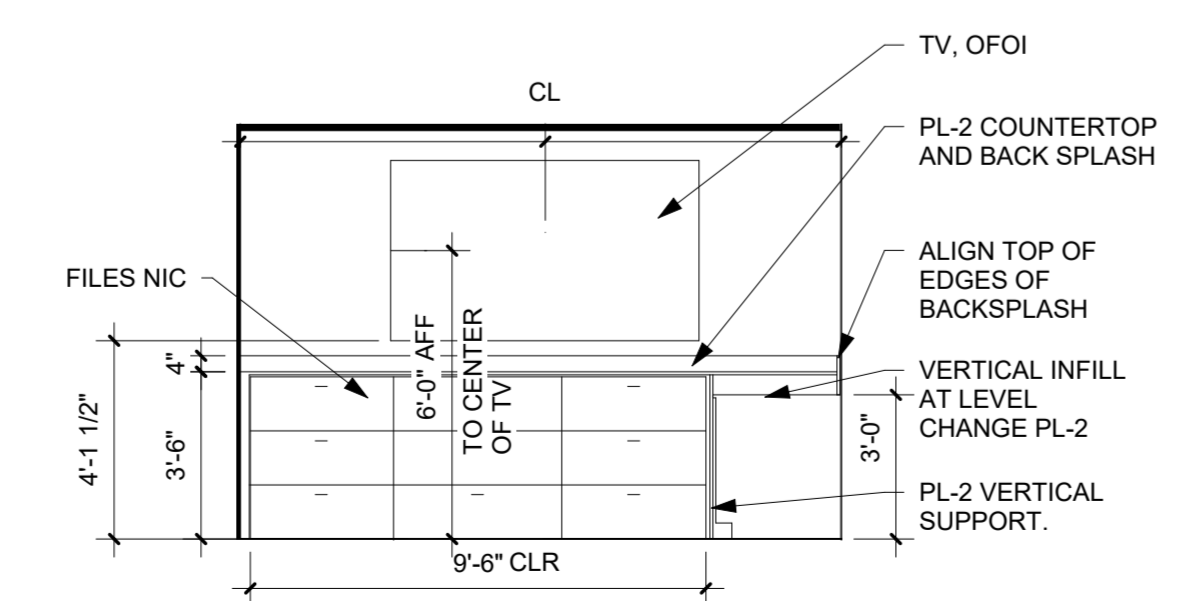
10 ELEVATION - PLAN REVIEW 009A - S
 1/4" = 1'-0"



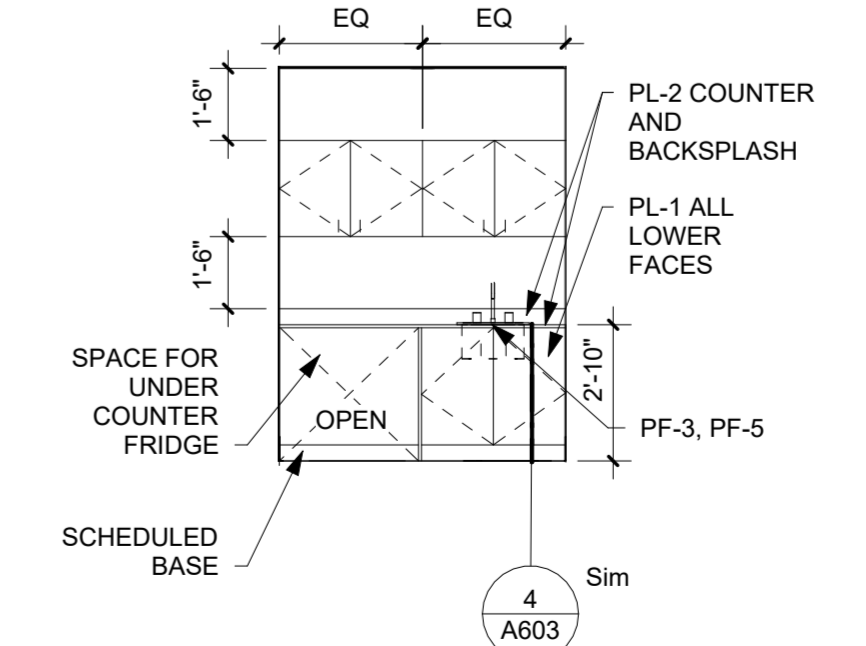
7 ELEVATION - TOILET 014 - N
 1/4" = 1'-0"



3 ELEVATION - TOILET 028 - W
 1/4" = 1'-0"

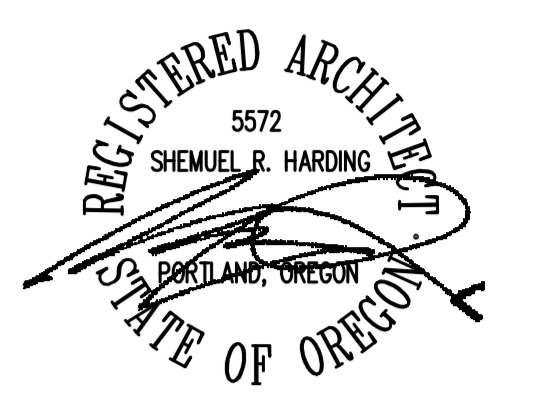
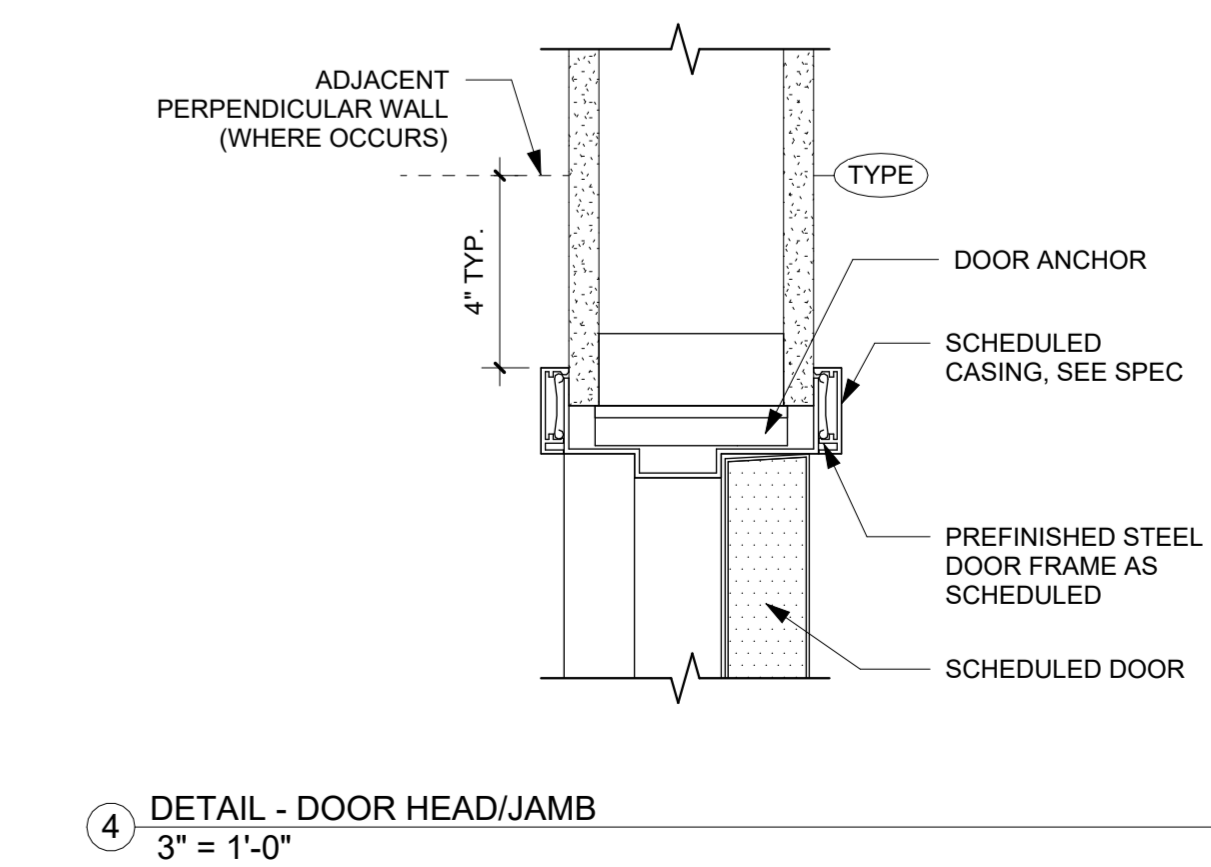
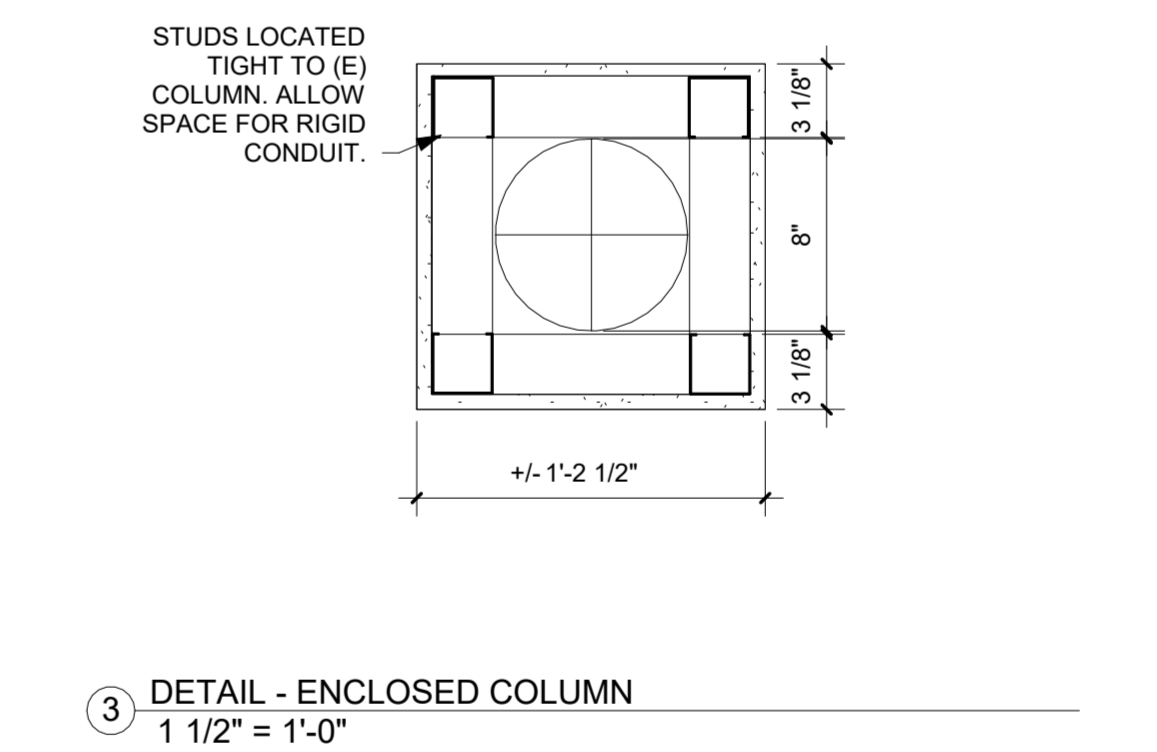
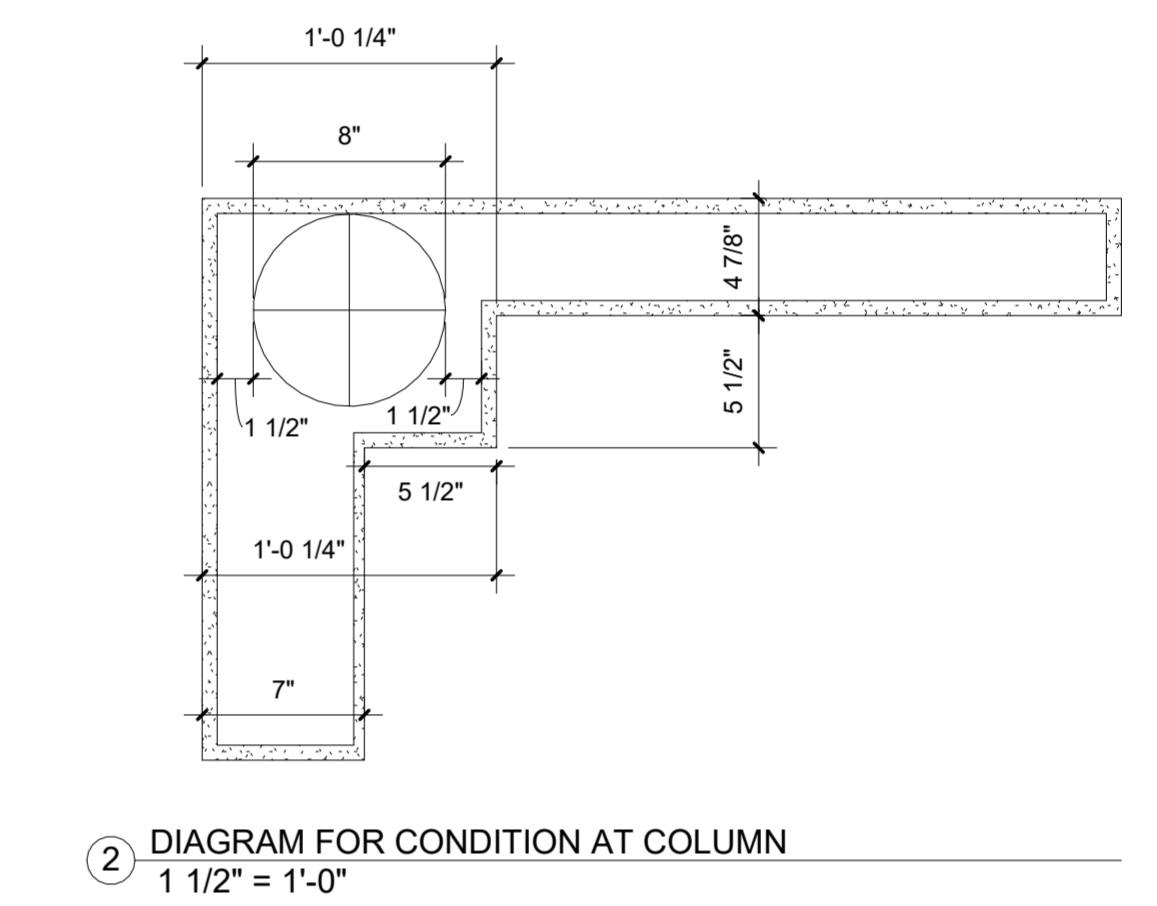
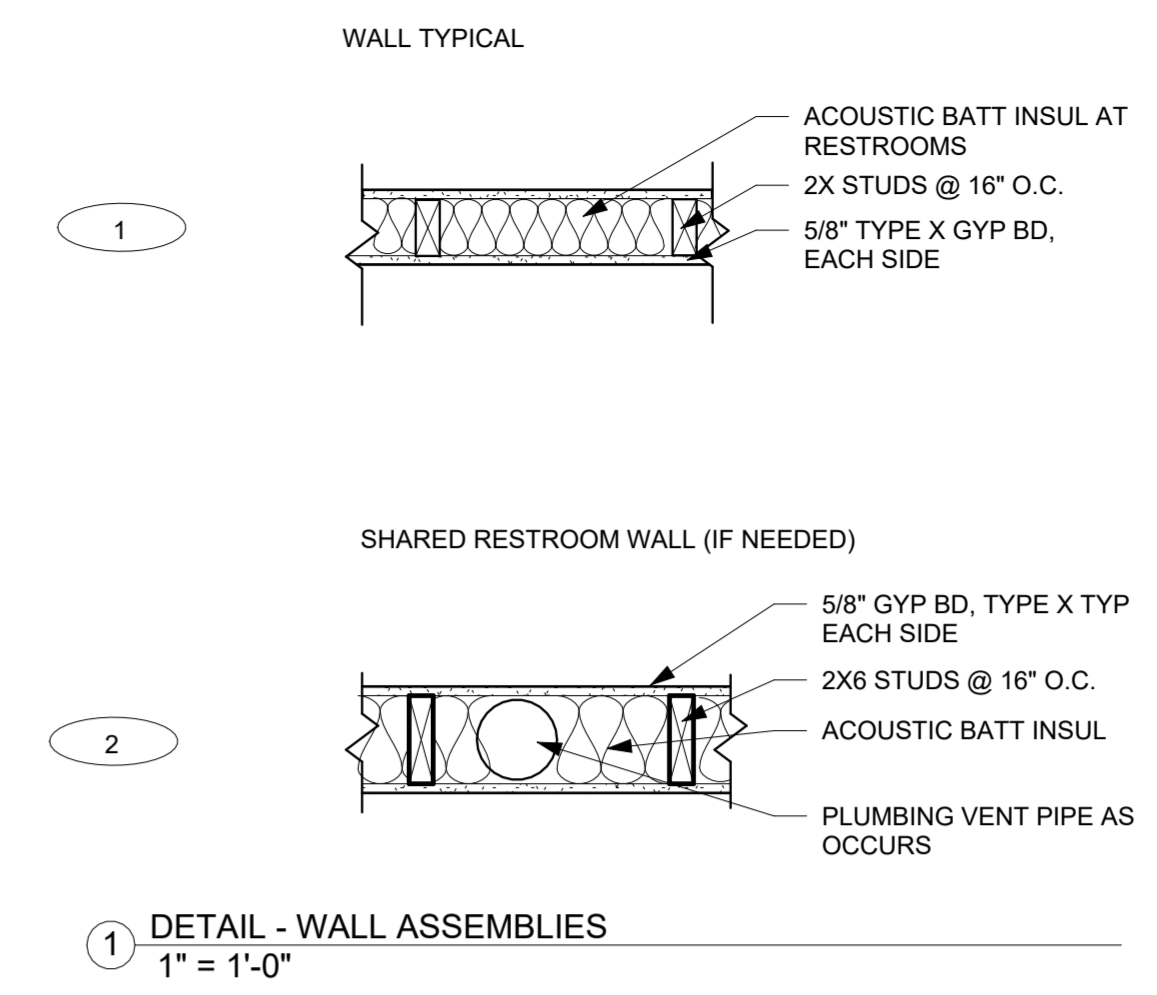
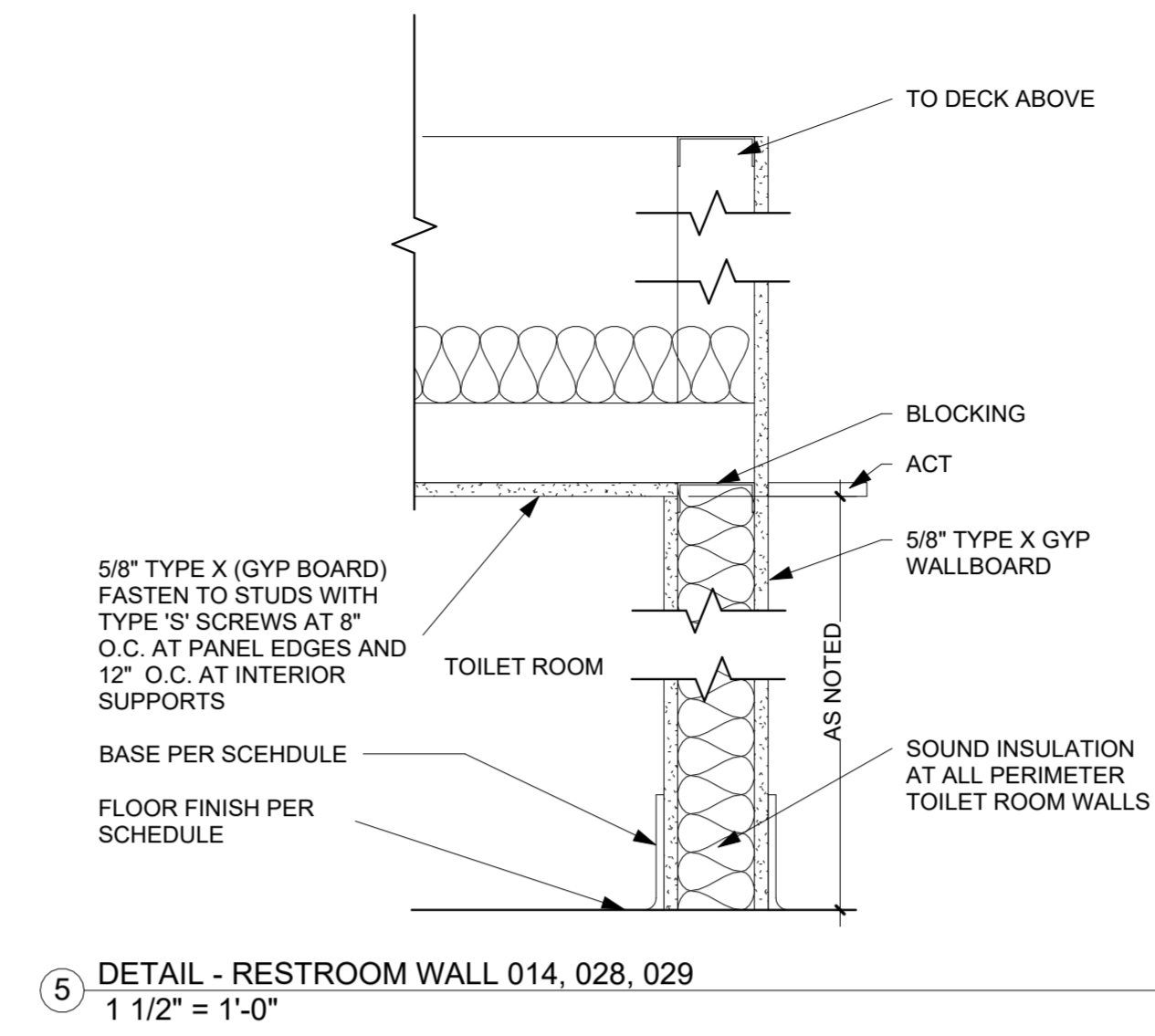


11 ELEVATION - PLAN REVIEW 009A - E
 1/4" = 1'-0"

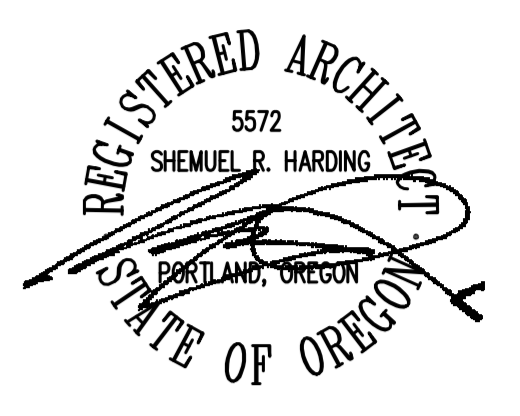


4 ELEVATION - RESPITE 029 - N
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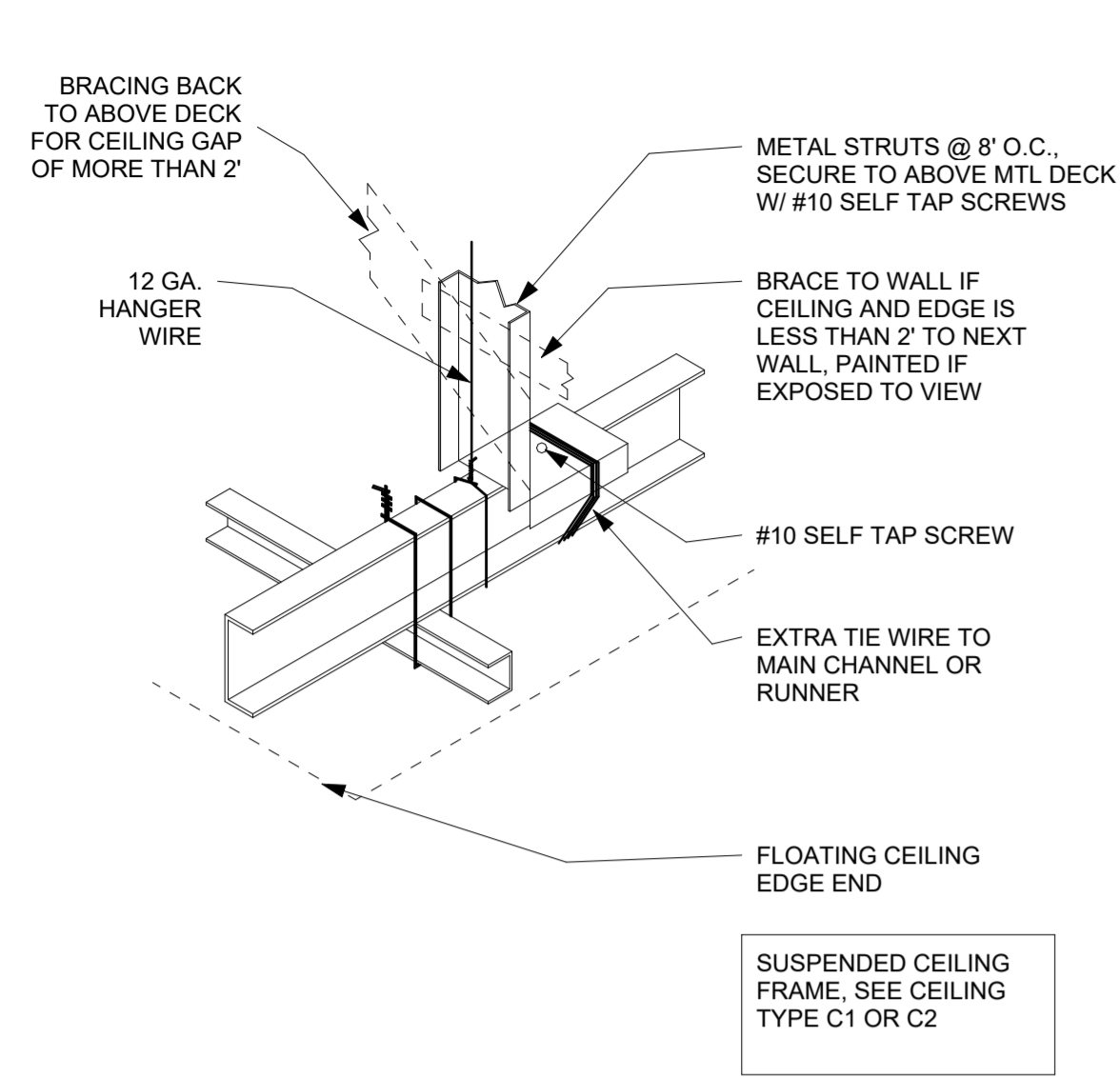
Issue	Revision	Date
BID SET		4/15/2024



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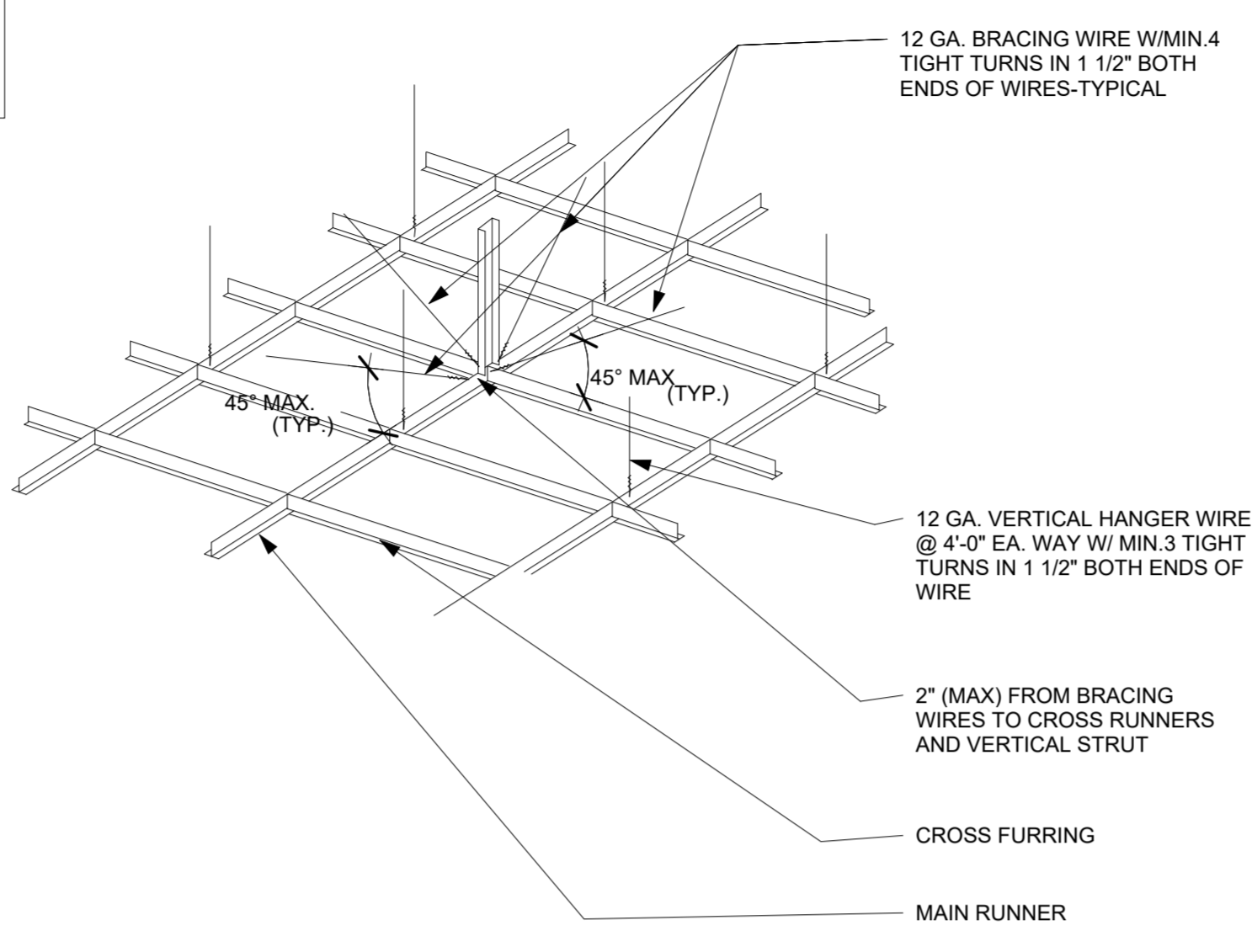


**WOODBURN CITY HALL
 BASEMENT REMODEL**
 CITY OF WOODBURN
 270 Montgomery St
 Woodburn, OR 97071



FLOATING CEILING EDGE BRACING
 FLOATING CEILING EDGE BRACING/TYPICAL SUSPENDED CEILING STRUCTURE
 1 1/2" = 1'-0"

NOTES:
 SEE OTHER DETAILS FOR CONNECTIONS OF BRACING & HANGER WIRES TO THE STRUCTURE ABOVE.
 SPLAY WIRE CONNECTION TO SUPPORT MIN. 200 POUNDS.
 COMPRESSION STRUTS: STEEL SECTION WITH L/R RATIO OF 200 MAXIMUM. COMPRESSION STRUT SHALL NOT REPLACE HANGER WIRE SEE OTHER DETAILS PLACE AT 12'-0" O.C. MAX.

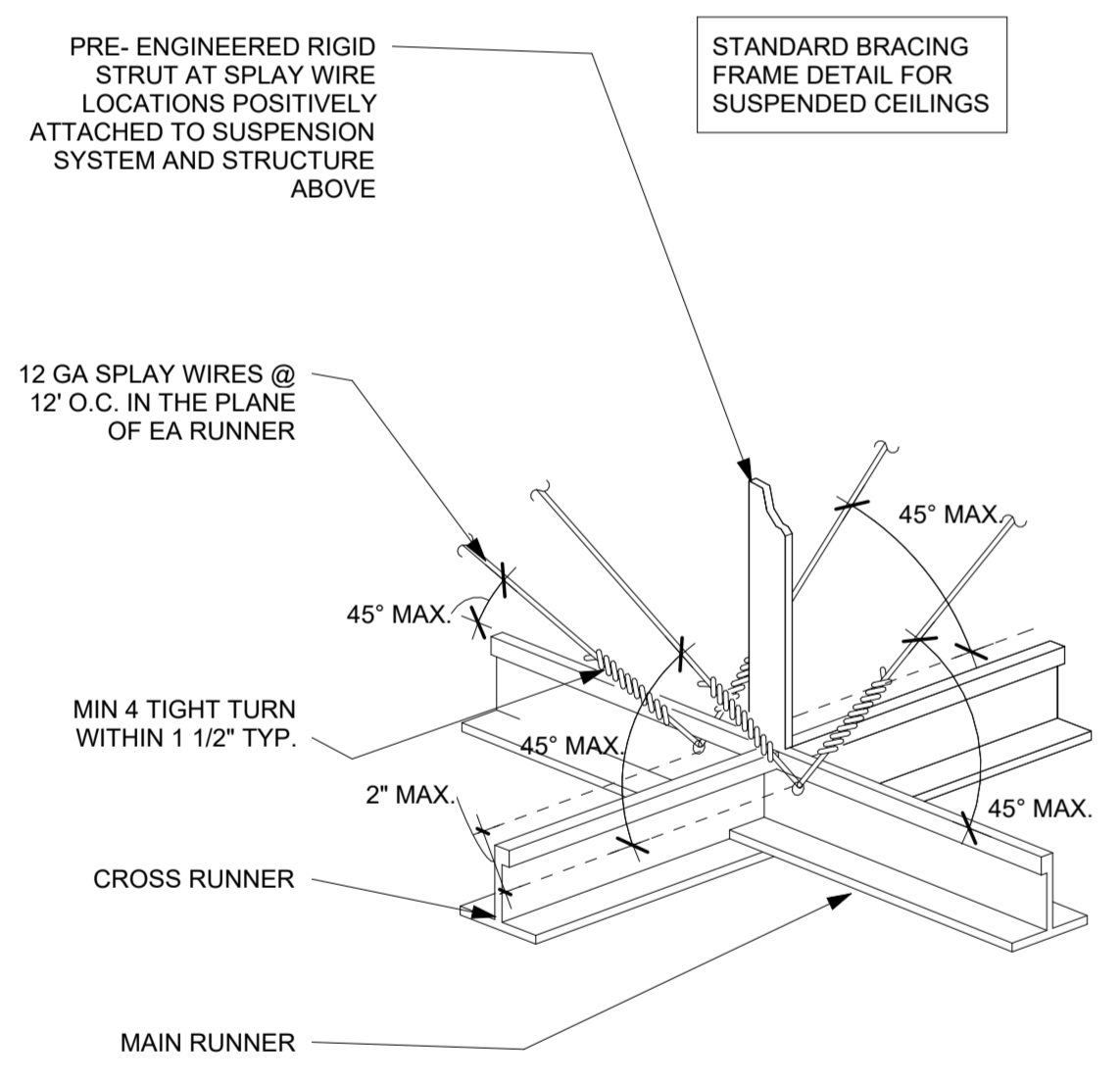


TYPICAL SUSPENDED CEILING STRUCTURE

CEILING ASSEMBLIES

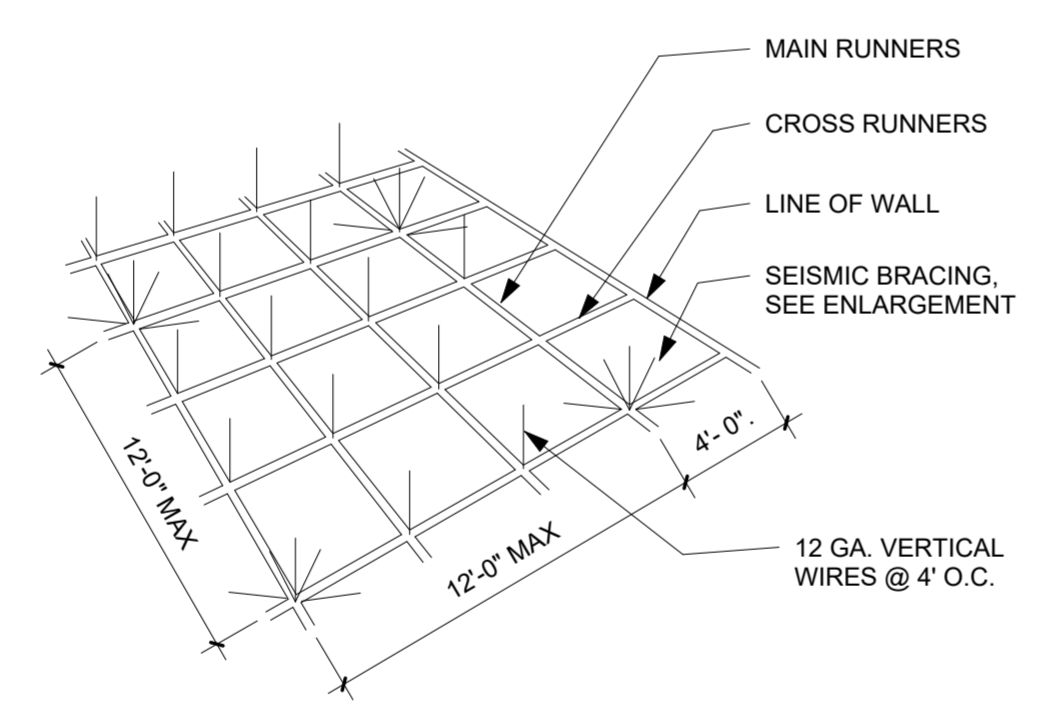
TAG	DESCRIPTION
01	SUSPENDED ACOUSTIC TILE CEILING BIDDER-DESIGNED SUPPORT SYSTEM, SEE DETAILS SCHEDULED ACOUSTIC CEILING TILE
02	FRAMED GYP BOARD CEILING BIDDER-DESIGNED WOOD STUD FRAMING AT 16" O.C. MIN WHERE CEILING OCCURS AWAY FROM PRIMARY STRUCTURE 5/8" GYP. BD. CEILING

DETAIL - SUSPENDED CEILING FRAME BRACING
 1" = 1'-0"

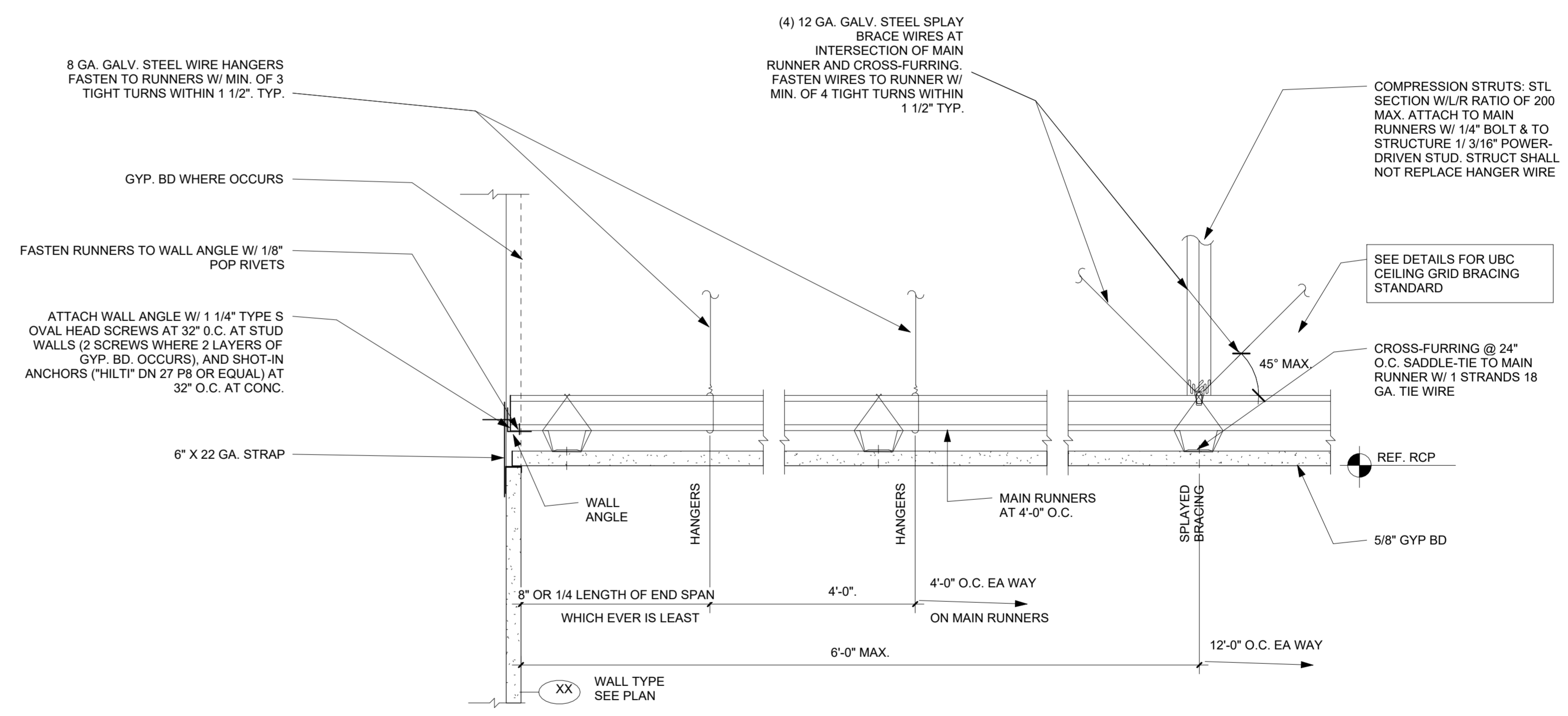


CEILING GRID SEISMIC BRACING DETAIL
 SUSPENDED CEILING FRAME BRACING PER 97 UBC STANDARD 25-2
 1 1/2" = 1'-0"

NOTES:
 1. PROVIDE 2" MIN HORIZ. FLANGE AT PERIMETER CLOSURE ANGLES.
 2. ATTACH GRID TO TWO ADJACENT WALLS
 3. SPLAY WIRE CONNECTIONS TO SUPPORT 200 LBS
 4. HEAVY DUTY (HD) T BAR SYSTEM SHALL BE USED



CEILING GRID BRACING LAYOUT PLAN



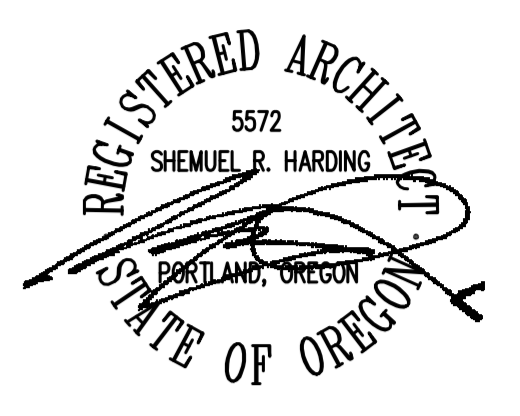
SUSPENDED GYPSUM BOARD CEILING
 1 1/2" = 1'-0"

Issue	Revision	Date
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**INTERIOR DETAILS,
 ACOUSTIC CEILING TILE**

Scale As indicated
 Date 4/15/2024

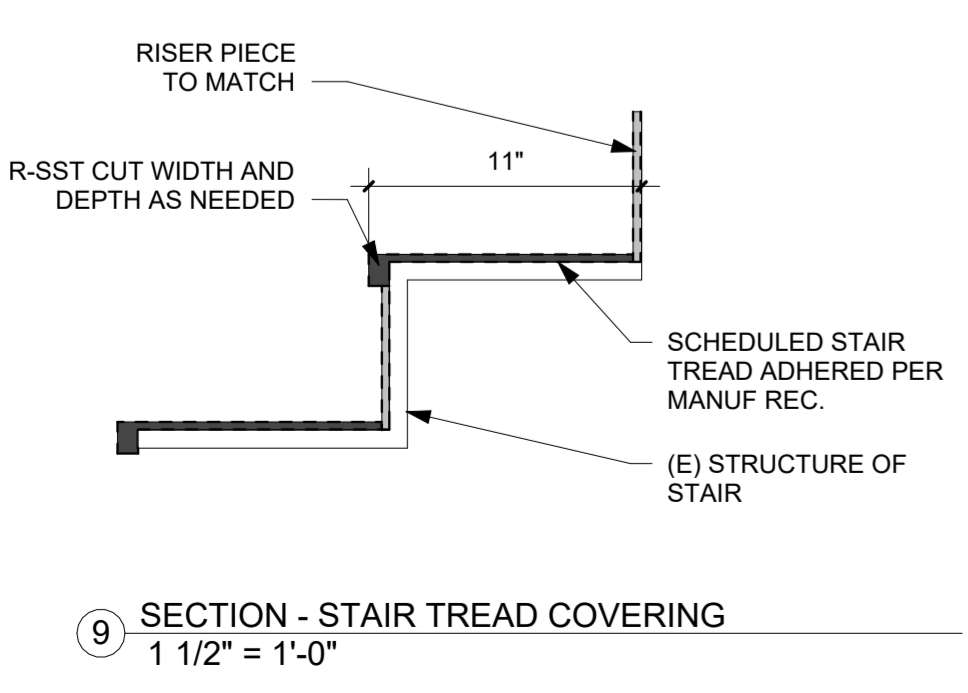
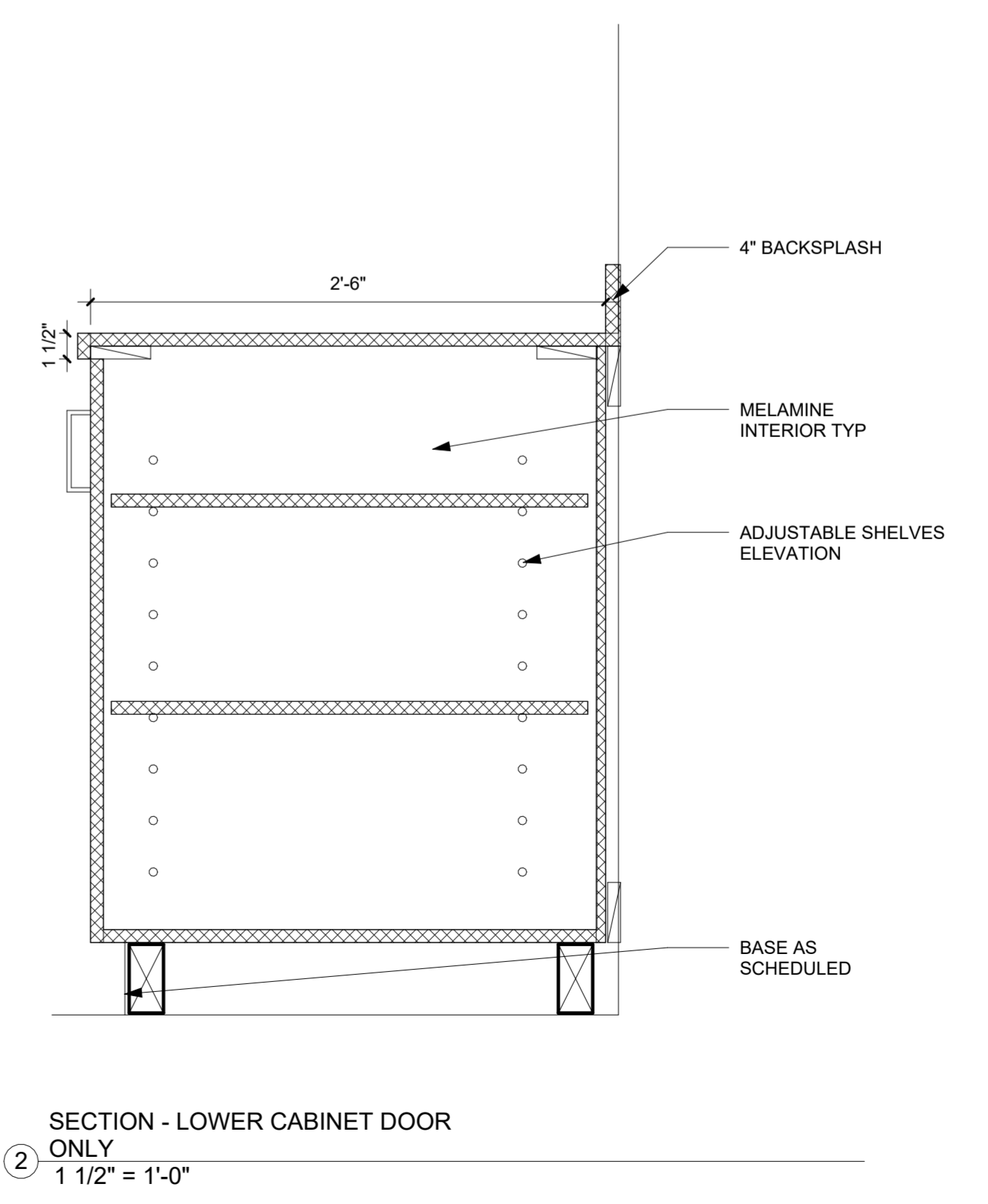
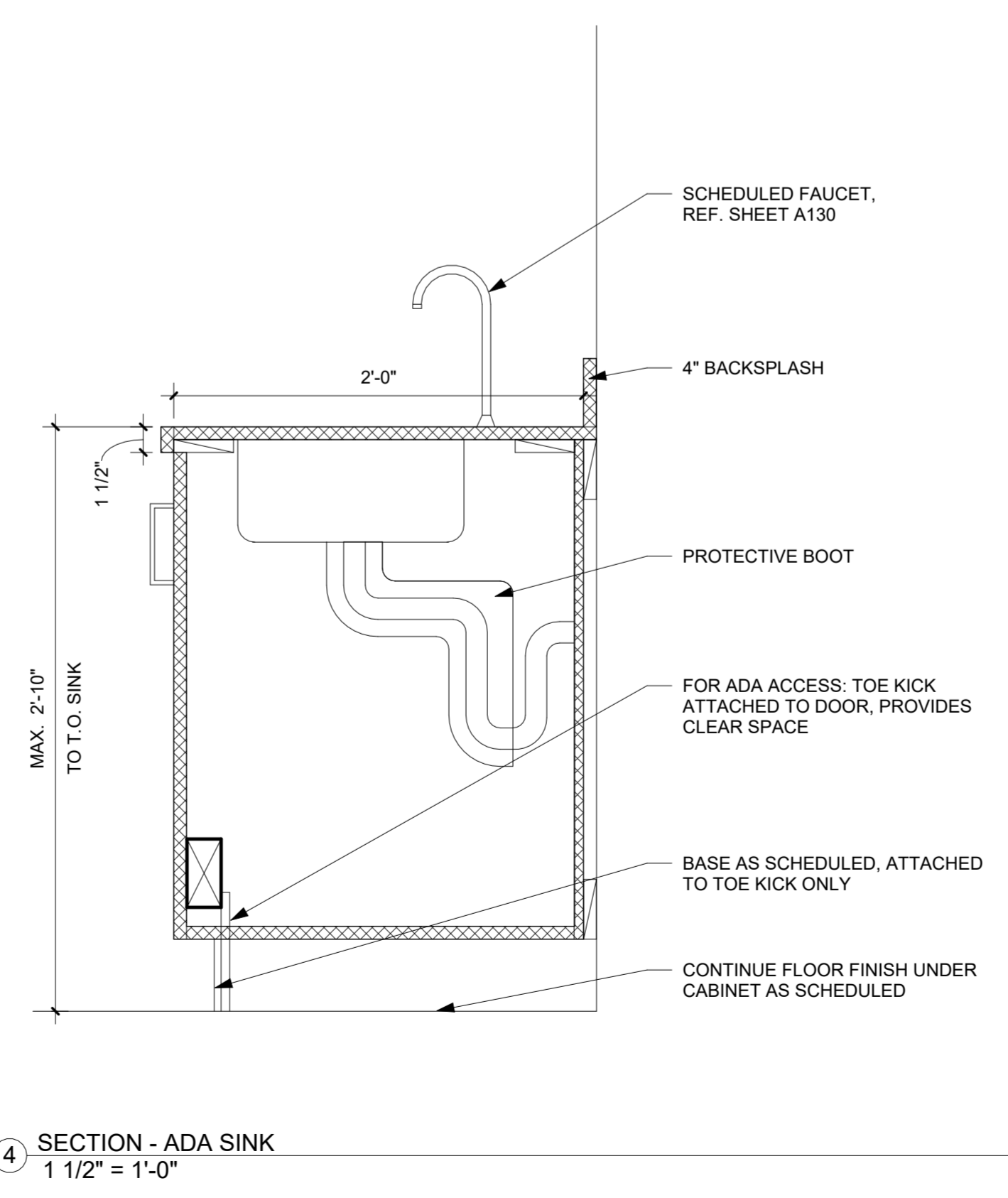
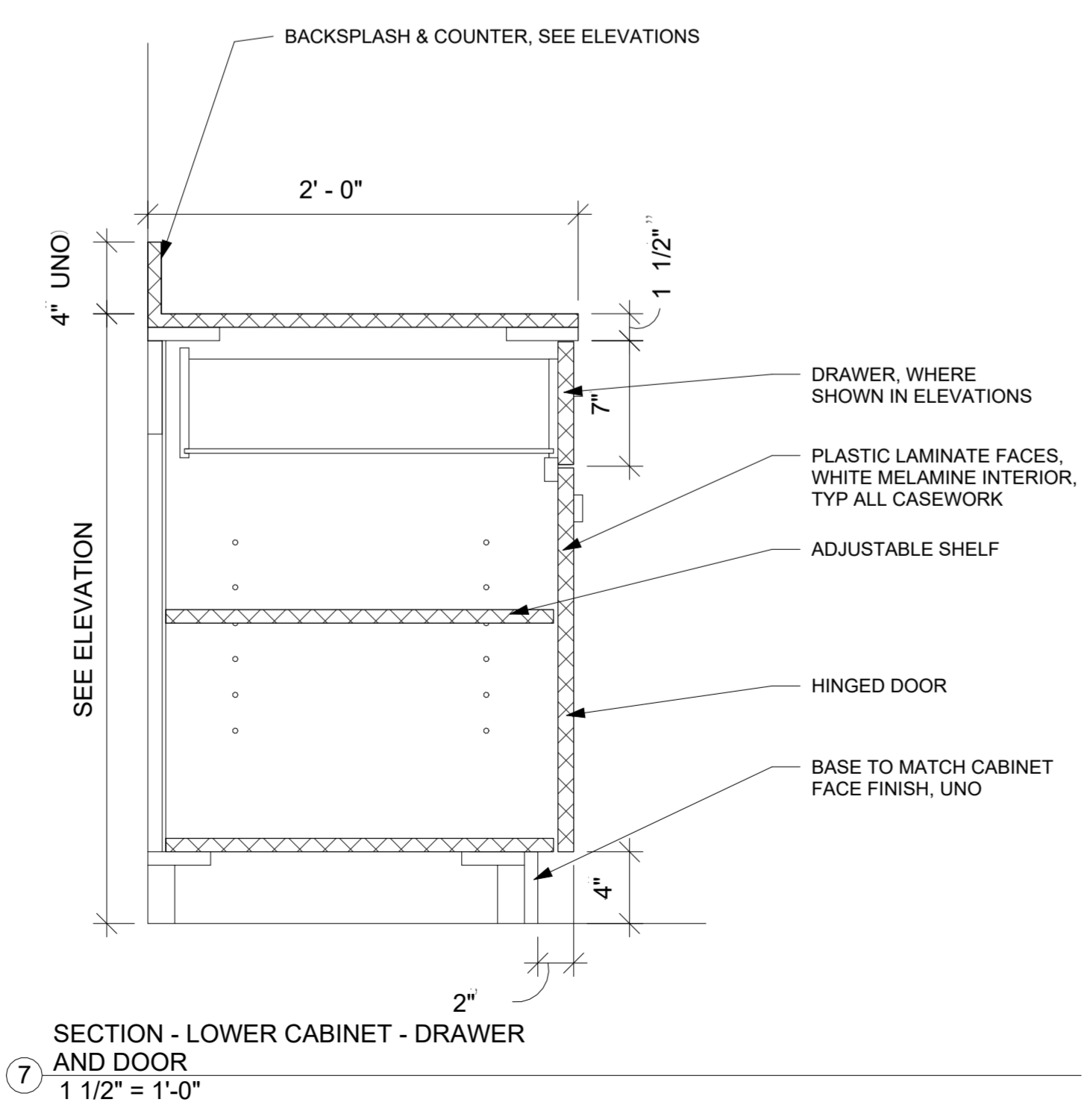
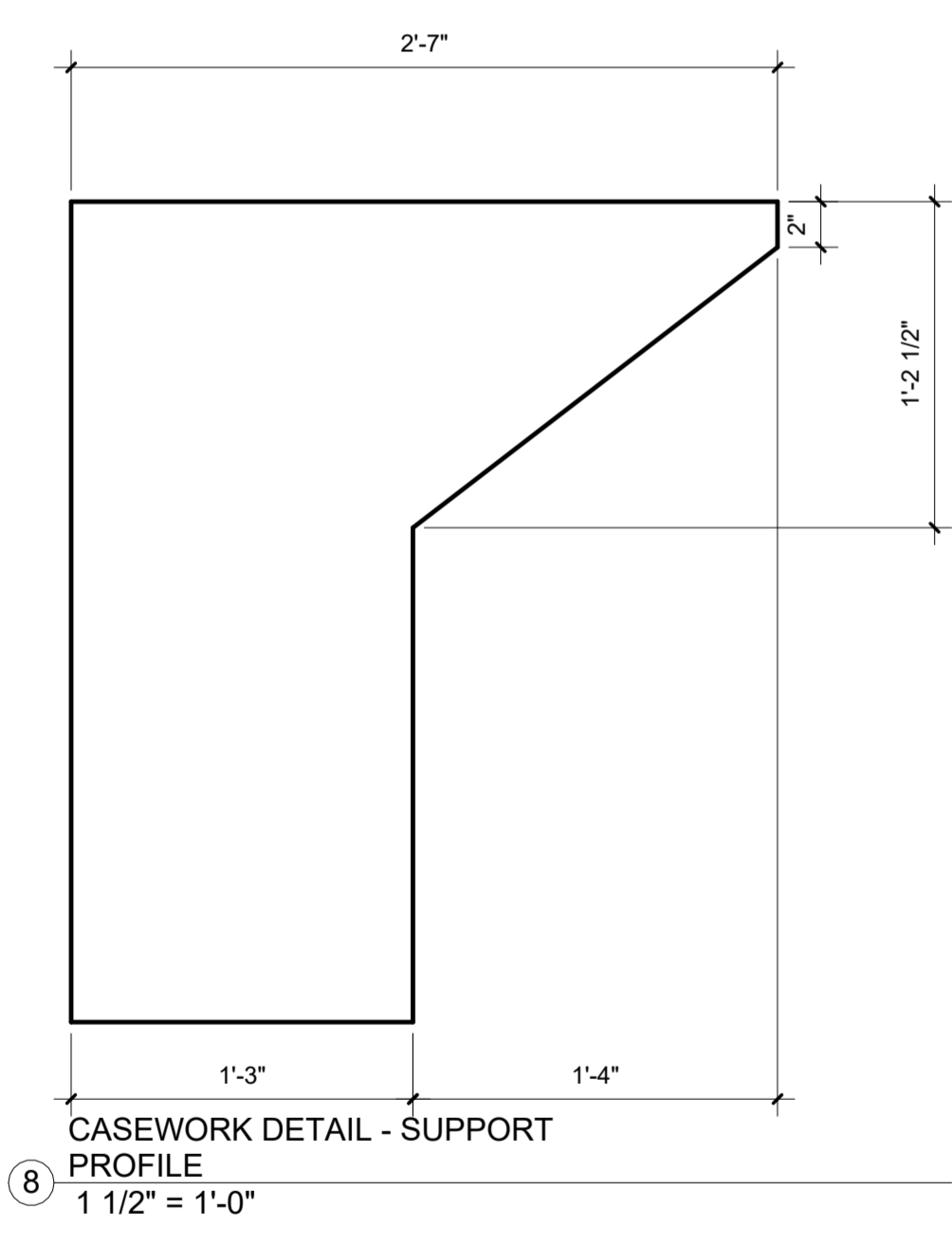
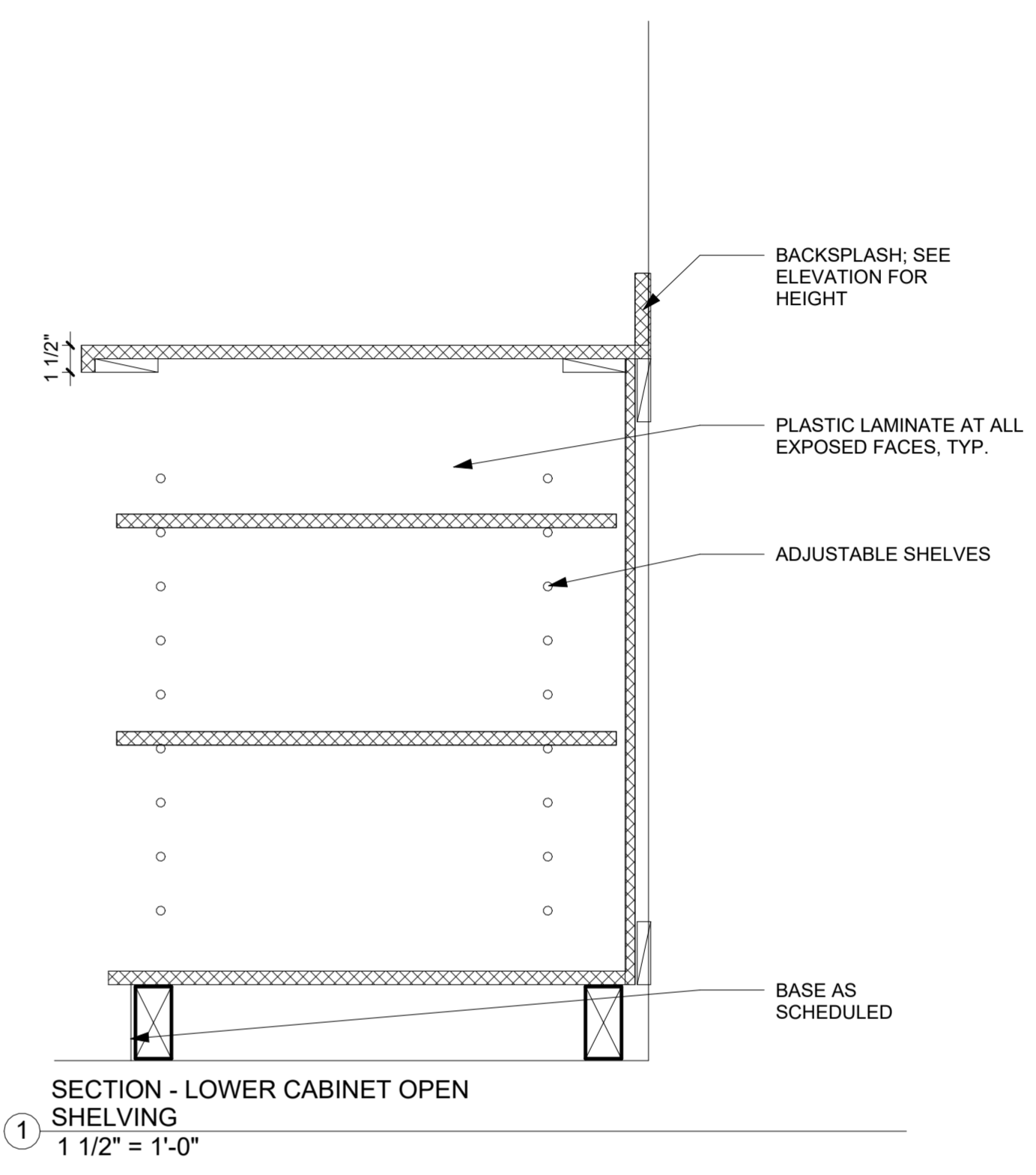
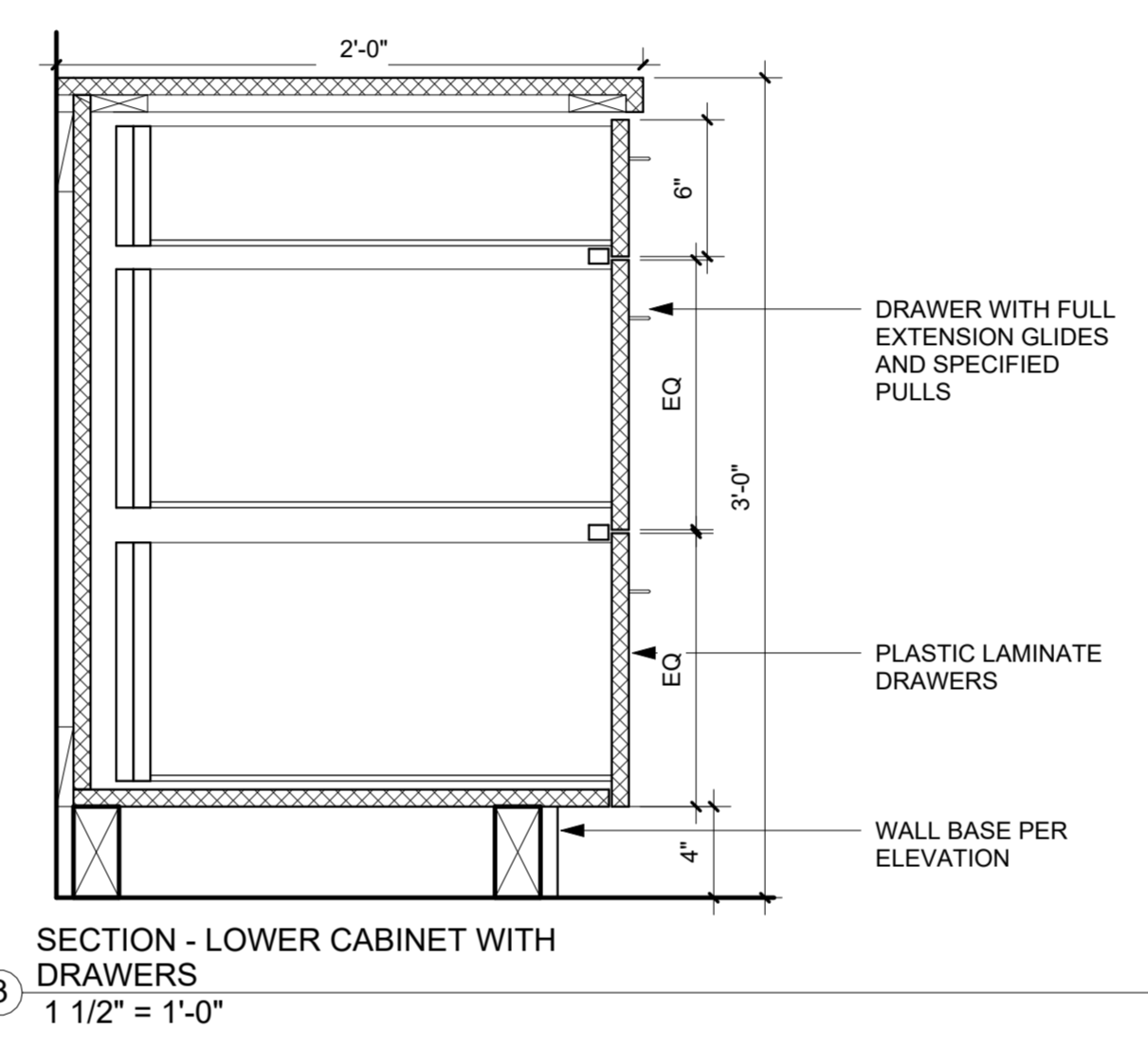
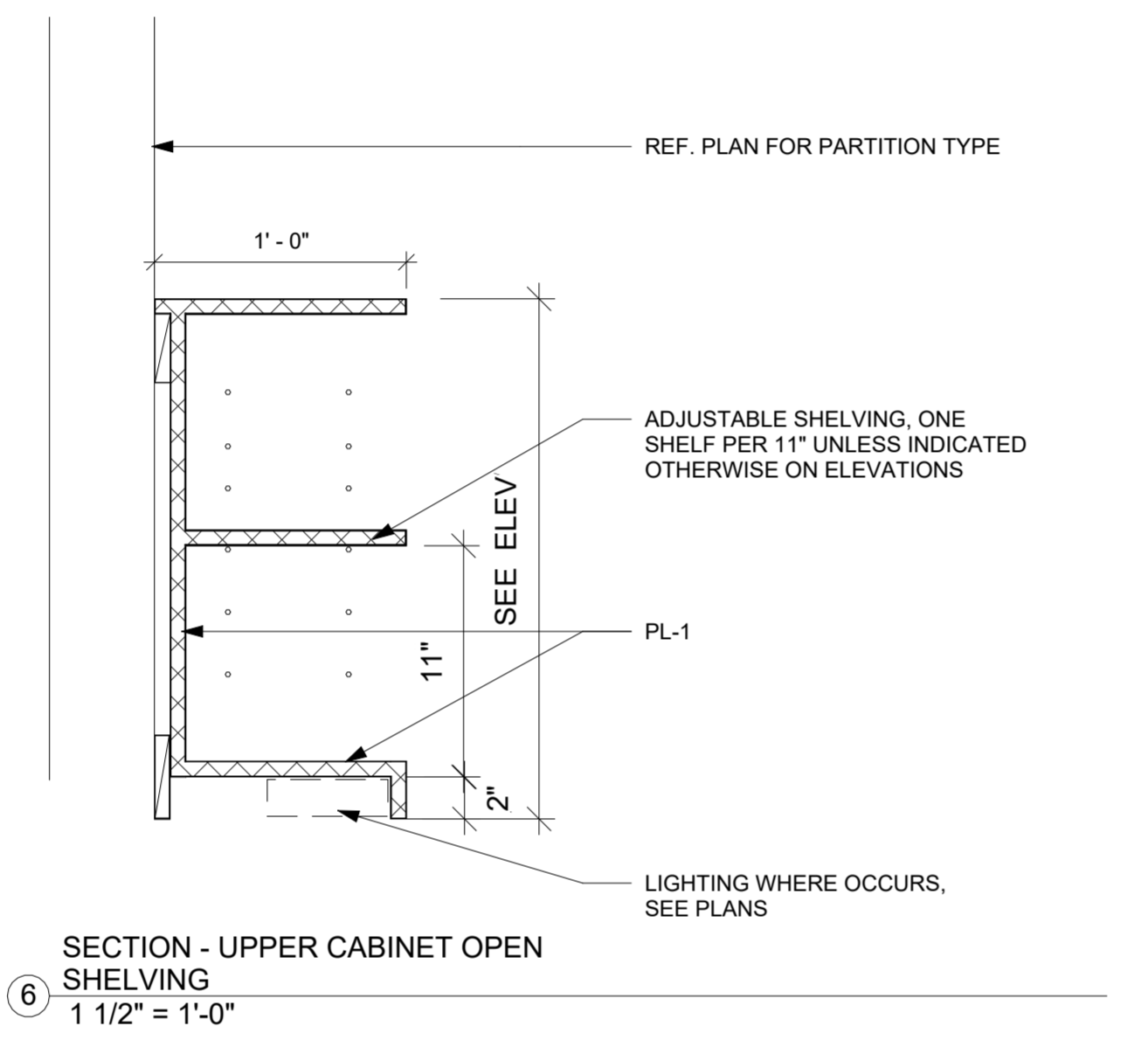
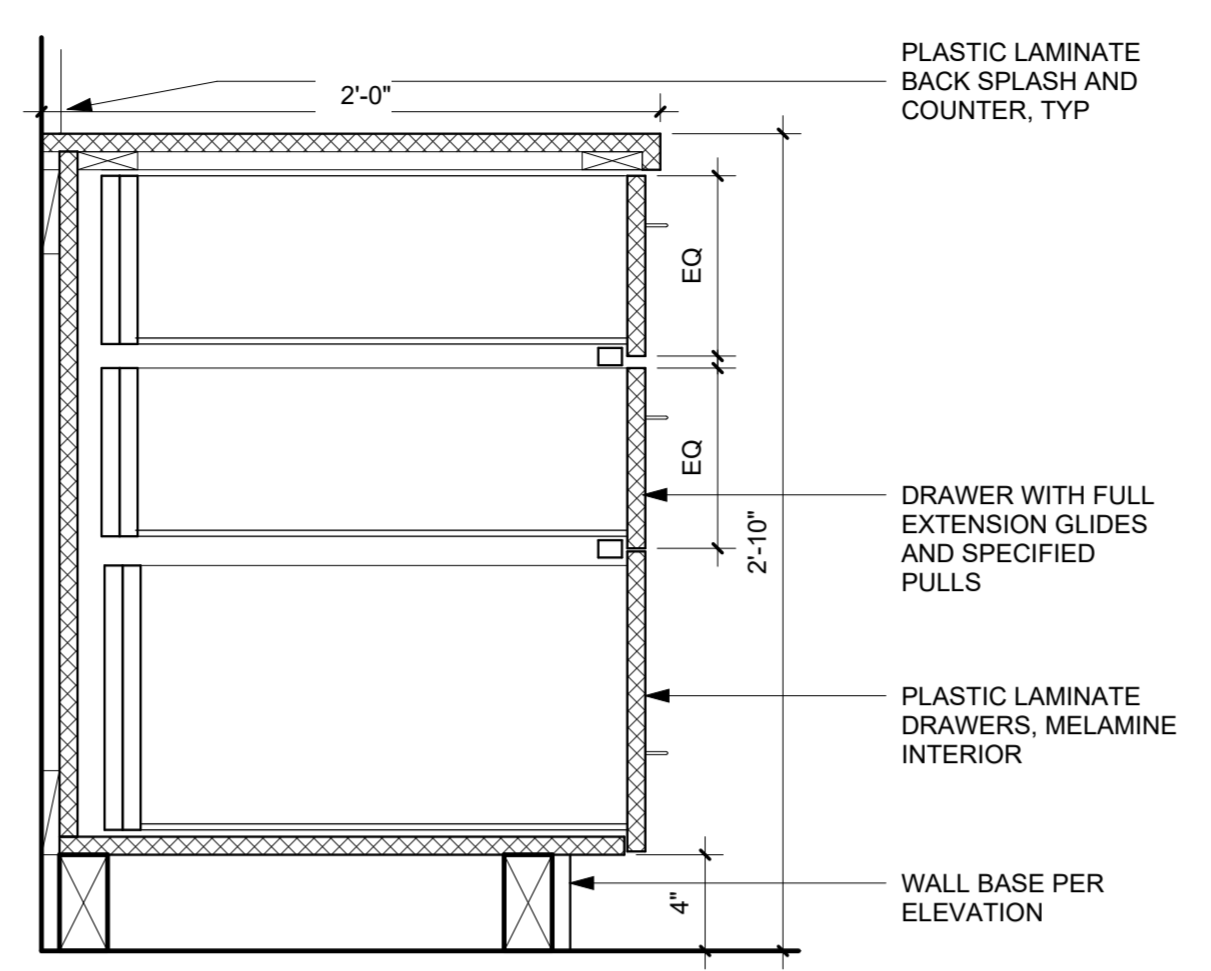
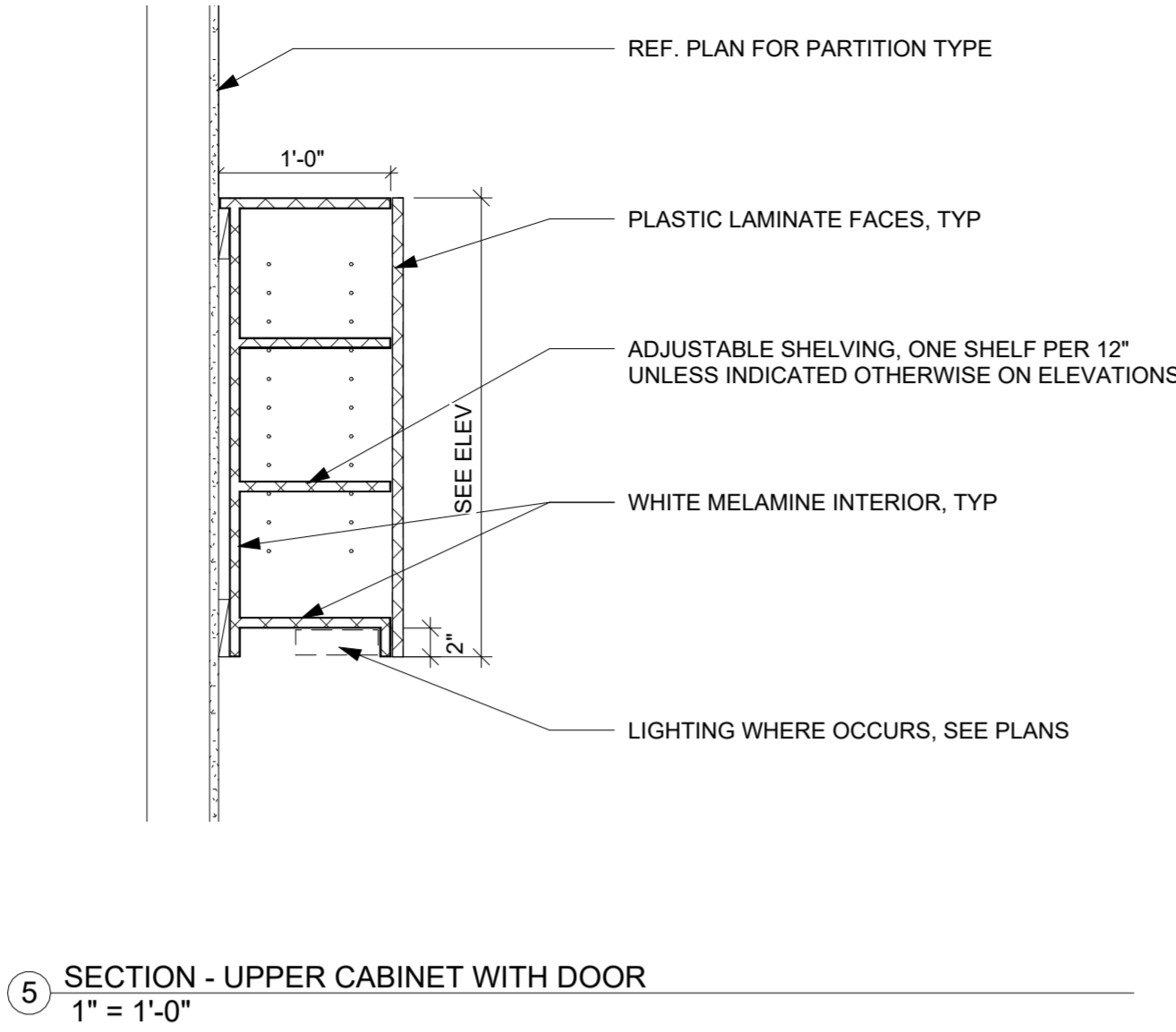
Sheet No. **A602**



WOODBURN CITY HALL
BASEMENT REMODEL

CITY OF WOODBURN

270 Montgomery St
Woodburn, OR 97071



Issue	Revision	Date
BID SET		4/15/2024

INTERIOR DETAILS

Scale As indicated

Date 4/15/2024

Sheet No. **A603**

ROOM FINISH SCHEDULE									
NUMBER	NAME	FLOOR FINISH	BASE	NORTH	SOUTH	EAST	WEST	CEILING	COMMENTS
BASEMENT									
003	OFFICE	CPT-1	RB-1	PT-3	PT-1	PT-1	PT-1		
004	OFFICE	CPT-1	RB-1	PT-3	PT-1	PT-1	PT-1		
005	OFFICE	CPT-1	RB-1	PT-3	PT-1	PT-1	PT-1		
006	OFFICE	CPT-1	RB-1	PT-3	PT-1	PT-1	PT-1		
007	OPEN OFFICE	CPT-1/CPT-2	RB-1	PT-1	PT-1	PT-1	PT-3		
009	BUILDING DEPT WORK AREA	CPT-1/CPT-2	RB-1	PT-1	PT-1	PT-1	PT-3		
009A	PLAN REVIEW	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1		
010	HALLWAY	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1		
010	JAN	RF-1	RB-2	PT-1	PT-1	PT-1	PT-1		
014	TOILET	RF-1	RB-2/CT-1	PT-1	CT-1	PT-1	PT-1	PT-2	
019	I.T. DEPT	EXISTING							NO WORK
028	TOILET	RF-1	RB-2/CT-1	PT-1	PT-1	CT-1	PT-1	PT-2	
029	RESPITE	RF-1	RB-2	PT-1	PT-1	PT-1	PT-1	PT-2	
030	BINS	RF-1	RB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
031	S. STAIR	CPT-1/RST	RB-1/RSST						
032	N. STAIR	CPT-1/RST	RB-1/RSST						
033	ELEVATOR								NO WORK
034	ELEC	EXISTING	RB-1	PT-1	PT-1	PT-1	PT-1	(E)	AT NEW WALLS
035	ZOOM	CPT-1	RB-1	PT-1	PT-1	PT-3	PT-1		

DOOR SCHEDULE										
DOOR NUMBER	TYPE	DOOR			FIRE RATING	FRAME				COMMENTS
		WIDTH	HEIGHT	FINISH		MATERIAL	FINISH	COLOR	HARDWARE	
003	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT	PT-	3	D
004	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		3	D
005	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		3	D
006	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		3	D
009A	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		3	F, D
009B	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		1	
009C	N/A	0"	0"							G
010	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT			
014	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		2	A, H
019	(E)	3'-0"	7'-0"	PAINT PT-6		PFS	PAINT			B, C, D
028	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		2	A, H
029	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		2	A, D
034	D1	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		1	
035	D2 (E)	3'-0"	7'-0"	LIGHT MAPLE		PFS	PAINT		3	D, E



WOODBURN CITY HALL
BASEMENT REMODEL

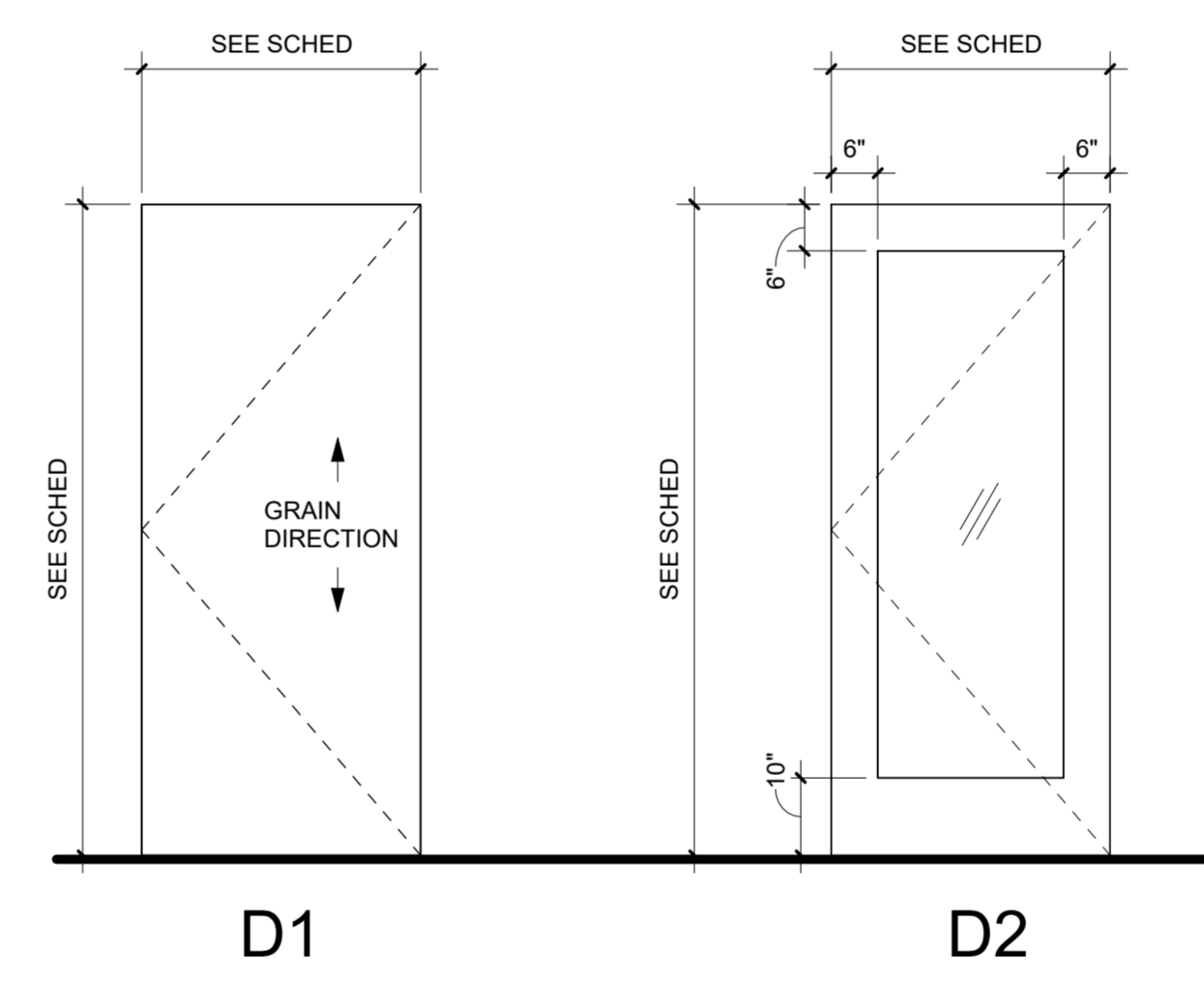
CITY OF WOODBURN

270 Montgomery St
Woodburn, OR 97071

MATERIAL & FINISH LEGEND

CODE	MFGR.	DESCRIPTION	COLOR/FINISH	SPEC NOTES	LOCATIONS	NOTES
PL-1	WILSONART	CABINET FACES	MANITOBA MAPLE 7911-60	MATTE	CASEWORK	
PL-2	WILSONART	COUNTERS, BACK SPLASHES	STEEL MESH 4879-38	FINE VELVET FINISH	CASEWORK	
ACT-1	ARMSTRONG	ACOUSTIC CEILING TILE: CIRRUS SECOND LOOK BEVELED TEGULAR TILE, ITEM 510, PATTERN II. SIZE 24"x48". GRID: SUPRAFINA XL 9/16" EXPOSED TEE	WHITE	GRID COLOR TO MATCH TILE		
CPT-1	SHAW	DIALOGUE	TRANSLATE 5T408, PHRASE 05510	65% HERRINGBONE INSTALL	THROUGHOUT	LAYOUT PLAN PROVIDED BY ARCHITECT
CPT-2	SHAW	DIALOGUE	TRANSLATE 5T408, QUP 05485	35% HERRINGBONE INSTALL	THROUGHOUT	
RF-1	MARMOELUM REAL	RESILIENT FLOOR	3048 GRAPHITE	HEAT WELD SEAMS TO MATCH		
RB-1	JOHNSONITE	4" RUBBER COVE BASE	IRON MOUNTAIN CG			
RB-2	JOHNSONITE	6" RUBBER COVE BASE	IRON MOUNTAIN CG		TOILET ROOMS	
PT-1	SHERWIN WILLIAMS	GENERAL WALL PAINT	5760W WHITE SHADOW	SATIN FINISH	SEE SCHED	EPOXY AT RESTROOMS
PT-2	SHERWIN WILLIAMS	CEILING PAINT	SW4004 SNOWBOUND	FLAT FINISH	SEE SCHED	
PT-3	BENJAMIN MOORE	ACCENT COLOR	AF-425 ANJOU PEAR	SEMI GLOSS	SEE SCHED	
PT-4	SHERWIN WILLIAMS			SATIN FINISH		ALL EXCEPT WALLS WITH PLUMBING FIXTURES
PT-5	BENJAMIN MOORE	ACCENT AT OFFICES	2136-40 AEGEAN TEAL	SATIN FINISH		
PT-6	SHERWIN WILLIAMS	PAINTED DOORS	SW7020 BLACK FOX	SEMI GLOSS FINISH		
CT-1	AMERICAN OLEAN	COLOR STORY WALL 4X12 TILE	TRANQUILITY 0059 GLOSSY			RR WALLS WITH PLUMBING FIXTURES
R-SST	JOHNSONITE	STAIR 'STRINGER' MATERIAL	IRON MOUNTAIN CG			N & S STAIRS
RST	KOLAY FLOORING	RESILIENT STAIR TREAD 9" x 48" 5.5mm 12mil WL SPC CLICK + KAI	KSG 063-12 TAVERN EMBOSSING: DEEP			N & S STAIRS

DOOR TYPES



GENERAL NOTES

- SEE PROJECT MANUAL SPECIFICATIONS FOR DOOR HARDWARE INFORMATION AND INSTALLATION; FOLLOW GUIDELINES BELOW FOR HARDWARE SETS
- ALL DOORS, OPERATING HARDWARE, OPENING PRESSURE AND CLEARANCES TO BE ADA COMPLIANT.
- ALL EGRESS DOORS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- CONTRACTOR TO VERIFY ALL DOOR HEIGHTS AND WIDTHS.
- PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE
- BLANK FIELDS IN DOOR SCHEDULE INDICATE EXISTING TO REMAIN, UNO.
- ALL DOOR FRAMES TO HAVE 3" CLEAR FROM WALL ON SWING SIDE UNO
- FIELDS LEFT BLANK INDICATE NO WORK TO BE COMPLETED
- DOOR FRAME TO MATCH ADJACENT WALL COLOR.
- NEW DOORS: MAPLE; MATCH FLOOR 1 FOR GRAIN DIRECTION AND CUT.
- PROVIDE NEW HARDWARE AT ALL NEW DOORS AND AS NOTED AT (EX) DOORS.
- ALL DOORS TO HAVE FLOOR STOP; LOCATE CLOSER TO WALL/OUT OF TRAFFIC WHERE NEEDED
- BLANK FIELDS INDICATE NO WORK

ABBREVIATIONS

AL	ALUMINUM
ALWD	ALUMINUM CLAD WOOD
CS	CLEAR SEAL
CSMF	CLEAR SEAL BY MANUFACTURER
CTG	CLEAR TEMPERED GLAZING
E	EXISTING
FTG	FROSTED TEMPERED GLASS
FG	FIRE GLAZING
FR	FIRE RATED
HM	HOLLOW METAL
KDF	METAL KNOCKDOWN FRAME
MFR	MANUFACTURER
PFS	PREFINISHED STEEL (KNOCKDOWN FRAME)
PT	PAINT
WD	WOOD

COMMENTS

- PROVIDE DEADBOLT OCCUPANCY INDICATOR AS NOTED (RESTROOMS, RESPITE)
- PAINT DOOR AND TRIM PT-6 AND INSTALL NEW KICKPLATE: METAL PLATE 24" W x 34" H, SATIN STAINLESS STEEL
- MAINTAIN ACCESS CONTROL
- UNDERCUT DOOR 3/4" TO FACILITATE RETURN AIR AT EVERY DOOR THAT REQUIRES, SEE A101 NOTE 16
- RELOCATE EXISTING DOOR. OBTAIN DOOR FROM OWNER.
- SALVAGE AND REUSE (E) CODE KEY LOCK ON BASEMENT OFFICE ENTRY FOR NEW SUITE ENTRY
- AT THIS LOCATION: (E) DOOR AND FRAME REMOVED; FINISH OPENING WITH SMOOTH GYPSUM AND PAINT, SCHEDULED RB.
- PROVIDE CLOSER AT RESTROOM DOOR.

HARDWARE SCHEDULE

- GROUP 1: 009B, 034
- 3 EA HINGES
 - 1 EA CLASSROOM PASSAGE LEVER
 - 1 EA SCHLAGE; FLOOR STOP: SIM ROCKWOOD LOW DOME FLOOR STOP FIN: SATIN CHROME; MATCH STYLE ON FLOOR 1
 - 1 EA STRIKE
- GROUP 2: 014, 028, 029
- 3 EA HINGES
 - 1 EA PASSAGE LEVER
 - STYLE: SCHLAGE; MATCH STYLE FLOOR 1
 - DEADBOLT W/ OCCUPANCY INDICATOR
 - STYLE: SCHLAGE B571
 - 1 EA FLOOR STOP
 - 1EA STRIKE
 - 1 EA KICKPLATE, HALL SIDE
 - HAGER OR SIM: 190-S-16X34 US32D
- GROUP 3: 009A, 003, 004, 005, 006, 035
- 3 EA HINGES
 - 1 EA ENTRY LOCKSET FUNCTION LEVER
 - 1 EA FLOOR STOP - SCHLAGE; MATCH STYLE FLOOR 1
 - 1 EA STRIKE
 - 1 COAT HOOK
 - BOBRICK
 - B-542
 - SATIN FINISH
- HARDWARE NOTE:** IN GENERAL, MATCH HARDWARE TO MAIN FLOOR.
HANDLE STYLE: SCHLAGE RHODES
FINISH: 626 SATIN CHROME

Issue	Revision	Date
BID SET		4/15/2024

ROOM FINISH SCHEDULE/DOOR HARDWARE

Scale As indicated

Date 4/15/2024

Sheet No. **A700**

HVAC GENERAL NOTES:

- COORDINATE HVAC WORK WITH ALL OTHER TRADES. BEGIN INSTALLATION AND ROUGH-IN AFTER COORDINATION WITH ALL TRADES ASSOCIATED WITH PROJECT SCOPE. COORDINATE HVAC SYSTEMS INSTALLATION WITH BUILDING STRUCTURE, ARCHITECTURAL ASSEMBLIES, SHEET METAL, PIPING SYSTEMS, LIGHTING FIXTURES, CONDUITS, CABLE TRAYS, ETC. REFER TO ALL GENERAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR REWORK ASSOCIATED WITH FAILURE TO COORDINATE.
- PROVIDE A COMPLETE HVAC SYSTEM INCLUDING SUPPLY, RETURN, EXHAUST, AND VENTILATION DUCTWORK; MECHANICAL EQUIPMENT, SUPPORTS, HANGERS, DIFFUSERS, GRILLES, REGISTERS AND ALL APPURTENANCES. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. SIZING AND INSTALLATION OF HVAC SYSTEMS TO MEET ALL STATE AND LOCAL CODES AND PROJECT REQUIREMENTS.
- DRAWING PLANS, SCHEMATICS AND DIAGRAMS INDICATE GENERAL LOCATION AND ARRANGEMENT OF DUCT SYSTEM. INDICATED DUCT LOCATIONS, CONFIGURATIONS AND ARRANGEMENTS WERE USED FOR DUCT SIZING. CALCULATING FRICTION LOSS AND FOR OTHER DESIGN CONSIDERATIONS. INSTALL DUCT SYSTEMS AS INDICATED UNLESS DEVIATIONS TO LAYOUT ARE APPROVED BY ARCHITECT/ENGINEER.
- INCORPORATE MECHANICAL DRAWINGS, SPECIFICATIONS, STATE AND LOCAL CODES, AND PROJECT STANDARDS INTO WORK.
- ALL DUCT DIMENSIONS INDICATED ARE INTERIOR FREE AREA DUCT DIMENSIONS AND DO NOT INCLUDE INSULATION REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR MAKING PENETRATIONS WHERE REQUIRED IN EXISTING WALLS, FLOORS, CEILINGS AND ROOFS. MAKE PENETRATIONS NEAT. PATCH, CONCEAL OR CAULK ALL OVERCUT TO PREVENT NOISE TRANSFER BETWEEN SPACES. COVER EXPOSED WALL PENETRATIONS WITH ESCUTCHEONS OR SHEET METAL AS APPROPRIATE. SEAL ALL WALL AND FLOOR DUCT PENETRATIONS.
- REFER TO ARCHITECTURAL SPECIFICATIONS FOR THROUGH-PENETRATION FIRESTOPPING AND TO ARCHITECTURAL CODE PLAN FOR FIRE RATED WALLS, FLOORS AND CEILINGS. CONTRACTOR IS RESPONSIBLE TO FIRESTOP PENETRATIONS THROUGH RATED ASSEMBLIES. PROVIDE FIRE CAULKING FOR PENETRATIONS OF FIRE RATED ASSEMBLIES.
- CONTINUE DUCT AND PIPE INSULATION UNBROKEN THROUGH WALLS, FLOORS AND CEILING PENETRATIONS, EXCEPT WHERE FIRE OR FIRE/SMOKE DAMPERS ARE INSTALLED IN DUCTWORK. SEAL AROUND DUCT INSULATION AT WALL PENETRATIONS.
- CREATE OPENINGS IN BUILDING AS REQUIRED TO REMOVE EXISTING BUILDING COMPONENTS AND BRING IN NEW EQUIPMENT. PATCH ALL OPENINGS CREATED. PATCH FINISH TO MATCH EXISTING CONDITIONS. INCLUDE THIS WORK IN BID.

MECHANICAL SHEET LIST	
M000	GENERAL NOTES & SYMBOLS
M011	FLOOR PLAN - BASEMENT - HVAC DEMO
M012	FLOOR PLAN - BASEMENT - PIPING DEMO
M100	FLOOR PLAN - BASEMENT - HVAC
M101	FLOOR PLAN - BASEMENT - PIPING
M400	MECHANICAL DETAILS
M600	MECHANICAL SCHEDULES
M601	MECHANICAL SCHEDULES

HVAC SYMBOLS	
RECT. RND. OVAL	
	SUPPLY DUCT (UP/DOWN/SECTION)
	RETURN DUCT (UP/DOWN/SECTION)
	EXHAUST DUCT (UP/DOWN/SECTION)
	RECTANGULAR DUCT
	ROUND DUCT
	OVAL DUCT
	FLEX DUCT
	SUPPLY DIFFUSER
	RETURN GRILLE
	EXHAUST GRILLE
	LINEAR SLOT DIFFUSER
	SIDEWALL GRILLE
	ROUND DIFFUSER
	EXTERIOR LOUVER
	VOLUME DAMPER
	OPPOSED BLADE DAMPER
	PARALLEL BLADE DAMPER
	FIRE DAMPER
	SMOKE DAMPER
	FIRE/SMOKE DAMPER
	MOTORIZED ACTUATOR
	THERMOSTAT
	CARBON MONOXIDE SENSOR
	HUMIDISTAT

HVAC PIPING LEGEND	
CD	CONDENSATE DRAIN
RG	REFRIGERANT GAS
RL	REFRIGERANT LIQUID

HVAC PIPING SYMBOLS			
SINGLE LINE		DOUBLE LINE	
		THREADED	WELDED
	90° ELBOW		
	TEE		
	REDUCER		
	CAP		

HVAC DEMOLITION NOTES:

- MECHANICAL DEMOLITION DRAWINGS SHOWING EXISTING CONDITIONS HAVE BEEN PREPARED BASED ON NON-DESTRUCTIVE SITE OBSERVATIONS AND AS-BUILT DOCUMENTS PROVIDED BY THE OWNER. CONTRACTOR TO FIELD VERIFY EXISTING SYSTEMS PRIOR TO BEGINNING WORK. NOTIFY ARCHITECT/ENGINEER IF EXISTING CONDITIONS ARE MATERIALLY DIFFERENT THAN THOSE SHOWN ON THE DRAWINGS.
- BE FAMILIAR WITH EXISTING MECHANICAL SYSTEMS THAT WILL BE AFFECTED BY THE DEMOLITION WORK. OBTAIN PERMISSION FROM THE OWNER'S REPRESENTATIVE TO SHUT OFF SERVICES OR SYSTEMS THAT AFFECT AREAS BEYOND THE LIMITS OF THE IMMEDIATE DEMOLITION AREA. INFORM THE OWNER'S REPRESENTATIVE OF THE REASON FOR AND DURATION OF THE SHUTDOWN. MINIMIZE IMPACT TO OTHER AREAS. PROCEED WITH THE SHUTDOWN AFTER PERMISSION FROM THE OWNER IS GRANTED.
- REMOVE DUCTWORK, PIPING, HANGERS, GRILLES, REGISTERS, DIFFUSERS, ETC. THAT ARE INDICATED TO BE REMOVED. PERFORM WORK IN A TIMELY MANNER AND IN ACCORDANCE WITH THE GENERAL DEMOLITION SPECIFICATIONS. COORDINATE WITH THE OWNER AND OTHER CONTRACTORS.
- UNLESS EQUIPMENT NOTED AS OWNER'S SALVAGE, DISPOSE OF REMOVED EQUIPMENT AND MATERIALS PROMPTLY.
- REMOVE ALL ABANDONED PIPING AND DUCTWORK THAT IS EXPOSED OR ACCESSIBLE WITHOUT WALL OR CEILING DEMOLITION. REFER TO ARCHITECTURAL PLANS FOR CEILINGS TO BE REMOVED.
- REPAIR OR REPLACE TELECOMMUNICATIONS FACILITIES OR EQUIPMENT FOUND TO BE DAMAGED OR NON-FUNCTIONAL AFTER SUBSTANTIAL COMPLETION.

NOTE: ALL SYMBOLS MAY NOT APPLY TO THIS PROJECT

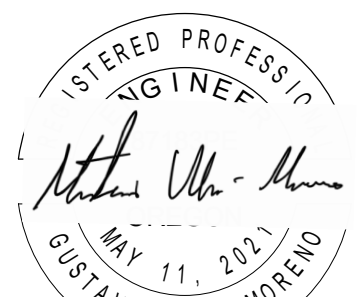
GENERAL SYMBOLS	
	EXISTING LINEWORK TO BE SHOWN AS "HALFTONE"
	NEW LINEWORK TO BE SHOWN AS BOLD AND BLACK
	DEMOLITION LINEWORK TO BE SHOWN AS BOLD DASHED AND BLACK
	HIDDEN LINEWORK TO BE SHOWN AS THIN DASHED AND BLACK
	NEW POINT OF CONNECTION
	POINT OF DISCONNECT
	KEYNOTE
	EQUIPMENT IDENTIFICATION (Phase Tag)

HVAC ABBREVIATIONS			
ABSORP	ABSORPTION	FPS	FEET PER SECOND
ACU	AIR CONDITIONING UNIT	FSEC	FOOD SERVICE EQUIP. CONSULT.
AD	ACCESS DOOR OR AREA DRAIN	FT	FINTUBE
AFF	ABOVE FINISHED FLOOR	FTG	FOOTING
AFG	ABOVE FINISHED GRADE	GA	GAGE
AHU	AIR HANDLING UNIT	GAL	GALLON
AV	AIR VENT	GALV	GALVANIZED
BOP	BOTTOM OF PIPE	GC	GENERAL CONTRACTOR
BOT	BOTTOM	GPH	GALLONS PER HOUR
BTU	BRITISH THERMAL UNIT	GPM	GALLONS PER MINUTE
BTUH	BUT PER HOUR	HR	HOUR
BV	BALL VALVE	HTG	HEATING
CA	COMPRESSED AIR	ISP	INTERNAL STATIC PRESSURE
CENT	CENTRIFUGAL	JR	JANITOR RECEPTOR
CFM	CUBIC FEET PER MINUTE	LDBT	LEAVING DRY BULB TEMP.
CL	CENTER LINE	LWBt	LEAVING WET BULB TEMP.
CO	CLEANOUT	LWT	LEAVING WATER TEMPERATURE
CONC	CONCRETE	MBH	1000 BTUH
CD	CONDENSATE	MC	MECHANICAL CONTRACTOR
CONTR	CONTRACTOR	MECH	MECHANICAL
CP	CONDENSATE PUMP	MH	MANHOLE
CU	COPPER	NTS	NOT TO SCALE
CUH	CABINET UNIT HEATER	OA	OUTSIDE AIR
DDC	DIRECT DIGITAL CONTROLS	PC	PLUMBING CONTRACTOR
DN	DOWN	PRV	PRESSURE REDUCING VALVE
EA	EXHAUST AIR	PRV	POWER ROOF VENTILATOR
EAT	EXHAUST AIR TEMPERATURE	PSI	POUNDS PER SQUARE INCH
EC	ELECTRICAL CONTRACTOR	PV	PRESSURE VENT
EDBT	ENTERING DRY BULB TEMP.	PVC	POLYVINYL CHLORIDE
EF	EXHAUST FAN	RA	RETURN AIR
EJ	EXPANSION JOINT	RH	RELATIVE HUMIDITY
EQUIP	EQUIPMENT	RTU	ROOF TOP UNIT
EST	EXTERNAL STATIC PRESSURE	RV	RELIEF VALVE
EWBT	ENTERING WET BULB TEMP.	RVT	ROOF VENT TERMINATION
EWT	ENTERING WATER TEMPERATURE	SA	SUPPLY AIR
EX	EXISTING	TA	TRANSFER AIR
EXH	EXHAUST	TCC	TEMP. CONTROL CONTRACTOR
EXP	EXPANSION	TYP	TYPICAL
FAI	FRESH AIR INTAKE	UH	UNIT HEATER
FCU	FAN COIL UNIT	UV	UNIT VENTILATOR
FDC	FIRE DEPARTMENT CONNECTION	VA	VENTILATION AIR
FLEX	FLEXIBLE	WB	WALL BOX - CONDENSATE
FBM	FEET PER MINUTE		

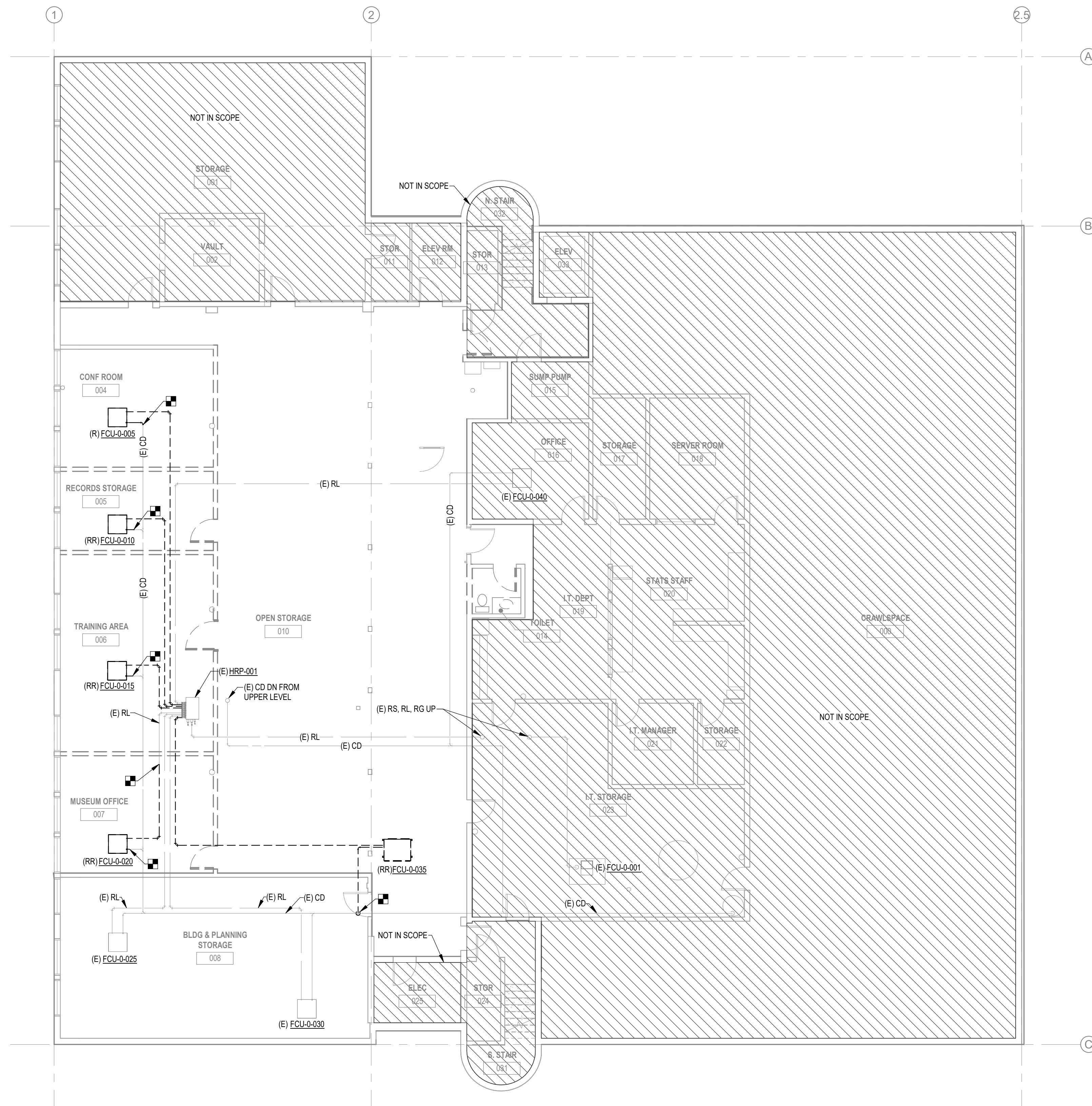
ELEMENT PHASE ABBREVIATIONS	
(E)	EXISTING ITEM TO REMAIN
(ER)	NEW LOCATION OF EXISTING ITEM
(N)	NEW ITEM IN EXISTING LOCATION
(R)	EXISTING ITEM TO BE REMOVED, PATCH AND/OR COVER
(RN)	REPLACE EXISTING ITEM WITH NEW
(RR)	EXISTING ITEM TO BE REMOVED AND RELOCATED

CONTACT 811 BEFORE YOU DIG:

UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN SHOWN BASED UPON INFORMATION OBTAINED FROM FIELD LOCATIONS BY UTILITY COMPANIES, AVAILABLE SURVEYS AND RECORDS. THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS ALSO POSSIBLE THAT THERE MAY BE OTHER UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES IN EXISTENCE THAT ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF EACH INDIVIDUAL PARTY REFERENCING THIS PLAN TO DETERMINE THE EXACT LOCATION AND TYPE OF UNDERGROUND FACILITIES ON THE SITE. HAND EXCAVATE AT CRITICAL POINTS AS NECESSARY TO VERIFY LOCATIONS, SIZES, ELEVATIONS, FLOW LINES, ETC. IF A PROBLEM OR INTERFERENCE EXISTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING.



EXPIRES: JUN. 30, 2024



GENERAL NOTES:

- A. REFER TO M000 FOR GENERAL NOTES & SYMBOLS.
- B. PATCH WALLS, ROOFS, AND/OR FLOOR WHERE DUCTS, GRILLES, PIPES, OR EQUIPMENT ARE REMOVED. PAINT OR FINISH TO MATCH ORIGINAL CONSTRUCTION.
- C. WHERE DUCTWORK IS REMOVED, REMOVE ALL ASSOCIATED SUPPORTS.
- D. WHERE EQUIPMENT IS REMOVED, REMOVE ALL ASSOCIATED SUPPORTS, DUCTWORK, PIPING, AND CONTROLS.
- E. WHERE CONTROLS ARE REMOVED, REMOVE ALL ASSOCIATED WIRING. PATCH WALL OPENINGS AND PAINT OR FINISH TO MATCH ORIGINAL CONSTRUCTION.
- F. ABBREVIATIONS
 (E) - EXISTING ITEM TO REMAIN
 (ER) - NEW LOCATION OF EXISTING ITEM
 (N) - NEW ITEM IN EXISTING LOCATION
 (R) - EXISTING ITEM TO BE REMOVED, PATCH AND / OR COVER
 (RN) - REPLACE EXISTING ITEM WITH NEW
 (RR) - EXISTING ITEM TO BE REMOVED AND RELOCATED

**WOODBURN CITY HALL
 BASEMENT REMODEL**

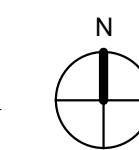
CITY OF WOODBURN

270 Montgomery St
 Woodburn, OR 97071



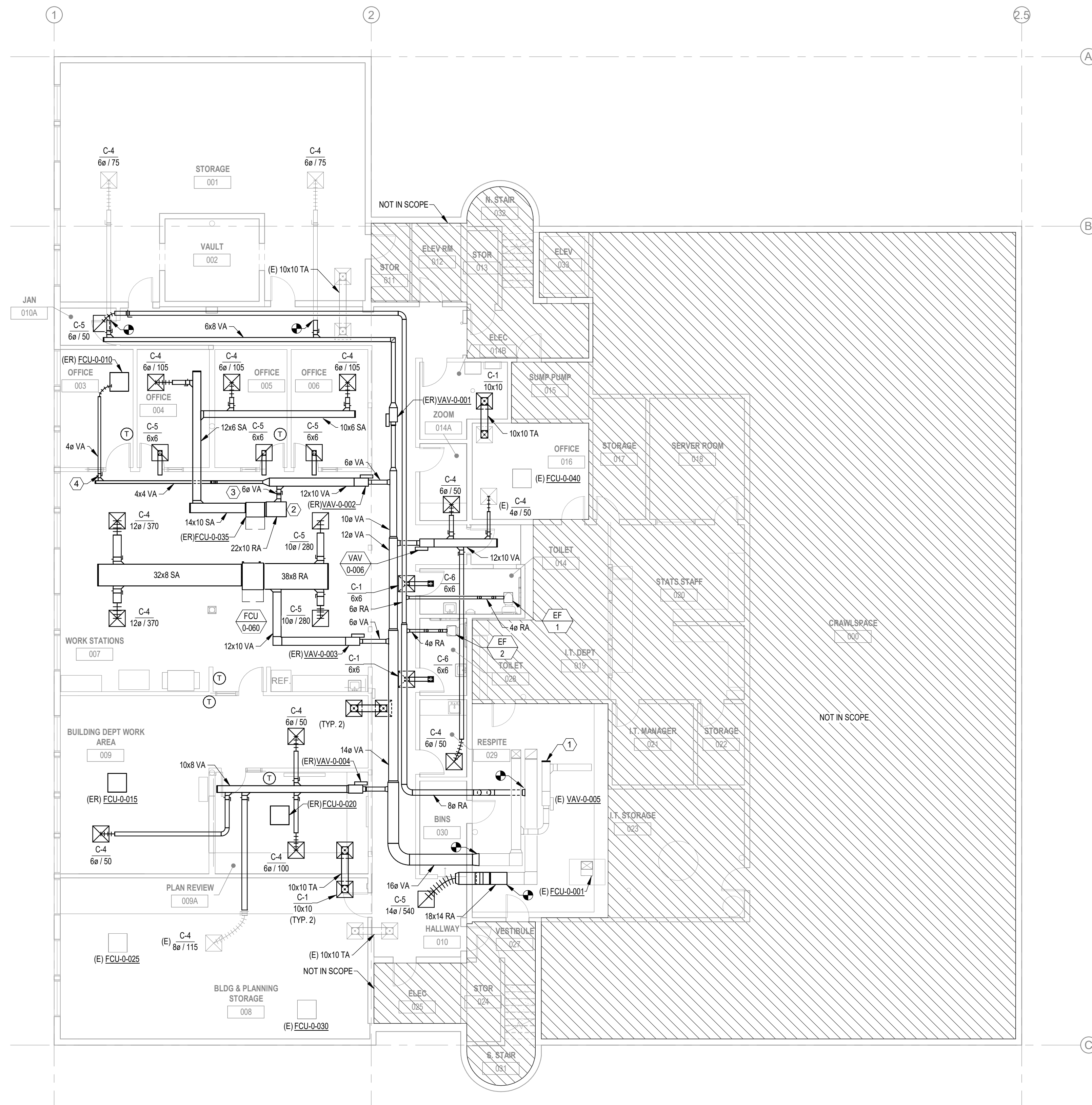
Issue	Revision	Date
Bid Set		4/15/2024

① **BASEMENT - DEMOLITION - PIPING - FLOOR PLAN**
 1/8" = 1'-0"



**FLOOR PLAN -
 BASEMENT - PIPING
 DEMO**

Scale 1/8" = 1'-0"
 Date 4/15/2024
 Sheet No. **M012**



GENERAL NOTES:

- A. REFER TO M000 FOR GENERAL NOTES & SYMBOLS.
- B. REFER TO M400 FOR MECHANICAL DETAILS.
- C. REFER TO M500 FOR CONTROLS SEQUENCES AND DIAGRAMS.
- D. REFER TO M800 FOR MECHANICAL SCHEDULES.
- E. BRANCH DUCT SIZES TO AIR TERMINALS SHALL MATCH NECK SIZE OF GRILLE, REGISTER, OR DIFFUSER UNLESS NOTED OTHERWISE.
- F. MAXIMUM FLEXIBLE DUCT LENGTH TO DIFFUSERS SHALL BE 60', WITH MAXIMUM OF ONE 90 DEGREE ELBOW.
- G. BRANCH DUCT SIZES TO TERMINAL AIR BOXES SHALL MATCH INLET SIZE, UNLESS NOTED OTHERWISE.
- H. ABBREVIATIONS
 (E) - EXISTING ITEM TO REMAIN
 (ER) - NEW LOCATION OF EXISTING ITEM
 (N) - NEW ITEM IN EXISTING LOCATION
 (R) - EXISTING ITEM TO BE REMOVED, PATCH AND / OR COVER
 (RN) - REPLACE EXISTING ITEM WITH NEW
 (RR) - EXISTING ITEM TO BE REMOVED AND RELOCATED

KEYNOTES

- 1 CAP EXISTING DUCT.
- 2 CAP RETURN DUCT WITH WIRE MESH.
- 3 BALANCE TO 150 CFM.
- 4 BALANCE TO 90 CFM.

**WOODBURN CITY HALL
 BASEMENT REMODEL**

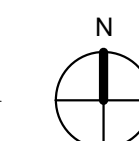
CITY OF WOODBURN

270 Montgomery St
 Woodburn, OR 97071



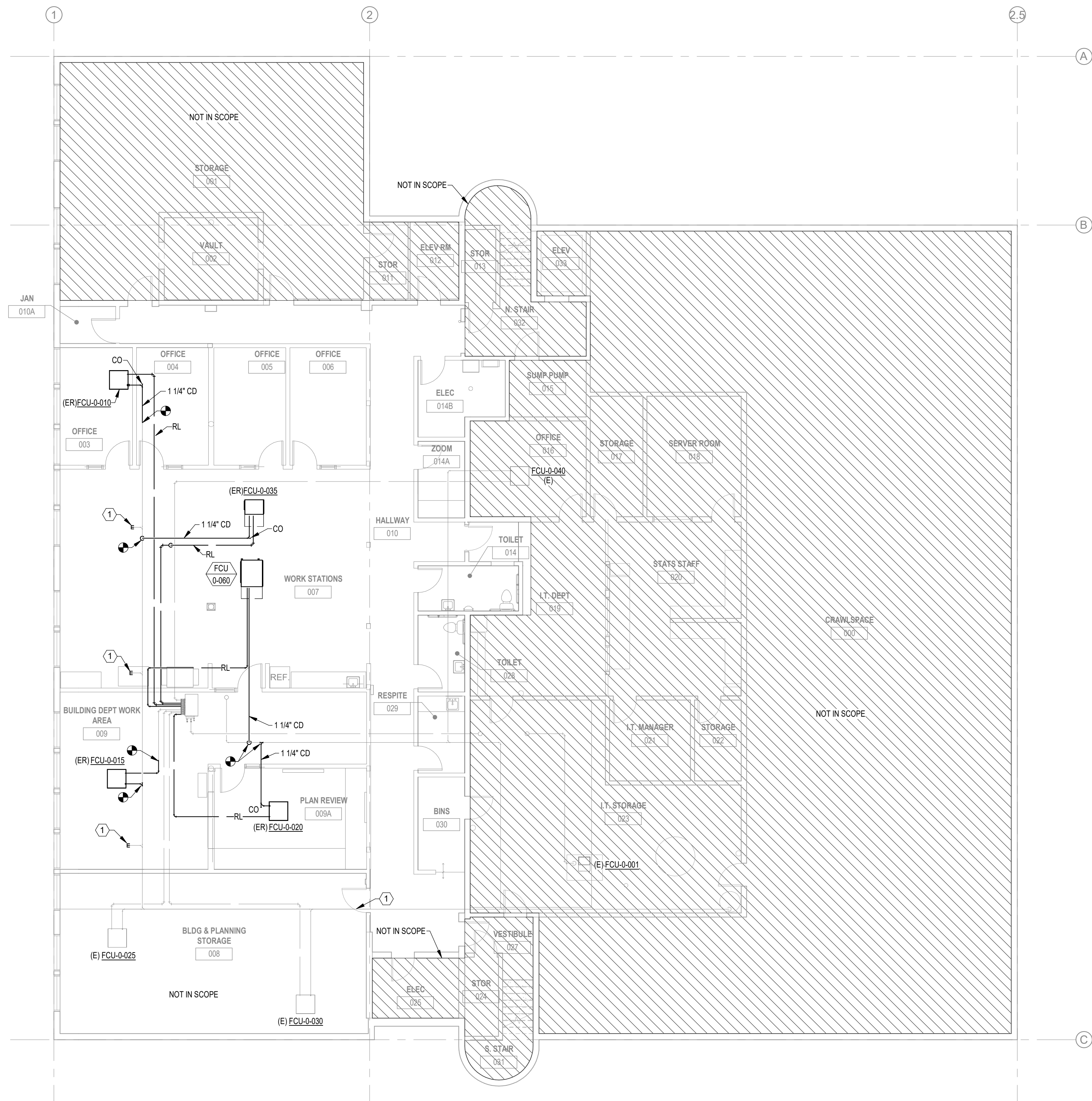
Issue	Revision	Date
Bid Set		4/15/2024

① **BASEMENT - HVAC - FLOOR PLAN**
 1/8" = 1'-0"



**FLOOR PLAN -
 BASEMENT - HVAC**

Scale As indicated
 Date 4/15/2024
 Sheet No. **M100**



GENERAL NOTES:

- A. REFER TO M000 FOR GENERAL NOTES & SYMBOLS.
- B. REFER TO M400 FOR MECHANICAL DETAILS.
- C. REFER TO M500 FOR MECHANICAL CONTROLS.
- D. REFER TO M800 FOR MECHANICAL SCHEDULES.
- E. COORDINATE PIPE ROUTING WITH DUCTWORK. DUCTWORK HAS PRIORITY OVER PRESSURE PIPING.
- F. BRANCH PIPING SHALL BE TAKEN OFF THE TOP OF MAIN PIPING.
- G. SIZE AND ROUTE REFRIGERANT PIPING PER MANUFACTURER RECOMMENDATIONS.
- H. ABBREVIATIONS
 (E) - EXISTING ITEM TO REMAIN
 (ER) - NEW LOCATION OF EXISTING ITEM
 (N) - NEW ITEM IN EXISTING LOCATION
 (R) - EXISTING ITEM TO BE REMOVED, PATCH AND / OR COVER
 (RN) - REPLACE EXISTING ITEM WITH NEW
 (RR) - EXISTING ITEM TO BE REMOVED AND RELOCATED

KEYNOTES

- 1 # CAP EXISTING CONDENSATE BRANCH.

**WOODBURN CITY HALL
 BASEMENT REMODEL**

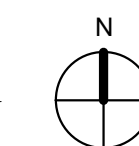
CITY OF WOODBURN

270 Montgomery St
 Woodburn, OR 97071



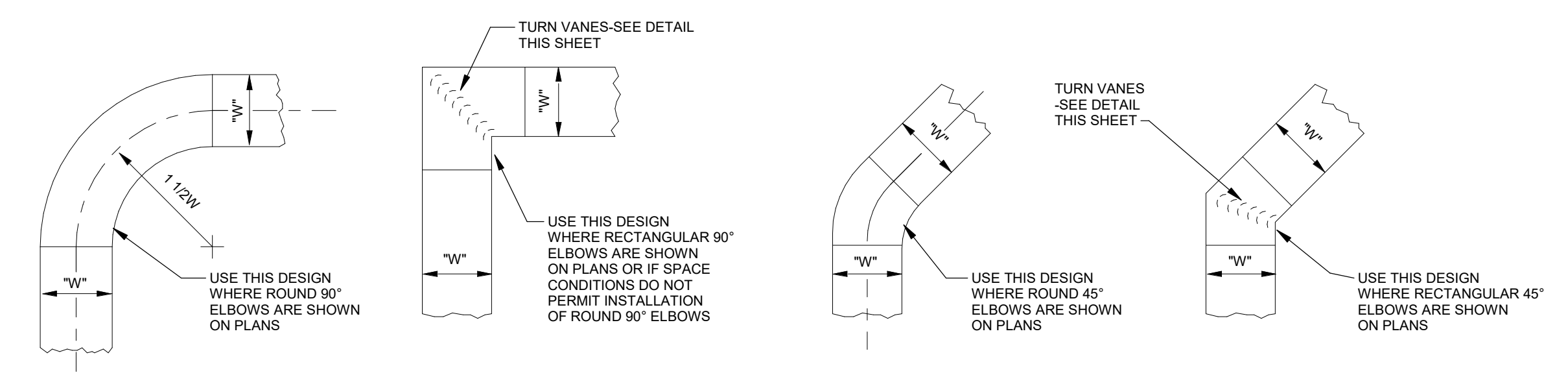
Issue	Revision	Date
Bid Set		4/15/2024

① **BASEMENT - PIPING - FLOOR PLAN**
 1/8" = 1'-0"

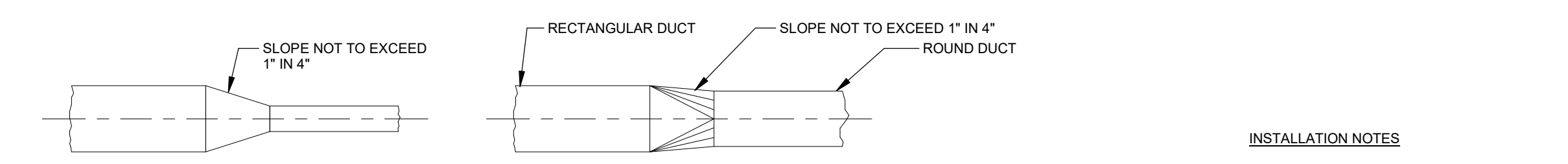


**FLOOR PLAN -
 BASEMENT - PIPING**

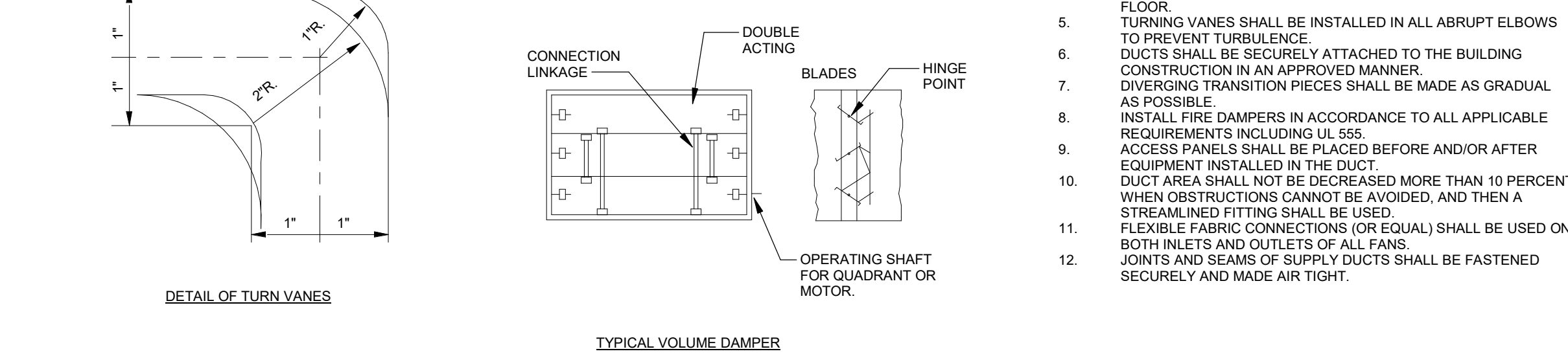
Scale As indicated
 Date 4/15/2024
 Sheet No. **M101**



ROUND OF 90° ELBOW **RECTANGULAR 90° ELBOW** **ROUND OF 45° ELBOW** **RECTANGULAR 45° ELBOW**



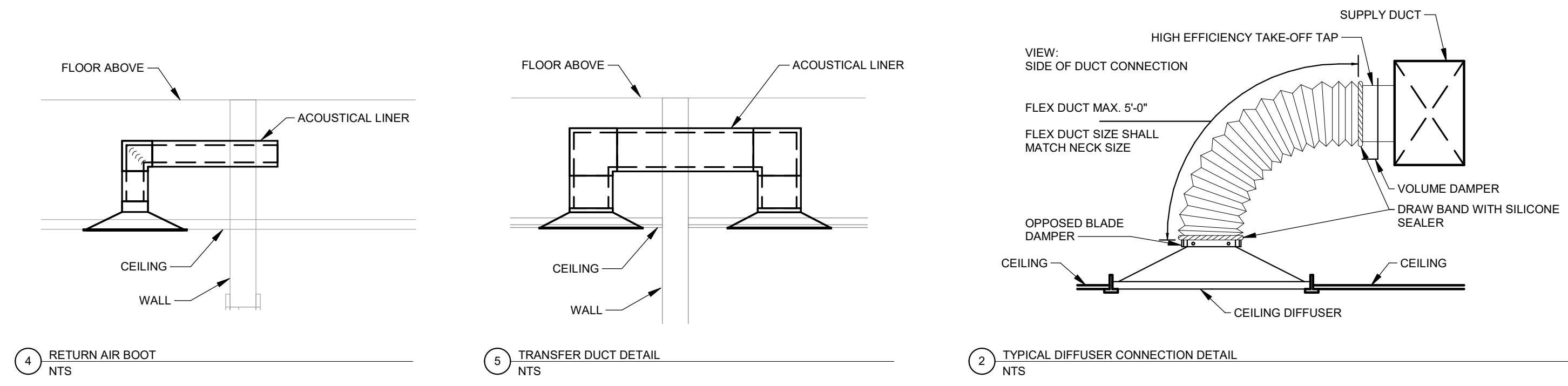
TYPICAL RECTANGULAR TRANSITION **TYPICAL RECTANGULAR TO ROUND TRANSITION**



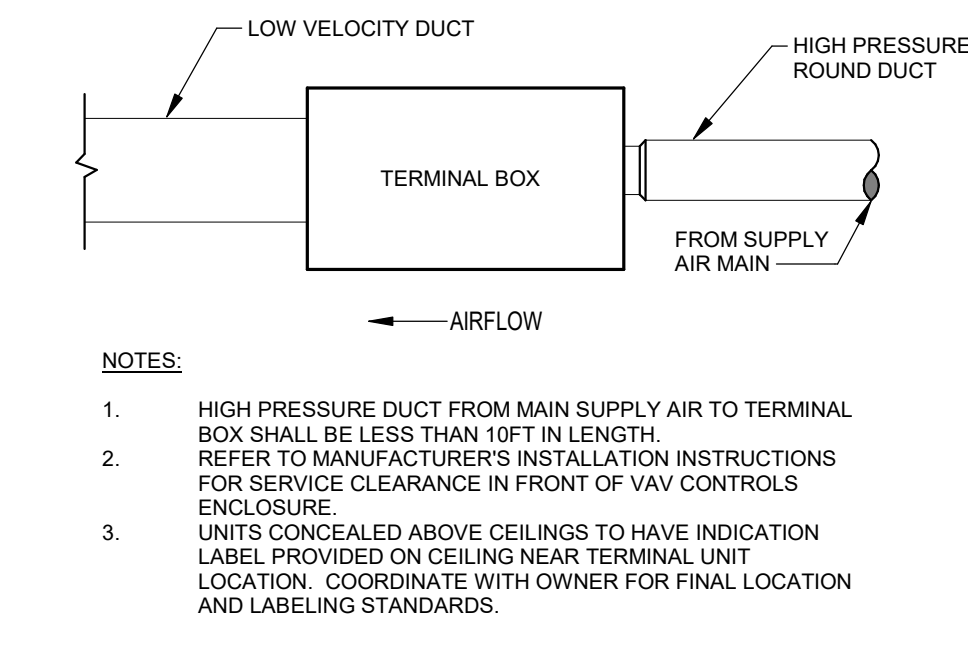
DETAIL OF TURN VANES **TYPICAL VOLUME DAMPER**

- INSTALLATION NOTES**
1. ALL DUCTS SHALL BE CONSTRUCTED AND ERECTED IN A NEAT AND WORKMAN LIKE MANNER.
 2. DUCTS SHALL BE CONSTRUCTED OF THE WEIGHTS, GAGES AND MATERIAL AS SPECIFIED.
 3. THE DIMENSION SHOWN FOR ALL DUCTS SHOWN IN PLAN GIVE THE WIDTH FIRST AND THEN THE HEIGHT.
 4. DUCT RISERS SHOULD BE SUPPORTED BY ANGLES AT EVERY FLOOR.
 5. TURNING VANES SHALL BE INSTALLED IN ALL ABRUPT ELBOWS TO PREVENT TURBULENCE.
 6. DUCTS SHALL BE SECURELY ATTACHED TO THE BUILDING CONSTRUCTION IN AN APPROVED MANNER.
 7. DIVERGING TRANSITION PIECES SHALL BE MADE AS GRADUAL AS POSSIBLE.
 8. INSTALL FIRE DAMPERS IN ACCORDANCE TO ALL APPLICABLE REQUIREMENTS INCLUDING UL 555.
 9. ACCESS PANELS SHALL BE PLACED BEFORE AND/OR AFTER EQUIPMENT INSTALLED IN THE DUCT.
 10. DUCT AREA SHALL NOT BE DECREASED MORE THAN 10 PERCENT WHEN OBSTRUCTIONS CANNOT BE AVOIDED, AND THEN A STREAMLINED FITTING SHALL BE USED.
 11. FLEXIBLE FABRIC CONNECTIONS (OR EQUAL) SHALL BE USED ON BOTH INLETS AND OUTLETS OF ALL FANS.
 12. JOINTS AND SEAMS OF SUPPLY DUCTS SHALL BE FASTENED SECURELY AND MADE AIR TIGHT.

1 LOW VELOCITY DUCT LAYOUT DETAIL
 NTS

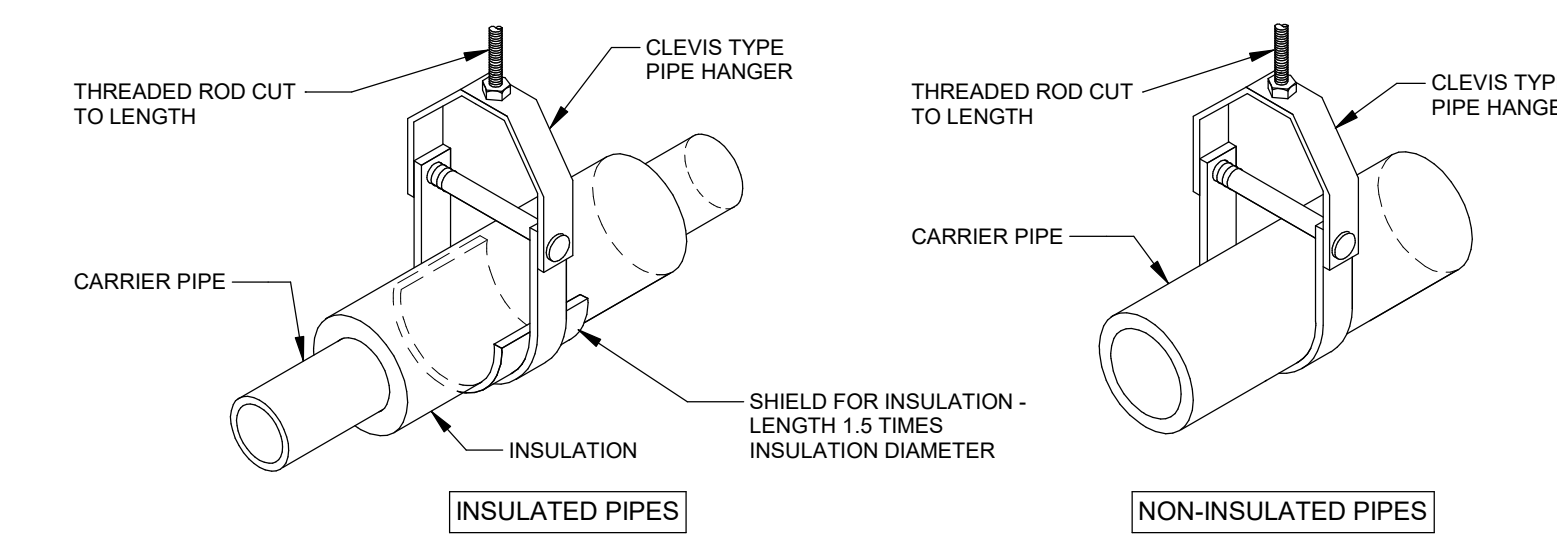


4 RETURN AIR BOOT **5 TRANSFER DUCT DETAIL** **2 TYPICAL DIFFUSER CONNECTION DETAIL**
 NTS NTS NTS

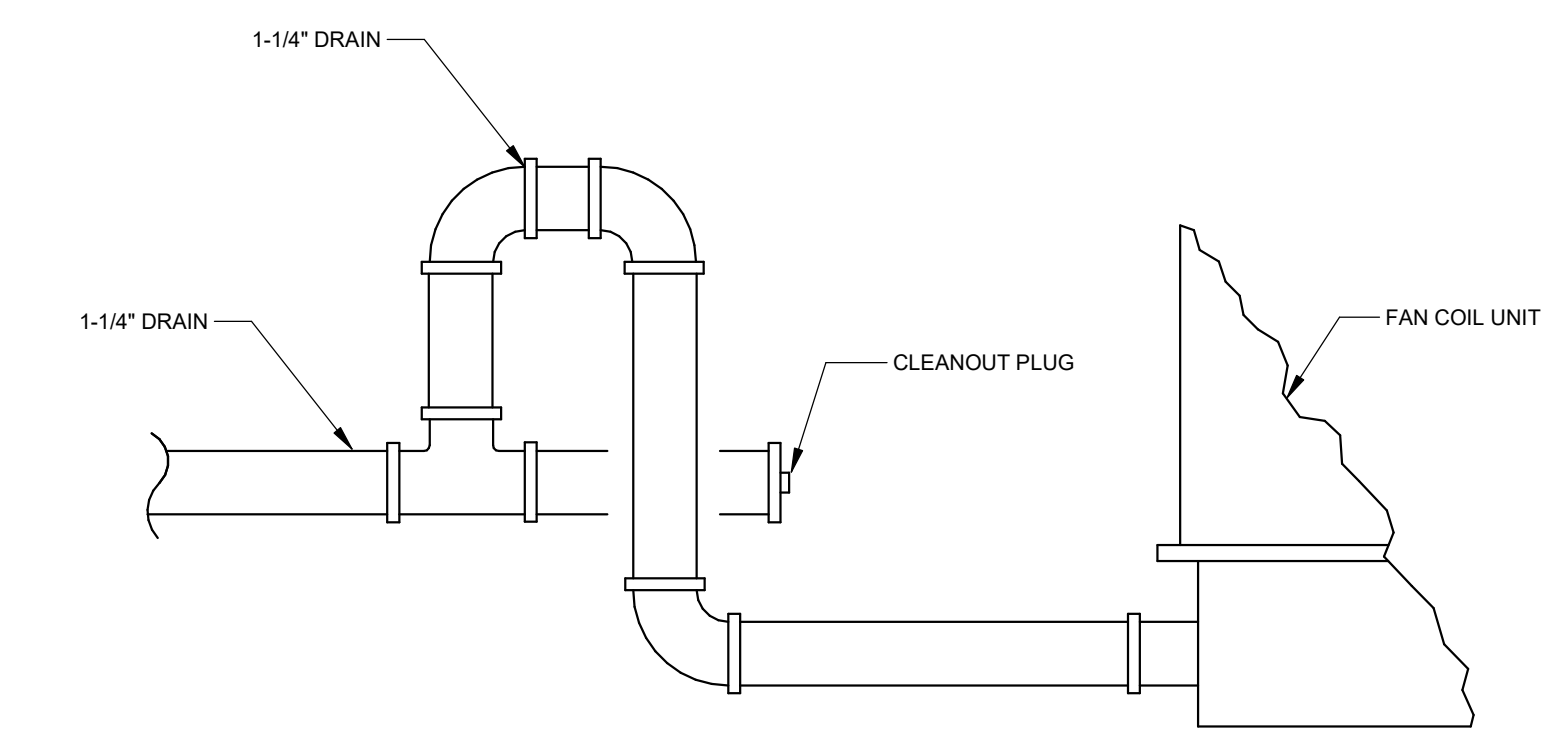


6 VARIABLE AIR VOLUME TERMINAL BOX DETAIL
 NTS

- NOTES:**
1. HIGH PRESSURE DUCT FROM MAIN SUPPLY AIR TO TERMINAL BOX SHALL BE LESS THAN 10FT IN LENGTH.
 2. REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS FOR SERVICE CLEARANCE IN FRONT OF VAV CONTROLS ENCLOSURE.
 3. UNITS CONCEALED ABOVE CEILINGS TO HAVE INDICATION LABEL PROVIDED ON CEILING NEAR TERMINAL UNIT LOCATION. COORDINATE WITH OWNER FOR FINAL LOCATION AND LABELING STANDARDS.



3 CLEVIS TYPE PIPE HANGER DETAIL
 NTS



7 CONDENSATE DRAIN DETAIL
 NTS



Issue	Revision	Date
Bid Set		4/15/2024

MECHANICAL DETAILS

Scale: As indicated

Date: 4/15/2024

Sheet No. **M400**

VENTILATION SCHEDULE - AHU-101

GENERAL:

A. THIS CALCULATION IS BASED ON CHAPTER 4 OF THE OSMC, SECTION 403.3.1.1.2.2 FOR 100-PERCENT OUTDOOR AIR SYSTEMS
 B. WHERE DESIGN OCCUPANCY IS MORE THAN DEFAULT OCCUPANCY, THE VALUE WAS DETERMINED BY FURNITURE PLAN

NOTES:

1. EXISTING VENTILATION RATE TO REMAIN. POST-BALANCE AND PRE-BALANCE AIRFLOWS TO MATCH.
2. NEW ROOM AND VENTILATION RATE PER NEW FLOOR PLAN.
3. REVISED AIRFLOW RATE FROM ORIGINAL AIRFLOW.

ROOM NAME	OCCUPANCY CATEGORY	FLOOR AREA (SF) (AZ)	OCCUPANT DENSITY (PEOPLE/1000SF)	DEFAULT OCCUPANCY (PEOPLE)	DESIGN OCCUPANCY (PEOPLE)	PEOPLE OUDOOR AIRFLOW RATE IN BREATHING ZONE (RP CFM/PERSON)	AREA OUTDOOR AIRFLOW RATE IN BREATHING ZONE (RA CFM/SF)	TOTAL OUTDOOR AIRFLOW RATE IN BREATHING ZONE (CFM) (VBZ)	ZONE AIR DISTRIBUTION EFFECTIVENESS (EZ)	ZONE OUTDOOR AIRFLOW RATE (CFM) (VOZ)	PRIMARY AIRFLOW RATE (CFM)	NOTES
STORAGE 001	Storage rooms	960	0	0.0	0	0	0.12	115.2	0.8	145	150	3
VAULT 002	Storage rooms	135	0	0.0	0	0	0.12	16.2	0.8	25	25	1
OFFICE 003	Office space	115	5	0.6	1	5	0.06	11.9	0.8	15	50	2
OFFICE 004	Office space	115	5	0.6	1	5	0.06	11.9	0.8	15	50	2
OFFICE 005	Office space	115	5	0.6	1	5	0.06	11.9	0.8	15	50	2
OFFICE 006	Office space	115	5	0.6	1	5	0.06	11.9	0.8	15	50	2
WORK STATIONS 007	Office Space	983	5	4.9	8	5	0.06	98.98	0.8	125	170	2
BLDG & PLAN STORAGE 008	Storage rooms	750	0	0.0	0	0	0.12	90	0.8	115	115	3
BLDG DEPT WORK AREA 009	Office space	575	5	2.9	4	5	0.06	54.5	0.8	70	100	2
PLAN REVIEW 009A	Conference rooms	235	50	11.8	6	5	0.06	44.1	0.8	60	100	2
HALLWAY 010	Corridors	745	0	0.0	0	0	0.06	44.7	0.8	60	85	2
JANITOR 010A	Storage rooms	32	0	0.0	0	0	0.12	3.84	0.8	5	5	2
ZOOM 014A	Office space	55	5	0.3	1	5	0.06	8.3	0.8	15	50	2
OFFICE 016	Office space	170	5	0.9	1	5	0.06	15.2	0.8	20	50	1
RESPIRE 029	Office space	55	5	0.3	1	5	0.06	8.3	0.8	15	50	2
IT STORAGE 023	Storage rooms	705	0	0.0	0	0	0.12	84.6	0.8	110	125	2
IT MANAGER 021	Office space	100	5	0.5	1	5	0.06	11	0.8	15	25	1
STORAGE 022	Storage rooms	60	0	0.0	0	0	0.12	7.2	0.8	10	25	1
IT DEPT 019	Office space	317	5	1.6	2	5	0.06	29.02	0.8	40	100	1
STORAGE 017	Storage rooms	100	0	0.0	0	0	0.12	12	0.8	15	25	1
STOR 013	Storage rooms	35	0	0.0	0	0	0.12	4.2	0.8	10	25	1
STOR 011	Storage rooms	55	0	0.0	0	0	0.12	6.6	0.8	10	25	1
CITY ADMIN 101	Office space	225	5	1.1	2	5	0.06	23.5	0.8	30	50	1
MAYOR 102	Office space	120	5	0.6	1	5	0.06	12.2	0.8	20	25	1
CITY ATTORNEY 103	Office space	185	5	0.9	1	5	0.06	16.1	0.8	25	25	1
LEGAL ASSISTANT 106	Office space	360	5	1.8	2	5	0.06	31.6	0.8	40	50	1
VAULT 105	Storage rooms	140	0	0.0	0	0	0.12	16.8	0.8	25	25	1
CITY RECORDER 104	Office space	150	5	0.8	1	5	0.06	14	0.8	20	25	1
FINANCE DEPT 107	Office space	1080	5	5.4	6	5	0.06	94.8	0.8	120	50	1
FINANCE DIRECTOR 109	Office space	155	5	0.8	1	5	0.06	14.3	0.8	20	25	1
ASST CITY ATTORNEY 110	Office space	125	5	0.6	1	5	0.06	12.5	0.8	20	25	1
OFFICE 113	Office space	125	5	0.6	1	5	0.06	12.5	0.8	20	25	1
ACCTG MANAGER 108	Office space	105	5	0.5	1	5	0.06	11.3	0.8	15	25	1
COMM RELATIONS MANAGE...	Office space	130	5	0.7	1	5	0.06	12.8	0.8	20	25	1
HALLWAY 162	Corridors	130	0	0.0	0	0	0.06	7.8	0.8	10	25	1
COMM DEVT 114	Office space	315	5	1.6	8	5	0.06	58.9	0.8	75	75	1
COMM DEVT DIRECTOR 115	Office space	185	5	0.9	1	5	0.06	16.1	0.8	25	25	1
COPY 116	Storage rooms	120	0	0.0	0	0	0.12	14.4	0.8	20	25	1
SENIOR PLANNER 117	Office space	155	5	0.8	1	5	0.06	14.3	0.8	20	25	1
HALLWAY 118	Corridors	935	0	0.0	0	0	0.06	56.1	0.8	75	575	1
ELEV LOBBY 127	Main entry lobbies	155	10	1.6	8	5	0.06	49.3	0.8	65	75	1
HALLWAY 128	Corridors	155	0	0.0	0	0	0.06	9.3	0.8	15	25	1
HALLWAY 138	Corridors	440	0	0.0	0	0	0.06	26.4	0.8	35	50	1
ECON DEV DIRECTOR 134	Office space	105	5	0.5	1	5	0.06	11.3	0.8	15	25	1
SUPPORT STAFF 135	Office space	235	5	1.2	2	5	0.06	24.1	0.8	35	50	1
ASST CITY ADMIN 136	Office space	235	5	1.2	2	5	0.06	24.1	0.8	35	50	1
WORK AREA 143	Cell w/o plumbing...	315	25	7.9	8	5	0.12	77.8	0.8	100	100	1
CHAMBER COMM 149	Office space	100	5	0.5	1	5	0.06	11	0.8	15	25	1
PARKS & REC 161	Office space	85	5	0.4	1	5	0.06	10.1	0.8	15	25	1
PARKS & REC 160	Office space	125	5	0.6	1	5	0.06	12.5	0.8	20	25	1
PARKS & REC 159	Office space	130	5	0.7	1	5	0.06	12.8	0.8	20	25	1
COMM COORD 158	Office space	180	5	0.9	1	5	0.06	15.8	0.8	20	25	1
HR ANALYST 157	Office space	115	5	0.6	1	5	0.06	11.9	0.8	15	25	1
HR DIRECTOR 156	Office space	230	5	1.2	2	5	0.06	23.8	0.8	30	50	1
CONF ROOM 120	Conference rooms	335	50	16.8	17	5	0.06	105.1	0.8	135	150	1
CONF ROOM 124	Conference rooms	285	50	14.3	15	5	0.06	92.1	0.8	120	125	1
CONF ROOM 142	Conference rooms	285	50	14.3	15	5	0.06	92.1	0.8	120	125	1
FILES 141	Storage rooms	125	0	0.0	0	0	0.12	15	0.8	20	25	1
COPIER 140	Copy, printing rooms	55	4	0.2	1	5	0.06	8.3	0.8	15	25	1
TOTAL		14957		104.995	133			1774.34		2370	3600	
CODE MINIMUM REQUIRED OUTDOOR AIR INTAKE FLOW RAT...										2370		
DESIGN OUTDOOR AIR INTAKE FLOW RATE:										3600		



312 NW 10th Ave, Suite 100
 Portland, OR 97209
 503-212-4612

WOODBURN CITY HALL
 BASEMENT REMODEL

CITY OF WOODBURN

270 Montgomery St
 Woodburn, OR 97071



Issue Bid Set Revision Date 4/15/2024

MECHANICAL SCHEDULES

Scale

Date

Sheet No. **M600**

DUCT INSULATION SCHEDULE

NOTES					
1. ALL DUCTWORK SHALL BE CONSTRUCTED AND ERECTED IN ACCORDANCE WITH 2022 OREGON MECHANICAL SPECIALTY CODE.					
DUCT TYPE	HVAC EQUIPMENT	DUCT DETAILS	PRESSURE CLASS	INSULATION TYPE	INSULATION THICKNESS
SUPPLY AIR & VENTILATION AIR DUCT	FROM HEAT PUMPS, FAN COILS, TERMINAL AIR BOXES	RECTANGULAR GALVANIZED STEEL	+2 INCH WG	LINED	1 INCH
		SPIRAL / OVAL GALVANIZED STEEL	+2 INCH WG	WRAPPED MINERAL FIBER	1-1/2 INCH
SUPPLY AIR & VENTILATION AIR DUCT	FROM AIR HANDLING UNITS, ROOF TOP UNITS, DEDICATED OUTDOOR AIR UNITS	RECTANGULAR GALVANIZED STEEL	+3 INCH WG	LINED	1 INCH
		SPIRAL / OVAL GALVANIZED STEEL	+3 INCH WG	WRAPPED MINERAL FIBER	1-1/2 INCH
RETURN AIR DUCT	TO HEAT PUMPS, FAN COILS, AIR HANDLING UNITS, ROOF TOP UNITS, DEDICATED OUTDOOR AIR UNITS	EXPOSED SPIRAL / OVAL GALVANIZED STEEL	-2 INCH WG	DOUBLE WALL INSULATED	1 INCH
TRANSFER DUCT	N/A	RECTANGULAR GALVANIZED STEEL	-1/2 INCH WG	LINED	N/A
FLEXIBLE DUCTS (UL-181, CLASS 1)	TO DIFFUSERS	2-PLY VINYL, HELICAL STEEL WIRE W/VAPOR BARRIER	+1 INCH WG	FIBROUS-GLASS INSULATION (R-6)	1-3/4 INCH

VRF FAN COIL SCHEDULE

NOTES:																	
1. HORIZONTAL AND CASSETTE UNITS TO HAVE CONDENSATE LIFT CAPABILITIES.																	
2. CONTRACTOR TO PROVIDE RETURN FILTER BOX, AND CLEANABLE FILTER FOR HORIZONTAL UNITS.																	
REFERENCE				MECHANICAL DATA						ELECTRICAL				NOTES			
ID TAG	MFR	MODEL	SERVES	HEIGHT (IN)	LENGTH (IN)	WIDTH (IN)	WEIGHT (LBS)	TYPE	AIRFLOW (CFM)	COOLING CAPACITY (MBH)	SENSIBLE CAPACITY (MBH)	HEATING CAPACITY (MBH)	VOLTAGE (V)	PHASE	MCA (A)	MOCP (A)	NOTES
FCU-0-060	DAIKIN	FXSQ24TBVJU	WORK STATIONS 007	10	33	40	82	DUCTED	742	24	17.1	27	208	1	1.9	15	1,2

EXHAUST FAN SCHEDULE

NOTES:																		
1. FAN TO BE CONNECTED TO ROOM LIGHT SWITCH.																		
2. INSTALL SPEED CONTROLLER UNDER FAN SHROUD FOR BALANCING.																		
REFERENCE				MECHANICAL DATA						ELECTRICAL LOADS				NOTES				
ID TAG	MFR	MODEL	LOCATION	HEIGHT (IN)	LENGTH (IN)	WIDTH (IN)	WEIGHT (LBS)	AIRFLOW (CFM)	EF ESP (IN. W.C.)	FAN SPEED (RPM)	BELT/DIRECT	SONES	DAMPER TYPE	POWER (W)	VOLTAGE (V)	PHASE	MCA (A)	NOTES
EF-1	GREENHECK	SP-B80-QD	TOILET 014	7	14	12	9	50	0.375	900	DIRECT	1.4	BACKDRAFT	18.6	115	1	0.16	1,2
EF-2	GREENHECK	SP-B80-QD	TOILET 028	7	14	12	9	50	0.375	900	DIRECT	1.4	BACKDRAFT	18.6	115	1	0.16	1,2

TERMINAL AIR BOX SCHEDULE

NOTES:															
1. NC SHALL NOT EXCEED 35. BOX AIR PRESSURE DROP SHALL NOT EXCEED 0.25".															
2. MINIMUM AIR FLOWS SHOULD BE BALANCED TO MATCH MINIMUM VENTILATION AIR FLOW AS LISTED ON DRAWINGS.															
3. AIR TERMINALS DO NOT HAVE AN OCCUPIED MINIMUM SETPOINT. EQUIPMENT IS INTENDED TO BE OPEN DURING OCCUPIED MODE OR CLOSED DURING UNOCCUPIED MODE. NO MODULATING VAV DAMPERS REQUIRED UNLESS NOTED OTHERWISE.															
REFERENCE				MECHANICAL DATA						ELECTRICAL				NOTES	
ID TAG	MFR	MODEL	SERVES	LOCATION	HEIGHT (IN)	LENGTH (IN)	WIDTH (IN)	WIEGHT (LBS)	BOX SIZE / INLET SIZE (IN)	MAXIMUM AIRFLOW (CFM)	MINIMUM AIRFLOW (CFM)	AIR PRESSURE DROP (IN W.C.)	NC LEVEL	NOTES	
VAV-0-006	NAILOR	D3001	ZOOM 014A & RESPITE 029	HALLWAY 010	12.5	20.5	18.5	20	7	80	0	0.01	0	1,2	

HVAC PIPING AND INSULATION SCHEDULE

SYSTEM	PIPE SIZE (INCHES)	PIPE MATERIAL (NOTE 1)	JOINT TYPE (NOTE 1)	SHUT-OFF VALVE TYPE (NOTE 4)	INSULATION TYPE (NOTE 2,3)	INSULATION THICKNESS (INCHES)	JACKET (NOTE 5)	NOTES
COIL CONDENSATE DRAIN	3/4 - 1 1/4	TYPE L COPPER	SOLDER OR PRESS	BRONZE BALL, SS TRIM	MINERAL FIBER / ELASTOMERIC	1/2	ALUMINUM	
NOTES:								
1. REFER TO SPECIFICATIONS FOR FURTHER PIPE MATERIAL, JOINT AND INSTALLATION REQUIREMENTS. PUSH TO CONNECT / PUSH ON TYPE CONNECTIONS ARE NOT ALLOWED.								
2. REFER TO SPECIFICATIONS FOR FURTHER INSULATION REQUIREMENTS. INSULATION R-VALUE SHALL MEET ENERGY CODE REQUIREMENTS.								
3. INSULATION APPLIED TO PIPING LOCATED IN RETURN AIR PLENUMS SHALL MEET ASTM E84 25/50 FLAME AND SMOKE SPREAD RATING, AND COMPLY WITH NFPA STANDARD 90A.								
4. REFER TO SPECIFICATIONS FOR FURTHER VALVE REQUIREMENTS.								
5. EXPOSED PIPING MOUNTED BELOW 6'-0" ABOVE FLOOR SHALL HAVE ALUMINUM JACKET.								

GRILLES, REGISTERS, AND DIFFUSERS

NOTES:								
1. REFER TO ARCH DRAWINGS FOR FINAL CEILING TYPE FOR MOUNTING TYPE.								
2. PROVIDE WITH WHITE FINISH. COORDINATE COLOR SELECTION WITH ARCHITECT.								
ID TAG	MATERIAL	MARGIN (IN)	INLET (IN)	FACE (IN)	DAMPER	MFR	MODEL	NOTES
C-1	STEEL	LAY-IN	SEE DWG	24 x 24	NO	TITUS	PMC	1,2
C-4	STEEL	LAY-IN	SEE DWG	24 x 24	NO	TITUS	PAS	1,2
C-5	ALUMINUM	LAY-IN	SEE DWG	24 x 24	NO	TITUS	PAR-AA	1,2
C-6	ALUMINUM	1 1/4"	SEE DWG	8 x 8	NO	TITUS	50F	1,2



WOODBURN CITY HALL
BASEMENT REMODEL

CITY OF WOODBURN

270 Montgomery St
Woodburn, OR 97071



Issue Revision Date
Bid Set 4/15/2024

MECHANICAL
SCHEDULES

Scale

Date

Sheet No.

4/15/2024

M601