

## **Staff Report**

| То:           | Planning Commission  |  |  |  |
|---------------|--|--|--|--|
| Through:      | Chris Kerr, Community Development Director $\mathcal{CK}_{\mathcal{C}}$                          |  |  |  |
| From:         | Colin Cortes, AICP, CNU-A, Senior Planner  |  |  |  |
| Meeting Date: | October 10, 2019 (Prepared October 3, 2019)  |  |  |  |
| Item:         | 440 Parr Road "Heritage Elementary School" (CU 2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01) |  |  |  |
| Tax Lot(s):   | 052W13 00500   |  |  |  |

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#### Issue before the Planning Commission

Action on a consolidated land use application package, Conditional Use CU 2019-02 (Type III) for the use of a public K-12 school, specifically Heritage Elementary School (E.S.) in the Public and Semi-Public (P/SP) zone, with Design Review DR 2019-02, Exception to Street Right of Way and Improvement Requirements ("Street Exception") EXCP 2019-02, and Variance VAR 2019-01 for several variance requests.

#### **Executive Summary**

The subject property is at the southwest corner of the T-intersection of Elana Way with Parr Road and situated between Brandywine Subdivision to the east and Centennial Park to the west. It is occupied by a conjoined one-story elementary school and a two-story middle school (Valor M.S.), Heritage dating from 1999 and Valor from 1998. The proposal is about partial site redevelopment including rear building addition/expansion, removal of existing modular buildings, addition of parking area, and reconfiguration of the north front central drop-off / pick-up drive aisles shared with the middle school.

The project comes with several variance requests (VAR 2019-01) to vary from Woodburn Development Ordinance (WDO):

- 1. Parking stall length minimum (Table 3.05C);
- 2. Drive aisle width minimum (Table 3.05C);
- 3. Planting density minimum for "Setbacks abutting a street" (Table 3.06A);
- 4. Planting density minimum for "Buffer yards" (Table 3.06A); and
- 5. Screening requirement for "Refuse and recycling collection facilities", i.e. recycling and trash enclosures, in the form of an Architectural Wall (Table 3.06D & 3.06.06).

The applicant is the Woodburn School District 103.



#### Recommendation

Approval with conditions: Staff recommends that the Planning Commission consider the staff report and its attachments and approve the application with the conditions recommended by staff below. The conditions can also be found towards the end of the Analyses & Findings (Attachment 102).

#### **Conditions of Approval**

#### General

G1. Prior to building permit application, the applicant shall submit revised site plans meeting the conditions of approval to the Planning Division and obtain Division approval.

G2. The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G3. References: The descriptions below define certain words, phrases, and assumptions in the context of the conditions of approval:

- "Access way" means an on-site walkway paved at least eight (8) feet wide to serve as a bicycle/pedestrian path to and from sidewalk and that is ADA-compliant.
- "ADA" refers to the federal Americans with Disabilities Act of 1990.
- "Director" refers to the Community Development Director.
- "District" refers to the Woodburn School District.
- "E1" refers to the fourth driveway from the west.
- "Heritage" refers to Heritage Elementary School (E.S.)
- "Parr" refers to Parr Road.
- "PUE" means public utility easement.
- "ROW" means right-of-way.
- "W2" refers to the second driveway from the west.
- "W3" refers to the third driveway from the west and one to be removed.

G4. Due date: Unless a condition specifies otherwise, meeting the conditions is due by building permit issuance.

G5-PW. Public Works: Follow the appended "Public Works Comments September 16, 2019".

#### Conditional Use 2019-02

- C1. Bicycle parking:
  - a. Ratio: Required off-street bicycle parking shall number at least two (2) stalls per Heritage classroom.
  - b. Distribution: The number shall be divided among at least three areas: the main entrance, a building entrance from staff parking Lot C, and an entrance to the rear annex outbuilding. The latter two locations shall have at least two (2) stalls each.

- c. Facility: Each stall shall adjoin a facility designed for the securing of one or more bicycles, such as a U-rack or wave rack.
- d. Stall size: The minimum size of additional or altered stalls shall be two (2) feet wide by six (6) feet long, and minimum vertical clearance shall be eight (8) feet. If a stall is wall-mounted, the minimum stall depth shall be five (5) feet. The minimum maneuvering area to access any stall shall be at least five (5) feet deep. The dimensional standards do not apply to the existing bicycle parking within the fenced enclosure at the east side of the school.

This condition is due by building permit final inspection.

C2. Bond / bonding / performance guarantee: Were the applicant to bond any improvements as allowed by and pursuant to WDO 4.02.08, the amount shall be 150% instead of 120%.

- C3. Carpool/vanpool (C/V):
  - a. Number: Within a staff-only parking area there shall be at least two C/V stalls located convenient to a staff entrance or entrances and limited to carpools and vanpools.
  - b. Striping: Each stall shall be striped "CARPOOL/VANPOOL ONLY" in lettering one (1) foot high minimum.
  - c. Signage: Each stall shall have a wall-mounted or pole-mounted sign for "Carpool/Vanpool Only". Minimum sign face size shall be one (1) foot wide by one-and-a-half (1½) feet high. The top of a posted sign shall be between five-and-a-half (5½) and six-and-a-half (6½) feet above vehicular grade.
  - d. If there are State of Oregon standards that conflict with b. and c., the applicant may go by state standards instead and provide a copy of them to staff.

This condition is due by building permit final inspection.

C4. Landscaped island in parking Lot C: Within the south side parking aisle, there shall be a landscaped island or peninsula as a separation between two sets of stalls. Minimum dimensions are six-and-a-half (6½) feet wide between insides of curbing and a length of at least fourteen-and-a-half (14½) feet between insides of curbing. The island shall have a tree planted at the minimum size per WDO Table 3.06B and grass or vegetative groundcover. This condition is due by building permit final inspection.

- C5. Lighting: This applies to additional or altered exterior lighting fixtures.
  - a. Full cut-off: They shall be full cut-off or fully shielded models.
  - b. Heights:
    - i. Wall: Wall-mounted fixtures shall be no higher than fifteen (15) feet above walkway finished grade. (This height limit is not applicable to emergency egress lighting and permanent wall signs allowed through WDO 3.10 were they to have interior illumination.)

- Parking pole: Exterior pole-mounted fixtures within five (5) feet of or in parking, loading, and vehicular circulation areas shall be no higher than twenty-five (25) feet above vehicular finished grade.
- iii. Other pole: Remaining exterior pole-mounted fixtures, excepting sports field lighting, shall be no higher than fifteen (15) feet above grade.

This condition is due by building permit final inspection.

C6. Modular buildings / modulars: Consistent with the land use review plan set submitted August 30, 2019, Sheets C1.00 Existing Conditions and Demolition Plan – Overall and C2.00 Layout and Paving Plan - Overall, the number of modular buildings shall decrease by at least three (3). The removal of modular buildings is due by building permit final inspection. The City may later supersede this condition by taking action on a future land use application submittal as to allow one or more modular buildings. This condition is due by building permit final inspection.

C7. Off-site improvements: Harvest Way: The applicant shall upgrade the pedestrian crossing along the west leg of the intersection of Parr and Harvest Way as the Public Works Department directs and to meet federal and state ADA standards. Striping shall be zebra.

- C8. Signage: To meet WDO 3.10 and the needs of the Public Works Department:
  - a. Permanent signage for the school campus shall not encroach within any PUE.
  - b. The applicant shall remove the Parr nonconforming readerboard pole sign. The applicant shall do so prior to building permit final inspection.
  - c. Through an approved sign permit application, the applicant may either upgrade the sign per WDO 3.10.11 and relocate it or replace it with a fully conforming sign.
- C9. Walkways: In staff parking Lot A there shall be:
  - a. At least two (2) striped walking routes at least six (6) feet wide leading between the north and south east-west aisles.
  - b. One (1) striped walking route at least six (6) feet wide leading between the north eastwest aisle and the north-south access way, which connects the wide sidewalk and the Heritage main entrance.

This condition is due by building permit final inspection.

C10. Discontinuance/Revocation: Because the WDO does not specify if and when a conditional use approval would expire were a use to cease, based on WDO 4.02.04B the approval shall expire if the use of public school ceases and three (3) years pass without the use recommencing.

C11. CU Modification: Because the WDO, including 5.03.01, does not specify how changes to an approved conditional use (CU) and related site improvements might trigger another CU or modification of a CU approval, for Director determination the following serve as criteria and – where noted – as factors:

- a. Significant expansion of the use, factors being an increase in any of: total gross floor area (GFA) by 25.0% or more or by an absolute value of ten thousand (10,000) square feet or more, the number of buildings (excluding modulars) by two (2) or more, the number of modular buildings by one (1) or more, and the number of classrooms by six (6) or more;
- b. Increase in off-street parking by twelve (12) or more stalls, even if the existing supply were in excess of the minimum required ratio(s);
- c. Net Increase in impervious surface totaling at least two-and-half (2½) acres;
- d. Development as defined in WDO 1.02 within twenty (20) feet of a property boundary and not already conditioned through the subject approval;
- e. Installation of additional or altered sports field lighting taller than twenty (20) feet and within twenty (20) feet of ROW or other property line;
- f. Any proposal necessitating a request for Exception to Street Right-of-Way and Improvement Requirements ("Street Exception");
- g. Any proposal necessitating a request to vary from the WDO;
- h. Any proposal necessitating a Type III or IV land use application type;
- i. City adoption of a unified development ordinance replacing the WDO were to have intervened; and
- j. Proposal by the Woodburn School District for the City to approve a District-led longrange master plan for the Heritage Elementary School campus.

Modification of a specific condition of approval remains pursuant to WDO 4.02.07. Were the City to have amended the WDO to establish modification provisions for conditional uses, the Director may decide that the provisions supersede this condition of approval.

#### Design Review 2019-07

D1. Fences / fencing: To meet WDO 2.06.02C.1 (height maximum) and 2.06.02D.2 (coating and slats), the applicant shall through the sign permit process of 5.01.03 have the proposed fencing, including that shown on Sheet L2.10 Detail 7, conform.

D2. PUEs, on-site: To meet WDO 3.02.01A & C and pursuant to Public Works Department standards, the applicant shall:

- a. Illustrate, note, and dedicate an on-site public utility easement or easements in addition to a roadside PUE for public utility lines at a minimum width of either sixteen (16) feet or wider if the nature of the line or lines necessitates a wider on-site PUE or segments of said PUE;
- b. Extinguish any on-site PUE that has no public utility line; and
- c. Resolve any conflict resulting from a building or freestanding wall encroaching into an on-site PUE.

The applicant should also read and understand Note to the Applicant 8a about dedication process.

D3. Parking stall double striping: To meet WDO 3.05.02K, the applicant shall delineate altered or additional off-street parking stalls with double parallel lines pursuant to Figure 3.05C.

D4. Bicycle parking near main entrance: To meet WDO 3.05.03E, the applicant shall provide bicycle parking within fifty (50) feet of the main entrance of Heritage.

#### Street Exception 2019-02

The street exception request is approved as modified by the following conditions:

EX1. Parr:

- a. Dedications: The applicant shall illustrate, note, and dedicate six (6) feet of ROW and a PUE that is five (5) feet wide.
- b. Sidewalks: This part of the condition is due by building permit final inspection.
  - i. ADA compliance: This applies to both the wide sidewalk that is a bicycle/pedestrian path and the narrow sidewalk. The applicant shall upgrade to current federal and Oregon ADA standards the sidewalks where they cross driveways along Parr Road.
  - ii. Narrow sidewalk: This applies to the narrow sidewalk closer to the curb. As part of removal of driveway W3, the applicant shall not have to complete the resulting gap if the applicant instead were to construct concrete diagonal sidewalk at the same width as the narrow sidewalk and that connects to the wide sidewalk both would-be dead-ends of the narrow sidewalk.
- c. Street tree: As part of removal of driveway W3, the applicant shall in place of the driveway plant an additional street tree that conforms to WDO 3.06.03A. Per WDO 3.06.03A.3, it may be in the front yard outside the ROW and roughly in line with the existing street trees. This part of the condition is due by building permit final inspection.
- d. Public Works Standard Specifications & Drawings: As part of the land use review plan set and the building permit submittal plan set, the applicant shall reproduce standard details as Public Works Directs and include Drawing 1 Street Tree Planting New Construction and Detail No. 4150-8 Sidewalks.

#### Variance 2019-01

V1-PSL. Parking stall length minimum (WDO Table 3.05C): For altered or additional 90-degree standard parking stalls, the minimum length shall be eighteen (18) feet (instead of 19 feet typical), and – where there is overhang of landscaping – the overhang is limited to six (6) inches (instead of 2 feet typical). Any wheelstop shall be no higher than four (4) inches.

V2-DA. Drive aisle (WDO Table 3.05C): The minimum drive aisle widths shall be per the table below (instead of 24 feet typical):

| Parking Context                      | Minimum Drive Aisle Width (feet) |                       |    |  |  |
|--------------------------------------|----------------------------------|-----------------------|----|--|--|
|                                      | On                               | Two-way Travel        |    |  |  |
|                                      | Single Lane Paired Lanes         |                       |    |  |  |
| Standard or ADA-<br>compliant stalls | 18                               | 10 per lane; 20 total | 20 |  |  |
| Compact stalls                       | 16                               | 9 per lane; 18 total  | 20 |  |  |
| No adjacent stalls                   | 10                               | 9 per lane; 18 total  | 20 |  |  |

V3-SSL. Street setback landscaping (WDO Table 3.06A):

- a. Applicability: The minimum area to be landscaped at the minimum planting density for a setback abutting a street per Table 3.06A shall be planted to the minimum density for "Other yards" per Table 3.06A.
- b. Trees: The applicant shall plant three (3) additional front yard trees conforming to Tables 3.06B & C within twenty (20) feet of the south edge of the wide sidewalk, including:
  - At least one near the east side of driveway W2; and i.
  - ii. One near the west side of driveway E1.

V4-BY. Buffer Yards (WDO Table 3.06A): Buffer yards are exempt from the Table 3.06A landscaping provisions specific to buffer yards. The provisions shall default to those of another applicable yard type: "Other yards" or where applicable "Off-street parking ...".

V5-AW/TE. Architectural Wall / Trash Enclosure (WDO Table 3.06D & 3.06.06): The existing outdoor storage of recycling and trash and the partial trash enclosure is exempt from the provisions, and the applicant need not upgrade it to conform as part of the subject proposal.

#### Actions

The Planning Commission may instead act on the land use application to:

- 1. Approve per staff recommendations,
- 2. Approve with modified conditions, or
- 3. Deny, based on WDO criteria or other City provisions.

If the Planning Commission were to act upon the recommendation, staff would prepare a final decision for approval with the conditions that staff recommends.

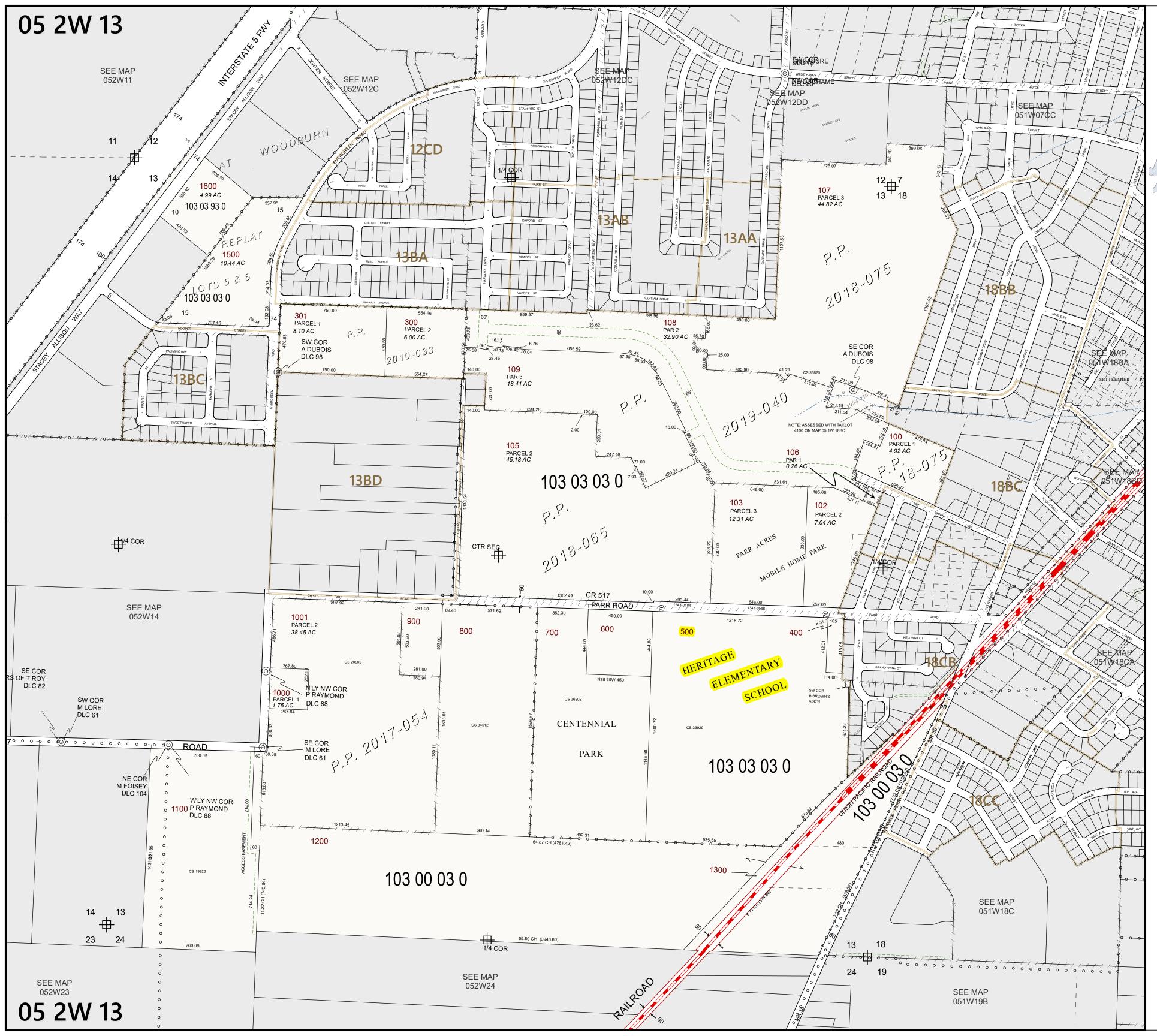
#### Attachment List

- 101. Marked Tax Map
- 102. Analyses & Findings
- 102A. Public Works Comments September 30, 2019

102B. Letter of intent to correct Heritage/Valor easement disarray (Building permit 971-19-000133-STR; submitted May 22, 2019; 8 pages)

102C. E-mail chain about correction of Heritage/Valor easement disarray (May 23, 2019; 3 pages)

- 103. Smith Creek Development Final Order Exhibit A, p. 67 Condition T-BP4
- 104. Smith Creek Exhibit C-4
- 105. Smith Exhibit C-8A-4 Phase 1B
- 106. Transportation System Plan (TSP) Figure 7-1 (2005)
- 107. Site plans excerpted (submitted Aug. 30, 2019; 17 sheets)



# 05 2W 13 WOODBURN

## MARION COUNTY, OREGON SEC 13 T5S R2W W.M.

SCALE 1" = 400'

## **LEGEND**

LINE TYPES

Taxlot Boundary

Road Right-of-Way

Railroad Right-of-Way

Private Road ROW Subdivision/Plat Bndry 1111111

Waterline - Taxlot Bndry

0 0 0 0 0 0 0 Map Boundary

Railroad Centerline

Taxcode Line

Historical Boundary

Easement

Waterline - Non Bndry

## **CORNER TYPES**

+ 1/16TH Section Cor. O DLC Corner

1/4 Section Cor. 

## NUMBERS

## Tax Code Number

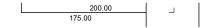


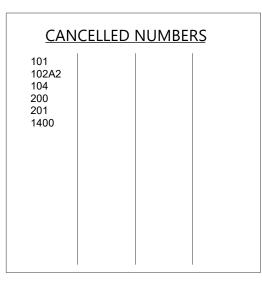
Acreage 0.25 AC

All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

### NOTES

Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW





DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT www.co.marion.or.us Attachment 101

PLOT DATE: 7/22/2019 WOODBURN 05 2W 13

## **Analyses & Findings**

This attachment to the staff report analyzes the application materials and finds through statements how the application materials relate to and meet applicable provisions such as criteria, requirements, and standards. They confirm that a given standard is met or if not met, they call attention to it, suggest a remedy, and have a corresponding recommended condition of approval. Symbols aid locating and understanding categories of findings:

| Symbol   | Category   | Indication   |
|----------|--|--|
| ~        | Requirement (or guideline) met   | No action needed                                       |
| ×        | Requirement (or guideline) not met   | Correction needed                                      |
| •        | Requirement (or guideline) not applicable  | No action needed                                       |
| <b>A</b> | <ul> <li>Requirement (or guideline) met, but might<br/>become unmet because of condition applied to<br/>meet separate and related requirement that is<br/>not met</li> <li>Plan sheets and/or narrative inconsistent</li> <li>Other special circumstance benefitting from<br/>attention</li> </ul> | Revision needed for<br>clear and consistent<br>records |
|          | Street Exception or Variance   | Request to vary<br>from requirement                    |

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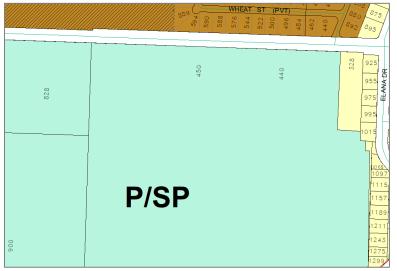
## Location

| Address              | 440 Parr Road              |
|----------------------|----------------------------|
| Tax Lot              | 052W13 00500 (48.32 acres) |
| Nearest intersection | Parr Road & Elana Way      |

## Land Use & Zoning

| Comprehensive Plan Land Use Designation | Public Use   |
|---|--|
| Zoning District                         | Public and Semi-Public (P/SP)                              |
| Overlay District(s)                     | none   |
| Existing Use(s)                         | Woodburn School District Heritage Elementary School (E.S.) |

For context, the subject property and adjacent zoning are illustrated and tabulated below:



Zoning Map Excerpt

| Cardinal Direction | Adjacent Zoning   |  |  |
|--------------------|---|--|--|
| North              | Easterly: Medium Density Residential (RM) / Parr Acres manufactured dwelling park |  |  |
|                    | Westerly: RM / Smith Family farm developing into Smith Creek                      |  |  |
|                    | Development Phase 1B  |  |  |
| East               | Northerly: Residential Single Family (RS) / Brandywine Subdivision                |  |  |
|                    | Southerly: RS / Flora Meadows Subdivision   |  |  |
| South              | n/a because unincorporated Marion County  |  |  |
| West               | P/SP / City water station and Centennial Park                                     |  |  |

The subject property is not part of any partition or subdivision plat. The Marion County Assessor describes it as "Acres 48.32" and notes that the elementary school building was built in 1999. The

City had adopted its first land division requirements earlier, effective April 16, 1963 as referenced in Woodburn Development Ordinance (WDO) 1.02 "Lot". Staff surmises that the subject property is a legal lot of record.

Section references below are to the <u>Woodburn Development Ordinance (WDO)</u>.

## **Statutory Dates**

The application was submitted on April 4, 2019 with additional materials submitted through August 30, 2019. Staff deemed it complete as of September 3, 2019, making the 120-day decision deadline January 1, 2020.

## **Design Review Provisions**

#### 4.01.07 Consolidated Applications

An applicant may request, in writing, to consolidate applications needed for a single development project. Under a consolidated review, all applications shall be processed following the procedures applicable for the highest type decision requested. It is the express policy of the City that development review not be segmented into discrete parts in a manner that precludes a comprehensive review of the entire development and its cumulative impacts.

#### 5.03.02 Design Review, Type III

A. Purpose: The purpose of Type III design review is to ensure that new buildings or additions to existing buildings comply with Land Use and Development Guidelines and Standards of this Ordinance (Sections 2 and 3).

B. Type III Design Review is required for the following:

- 1. Non-residential structures in residential zones greater than 1,000 square feet in the RS, R1S, RM, and P/SP zones.
- 2. Multi-family dwellings not meeting all architectural design guidelines and standards.
- 3. Structures greater than 2,000 square feet in the CO, CG, MUV, DDC, and NNC zones.
- 4. Structures greater than 3,000 square feet in the IP, IL, and SWIR zones.

5. For sites with existing buildings in the CO, CG, MUV, DDC, NNC, IP, IL, and SWIR zones; expansions or new buildings that increase lot coverage by more 25%.

6. Change of use that results in a greater than 25% increase in required parking.

Because the proposal is for buildings totaling greater than 1,000 square feet (sq ft) in the P/SP zoning district, per subsection 1. it requires a Type III Design Review. The applicant submitted site plans on April 4, 2019 and revised site plans through August 30, 2019 (within Attachment 107). (Staff hosted a pre-app on October 25, 2018.)

The requirement is met.

#### 2.04 Industrial and Public Zones

A. The City of Woodburn is divided into the following industrial and public zones:

3. The Public and Semi-Public (P/SP) zone, which is intended for public uses, parks, schools and cemeteries.

B. Approval Types (Table 2.04A)

**1.** Accessory Uses (A) are allowed outright, subject to the general standards of this Ordinance.

2. Conditional Uses (CU) may be allowed, subject to the general development standards of this Ordinance and conditions of Conditional Use approval.

**3.** Permitted Uses (P) are allowed outright, subject to the general development standards of this Ordinance.

| Uses Allowed in Industrial Zones   |   |      |  |  |
|--|---|------|--|--|
|  | Table 2.04A   |      |  |  |
| Use  |   | Zone |  |  |
| Accessory Uses (A) Conditional Uses (CU) Permitted Uses<br>(P) Special Permitted Uses (S) Specific Conditional Uses<br>(SCU) |   |      |  |  |
| A Civic Uses   |   |      |  |  |
| 3  | Public administration, aquatic facilities, fire<br>protection, government and public utility<br>buildings and storage yards | CU   |  |  |
| 5  | Trade schools   | CU   |  |  |

The proposed use has no exact match and mostly closely matches A.3. Based on this and that A.5 trade schools are a conditional use, the Director interprets that public K-12 schools are conditional use in the P/SP zoning district.

✓ The requirement is met.

|                                    |                             | - Site Development Standard      | 5                          |
|------------------------------------|-----------------------------|----------------------------------|----------------------------|
| Lot Area, Minimum                  |                             |                                  | No minimum                 |
| Lot Width, Minimum                 | ı                           |                                  | No minimum                 |
| Lot Depth, Minimun                 | า                           |                                  | No minimum                 |
| Street Frontage, Mir               | No minimum                  |                                  |                            |
| Front Setback and Set              | 20 <sup>1</sup>             |                                  |                            |
| Side or Rear<br>Setback, Minimum   | Abutting P/SP zone or a re  | 20                               |                            |
| (feet)                             | Abutting a commercial or i  | 0 or 5 <sup>2</sup>              |                            |
| Setback to a Private               | 5                           |                                  |                            |
| Lot Coverage, Maximum              |                             |                                  | Not specified <sup>3</sup> |
|                                    | Primary or accessory        | Outside Gateway subarea          | 35                         |
| Building Height,<br>Maximum (feet) | structure                   | Gateway subarea                  | 50                         |
|                                    | Features not used for h     | Features not used for habitation |                            |
| 1. Measured from                   | the Special Setback (Sectio | n 3.03.02), if any.              |                            |

2. A building may be constructed at the property line, or shall be set back at least five feet.

3. Lot coverage is limited by setbacks, off-street parking, and landscaping requirements.

The P/SP zone has no minimum lot size, width, depth, or street frontage or maximum lot coverage.

The required setbacks are:

| Direction | Туре                          | Setbacks (ft)         |                              |           |  |
|-----------|-------------------------------|-----------------------|------------------------------|-----------|--|
|           |                               | Existing              | Required, Accounting for the | Proposed  |  |
|           |                               |                       | Special Setback (i.e. street |           |  |
|           |                               |                       | widening) & PUEs             |           |  |
| North     | Front                         | 92                    | 20 + 6 ROW = 26              | -6 = 86   |  |
| East      | Side, abutting a residential  | 252                   | 20                           | -58 = 194 |  |
|           | zone                          |                       |                              |           |  |
| South     | Rear, abutting a farm in      | n/a because no change |                              |           |  |
|           | unincorporated Marion         |                       |                              |           |  |
|           | County, which by staff        |                       |                              |           |  |
|           | interpretation means          |                       |                              |           |  |
|           | "Abutting residential zone or |                       |                              |           |  |
|           | use"                          |                       |                              |           |  |
| West      | Side, abutting P/SP zone      | n/a because no change |                              |           |  |

Because the application materials indicate no private access easement, the 5-foot setback is not applicable.

Sheet A3.11 illustrates and notes that he proposed south rear annex outbuilding addition/expansion does not raise the highest point above grade from what exists, which is 14.6 ft and meets the provision.

✓ The site development provisions are met.

#### 2.05 Overlay Districts

None apply.

#### **2.06 Accessory Structures**

2.06.02 Fences and Walls

- C. Height in Non-Residential Zones
  - In commercial, industrial, or public zones, the maximum height of a fence or wall located in a yard abutting a street shall be 6 feet, relative to the ground elevation under the fence or wall. Fence height may increase to 9 feet once flush with the building face, or 20 feet from street right-of-way.
  - 2. Fences and walls may be constructed in the special setback provided the property owner

agrees to removal at such time as street improvements are made.

#### **D.** Fence Materials

- 1. Fences and walls shall be constructed of any materials commonly used in the construction of fences and walls, such as wood, stone, rock, or brick, or other durable materials.
- 2. Chain link fences are acceptable as long as the fence is coated and includes slats made of vinyl, wood or other durable material. Slats may not be required when visibility into features such as open space, natural areas, parks and similar areas is needed to assure visual security, or into on-site areas in industrial zones that require visual surveillance.
- 3. For manufacturing, assembly, fabricating, processing, packing, storage and wholesale and distribution activities which are the principle use of a building in industrial districts, the preceding standards apply when visible from, and within 20 feet of, a public street.

#### 2.06.03 Structures

- A. Accessory structures attached to a primary building shall be considered as a portion of the primary building and subject to the same requirements as the primary building.
- B. The minimum separation between detached accessory structures and the primary building shall be six feet.

The site plans propose additional fencing, including through Sheet L2.10 Detail 7, that might conform to WDO 3.10 but lacks detail about 2.06.02C.1 (height maximum) and 2.06.02D.2 (coating and slats). (Staff will confirm through a sign permit application or applications pursuant to 5.01.03 because sign permit applications are separate from and may come after land use review.)

Also, the existing Parr Road readerboard pole sign is nonconforming relative to:

- 3.10.04 "monument sign" and "pole sign" definitions;
- Figure 3.10H;
- 3.10.11B.4:

"B. Nonconforming permanent signs shall comply with the provisions of Section 3.10 when one or more of the following occurs: ...

4. A Conditional Use or Type III Design Review land use application is approved for the premises upon which the sign is located.",

- 3.10.11D. (mandatory removal of nonconforming signs by July 1, 2023); and
- Table 3.10.10A.

For this reason, the sign cannot remain as is but needs removal. Replacement with a conforming monument sign is not possible because two monument signs already existing on the site along Parr Road and Table 3.10.10A permits no more of them on the site.

A In order to secure conformance with sign regulations, staff applies *Conditions C9 & D1*.

#### 2.07 Special Uses

None apply.

#### 3.01 Streets

3.01.02 General Provisions

A. No development shall be approved, or access permit issued, unless the internal streets, boundary streets and connecting streets are constructed to at least the minimum standards set forth in this Section, or are required to be so constructed as a condition of approval.

D. The standards of this Section may be modified, subject to approval of an Exception to Street Rightof-Way and Improvement Requirements.

**3.01.04B.** All public streets under the jurisdiction of the City of Woodburn shall comply with the cross-sections depicted in this Section.

**3.01.04C.** For local residential streets which are not identified in the Comprehensive Plan, rights-ofway and improvements are determined by the Director at the time of development, based upon the existing and future estimated average daily trips of the development and surrounding development.

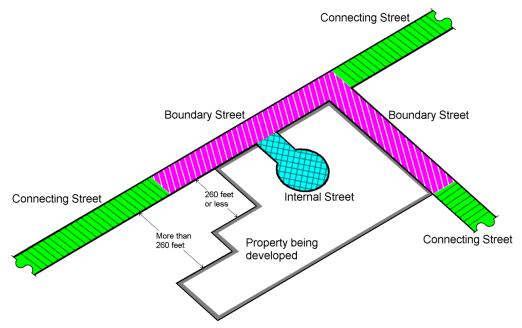


Figure 3.01A - Internal, Boundary, and Connecting Streets

The subject property has one frontage: Parr Road.

Per Transportation System Plan (TSP) Figure 7-1 "Functional Classification Designations" (Attachment 106; 2005), it is Service Collector class, for which WDO Figure 3.01D applies:

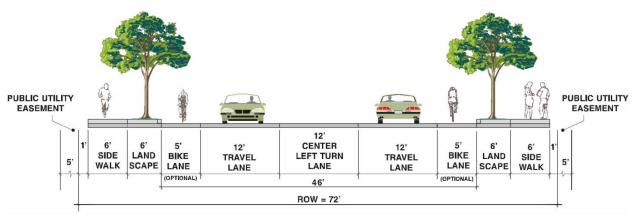


Figure 3.01D – Service Collector

Frontage/public/street improvements are required to upgrade the frontages to present standards; however, the applicant applied for an Exception to Street Right of Way and Improvement Requirements (EXCP; "Street Exception") for Parr Road.

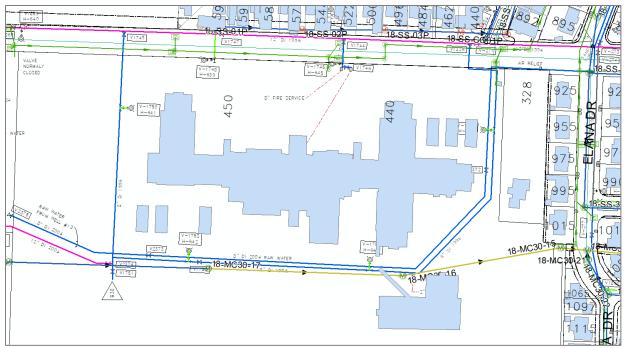
Street Exception: Staff addresses Parr Road frontage improvements further below under the Street Exception Provisions section.

#### 3.02 Utilities & Easements

3.02.01A. The Director shall require dedication of specific easements for the construction and maintenance of municipal water, sewerage and storm drainage facilities located on private property. 3.02.01C. As a condition of approval for development, including property line adjustments, partitions, subdivisions, design reviews, or Planned Unit Developments (PUDs), the Director may require dedication of public utility easements.

Executive summary: The on-site utility and PUE situation is in disarray, and the applicant/District needs to resolve it.

The applicant/District had deferred resolution of existing on-site utility lines not in on-site public utility easements (PUEs) and existing on-site PUEs overlaying no existing utility lines that the City Engineer identified as a problem during review of building permit 971-19-000133-STR. The image below from the City geographic information system (GIS) shows utilities and easements on site and in the vicinity. Black dashed lines indicate easement boundaries.



City GIS excerpt: Easements, Potable Water, and Sanitary Sewer

The building permit was for a two-story addition to Valor M.S. (The Director had interpreted that because the site plans from a past Site Plan Review approval of Valor M.S. pre-dating 2002 WDO adoption had outline and dashed line a future addition footprint and so that the addition did not trigger CU review and could go directly to the building permit stage.) The City Engineer identified that the Valor addition appeared to encroach 1 ft south into an existing PUE.

Per the Director, the applicant/District provided a letter to the Director (Attachment 102B) confirming deferral of resolution of on-site PUEs to the subject proposal that is covered by the consolidated applications package with CU 2019-02 as the parent application. Attachment 102C is an e-mail from a District contract project manager, elaborating that the District will resolve the situation. On p. 3 of the e-mail chain, the City Engineer wrote on May 15, 2019:

"City Staff can agree to defer to Conditional Use CU 2019-02 ... if the District does two things:

(a) Confirm that the existing utility easement is in fact placed too far north relative to existing underground utility lines because this assumption is the basis for deferral. (Note that per Woodburn Development Ordinance 3.02.02C easement minimum width is 16 feet, that is, 8 feet each side of pipe centerline.)

(b) Provide on Woodburn School District letterhead a summary of what's deferred, to when, and with the confirmation per item (a) above."

Attachment 102B is the letter to which item (b) refers. The letter itself states:

"We [the District] have identified additional Utility/PUE issues as follow:

1. An existing 10' PUE appears to have been established in the wrong location. It does not contain any utilities and encroaches upon the approved {1996} expansion of Valor Middle School.

2. An existing 8" fire main, including hydrants and valves, loops Heritage/Valor and appears to be outside the boundary of the existing PUE.

3. An existing 8" raw water main, and valves, crosses the school property and appears to be outside the boundary of the existing PUE.

4. An existing sanitary sewer main, and manholes, crosses the property and appears to be outside the boundary of the existing PUE"

To meet WDO 3.02.01A & C and pursuant to Public Works Department standards, the applicant needs to illustrate, note, and dedicate an on-site public utility easement or easements in addition to a roadside PUE.

A In order to secure an on-site PUE or PUEs besides a roadside one, staff applies *Condition D2*.

**3.02.01B.** A five-foot wide public utility easement shall be dedicated along each lot line abutting a public street.

The site plans, including Sheets C2.00 Layout and Paving Plan, C4.00 Utility Plan, and A1.01 Architectural Site Plan fail, to illustrate a roadside public utility easement (PUE) along the additional ROW to be dedicated along Parr Road.

Additionally, an existing context necessitates a wider PUE. The Parr Road frontage has a narrow planter strip, narrow concrete sidewalk, a second planter, and a wide concrete sidewalk serving as a bicycle/pedestrian path that appears to be 10 to 12 ft wide; however the path is outside the ROW. In order to secure the right of public access to what the general public perceives and uses as the main sidewalk, a wider PUE is the simplest solution that avoids additional ROW dedication while also securing public access through the City.

To meet WDO 3.02.01B and pursuant to Public Works Department standards, the applicant needs to illustrate, note, and dedicate along the newly dedicated Parr Road right-of-way (ROW) a public utility easement (PUE) of a number of feet wide enough to include the whole wide sidewalk that is a bicycle/pedestrian path.

A In order to secure a roadside PUE dedication, staff applies *Condition EX1a*.

#### 3.02.03 Street Lighting A. Public Streets

The appended "Public Works Comments" (September 16, 2019) from the City Engineer do not identify street lighting as an issue. [Awaiting Attachment 102A from City Engineer to confirm]

The provision is not applicable.

**3.02.04** Underground Utilities. All permanent utility service to and within a development shall be underground, except where overhead high-voltage (35,000 volts or more) electric facilities exist.

Because all permanent utility service lines to the development from Parr Road are buried, and the proposal has no altered or additional utility service to the development from Parr, the provisions are not applicable.

The provision is not applicable.

### 3.03 Setbacks and Open Space

#### 3.03.02 Special Setbacks

As examined earlier for 3.01, one existing public street is involved. The north front lot line is subject to the Special Setback, i.e. the street widening setback. The table below explains how the provision affects the subject property.

| Street | Class     | Model/Standard | ROW         |         |               |          |
|--------|-----------|----------------|-------------|---------|---------------|----------|
|        |           | Cross Section  | Existing    | Planned | Required      | Proposed |
|        |           | per WDO Fig.:  |             |         | "Half-Street" |          |
| Parr   | Service   | 3.01D          | Based on    | 72      | (72-70) = 2,  | 1        |
|        | Collector |                | centerline: |         | but 6 ft per  |          |
|        |           |                | North half- |         | City Engineer |          |
|        |           |                | street: 40; |         | via           |          |
|        |           |                | South: 30   |         | Attachment    |          |
|        |           |                |             |         | 102A          |          |

Sheet C1.02 Existing Conditions, Detail 1, shows a 1-foot ROW dedication. Because:

- this is 5 ft short of the 6 ft required;
- the dedication is incorrectly delineated and noted on an existing conditions sheet; and
- Sheet 1.02 also indicates another 1-ft ROW dedication, but on the north side of Parr Road coming out of the Parr Acres manufactured dwelling park property (863 Harvest Way; Tax Lot 103) that the applicant neither owns or controls and for which the landowner did not indicate any consent via the application forms;

The applicant needs to delineate and note a 6-ft ROW dedication on Sheets C2.00 Layout and Paving Plan, C4.00 Utility Plan, and A1.01 Architectural Site Plan as well as to actually dedicate the ROW.

Note: Because the existing wide sidewalk that serves as a bicycle/pedestrian path lies outside ROW in the front yard, a 6-ft dedication poses no risk of displacement of the two existing monument signs or any on-site structures south of the path.

➤ The proposal regarding Parr Road fails to meet the requirement. Staff applies Condition EX1a.

3.03.03 Projections into the Setback Abutting a Street3.03.04 Projections into the Side Setback3.03.05 Projections into the Rear Setback

Because the proposal involves no such projections, the provisions are not applicable.

#### 3.03.06 Vision Clearance Area; Figures 3.03A & B

The proposal includes no altered vision clearance area (VCA) at any of the four driveways remaining along Parr Road.

✓ The provision is met.

#### 3.04 Vehicular Access

#### 3.04.02 Drive-Throughs

Though the proposal for the existing public elementary school includes a new set of paired oneway lanes for site drop-off / pick-up, because the use is not a conventional commercial use for which drive-throughs are common – such as for fast food restaurants – staff does not consider the improvement as a "drive-through" and therefore the provisions are not applicable.

Because the proposal involves no drive-through, the provisions are not applicable.

#### 3.04.03 Driveway Guidelines and Standards

A. Number of Driveways

•••

**3.** For nonresidential uses, the number of driveways should be minimized based on overall site design, including consideration of:

a. The function classification of abutting streets;

b. The on-site access pattern, including parking and circulation, joint access, turnarounds and building orientation;

c. The access needs of the use in terms of volume, intensity and duration characteristics of trip generation.

•••

| Access Requirements   |   |  |  |  |
|---|---|--|--|--|
| Table 3.04A   |   |  |  |  |
|   |   | Commercial or Industrial<br>Use                                    |  |  |
| Paved Width of<br>Driveway (feet)<br><sup>3, 4</sup>                        | 1-way   | 12 minimum<br>20 maximum   |  |  |
|   | 2-way   | 24 minimum<br>36 maximum<br>(Add 8' if a turn lane is<br>provided) |  |  |
| Curb Flare Radiu  | ıs (feet)   | 30 minimum   |  |  |
| Throat<br>Length (feet) ⁵   | Major Arterial,<br>Minor Arterial,<br>Service Collector | 50 minimum   |  |  |
|   | Access or Local<br>Street                               | 20 minimum   |  |  |
| Corner<br>Clearance   | Access or Local<br>Street                               | 30 minimum   |  |  |
| (feet)<br>Guidelines <sup>1</sup>   | Service Collector                                       | 50 minimum   |  |  |
| (See Figure   | Minor Arterial  | 245 minimum  |  |  |
| 3.04B)  | Major Arterial  | 300 minimum  |  |  |
| Driveway  | Driveway on the same parcel                             | 50 minimum   |  |  |
| Separation<br>Guidelines<br>(feet) <sup>1, 2</sup><br>(See Figure<br>3.04B) | Access or Local<br>Street                               | none   |  |  |
|   | Service Collector                                       | 50 minimum   |  |  |
|   | Minor Arterial  | 245 minimum  |  |  |
|   | Major arterial  | 300 minimum  |  |  |
| Turnarounds<br>(See Figure<br>3.04C)  | Access to a Major<br>or Minor Arterial                  | Required   |  |  |
|   | Access to any other street                              | Requirements per the<br>Woodburn Fire District                     |  |  |

Premised on the proposed vehicular circulation in the partially redeveloped front visitor parking area ("Lot A"), staff interpreted and applied 3.04.03A.3 such that the applicant can and needs to remove one of the five existing driveways. Based on this understanding, the applicant revised the site plans to illustrate closure of the middle driveway – driveway W3 as staff had labeled in the Letter of Incompleteness of August 6, 2019 – the third driveway from the west.



Staff labeling of driveways

Regarding Table 3.04A, the applicant leaves the remaining four driveways undisturbed. Of these, the east and west ones – driveways W1 and E2 – are for school busses (and fire apparatus) only. Being two-way and at least 24 ft wide, they meet or exceed the minimum width. The two remaining visitor parking area driveways – driveways W2 and E1 are one-way and at least 24 ft wide, exceeding the maximum width of 20 ft; however, because the proposal does not alter them, staff exercises discretion regarding the application of 1.04 Nonconforming Uses and Development such that the two driveways may remain nonconforming regarding maximum width.

✓ The provision is met.

#### 3.04.03A. Unused driveways shall be closed.

There are none.

#### 3.04.03C. Interconnected Parking Facilities.

Though there are three discontiguous parking areas. The three areas are divided into one for visitors at the north campus front ("Lot A"), one at the campus west side designated only for Valor M.S. staff ("Lot B"), and one at the campus east side designated only for Heritage E.S. staff ("Lot C").

Because the use is a public elementary school and a bus, fire, and staff drive aisle connects staff Lots B and C, staff considers the provision as not applicable to public K-12 schools generally or to this specific proposal.

The provision is not applicable.

#### 3.04.04 Improvement Standards

The site plans illustrate conformance.

✓ The requirement is met.

#### 3.04.05 Traffic Impact Analysis

A. A Traffic Impact Analysis (TIA) may be required by the Director prior to the approval of a City access permit when the Director estimates a development proposal may generate either 100 or more additional, peak hour trips, or 1,000 or more additional daily trips, within ten years of a development application.

The applicant's Exhibit 4 (pp. 2-3; submitted April 5, 2019) states:

"The two most common metrics, or independent variables, used by professional traffic engineers to estimate vehicle trips for elementary school developments are: 1) student population, and 2) building size. These two variables are largely supported by robust sets of empirical data provided in the Institute of Transportation Engineers (ITE) in the Trip Generation Manual, 10th Edition (Reference 1). Seeing as the improvements proposed for Heritage Elementary School are designed to support the current student population and because there will be a slight decrease in total building square footage, the proposed development plan should not result in any material change in vehicle trips, according to ITE trip generation rates for an elementary school . Therefore, per the criteria outline in Section 3.04.05 of the WDO, a formal TIA should not be required for this land use application."

Staff concurs. The proposal does not exceed the two thresholds.

✓ The requirement is met.

#### 3.05 Off-Street Parking and Loading

#### 3.05.02 General Provisions

The site plans illustrate that the proposal meets the general provisions, with the exception of subsection K. (double parallel lines / double striping).

The site plans show that altered and new parking stalls in the front visitor parking area (Lot A) and the new staff east side parking area (Lot B), but do not illustrate double parallel lines.

✗ In order to ensure that the applicant will double stripe altered and new parking stalls to meet subsection K., staff applies *Condition D3*.

#### 3.05.03 Off-Street Parking

3.05.03 Off-Street Parking

A. Number of Required Off-Street Parking Spaces

1. Off-street vehicle parking spaces shall be provided in amounts not less than those set forth in this Section (Table 3.05A).

2. Off-street vehicle parking spaces shall not exceed two times the amount required in this Section (Table 3.05A).

B. Accessible parking shall be provided in amounts not less than those set forth in Table 3.05B. The number of accessible spaces shall be included as part of total required vehicle parking spaces.

C. A maximum of 20 percent of the required vehicle parking spaces may be satisfied by compact vehicle parking spaces.

D. Off-street vehicle parking spaces and drive aisles shall not be smaller than specified in this Section (Table 3.05C).

E. All uses that are required to provide 10 or more off-street parking spaces and residential structures with four or more dwelling or living units shall provide a bicycle rack within 50 feet of the main building entrance. The number of required rack spaces shall be one space per ten vehicle parking spaces ... .

| Off-Street Parking Ratio Standards<br>Table 3.05A  |  |  |  |  |  |
|--|--|--|--|--|--|
| Use <sup>1</sup>   | Parking Ratio - spaces per activity unit or<br>square feet of gross floor area |  |  |  |  |
| COMMERCIAL / PUBLIC  |  |  |  |  |  |
| 42.  | 42. Elementary or middle school 2/ classroom                                   |  |  |  |  |
| 1. The Director may authorize parking for any use not specifically listed in this table. The applicant |  |  |  |  |  |

shall submit an analysis that identifies the parking needs, and a description of how the proposed use is similar to other uses permitted in the zone. The Director may require additional information, as needed, to document the parking needs of the proposed use.

| Accessible Parking Ratio Standards<br>Table 3.05B  |   |                                  |  |  |
|--|---|----------------------------------|--|--|
| Total Spaces   | Minimum Total<br>Accessible Spaces <sup>1</sup> | Minimum Van<br>Accessible Spaces | Minimum "Wheelchair User<br>Only" Spaces |  |
| 201 to 300   | 7   | 1                                |  |  |
| 1. "Van Accessible Spaces" and "Wheelchair User Only" are included in "Total Accessible Spaces." |   |                                  |  |  |

Because both Heritage E.S. and Valor M.S. share the same parking areas, the ratio is calculated for the total number of classrooms of both schools. The ratio yields (73 classrooms x 2 stalls) = 146 stalls. The site plans illustrate and the narrative (p. 45) indicates 203 stalls, exceeding the minimum required and below the cap/maximum per subsection A.2. of twice the minimum.

#### The requirement is met.

The proposal provides eight required ADA-compliant van stalls, six in the front visitor parking area, one in the east side staff parking area, and one in the west side staff parking area, exceeding the minimum provision.

Because the proposal has no compact parking, the 20% maximum of subsection C. is not applicable.

The proposal triggers subsection E., which requires  $(146 / 10) = 14.6 \rightarrow 15$  bike stalls minimum; however, by conditional use and based on Comprehensive Plan Goal H-6 and Policies H-1.3, H-3.2, H-6.7, and K-4.4, and that the proposal involves a public elementary school, via *Condition C1* staff recommends a greater bicycle parking ratio equal to that of the off-street vehicle parking ratio: 2.0 per classroom. The general WDO rates fits some land uses better than others, for example commercial office well, but a public elementary school poorly. The goal and policies are:

"Goal H-6. Coordinate with Marion County in planning for a safe and efficient county-wide transportation system by:

(a) Encouraging use of alternative modes of transportation including mass transit, bicycling, walking and carpooling; and

(b) Addressing transportation needs appropriate to both urban and rural areas throughout the county.

H-1.3 Develop a bikeway system that provides routes and facilities that allow bicyclists to travel from residential areas to schools, parks, places of employment, and commercial areas. Identify off-street facilities in City greenway and park areas. Ensure all new or improved collector and arterial streets are constructed with bicycle lanes.

H-3.2 Develop a plan for improving pedestrian and bicycle safety for travel to and from local schools, commercial areas, and major activity centers.

H-6.7 The Woodburn TSP shall include measures to improve the walking and biking environment by providing sidewalks in all new developments and by providing an interconnecting system of pedestrian connections. Designing for a comfortable and practical pedestrian environment is especially important in Downtown Woodburn and within the Nodal Development Overlay.

K-4.4 Efforts should continue to evaluate the feasibility of bicycle paths linking the CBD with City schools and parks."

Staff cites also Transportation System Plan (TSP; 2005) Goal 5 Policy 1:

"Identify a range of potential Transportation Demand Management (TDM) strategies that can be used to improve the efficiency of the transportation system by shifting single-occupant vehicle trips to other modes and reducing automobile reliance at times of peak traffic volumes."

The City Council on September 23, 2019 adopted the 2019 major update to the TSP that dated from 2005. (Per the City Charter, Ordinance 2575 takes effect 30 days later on October 23.) It retains much of existing goals and policies and adds:

#### "Goal 1 ... Objective 1C

Develop a comprehensive low stress network of bicycle lanes and routes that link major activity centers such as residential neighborhoods, schools, parks, commercial areas, and employment centers.

#### Goal 1 ... Objective 1D

Develop a comprehensive network of sidewalks and off-street pathways that improve pedestrian mobility within neighborhoods and link residential areas to schools, parks, commercial areas, and employment centers.

An additional factor is the approved Smith Creek Development of which the phases closest to the subject property are 1B and 4A. Per the Final Order (Nov. 14, 2018) and its Exhibit C-4 (Attachment 104), 1B is designated for an estimated 105 apartments, and 4A is designated for the 96 row houses. Conditioned improvements including a bicycle/pedestrian path along the west tributary of Mill Creek and through Condition T-BP4 (Final Order p. 67; Attachment 103) an actuated and signalized midblock crossing of Parr Road near the walkway along the west side of driveway W2. Lastly, that development is subject to interim subdivision final plat deadlines per Condition SUB-1 (Final Order pp. 51-52). Though 1B had no preliminary subdivision and needs no final plat, 4A has its final plat due 7 years past the final order date.

In short, the nearby Smith Creek Development will bring 201 new households and an increased K-8 student-age population within easy, convenient, and safe walking and cycling radius distance of about a quarter-mile – approximately 1,400 ft straight line distance to the west end of 4A – from the subject property that has Heritage E.S. and Valor M.S. This reinforces the need to have more bicycle parking at Heritage.

Lastly, looking to a nearby city of similar population and size, Wilsonville, its <u>development code</u> in <u>Section 4.155 Parking, Loading, and Bicycle Parking</u> through Table 5 requires 8 stalls per class (above the 2<sup>nd</sup> grade, with a lesser ratio for kindergarten through 2<sup>nd</sup> grade). Applying this ratio to the 38 classrooms of Heritage, a K-6 school, would yield close to 304 stalls.

As a second example, looking to a relatively more populous but also isolated city in Oregon, Bend, its <u>development code</u> in <u>Chapter 3.3 Vehicle Parking</u>, <u>Loading and Bicycle Parking</u> through Table 3.3.300 requires 1 stall per employee or 4 seats in the auditorium, whichever is greater. CU 2019-02 Staff Report Attachment 102 Page 20 of 51 Without the numbers of Heritage employees or auditorium seats, staff cannot apply this ratio the 38 classrooms of Heritage; however, assuming that a typical classroom seats 30, then per classroom the auditorium rate becomes 7½ stalls per classroom, close to the Wilsonville standard and like Wilsonville well above 2 per classroom as Woodburn staff conditions.

If higher quantities work in Bend and Wilsonville, which rely heavily on privately-owned cars but also have sidewalks, bicycle/pedestrian paths, and local public transit, a higher quantity would work for Heritage E.S. in Woodburn.

Lastly, the evidence is in support of the premise, "Build it, and they will come."

The narrative (April 5, 2019) p. 10 indicates a net result of 38 classrooms in Heritage E.S. Thus,  $38 \times 2.0 = 76$  bike stalls would be required for the school as a result of the condition.

The narrative (submitted April 5, 2019, p. 45) mentions 88 total bike stalls for both Heritage and Valor schools, and the applicant's Response to Letter of Incompleteness (submitted May 28, 2019, p. 6) states, "As shown on Sheet A1.01 in Exhibit 1, existing 'wave-style' bicycle racks are located at each main entry at Heritage Elementary (36 spaces) and Valor Middle (54 spaces) Schools. The current supply of bicycle parking meets that City's standards. The location is also ideal for supervision." However, Sheet A1.01 does not illustrate bicycle parking facility types, locations, and stall quantities for Heritage E.S. The site plans need to show what the narrative and letter assert.

Also, without location(s) indicated, staff is prevented from determining if the part of subsection E. about bike parking located no farther than 50 ft from the main entrance is met for each of the Heritage E.S. and Valor M.S. entrances.

△ To secure the minimum amount of bicycle parking, staff applies *Condition C1*.

★ The proposal regarding Parr Road fails to meet the part of the requirement of 3.05.03E that bicycle parking be within 50 feet of the main building entrance. Staff applies Condition D4.

| Parking Space and Drive Aisle Dimensions<br>Table 3.05C |                        |                          |                          |                            |                            |                             |       |
|---|------------------------|--------------------------|--------------------------|----------------------------|----------------------------|-----------------------------|-------|
| Parking<br>Angle  | Type of Space          | Stall<br>Width<br>(feet) | Curb<br>Length<br>(feet) | Stripe<br>Length<br>(feet) | Stall to<br>Curb<br>(feet) | Drive Aisle Width<br>(feet) |       |
|   |                        |                          |                          |                            |                            | 1-way                       | 2-way |
| Α   |                        | В                        | С                        | D                          | E                          | F                           | G     |
| 90°   | Standard or Accessible | 9.0                      | 9.0                      | 19.0                       | 19.0                       | 24.0                        |       |
|   | Compact                | 7.5                      | 7.5                      | 15.0                       | 15.0                       | 22.0                        | 24.0  |
|   | Car Accessible Aisle   | 6.0                      | 6.0                      | 19.0                       | 19.0                       | 24.0                        | 24.0  |
|   | Van Accessible Aisle   | 8.0                      | 8.0                      | 19.0                       | 19.0                       | 24.0                        |       |

1. A parking space may occupy up to two feet of a landscaped area or walkway. At least four feet clear width of a walkway must be maintained.

- 2. Space width is measured from the midpoint of the double stripe.
- 3. Curb or wheel stops shall be utilized to prevent vehicles from encroaching on abutting properties or rights-of-way.
- 4. The access aisle must be located on the passenger side of the parking space, except that two adjacent parking spaces may share a common access aisle.
- 5. Where the angle of parking stalls differ across a drive aisle, the greater drive aisle width shall be provided.

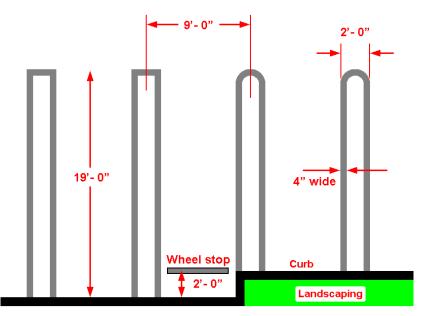


Figure 3.05C - Parking Space Striping

The applicant proposes all stalls, which are all at 90°, to the drive aisle with dimensions, doublestriping, and curbing that meet or exceed the minimum standards – except as regards the variance requests for parking stall length minimum and drive aisle width minimum.

■ *Variance:* Staff addresses the parking stall length minimum variance request further below under the Variance Provisions section.

■ *Variance:* Staff addresses the drive aisle width minimum variance request further below under the Variance Provisions section.

✓ The requirement is met.

#### 3.05.04 Off-Street Loading

B. The off-street loading facilities shall be on the same lot, or site, as the use or structure they are intended to serve. Required loading spaces and required parking spaces shall be separate and distinct, except that if authorized through a land use decision, a parking area may be used for loading during those times when the vehicle parking area is not in use.

| Loading Space Requirements<br>Table 3.05D  |                             |                 |                          |                     |
|--|-----------------------------|-----------------|--------------------------|---------------------|
| Use and Area (square feet)   | Minimum Number of<br>Spaces | Minimu<br>Width | m Size of Spac<br>Length | ce (feet)<br>Height |
| Office<br>0 – 4,999<br>5,000 – 41,999<br>42,000 or more  | 0<br>1<br>2                 | 12              | 30                       | 14                  |
| Nonresidential uses, except office, in the<br>CO, CG, and NNC zones<br>0 – 9,999<br>10,000 – 41,999<br>42,000 – 81,999<br>82,000 or more | 1<br>2<br>3<br>4            | 12              | 30                       | 14                  |

Though the use is nonresidential, because the subject property is zoned P/SP, the table is not applicable.

The provisions are not applicable.

3.05.05 Shared Parking

The applicant proposes none.

The provisions are not applicable.

#### 3.06 Landscaping

#### 3.06.02 General Requirements

The landscape plan sheets (L1.02-2.06) illustrate and note that the general provisions are met, including irrigation, curbing, and avoidance of prohibited tree species.

✓ The requirement is met.

#### 3.06.03 Landscaping Standards A. Street Trees

The required number is  $(1,218 \text{ ft frontage} / 50 \text{ ft}) = 24.3 \rightarrow 24 \text{ trees}$ . Sheets L2.03, L2.04, and L2.09 show that none exist; however, because the front yard has site perimeter landscaping that includes a row of trees that the general public perceives as street trees, and 3.06.03A.3 permits street trees to be relocated from ROW to private property, staff exercises discretion to consider the existing front perimeter trees as street trees for purposes of the numerical minimum.

The sheets show that (7 + 7 + 13) = 27 exist, and Sheet L2.04 shows addition of one tree in place of the removal of driveway W3, raising the total to 28.

✓ The requirement is met.

#### B. & Tables 3.06A & B

| Planting Requirements<br>Table 3.06A                                       |  |   |  |  |
|--|--|---|--|--|
| Location   | Planting Density, Minimum  | Area to be Landscaped, Minimum  |  |  |
| Setbacks abutting a street   | 1 PU/15 square feet  | Entire setback excluding driveways  |  |  |
| Buffer yards   | 1 PU/20 square feet  | Entire yard excluding off-street<br>parking and loading areas abutting a<br>wall  |  |  |
| Other yards  | 1 PU/50 square feet  | Entire yard, excluding areas subject to<br>more intensive landscaping<br>requirements and off-street parking<br>and loading areas   |  |  |
| Off-street parking and<br>loading areas                                    | <ul> <li>1 small tree per 10 parking spaces; or <sup>1</sup></li> <li>1 medium tree per 15 parking spaces; or <sup>1</sup></li> <li>1 large tree per 25 parking spaces <sup>1</sup></li> <li>and</li> <li>1 PU/20 square feet excluding required trees <sup>2</sup></li> </ul> | <ul> <li>RS, R1S, RSN, RM, RMN, P/SP, CO,<br/>CG and MUV zones: 20% of the<br/>paved surface area for off-street<br/>parking, loading and circulation</li> <li>DDC, NNC, IP, IL, and SWIR zones:<br/>10% of the paved surface area for<br/>off-street parking, loading and<br/>circulation</li> <li>Landscaping shall be within or<br/>immediately adjacent to paved<br/>areas</li> </ul> |  |  |
| Common areas, except<br>those approved as natural<br>common areas in a PUD | 3 PU/50 square feet  | Entire common area  |  |  |

1. Trees shall be located within off-street parking facilities, in proportion to the distribution of the parking spaces.

2. Required landscaping within a setback abutting a street or an interior lot line that is within 20 feet of parking, loading and circulation facilities may also be counted in calculating landscaping for off-street parking, loading and circulation areas.

The landscape plans (the L2 series of sheets) illustrate exceeding the minimum planting densities, landscaped areas, and trees for all four yards and the parking and loading areas. This is about landscaping apart from the areas covered by landscaping variance requests as staff examines below under the Variances Provisions section.

The requirement is met.

■ *Variance:* Staff addresses the provisions of Table 3.06A – the yard types of "Buffer" and "Setbacks abutting a Street" – later under the Variance Provisions section.

| Plant Unit (PU) Value<br>Table 3.06B |  |  |  |  |
|--------------------------------------|--|--|--|--|
| Mat                                  | erial  | Plant Unit (PU) Value                      | Minimum Size   |  |
| 1.                                   | Significant tree <sup>1</sup>  | 15 PU each                                 | 24" Diameter   |  |
| 2.                                   | Large tree (60-120 feet high at maturity) <sup>1</sup>   | 10 PU each                                 | 10' Height or 2" Caliper   |  |
| 3.                                   | Medium tree (40-60 feet high at maturity <sup>1</sup>  | 8 PU each                                  | 10' Height or 2" Caliper   |  |
| 4.                                   | Small tree (18-40 feet high at maturity) $^1$  | 4 PU each                                  | 10' Height or 2" Caliper   |  |
| 5.                                   | Large shrub (at maturity over 4' wide x<br>4' high) <sup>1</sup>   | 2 PU each                                  | 3 gallon or balled   |  |
| 6.                                   | Small to medium shrub (at maturity maximum 4' wide x 4' high) <sup>1</sup>                                       | 1 PU each                                  | 1 gallon   |  |
| 7.                                   | Lawn or other living ground cover <sup>1</sup>   | 1 PU / 50 square feet                      |  |  |
| 8.                                   | Berm <sup>2</sup>  | 1 PU / 20 lineal feet                      | Minimum 2 feet high  |  |
| 9.                                   | Ornamental fence <sup>2</sup>  | 1 PU / 20 lineal feet                      | 2½ - 4 feet high   |  |
| 10.                                  | Boulder <sup>2</sup>   | 1 PU each                                  | Minimum 2 feet high  |  |
| 11.                                  | Sundial, obelisk, gnomon, or gazing ball <sup>2</sup>  | 2 PU each                                  | Minimum 3 feet high  |  |
| 12.                                  | Fountain <sup>2</sup>  | 3 PU each                                  | Minimum 3 feet high  |  |
| 13.                                  | Bench or chair <sup>2</sup>  | 0.5 PU / lineal foot                       |  |  |
| 14.                                  | Raised planting bed constructed of<br>brick, stone or similar material except<br>CMU <sup>2</sup>                | 0.5 PU / lineal foot of greatest dimension | Minimum 1 foot high,<br>minimum 1 foot wide in<br>least interior dimension |  |
| 15.                                  | Water feature incorporating stormwater detention <sup>2</sup>  | 2 per 50 square feet                       | None   |  |
| 1.                                   | . Existing vegetation that is retained has the same plant unit value as planted vegetation.                      |  |  |  |
| 2.                                   | . No more than twenty percent (20%) of the required plant units may be satisfied by items in lines 8 through 15. |  |  |  |

The landscape plans illustrate meeting or exceeding the minimum plant unit (PU) standards.

#### ✓ The requirement is met.

#### **Prohibited Trees Table 3.06C**

The landscape plans notes that additional trees are of six species, none of which the table prohibits.

The requirement is met.

#### 3.06.05 Screening & Table 3.06D

#### A. Screening between zones and uses shall comply with Table 3.06D.

Because the property to be (re)developed is zoned P/SP, the provisions are not applicable. Staff opts not to exercise the discretion that the table grants to require one or more Architectural Wall or Walls along the east RS zoning district boundary or the south site and zoning boundary along unincorporated Marion County.

The provisions are not applicable.

#### 3.06.05B.

All parking areas, except those for single-family and duplex dwellings, abutting a street shall provide a 42-inch vertical visual screen from the abutting street grade. Acceptable design techniques to provide the screening include plant materials, berms, architectural walls, and depressed grade for the parking area. All screening shall comply with the clear vision standards of this ordinance (Section 3.03.06).

Parking Lots A and B would lie closer to Parr Road than the building closest to Hayes, which is the existing two conjoined schools. For Lot A, landscape plan Sheet L2.04 illustrates a north front yard row of deciduous trees, which serve as street trees, and a line of shrubbery between the parking and the street, including in area A18 in lieu of driveway W3 to be removed. For Lot B, Sheet L2.09 shows the same in area B01. The plant material schedule on Sheet L2.01 indicates evergreen shrubbery that can grow to at least 3½ feet high.

✓ The requirement is met.

#### 3.06.06 Architectural Walls B. Design Standards and Guidelines

As examined earlier for 3.06.05A, the proposal requires no Architectural Wall; however, outdoor storage of recycling and trash does require enclosure through an Architectural Wall or Walls. For this, the applicant submitted a variance request to not meet the enclosure

Architectural Wall provisions (Response to Letter of Incompleteness submitted July 23, 2019, pp. 11-12).

■ *Variance:* Staff addresses the Architectural Wall provisions as relates to recycling and trash further below under the Variance Provisions section.

• Other than for outdoor storage of recycling and trash, the provisions are not applicable.

C. Retaining walls should/shall meet the texture and color requirements of architectural walls in or abutting residential districts, where the texture and color requirements apply to the visible face of the retaining wall.

#### 1.02

Abutting: Touching on the edge or on the line, including at a corner. It shall include the terms adjacent, adjoining and contiguous.

Adjacent: Near, close or bordering but not necessarily contiguous with; adjoining but separated by a right-of-way.

Because the proposal includes no retaining walls, the provisions are not applicable.

#### 3.06.07 Significant Trees on Private Property

The site plans and applicant's narrative pp. 54-55 indicate removal of one Significant Tree, a 27inch giant sequoia that is Tree 5141 (Sheet L1.00). The tree is next to the front center of the conjoined schools and in the way of the proposed straightened drop-off / pick-up drive aisle. The narrative, Sheet L2.03, and the plant materials schedule on Sheet L2.01 indicate mitigation by planting a new giant sequoia at the site northeast corner, east of the bus, fire, and staff drive aisle leading to and from driveway E2.

The requirement is met.

#### 3.07 Architectural Design

3.07.06 Standards for Non-Residential Structures in Residential, Commercial and Public/Semi Public Zones

A. The following design guidelines shall be applicable to all non-residential structures and buildings in the RS, RSN, R1S, RM, RMN, CO, CG, and P/SP zones.

**B. Architectural Design Guidelines** 

1. Mass and Bulk Articulation Guidelines

a. Building facades visible from streets and public parking areas should be articulated, in order to avoid the appearance of box-like structures with unbroken wall surfaces.

**b.** The appearance of exterior walls should be enhanced by incorporating three-dimensional design features, including the following:

(1) Public doorways or passage ways through the building

- (2) Wall offsets or projections
- (3) Variation in building materials or textures
- (4) Arcades, awnings, canopies or porches

2. Materials and Texture Guidelines

a. Building exteriors should exhibit finishes and textures that reduce the visual monotony of bulky structures and large structural spaces. Building exteriors should enhance visual interest of wall surfaces and harmonize with the structural design.

b. The appearance of exterior surfaces should be enhanced by incorporating the following:

(1) At least 30% of the wall surface abutting a street should be glass.

(2) All walls visible from a street or public parking area should be surfaced with wood, brick, stone, designer block, or stucco, or with siding that has the appearance of wood lap siding.
(3) The use of plain concrete, plain concrete block, corrugated metal, plywood, T-111 and sheet composite siding as exterior finish materials for walls visible from a street or parking area should be avoided.

(4) The color of at least 90 percent of the wall, roof and awning surface visible from a street or public parking area should be an "earth tone" color containing 10 parts, or more of brown or a "tinted" color, containing 10 parts or more white.

(5) Fluorescent, "day-glo," or any similar bright color shall not be used on the building exterior.

- 3. Multi-Planed Roof Guidelines
  - a. The roof line at the top of a structure should establish a distinctive top to the building.
  - b. The roof line should not be flat or hold the same roof line over extended distances. Rather, the roof line should incorporate variations, such as:
    - (1) Offsets or jogs in the plane of the roof;
    - (2) Changes in the height of the exterior wall for flat roof buildings, including parapet walls with variations in elevation or cornices
- 4. Roof-Mounted Equipment Guidelines

All roof-mounted equipment, except solar collectors, should be screened from view by:

a. Locating roof-mounted equipment below the highest vertical element of the building, or

b. Screening roof-mounted equipment using materials of the same character as the structure's basic materials

5. Weather Protection Guidelines

All building faces abutting a street or a public parking area should provide weather protection for pedestrians. Features to provide this protection should include:

a. A continuous walkway at least eight feet wide along the face of the building utilizing a roof overhang, arcade, awnings or canopies

b. Awnings and canopies that incorporate the following design features:

- (1) Angled or curved surfaces facing a street or parking area
- (2) A covering of fabric, or matte finish vinyl
- (3) A constant color and pattern scheme for all buildings within the same development
- (4) No internal back lighting

6. Solar Access Protection

Obstruction of existing solar collectors on abutting properties by site development should be minimized.

C. Building Location Guidelines

1. Within the prescribed setbacks, building location and orientation should compliment abutting uses and development patterns.

2. The maximum yard abutting a street should be 150 feet.

The Heritage E.S. school building exterior remains unaltered, and the site plans propose that the south rear annex outbuilding have an east addition/expansion. The elevations show that the addition/expansion has largely what the guidelines describe.

The provisions are met.

#### **Conditional Use Provisions**

The conditional use is a public K-12 school, specifically Heritage Elementary School (E.S.).

The existing site development and the elementary school it already has date from approximately 1999, pre-dating City adoption of the WDO in 2002.

#### **Conditional Use Criteria**

5.03.01 Conditional Use

B. Criteria:

- 1. The proposed use shall be permitted as a conditional use within the zoning district.
- 2. The proposed use shall comply with the development standards of the zoning district.
- 3. The proposed use shall be compatible with the surrounding properties.
- Relevant factors to be considered in determining whether the proposed use is compatible include:
  - a. The suitability of the size, shape, location and topography of the site for the proposed use;
  - b. The capacity of public water, sewerage, drainage, street and pedestrian facilities serving the proposed use;

c. The impact of the proposed use on the quality of the living environment:

- 1) Noise;
- 2) Illumination;
- 3) Hours of operation;
- 4) Air quality;
- 5) Aesthetics; and
- 6) Vehicular traffic.

d. The conformance of the proposed use with applicable Comprehensive Plan policies; and

e. The suitability of proposed conditions of approval to ensure compatibility of the proposed use with other uses in the vicinity.

Note that there are three conditional use criteria and five factors to guide consideration of the criteria, and that the code allows decision makers to cite and consider additional factors.

Regarding the first criterion, the proposed use has no exact match and mostly closely matches A.3 In Table 2.04A, "Public administration, aquatic facilities, fire protection, government and public utility buildings and storage yards", which is conditional. Based on this and that A.5 trade schools are a conditional use, the Director interprets that public K-12 schools are conditional use in the P/SP zoning district.

The criterion is met.

Regarding the second criterion, the proposal does include partial site redevelopment including a school annex outbuilding addition/expansion, redevelopment of the existing north front visitor parking area and drop-off / pick-up area, and towards the northeast an addition of parking area Lot C in place of three modular buildings. The proposal meets the site development standards of the P/SP zoning district. It also meets WDO provisions either directly or by the conditions of approval.

The criterion is met.

Regarding the third criterion:

Factor a.: Suitability of the size, shape, location and topography of the site for the proposed use: The site in developed around 1999 with Heritage E.S. and remains as such along with Valor M.S. The site is already developed and the applicant proposes no redevelopment that includes upsizing or adding potable water, sanitary sewer, or stormwater laterals. The City Engineer identifies no infrastructure deficit that the proposal poses or would require upgrading of any public potable water, sanitary sewer, or stormwater lines. Regarding street and pedestrian improvements, those along the frontage are of good quality; however for a safe route to school, the crossing along the west leg of the intersection of Parr Road and Harvest Way needs be upgraded including to add an ADA-compliant ramp at the south landing. The applicant is also upgrading to provide ADA-compliance where it does not exist where the 10-12-ft sidewalk as a bike/ped path crosses remaining driveways.

The existing improvements exceed the minimums of Transportation System Plan (TSP) Figure 7-1 "Functional Classification Designations" (Attachment 105; 2005) and WDO 3.01.

By this conditional use, staff requires ROW and PUE dedication along Parr Road and minimum ADA upgrades where the 10-12-ft sidewalk as a bike/ped path crosses remaining driveways and at the aforementioned pedestrian crossing along the west leg of the intersection of Parr Road and Harvest Way.

Factor b.: Capacity of public water, sewerage, drainage, street and pedestrian facilities serving the proposed use: The site is already developed and the applicant proposes no

redevelopment that includes upsizing or adding potable water, sanitary sewer, or stormwater laterals. The City Engineer identifies no infrastructure deficit that the proposal poses or would require upgrading of any public potable water, sanitary sewer, or stormwater lines. Regarding street and pedestrian improvements, these are of good quality and conditioned to be upgraded simply for ADA-compliance and a safe route to school as explained under factor a.

Factor c.: Impact of the proposed use on the quality of the living environment:

1) Noise;

The proposed use generates no more noise than it actually does, and a public school is not particularly noisy compared to land uses that the general public is prone to fear unwilling, prolonged exposure to, such as bars and nightclubs where loud drunken fighting is common, expressways, highways, heavy industry, and quarries. Woodburn like most cities has zoning provisions that accommodate schools, a needed public land use.

2) Illumination;

Exterior illumination could be a nuisance. WDO 3.05.02L and Ordinance 2338, Section 5A regulate aspects of exterior lighting, but fail to regulate fixture cut-offs or shielding as well as mounting heights. To prevent light encroachment into street ROWs and adjacent residentially zoned property as well as light pollution – glaring into others' eyesight – by conditional use staff requires full cut-off or shielded lighting and limits mounting heights.

3) Hours of operation;

The proposed use involves no hours of operation longer than that of the existing school, which are typical.

4) Air quality;

The proposed use emits no air pollutants. Because most transportation to and from the site is by privately-owned car, staff applies a condition to require two carpool/vanpool (C/V) stalls, thereby increasing the chances of improved air quality resulting from District staff trips.

To lessen the urban heat island effect in staff parking Lot C, staff applies a condition to construct a landscaped island or peninsula.

#### 5) Aesthetics; and

Trees further aesthetics. To improve aesthetics in staff parking Lot C, the condition to construct a landscaped island or peninsula is relevant.

Also to improve aesthetics, staff applies a condition ensuring that the three modular buildings the proposal will remove from where staff parking Lot C will be will in fact be gone from the site instead of displaced elsewhere on site.

Lastly, to improve aesthetics, staff applies a condition to remove the front yard nonconforming readerboard pole sign.

6) Vehicular traffic.

The applicant's narrative (submitted April 5, 2019) p. 40 and Exhibit 4 traffic assessment memo explain that there is no net increase in the number of classrooms or student capacity, which are 40 classrooms and 930 students respectively. (Employees remain at 86.) Thus, there is no increase in vehicle trip generation.

To lessen turning vehicle conflict points and implement greater conformance of the proposal with 3.04.03A.3. ("the number of driveways should be minimized", followed by a list of three considerations a-c) and because (a) Parr Road is a major class of road, (b) driveway W3 is not needed for either visitor access or bus, fire, and staff access, and (c) the applicant proposes an improved drop-off / pick-up area that accounts for District experience with vehicle trip volume, intensity, and duration, staff applies a condition that the applicant remove driveway W3 set the maximum number of driveways equal to the remaining four.

To increase pedestrian safety and thereby to encourage more walking and cycling, staff applies a condition to upgrade per present Public Works Department and ADA federal and state standards the west crossing of Parr Road at Harvest Way.

Also, staff conditions striped routes from the visitor parking Lot A to a walkway or access way to lessen conflicts between pedestrians and drivers.

Overall, factor c. supports approval.

Factor d.: Conformance with applicable Comprehensive Plan policies:

The Comprehensive Plan does not address such minutiae of land use as the specific proposed use. It's limited to broad concepts such as siting new schools and sharing of District recreational facilities for public use similar to City public parks.

Applicable to factor c.4 as well as d., because the Comprehensive Plan encourages walking and cycling as examined above under Design Review Provisions, Table 3.05A, staff applies a condition to require more bicycle parking, thereby increasing the chances of improved air quality and meeting those Comprehensive Plan policies.

Factor e.: Suitability of proposed conditions of approval to ensure compatibility with other uses in the vicinity:

Staff determined suitable conditions of approval relating to, among other things, frontage aesthetics (removal of driveway W3 and planting of additional front yard trees) and lists them further below.

In conclusion regarding criterion 3, the use is compatible with the surrounding properties.

✓ The criterion is met.

✓ The conditional use criteria are met. Staff recommends approval with conditions of the request.

#### **Street Exception Provisions**

5.03.03 Exception to Street Right of Way and Improvement Requirements

A. Purpose: The purpose of a Type III Exception is to allow a deviation from the development standard required for the functional classification of the street identified in the Transportation System Plan. Street exceptions are processed in conjunction with a development proposal that is a Type III application.

B. Criteria:

 The estimated extent, on a quantitative basis, to which the rights of way and improvements will be used by persons served by the building or development, whether the use is for safety or convenience;
 The estimated level, on a quantitative basis, of rights of way and improvements needed to meet the estimated extent of use by persons served by the building or development;

3. The estimated impact, on a quantitative basis, of the building or development on the public infrastructure system of which the rights of way and improvements will be a part; and

4. The estimated level, on a quantitative basis, of rights of way and improvements needed to mitigate the estimated impact on the public infrastructure system.

C. Proportionate Reduction in Standards: An exception to reduce a street right of way or cross section requirement below the functional classification standard may be approved when a lesser standard is justified based on the nature and extent of the impacts of the proposed development. No exception may be granted from applicable construction specifications.

D. Minimum Standards: To ensure a safe and functional street with capacity to meet current demands and to ensure safety for vehicles, bicyclists and pedestrians, as well as other forms of non-vehicular traffic, there are minimum standards for right of way and improvement that must be provided to meet the standards of this Ordinance (Section 3.01). Deviation from these minimum standards may only be considered by a variance procedure.

A Street Exception is akin to an adjustment or variance and specific to frontage/public/street improvements. In return for granting a Street Exception, the City applies conditions to secure public benefits. The applicant addressed the EXCP criteria through the application materials Exhibit 5 (submitted April 5, 2019) and focusing on not majorly altering the Parr Road frontage. Planning and Public Works staff concur with the applicant's narrative regarding the criteria and find them met.

#### ROW & PUEs

The site plans lack required dedications as examined above for 3.01, but an EXCP condition secures these. The site is unusual in that the south side of Parr Road – the site north frontage – has both a narrow sidewalk and parallel a wide sidewalk serving as a bicycle/pedestrian path, and this frontage does not conform to the model/standard cross section for a Service Collector class road. However, this set of improvements extends farther east to S. Settlemier Avenue and west to the west end of Centennial Park, a total distance of about 3,050 feet and indicative that it was either a City priority or at least acceptable to the City as several developments occurred along the south side of the corridor including the schools. The path is excellent as staff has

observed that most cyclists in town choose to ride on sidewalk where it exists, however narrow, because of wanting to feel safe.

For these reasons, it would be nonsensical and very expensive to make the applicant/District disrupt the frontage to install frontage that conforms with the model/standard cross section but would result in worse conditions for pedestrians and cyclists as well as potentially injure or kill the row of large, mature trees that, though in the front yard, serve as street trees for the school site and shade the path.

In short, providing ROW and a PUE to conform to the functional class and model/standard cross section necessitates no improvements and so no expense. It also brings more of the existing improvements into ROW and a PUE because the path is not entirely within existing ROW. In this case, staff requests a wider than usual PUE to secure legal public access for the path without imposing ROW dedication more than necessitated by the functional class and model/standard cross section.

#### Street trees

As staff examined above for 3.06.03A including subsection A.3, the row of trees along the south side of the wide sidewalk / path appear to be street trees but are within the front yard. The subsection allows staff to consider such trees as street trees, and staff does so. The existing number exceeds the minimum required based on length of frontage.

#### ADA

The City cannot except from ADA federal and state standards. The applicant needs to upgrade to current such standards the wide sidewalk / path where it crosses driveways along Parr Road. Staff applies *Condition EX1bi*.

#### **Variance Provisions**

The several variance requests accompanying the design review relate to:

- 1. Parking stall length minimum (Table 3.05C);
- 2. Drive aisle width minimum (Table 3.05C);
- 3. Planting density minimums for "Setbacks abutting a street" (Table 3.06A);
- 4. Planting density minimums for "Buffer yards" (Table 3.06A); and
- 5. Screening requirement for "Refuse and recycling collection facilities", i.e. recycling and trash enclosures, in the form of an Architectural Wall (Table 3.06D & 3.06.06).

The applicant submitted narrative text addressing the criteria.

#### Variance Criteria

5.03.12 Variance

A. Purpose: The purpose of this Type III Variance is to allow use of a property in a way that would otherwise be prohibited by this Ordinance. Uses not allowed in a particular zone are not subject to the variance process. Standards set by statute relating to siting of manufactured homes on individual lots; siding and roof of manufactured homes; and manufactured home and dwelling park improvements are non-variable.

B. Criteria: A variance may be granted to allow a deviation from development standard of this ordinance where the following criteria are met:

**1**. Strict adherence to the standards of this ordinance is not possible or imposes an excessive burden on the property owner, and

2. Variance to the standards will not unreasonably impact existing or potential uses or development on the subject property or adjacent properties.

C. Factors to Consider: A determination of whether the criteria are satisfied involves balancing competing and conflicting interests. The factors that are listed below are not criteria and are not intended to be an exclusive list and are used as a guide in determining whether the criteria are met.

**1**. The variance is necessary to prevent unnecessary hardship relating to the land or structure, which would cause the property to be unbuildable by application of this Ordinance. Factors to consider in determining whether hardship exists, include:

a. Physical circumstances over which the applicant has no control related to the piece of property involved that distinguish it from other land in the zone, including but not limited to, lot size, shape, and topography.

b. Whether reasonable use similar to other properties can be made of the property without the variance.

c. Whether the hardship was created by the person requesting the variance.

2. Development consistent with the request will not be materially injurious to adjacent properties. Factors to be considered in determining whether development consistent with the variance [is] materially injurious include, but are not limited to:

a. Physical impacts such development will have because of the variance, such as visual, noise, traffic and drainage, erosion and landslide hazards.

b. Incremental impacts occurring as a result of the proposed variance.

**3.** Existing physical and natural systems, such as but not limited to traffic, drainage, dramatic land forms or parks will not be adversely affected because of the variance.

4. Whether the variance is the minimum deviation necessary to make reasonable economic use of the property;

5. Whether the variance conflicts with the Woodburn Comprehensive Plan.

Variance: Parking Stall Length Minimum

| Parking Space and Drive Aisle Dimensions<br>Table 3.05C |                        |                          |                          |                            |                            |                             |       |
|---|------------------------|--------------------------|--------------------------|----------------------------|----------------------------|-----------------------------|-------|
| Parking   | Type of Space          | Stall<br>Width<br>(feet) | Curb<br>Length<br>(feet) | Stripe<br>Length<br>(feet) | Stall to<br>Curb<br>(feet) | Drive Aisle Width<br>(feet) |       |
| Angle   |                        |                          |                          |                            |                            | 1-way                       | 2-way |
| Α   |                        | В                        | С                        | D                          | E                          | F                           | G     |
|   | Standard or Accessible | 9.0                      | 9.0                      | 19.0                       | 19.0                       | 24.0                        |       |
| 90°   | Compact                | 7.5                      | 7.5                      | 15.0                       | 15.0                       | 22.0                        | 24.0  |
| 50  | Car Accessible Aisle   | 6.0                      | 6.0                      | 19.0                       | 19.0                       | 24.0                        | 24.0  |
|   | Van Accessible Aisle   | 8.0                      | 8.0                      | 19.0                       | 19.0                       | 24.0                        |       |

1. A parking space may occupy up to two feet of a landscaped area or walkway. At least four feet clear width of a walkway must be maintained.

- 2. Space width is measured from the midpoint of the double stripe.
- 3. Curb or wheel stops shall be utilized to prevent vehicles from encroaching on abutting properties or rights-of-way.
- 4. The access aisle must be located on the passenger side of the parking space, except that two adjacent parking spaces may share a common access aisle.
- 5. Where the angle of parking stalls differ across a drive aisle, the greater drive aisle width shall be provided.

The applicant's Response to Letter of Incompleteness (submitted July 23, 2019; p. 8) states:

"This project is further modifying it's [*sic*] variance request to allow for a minimum stall length of 18.5 feet for parking spaces in the Parking Lot A. The typical space dimensions for existing vehicle parking spaces are 18.5 feet in length. Actual space dimensions and striping for parking lots A and C will be verified by the contractor during construction. If existing curb constraints allow, parking stall striping will be brought into conformance. Accepting the variance will have no physical or incremental impacts and does not conflict with the Woodburn Comprehensive Plan."

Staff concurs and conditions accordingly.

A The variance criteria are met with Condition V1-PSL.

#### Variance: Drive Aisle Minimum Widths

Table 3.05C Parking Space and Drive Aisle Dimensions

The applicant's Response to Letter of Incompleteness (submitted May 28, 2019; p. 4) states:

"This project has modified its variance request to allow for the annex addition fire lane to retain the 20-foot width as proposed. As shown, the proposed fire lane that will extend to the annex addition is 20 feet in width. The requested variance is not related to uses in a particular zone or standards related to the siting of a manufactured home.

As the fire access lane will be used only in cases of emergencies by emergency vehicles, the use of this lane as a two-way drive aisle is not expected. Emergency vehicles will use this lane to access the building for emergency purposes only. The design is only intended for one fire apparatus at a time to access the annex, turn around, and exit. Table 3.05C provides drive aisle standards based on size and design of a parking space (i.e. standard 90-degree parking spaces require 24-foot wide drive-aisle). The fire access lane does not provide a connection to or include any parking spaces; parking in the fire access lane would reduce or prevent fire apparatus access to the school building annex addition in the event of an emergency. Accepting this variance will have no physical or incremental impacts and does not conflict with the Woodburn Comprehensive Plan."

Staff concurs and conditions accordingly, knowing that the aisle will continue to meet the minimum 20-ft standard for two-way travel per 2014 Oregon Fire Code (OFC) Appendix D.

A The variance criteria are met with *Condition V2-DA*.

#### Variance: Street Setback Landscaping

| Planting Requirements<br>Table 3.06A |                           |   |  |
|--------------------------------------|---------------------------|---|--|
| Location                             | Planting Density, Minimum | Area to be Landscaped, Minimum  |  |
| Setbacks abutting a street           | 1 PU/15 square feet       | Entire setback excluding driveways  |  |
| Buffer yards                         | 1 PU/20 square feet       | Entire yard excluding off-street<br>parking and loading areas abutting a<br>wall  |  |
| Other yards                          | 1 PU/50 square feet       | Entire yard, excluding areas subject to<br>more intensive landscaping<br>requirements and off-street parking<br>and loading areas |  |

1. Trees shall be located within off-street parking facilities, in proportion to the distribution of the parking spaces.

2. Required landscaping within a setback abutting a street or an interior lot line that is within 20 feet of parking, loading and circulation facilities may also be counted in calculating landscaping for off-street parking, loading and circulation areas.

The applicant's narrative states (submitted April 5, 2019; pp. 15-16):

"Table 3.06A requires one planting unit (PU) for every 15 square feet, excluding driveways within the 20-foot setback area. The setback area from northern property line includes an existing multi-use pathway that provides safe access for students and other active transportation mode users to travel to and from the school and to adjacent areas. The multi-use pathway is approximately 10 feet in width (within the front setback) and reduces the amount of space available for plantings by approximately 9,080 square feet. The remaining areas in the setback area are predominantly landscaped with grass and include 27 mature trees, a monument sign, and two reader boards. The mature trees limit the amount of space available for planting (i.e. shrubs or other trees) without potentially causing damage to the existing tree's critical root zones. The existing monument and reader board signs require clear vision areas between each sign and the street, further reducing the amount of area that can be

landscaped with materials other than grass.

To reduce the impact of the variance request, this project is proposing additional landscaping that will be planted in other areas of the front yard that will not potentially damage existing trees or inhibit visibility to existing monument signs or the school building itself. A portion of these plantings will be located in the existing parking lot areas and around the main school building."

Staff agrees about the path context, having described elsewhere how – even with newly dedicated ROW and PUE – it would remain mostly if not wholly in the front yard. As an aside, staff notes that existing monument signs do not "require" vision clearance area (VCA) per the WDO, but they may necessitate VCA because that is what the District wants. Overall, staff concurs and conditions accordingly, including to require three additional trees in the front yard within 20 ft of the wide sidewalk / path and identifying two gaps in the existing row of front yard trees that serve as street trees.

A The variance criteria are met with Condition V3-SSL.

#### Variance: Buffer yard landscaping

#### Table 3.06A Planting RequirementsBuffer yards ...

The applicant's narrative states (submitted April 5, 2019; p. 16):

"Table 3.06A requires one PU for every 20 square feet of the yard area, excluding off-street parking and loading areas abutting a wall. Buffer yards only apply to areas where the adjacent property is zoned differently than the school. Based on this, the buffer yard applies only to the eastern property line, which abuts a developed residential area zoned as RS. Per discussions with City staff at a meeting held on January 18, 2019, the buffer yard area along the eastern portion of the site would be limited to the equivalent of the 20-foot setback area.

The buffer yard along the northern half of the east property line is constrained by an existing access road and utility lines that are located on-site, and by existing mature trees that are located immediately adjacent to the site in the residentially zoned area. The northern portion of the buffer yard area includes an existing water line that extends south from the Parr Road, parallel to the access road and the eastern property line. The presence of the water line limits the location and type or plantings in the buffer yard area poses a risk to damaging the water line. In

addition, new plantings in this area could create costly maintenance issues if repairs to the water line were needed.

There are currently 53 established, mature trees – including two significant trees and several existing prohibited trees – located along the northern portion of the buffer yard area. These trees currently provide screening between the school and the residential uses. Additional plantings within the buffer yard area poses the risk of damaging the root structure of these trees. In addition, many of these trees are not on the school's property but have canopy and roots crossing into the property.

Given the constraints created by the existing conditions in the buffer yard along the northern half of the east property line, this project is proposing to place new plantings in strategic locations to bring this project closer into conformance with the standard.

The southern half of the east property line currently has no trees. This area is proposed to be planted at a high density to provide a buffer and screening between the school and residential area. This landscaping will also include shrubs."

Staff concurs. Staff conditions accordingly.

A The variance criteria are met with *Condition V4-BY*.

#### Variance: Architectural Wall for Recycling and Trash Enclosure

#### Table 3.06D & 3.06.06

The applicant's Response to Letter of Incompleteness states (May 28, 2019; p. 6):

"The existing trash and recycling area is contained in an enclosure with a masonry wall and a locking gate (see Sheet A1.01 for location). This project is not proposing to modify to the enclosure as part of this application."

The applicant's Response to Letter of Incompleteness states (July 23, 2019; pp. 11-12):

"The existing outdoor trash and recycling area is located in an alcove behind the school building (see Sheet A1.01 in Attachment A). The existing trash and recycling area does not have an architectural wall around the full perimeter. However, the area is enclosed on three sides and is not visible from adjacent zones. The partial enclosure provides screening on the northern, eastern, and western sides. The northern and eastern sides are enclosed by the main school building. The eastern side extends approximately 40 feet beyond the trash and recycling area, providing additional screening. The western side is enclosed by large storage containers that are used to store school equipment and supplies.

No additional work or changes are proposed in this area as part of this application. As such, this application is amending its variance request to include a variance request to Section 3.06.06. The variance is necessary for the following reasons:

- The current trash and recycling area is optimal due to its proximity to the school's common facilities, including the kitchen, cafeterias, and gyms and locker rooms.
- The current trash and recycling area is accessible to the bus drive aisle to the south via a curb cut between the playground and drive aisle.

• There are no other locations behind the school building that provide more direct access between the school's common facilities and the bus drive aisle.

The existing trash and recycling area has been in use since the school was constructed in 1996. Granting the variance request would not impact how the school or adjacent areas currently operate. Nor would it prohibit future development at the school or adjacent properties."

Staff concurs. Staff conditions accordingly.

A The variance criteria are met with *Condition V5-AW/TE*.

#### **Recommended Conditions of Approval**

Staff recommends approval of the consolidated applications based on the findings in the staff report and attachments, which are incorporated by this reference, as well as applying the following conditions of approval:

#### General

G1. Prior to building permit application, the applicant shall submit revised site plans meeting the conditions of approval to the Planning Division and obtain Division approval.

G2. The applicant or successor shall develop the property in substantial conformance with the final plans submitted and approved with these applications, except as modified by these conditions of approval. Were the applicant to revise plans other than to meet conditions of approval or meet building code, even if Planning Division staff does not notice and signs off on building permit issuance, Division staff retains the right to obtain restoration of improvements as shown on an earlier land use review plan set in service of substantial conformance.

G3. References: The descriptions below define certain words, phrases, and assumptions in the context of the conditions of approval:

- "Access way" means an on-site walkway paved at least eight (8) feet wide to serve as a bicycle/pedestrian path to and from sidewalk and that is ADA-compliant.
- "ADA" refers to the federal Americans with Disabilities Act of 1990.
- "Director" refers to the Community Development Director.
- "District" refers to the Woodburn School District.
- "E1" refers to the fourth driveway from the west.
- "Heritage" refers to Heritage Elementary School (E.S.)
- "Parr" refers to Parr Road.
- "PUE" means public utility easement.
- "ROW" means right-of-way.
- "W2" refers to the second driveway from the west.
- "W3" refers to the third driveway from the west and one to be removed.

G4. Due date: Unless a condition specifies otherwise, meeting the conditions is due by building permit issuance.

G5-PW. Public Works: Follow the appended "Public Works Comments September 16, 2019".

#### Conditional Use 2019-02

C1. Bicycle parking:

- a. Ratio: Required off-street bicycle parking shall number at least two (2) stalls per Heritage classroom.
- b. Distribution: The number shall be divided among at least three areas: the main entrance, a building entrance from staff parking Lot C, and an entrance to the rear annex outbuilding. The latter two locations shall have at least two (2) stalls each.
- c. Facility: Each stall shall adjoin a facility designed for the securing of one or more bicycles, such as a U-rack or wave rack.
- d. Stall size: The minimum size of additional or altered stalls shall be two (2) feet wide by six (6) feet long, and minimum vertical clearance shall be eight (8) feet. If a stall is wall-mounted, the minimum stall depth shall be five (5) feet. The minimum maneuvering area to access any stall shall be at least five (5) feet deep. The dimensional standards do not apply to the existing bicycle parking within the fenced enclosure at the east side of the school.

This condition is due by building permit final inspection.

C2. Bond / bonding / performance guarantee: Were the applicant to bond any improvements as allowed by and pursuant to WDO 4.02.08, the amount shall be 150% instead of 120%.

- C3. Carpool/vanpool (C/V):
  - a. Number: Within a staff-only parking area there shall be at least two C/V stalls located convenient to a staff entrance or entrances and limited to carpools and vanpools.
  - b. Striping: Each stall shall be striped "CARPOOL/VANPOOL ONLY" in lettering one (1) foot high minimum.
  - c. Signage: Each stall shall have a wall-mounted or pole-mounted sign for "Carpool/Vanpool Only". Minimum sign face size shall be one (1) foot wide by one-and-a-half (1½) feet high. The top of a posted sign shall be between five-and-a-half (5½) and six-and-a-half (6½) feet above vehicular grade.
  - d. If there are State of Oregon standards that conflict with b. and c., the applicant may go by state standards instead and provide a copy of them to staff.

This condition is due by building permit final inspection.

C4. Landscaped island in parking Lot C: Within the south side parking aisle, there shall be a landscaped island or peninsula as a separation between two sets of stalls. Minimum dimensions are six-and-a-half (6½) feet wide between insides of curbing and a length of at least fourteen-and-a-half (14½) feet between insides of curbing. The island shall have a tree planted at the minimum size per WDO Table 3.06B and grass or vegetative groundcover. This condition is due by building permit final inspection.

- C5. Lighting: This applies to additional or altered exterior lighting fixtures.
  - a. Full cut-off: They shall be full cut-off or fully shielded models.
  - b. Heights:

- i. Wall: Wall-mounted fixtures shall be no higher than fifteen (15) feet above walkway finished grade. (This height limit is not applicable to emergency egress lighting and permanent wall signs allowed through WDO 3.10 were they to have interior illumination.)
- Parking pole: Exterior pole-mounted fixtures within five (5) feet of or in parking, loading, and vehicular circulation areas shall be no higher than twenty-five (25) feet above vehicular finished grade.
- iii. Other pole: Remaining exterior pole-mounted fixtures, excepting sports field lighting, shall be no higher than fifteen (15) feet above grade.

This condition is due by building permit final inspection.

C6. Modular buildings / modulars: Consistent with the land use review plan set submitted August 30, 2019, Sheets C1.00 Existing Conditions and Demolition Plan – Overall and C2.00 Layout and Paving Plan - Overall, the number of modular buildings shall decrease by at least three (3). The removal of modular buildings is due by building permit final inspection. The City may later supersede this condition by taking action on a future land use application submittal as to allow one or more modular buildings. This condition is due by building permit final inspection.

C7. Off-site improvements: Harvest Way: The applicant shall upgrade the pedestrian crossing along the west leg of the intersection of Parr and Harvest Way as the Public Works Department directs and to meet federal and state ADA standards. Striping shall be zebra.

- C8. Signage: To meet WDO 3.10 and the needs of the Public Works Department:
  - a. Permanent signage for the school campus shall not encroach within any PUE.
  - b. The applicant shall remove the Parr nonconforming readerboard pole sign. The applicant shall do so prior to building permit final inspection.
  - c. Through an approved sign permit application, the applicant may either upgrade the sign per WDO 3.10.11 and relocate it or replace it with a fully conforming sign.
- C9. Walkways: In staff parking Lot A there shall be:
  - a. At least two (2) striped walking routes at least six (6) feet wide leading between the north and south east-west aisles.
  - b. One (1) striped walking route at least six (6) feet wide leading between the north eastwest aisle and the north-south access way, which connects the wide sidewalk and the Heritage main entrance.

This condition is due by building permit final inspection.

C10. Discontinuance/Revocation: Because the WDO does not specify if and when a conditional use approval would expire were a use to cease, based on WDO 4.02.04B the approval shall expire if the use of public school ceases and three (3) years pass without the use recommencing.

C11. CU Modification: Because the WDO, including 5.03.01, does not specify how changes to an approved conditional use (CU) and related site improvements might trigger another CU or modification of a CU approval, for Director determination the following serve as criteria and – where noted – as factors:

- a. Significant expansion of the use, factors being an increase in any of: total gross floor area (GFA) by 25.0% or more or by an absolute value of ten thousand (10,000) square feet or more, the number of buildings (excluding modulars) by two (2) or more, the number of modular buildings by one (1) or more, and the number of classrooms by six (6) or more;
- b. Increase in off-street parking by twelve (12) or more stalls, even if the existing supply were in excess of the minimum required ratio(s);
- c. Net Increase in impervious surface totaling at least two-and-half (21/2) acres;
- d. Development as defined in WDO 1.02 within twenty (20) feet of a property boundary and not already conditioned through the subject approval;
- e. Installation of additional or altered sports field lighting taller than twenty (20) feet and within twenty (20) feet of ROW or other property line;
- f. Any proposal necessitating a request for Exception to Street Right-of-Way and Improvement Requirements ("Street Exception");
- g. Any proposal necessitating a request to vary from the WDO;
- h. Any proposal necessitating a Type III or IV land use application type;
- i. City adoption of a unified development ordinance replacing the WDO were to have intervened; and
- j. Proposal by the Woodburn School District for the City to approve a District-led longrange master plan for the Heritage Elementary School campus.

Modification of a specific condition of approval remains pursuant to WDO 4.02.07. Were the City to have amended the WDO to establish modification provisions for conditional uses, the Director may decide that the provisions supersede this condition of approval.

#### Design Review 2019-07

D1. Fences / fencing: To meet WDO 2.06.02C.1 (height maximum) and 2.06.02D.2 (coating and slats), the applicant shall through the sign permit process of 5.01.03 have the proposed fencing, including that shown on Sheet L2.10 Detail 7, conform.

D2. PUEs, on-site: To meet WDO 3.02.01A & C and pursuant to Public Works Department standards, the applicant shall:

a. Illustrate, note, and dedicate an on-site public utility easement or easements – in addition to a roadside PUE – for public utility lines at a minimum width of either sixteen (16) feet or wider if the nature of the line or lines necessitates a wider on-site PUE or segments of said PUE;

- b. Extinguish any on-site PUE that has no public utility line; and
- c. Resolve any conflict resulting from a building or freestanding wall encroaching into an on-site PUE.

The applicant should also read and understand Note to the Applicant 8a about dedication process.

D3. Parking stall double striping: To meet WDO 3.05.02K, the applicant shall delineate altered or additional off-street parking stalls with double parallel lines pursuant to Figure 3.05C.

D4. Bicycle parking near main entrance: To meet WDO 3.05.03E, the applicant shall provide bicycle parking within fifty (50) feet of the main entrance of Heritage.

#### Street Exception 2019-02

The street exception request is approved as modified by the following conditions:

#### EX1. Parr:

- a. Dedications: The applicant shall illustrate, note, and dedicate six (6) feet of ROW and a PUE that is five (5) feet wide.
- b. Sidewalks: This part of the condition is due by building permit final inspection.
  - i. ADA compliance: This applies to both the wide sidewalk that is a bicycle/pedestrian path and the narrow sidewalk. The applicant shall upgrade to current federal and Oregon ADA standards the sidewalks where they cross driveways along Parr Road.
  - ii. Narrow sidewalk: This applies to the narrow sidewalk closer to the curb. As part of removal of driveway W3, the applicant shall not have to complete the resulting gap if the applicant instead were to construct concrete diagonal sidewalk at the same width as the narrow sidewalk and that connects to the wide sidewalk both would-be dead-ends of the narrow sidewalk.
- c. Street tree: As part of removal of driveway W3, the applicant shall in place of the driveway plant an additional street tree that conforms to WDO 3.06.03A. Per WDO 3.06.03A.3, it may be in the front yard outside the ROW and roughly in line with the existing street trees. This part of the condition is due by building permit final inspection.
- d. Public Works Standard Specifications & Drawings: As part of the land use review plan set and the building permit submittal plan set, the applicant shall reproduce <u>standard</u> <u>details</u> as Public Works Directs and include <u>Drawing 1 Street Tree Planting New</u> <u>Construction</u> and <u>Detail No. 4150-8 Sidewalks</u>.

Variance 2019-01

V1-PSL. Parking stall length minimum (WDO Table 3.05C): For altered or additional 90-degree standard parking stalls, the minimum length shall be eighteen (18) feet (instead of 19 feet typical), and – where there is overhang of landscaping – the overhang is limited to six (6) inches (instead of 2 feet typical). Any wheelstop shall be no higher than four (4) inches.

V2-DA. Drive aisle (WDO Table 3.05C): The minimum drive aisle widths shall be per the table below (instead of 24 feet typical):

| Parking Context    | Minimum Drive Aisle Width (feet) |                          |                |  |
|--------------------|----------------------------------|--------------------------|----------------|--|
|                    | One-way Travel                   |                          | Two-way Travel |  |
|                    | Single Lane                      | Single Lane Paired Lanes |                |  |
| Standard or ADA-   | 18                               | 10 per lane; 20 total    | 20             |  |
| compliant stalls   |                                  |                          |                |  |
| Compact stalls     | 16                               | 9 per lane; 18 total     | 20             |  |
| No adjacent stalls | 10                               | 9 per lane; 18 total     | 20             |  |

V3-SSL. Street setback landscaping (WDO Table 3.06A):

- a. Applicability: The minimum area to be landscaped at the minimum planting density for a setback abutting a street per Table 3.06A shall be planted to the minimum density for "Other yards" per Table 3.06A.
- b. Trees: The applicant shall plant three (3) additional front yard trees conforming to Tables
   3.06B & C within twenty (20) feet of the south edge of the wide sidewalk, including:
  - i. At least one near the east side of driveway W2; and
  - ii. One near the west side of driveway E1.

V4-BY. Buffer Yards (WDO Table 3.06A): Buffer yards are exempt from the Table 3.06A landscaping provisions specific to buffer yards. The provisions shall default to those of another applicable yard type: "Other yards" or where applicable "Off-street parking ...".

V5-AW/TE. Architectural Wall / Trash Enclosure (WDO Table 3.06D & 3.06.06): The existing outdoor storage of recycling and trash and the partial trash enclosure is exempt from the provisions, and the applicant need not upgrade it to conform as part of the subject proposal.

#### **Applicant Identity**

| Applicant      | Diverse In Culture,<br>UNIFIED IN MISSION<br>Woodburn School District through Sarah Bishop, Director of Business |
|----------------|--|
| A              |  |
| Applicant's    | Frank Angelo, Principal, Angelo Planning Group;  |
| Representative | Clinton "CJ" Doxsee, Planner, Angelo Planning Group  |
| Landowner(s)   | Woodburn School District 103   |

#### Notes to the Applicant

The following are not planning / land use / zoning conditions of approval, but are notes for the applicant to be aware of and follow:

- 1. Records: Staff recommends that the applicant retain a copy of the approval of the conditional use.
- 2. Fences, fencing, & free-standing walls: The approval excludes any fences, fencing, & freestanding walls, which are subject to WDO 2.06 and the permit process of 5.01.03.
- 3. Signage: The approval excludes any signage, which is subject to WDO 3.10 and the permit process of 5.01.10.
- 4. Other Agencies: The applicant, not the City, is responsible for obtaining permits from any county, state and/or federal agencies, which may require approval or permit, and must obtain all applicable City and County permits for work prior to the start of work and that the work meets the satisfaction of the permit-issuing jurisdiction. The Oregon Department of Transportation (ODOT) might require highway access, storm drainage, and other right-of-way (ROW) permits. All work within the public ROW or easements within City jurisdiction must conform to plans approved by the Public Works Department and must comply with a Public Works Right-of-Way permit issued by said department. Marion County plumbing permits must be issued for all waterline, sanitary sewer, and storm sewer work installed beyond the Public Right-of-Way, on private property.
- 5. Inspection: The applicant shall construct, install, or plant all improvements, including landscaping, prior to City staff verification. Contact Planning Division staff at least three (3) City business days prior to a desired date of planning and zoning inspection of site

improvements. This is required and separate from and in addition to the usual building code and fire and life safety inspections. Note that Planning staff are not primarily inspectors, do not have the nearly immediate availability of building inspectors, and are not bound by any building inspector's schedule or general contractor convenience.

- 6. Stormwater management: The storm sewer system and any required on-site detention for the development must comply with the City Storm Water Management Plan, Public Works storm water practices and the Storm Drainage Master Plan.
- 7. Public Works Review: Staff performs final review of the civil plans during the building permit stage. Public infrastructure must be constructed in accordance with plans approved by the City, as well as current <u>Public Works construction specifications, Standard Drawings, Standard Details</u>, and General Conditions.
- 8. ROW:
  - a. Dedication: For a site development project that requires no and involves no re-plat, there is a process separate from land use / planning / zoning review to dedicate ROW and easements. Contact the Public Works Department to obtain paperwork and allow at least two months for Public Works staff to review the paperwork and schedule acceptance of dedications during a regularly scheduled City Council meeting.

ROW – and public utility easement (PUE) – dedications are due prior to building permit issuance.

- b. Work: All work within the public ROWs or easements within City jurisdiction must require plan approval and permit issuance from the Public Works Department. All public improvements construction work must be performed in accordance with the plans stamped "approved" by the City, and comply with the City's Standard Specifications and Standard drawings.
- 9. Franchises: The applicant provides for the installation of all franchised utilities and any required easements.
- 10. Water: All water mains and appurtenances must comply with Public Works, Building Division, and Woodburn Fire District requirements. Existing water services lines that are not going to be use with this new development must be abandoned at the main line. The City performs required abandonment of existing water facilities at the water main with payment by the property owner. All taps to existing water mains must be done by a "Hot Tap" method and by approved City of Woodburn Contractors. The applicant shall install the proper type of backflow preventer for all domestic, lawn irrigation and fire sprinkler services. The backflow devices and meters shall be located near the city water main within an easement, unless approved otherwise by Public Works. Contact Byron Brooks, City of Woodburn Water Superintendent, for proper type and installation requirements of the backflow device at (503) 982-5380.

- 11. Wastewater Survey: The applicant must complete a City of Woodburn Nonresidential Wastewater Survey and comply with the conditions of the Wastewater Permit. Contact Carol Leimbach, Industrial Waste Coordinator, at (503) 982-5283.
- 12. Grease Interceptor/Trap: If applicable, a grease trap would need to be installed on the sanitary service, either as a central unit or in the communal kitchen/food preparation area. Contact Marion County Plumbing Department for permit and installation requirements, (503) 588-5147.
- 13. Fire: Fire protection requirements must comply with the Woodburn Fire District standards and requirements. Place fire hydrants within the public ROW or public utility easement and construct them in accordance with Public Works Department requirements, specifications, standards, and permit requirements. Fire protection access, fire hydrant locations and fire protection issues must comply with current fire codes and Woodburn Fire District standards. See City of Woodburn Standard Detail No. 5070-2 Fire Vault. The fire vault must be placed within the public right-of-way or public utility easement.
- 14. SDCs: The developer pays System Development Charges prior to building permit issuance. Staff will determine the water, sewer, storm and parks SDCs after the developer provides a complete Public Works Commercial/Industrial Development information sheet.

#### Heritage E.S, CU2019-02, DR 2019-02, EXCP 2019-02, & VAR 2019-01 440-450 PARR ROAD Public Works Comments

#### September 30, 2019

#### CONDITIONS OF LAND USE APPROVAL:

- 1. The Applicant, not the City, is responsible for obtaining permits from state, county and/or federal agencies that may require such permit or approval.
- 2. Applicant to remove all existing ADA ramps within the frontage of their property (both sides of Parr Road) and design/construct new ADA ramps as per current ADA standards and requirements. The design shall include ADA ramps, crossing striping along the driveways and street, and updating the school signs as per current ODOT and MUTCD requirements.
- 3. Final review of the Civil Plans will be done during the building permit application. Public infrastructure will be constructed in accordance with plans approved by public works.
- 4. All work within the public rights-of-way or easement within city jurisdiction shall require plan approval and permit issuance from the Public Works Department.
- 5. System Development fees shall be paid at the time of building permit issuance.

#### CONDITIONS TO BE ADDRESS DURING THE BUILDING PERMIT APPLICATION

- 6. Prior to building permit issuance, the applicant shall submit a properly executed 6' Rightof-Way dedication and a 5' Public Utility Easement along Parr Road.
- 7. Street lighting plan and design shall be approved by the City.
- 8. Fire hydrants locations and fire protection requirements shall be as per the Woodburn Fire Districts and City of Woodburn requirements.
- 9. New curb & gutter, and sidewalk shall be completed as per Public Works technical specifications and standard details.
- 10. ADA Ramps shall be updated to comply with current ADA requirements on both sides of property driveway approaches and on both sections of sidewalks.
- 11. Applicant's Engineer to study and provide a recommendation on keeping/removing existing ADA ramp located on the north side of Parr Road and north of the west bus driveway (W1).



1390 Meridian Drive, Woodburn, OR 97071 Phone 503-981-9555 Fax 503-981-8018



Chuck Ransom Superintendent Woodburn School District No. 103 1390 Meridian Dr. Woodburn Or. 97071

Chris Kerr City Planner 270 Montgomery St Woodburn OR 97071

#### Dear Mr. Kerr,

This letter is being submitted regarding the Heritage Annex and Valor Expansion Projects. As you are aware, these projects are to occur on the same property. What you may or may not be aware of is the existing PUE it does not contain the City water and sewer utilities. We have identified additional Utility/PUE issues as follow:

- An existing 10' PUE appears to have been established in the wrong location. It does not contain any utilities and encroaches upon the approved (1996) expansion of Valor Middle School.
- 2. An existing 8" fire main, including hydrants and valves, loops Heritage/Valor and appears to be outside the boundary of the existing PUE.
- 3. An existing 8" raw water main, and valves, crosses the school property and appears to be outside the boundary of the existing PUE.
- 4. An existing sanitary sewer main, and manholes, crosses the property and appears to be outside the boundary of the existing PUE

Attached to this letter is a drawing that shows these items as initially located by LEI Engineering and Surveying. The drawing was created by LEI Engineering and Surveying. We have reviewed these items and the attached drawing with Dago Garcia (City of Woodburn Public Works) and have agreed to have LEI locate and survey these utilities. We will prepare the necessary documents to establish proper PUE's for these utilities, and to vacate the existing easement. This will provide the City with access and maintenance rights to these utilities and will allow for the long-planned expansion of Valor Middle School.

We have already bid the Valor Expansion Project and would like to schedule construction this summer. Given that we have already agreed to defer site improvements from the Valor Project to the pending Heritage Project and that executing/vacating PUE's typically takes time we request that the City defer all easement conditions to the Heritage Conditions of Approval. This deferral would allow the Valor Expansion Project to commence while the PUE issues are resolved. A deferral will further simplify the

#### Attachment 102B

NOODBURN SCHOOL

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MAY 2 2 2019

communication chain, as only one design team will be involved in the approval and will reduce the potential for miscommunication between the design team and city.

Please let me know if you have any additional questions

Sincerely, Kansom

Chuck Ransom Superintendent Woodburn School District No. 103

Enclosed: LEI Survey of Valor/Heritage

#### RECEIVED

MAY 2 2 2019

Architecture Planning Design LEED Consulting

115 NW First Ave, Suite 300 Portland, OR 97209 tel 503.280.8000 fax 503.224.5442



#### ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS (ASI)

#### OH PLANNING+DESIGN, ARCHITECTURE

| Project Name:<br>Project Address: | Valor Middle School Addition<br>450 Parr Rd NE, Woodburn, OR 97071   | ASI Number:        | 1         |
|-----------------------------------|--|--------------------|-----------|
| Owner:                            | Woodburn School District<br>1390 Meridian Drive<br>Woodburn, OR 97071  | Date of assurance: | 5/21/2019 |
| То:                               | J.J. Henri Co, Inc.<br>John O. Henri, Project Manager<br>1800 Blankenship Rd., Suite 200<br>West Linn, OR 97068<br>johenri@jjhenri.com<br>503-702-2752 | Oh Project Number: | 90043     |

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect. If you feel a change in Contract Sum or Contract Time is warranted, please submit an itemized quotation for the changes for approval prior to proceeding on the Work. Please respond within five (5) days of the date of issuance.

#### Description:

This ASI-1 is being issued in conjunction with the responses to review comments issued by the City of Woodburn on 5/8/19. Please see the attached comments with responses.

#### MODIFICATIONS TO DRAWINGS:

- Sheet G-001 Cover Sheet
  - a. ADD new sheet C-201-B Civil Site, Grading & Utility Plan Phase 2 to the sheet index.
- 2. Sheet A-301 Exterior Elevations
  - a. REMOVE exterior light fixtures, as shown.
  - b. ADD dimensions showing overall building height measurement from 5'-0" horizontal distance from the highest adjoining grade.
- 3. Sheet C-201 Civil Site, Grading & Utility Plan
  - a. REVISE notes regarding treatment of existing modular classrooms and surrounding area, as shown.

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May 21, 2019

.

• Page 2

4. Sheet C-201-B - Civil Site, Grading & Utility Plan – Phase 2

a. ADD new sheet C-201-B - Civil Site, Grading & Utility Plan - Phase 2 to construction document set.

Attachments: (Listing of documents supporting description)

| Woodburn City Comments with Responses |  |                       |              |                |  |
|---------------------------------------|--|-----------------------|--------------|----------------|--|
| • G-001                               | Cover S  | heet                  |              |                |  |
| <ul> <li>A-301</li> </ul>             | Exterio  | r Elevations          |              |                |  |
| • C-201                               | Civil Site   | A Grading & Utility P | lan          |                |  |
| • C-201                               | C-201-B     Civil Site, Grading & Utility Plan – Phase 2 |                       |              |                |  |
| Issued by:                            | (Signature)  |                       | Accepted by: | (Signature)    |  |
|                                       | Deb France, Prin<br>(Printed Name)                       | cipal                 |              | (Printed Name) |  |
| Copies                                | Owner Field  | Consultants<br>File   |              |                |  |



OH PLANNING+DESIGN, ARCHITECTURE

5/21/2019

Woodburn Middle School Addition 450 Parr Rd NE, Woodburn, OR 97071

RE: Response to review comments issued by the City of Woodburn on 5/8/2019. Permit #: 971-19-000133-STR

#### **City of Woodburn Comments:**

A. <u>Modular Classrooms</u>: Sheets G-011, G-012, and C-201 conflict. Sheets G-011 and 12 show removal of both west modular classrooms, but C-201 shows and notes in the west modular footprint that it's to remain. Please clarify. If both west modular are to be removed, then please connect the building addition perimeter walkway with the west parking area walkway in two places: as Sheet C-201 already proposes and also (at least 5 feet wide) at the existing south dead-end of the parking walkway.

**<u>Response</u>**: The modular classrooms will remain in place during construction as indicated G-011. After construction of the new classroom addition, the remaining modular will be removed as shown on G-012 and C-201-B. Please reference C-201-B for the removal of the modular classrooms and new sidewalk connecting the parking lot at two locations.

B. <u>WDO 1.02 Height</u>: Revise Sheet A-301 to add a height measurement that dimensions the building addition at the base point per Woodburn Development Ordinance (WDO) 1.02 "Building Height" and Figure 1.02A, namely the "elevation of the highest adjoining sidewalk or ground surface within 5-foot horizontal distance of the exterior wall of the building, when such sidewalk or ground surface is not more than 10 feet above the lowest grade".

**<u>Response</u>**: Please reference revised A-301. Level added to include adjacent grade offset at 5'-0" from buildings perimeter. Overall building height is revised to reflect this revision.

C. <u>WDO 3.07.06B.5. Canopy</u>: Please confirm that the Sheet A-301 (Detail 1) east elevation entry canopy has solid panels that stop precipitation. (Staff recently had trouble with another project where what in elevation view was a canopy after construction in the field became protruding metal beams with no panels.)

**<u>Response</u>**: Exterior canopies to have corrugated panels to stop precipitation, please reference 10/A-712.

D. <u>Doors/Windows:</u> The building addition has a south elevation central recess with floor-to-ceiling windows that terminate the ground floor interior main hallway. Because the architectural context would signal "entrance", it would attract persons trying to enter the building but upon approaching the

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recess they'd find none and be frustrated. Please revise Sheets A-301 (Detail 4) and A-901 to replace a portion of the proposed windows with one or two glass doors.

**<u>Response</u>:** Providing a door within the window system creates a safety concern for the School District. The School District would like to limit access into the building for security and access control. Pedestrians will enter the building through the main entry and secure vestibule located at the north façade. Pedestrian access to the addition from the exterior will be limited at the new addition. The School District would prefer the windows to remain as currently designed. The windows maximize daylighting and views to the exterior.

E. <u>WDO 3.02 Easements:</u> Sheet C-201 shows the centerline of the building addition south wall aligned with a gray dashed line. Is this dashed line indicating an easement north boundary? Staff knows various utility lines cross the site east-west. There are to be no new buildings, including footings, in easements. Resolve the conflict by truncating the building or altering the easement. Altering the easement of course would take time because of need to document changes, record such with the Marion County Licensing and Recording Division, and present proof of recordation to City staff (Planning Division and Public Works Dept. Engineering Division). Please clarify and indicate the needed course of action.

**<u>Response</u>**: The School District plans to include alterations of easement within the Heritage Conditions of Approval. At this time, no known utilities are located within the easement shown within the building's footprint.

F. <u>Exterior Lighting:</u> Sheet A-901 (Details 2 and 4) suggests the building addition will have exterior wallmounted light fixtures including as high as the second floor. Because the Woodburn School District is pursuing additional site redevelopment via submitted a land use / planning / zoning application, Conditional Use CU 2019-02, staff will likely apply a sitewide condition of approval requiring new or altered exterior light fixtures to be full cut-off and limited in heights with wall-mounted maximum height being 8 feet. Please ensure that wall-mounted fixtures are installed no higher than 8 ft above grade.

**<u>Response</u>**: Exterior light fixtures S1 to be mounted at 7'-6" A.F.F., light fixtures not to exceed 8'-0" A.F.F. Please reference revised A-301.

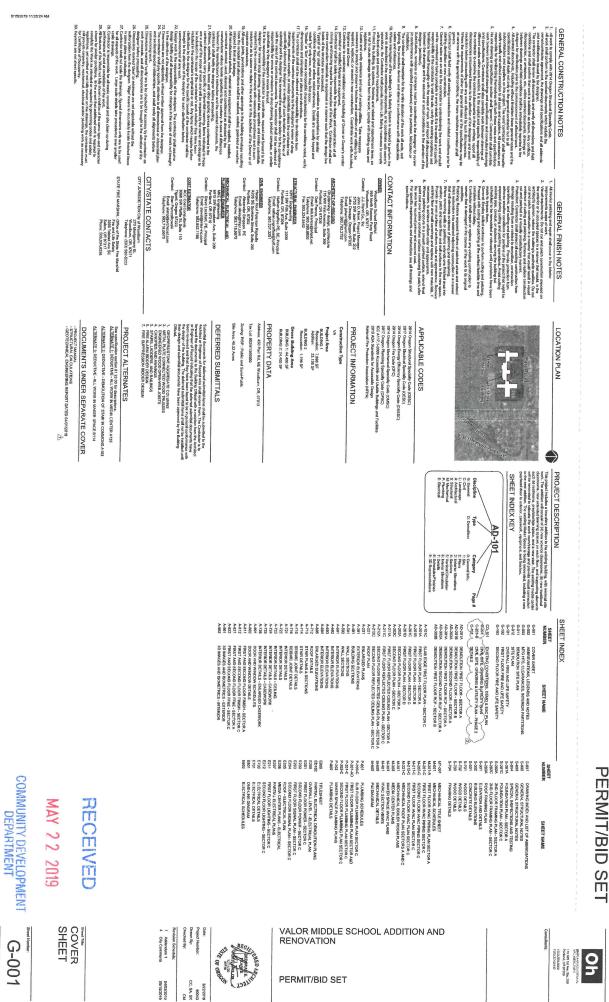
Al doas, debyer, drawleys, and doen as it bith on these sheets are owned by and are the property of Oh planning + design, architecture. Any use, resea, or declarature of said them, mproductions, ideas, deraigns, and/or amengements without the written permission of Oh planning + design, architecture is prohibited by law.

# VALOR MIDDLE SCHOOL ADDITION



450 Parr Rd NE, Woodburn, OR 97071

ADDITION 450 Part Rd NE, Woodburn, OR 97071 SCHOOL



PERMIT/BID SET



## GENERAL NOTES:

- ישער האבשים זה אודשאינות אובעותי כוסב (אלן, ואידשו אובאפאר כסב (אלן). אובעות שאבשים זה אודשאינות אובעותי באוריקט באורעי אובעותים אובעותים אובעותים אובעותים אובעותים אובעותים אובעותי אובעותים אובעותים אובעותים אובעותים באורעים באורעים באורעים אובעותים אובעותים אובעותים אובעותים אובעותים אובעות אובעותים באורעים אובעותים אובעותים באורעים באורעים באורעים אובעותים אובעותים אובעותים אובעותים אובעותים אובעותים שאבעותים

- ICIES OR COMFLICTS.
- CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF D.R.S. 757.541 AND 767.577. NUMA HORTALINN OF ALL OWNERS OF UNDERWRDLING FIGURES AT LEAST 48 BUSINESS HUMINS FROM TO EXCHATING CONTRACTOR TO FELD VERY LOCATION OF EXESTING
- SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EASTING UTLITES IN SERVICE T THEM DURING CONSTRUCTION. NOTIFY DIMMER AT LEAST 48 HOURS IN ADVANCE OF ATTERNATIONS.
- THE WANNERTS, PROPERTY CORNERS, AND SURVEY WARKERS SHALL BE PROTECTED. ACCUENT SHALL BE AT THE CONTRACTOR'S EXPENSE.

# PRIVATE UTILITIES NOTES:

- STORM DRAINAGE
- שמותי ברשש השאועב כוכאוונטרוש ואינו, בני א הככאוטעב שהו הב ארבאאונטאן. שנותאי כוכס (פקר) אם בשרוצה בעומנים בכס (קרב). אב כואוערטים אבער בבאע בארע פר איני סוי סי סווונצה אויאטינט בטאר. ארב כואוערטים אבער בבאע בארע פר איני אופי בוושא ואיב להו מלוברווט אל הפו

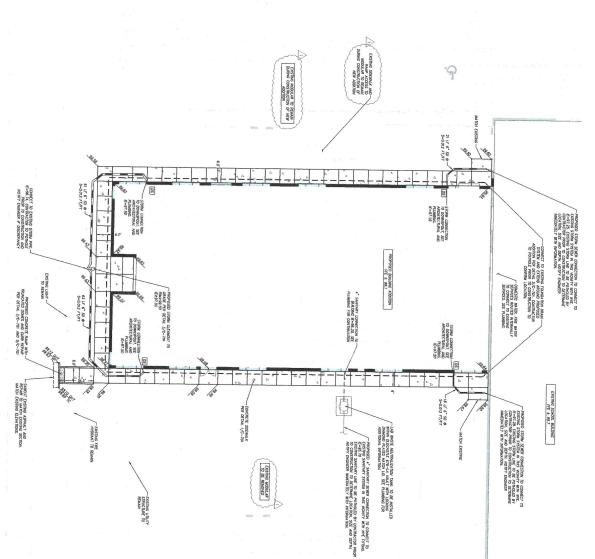
- RAW PIPE AND COMMECTION POINTS SHALL BE FIELD LOCATED (POT HOLED) PRICE

- TRENCHING PER DETAIL 4/C-701.

### SANITARY SEWER

- In the product of the product of the metany point former of the product of the p
- (unc). AGE FIPE MATERIAL TO BE ADS SAMITTE HP (SMOOTH INTERIOR) OR
- THE EQUAL
- LINES CONNECTING MITH OTHER HORIZONTAL LINES SHALL ENTER THROUGH 45 BRANCH. THE BRANCH IS NOT ALLONED. ARY LINES CROSS WATER LINES, THE SYSTEMS NEED TO BE CONSTRUCTED SUC
- ES CROSS WATER LAES, THE SYSTEMS MEED TO BE CONSTRUCTED SUCH MAL OCCUM AT THE CONTER OF A POPE SCALADIT FOR BOTH LARES. AND MESPECTING OF THE SAMITARY PPELINE, ALL PARTS OF THE SYSTEM OF ALL DEBMS.

- SANTARY PIPELNE SHALL BE IN ACCORDANCE WITH INTERNATIONAL UNFORM FLUMBING CODE.



## COMMUNITY DEVELOPMENT DEPARTMENT MAY 2 2 2019

PERMIT / BID SET

C-201

SW=SIDEWALK ELEVATION FG=FINISHED GRADE ELEVATION GUT=GUTTER FLOOR ELEVATION GUT=GUTTER FLOWLINE ELEVATION TC=TOP OF CURB ELEVATION

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ABBREVIA TIONS:

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05/15/2019

CITY COMMENTS





VALOR MIDDLE SCHOOL ADDITION





#### **Colin Cortes**

| From:<br>Sent:  | John O. Henri <johenri@jjhenri.com><br/>Thursday, May 23, 2019 10:49 AM</johenri@jjhenri.com>                 |
|-----------------|---|
| То:             | Chris Kerr  |
| Cc:             | Eric Cummings; Ivan Leigh; Barbara Rose; Chuck Ransom; Ted Cuno; Dago Garcia; Colin<br>Cortes; 'Jack Orchard' |
| Subject:        | RE: Heritage Valor Easement Review  |
| Follow Up Flag: | Follow up   |
| Due By:         | Friday, May 24, 2019 10:00 AM   |
| Flag Status:    | Flagged   |

Good morning Chris,

Your concern about the property consolidation is valid and I do apologize for the delay in completing this task. We are working diligently with the District Legal Counsel at Ball Janick to complete the Washington E.S. property consolidation and will be providing your office with the recorded consolidation in the very near future.

We are also working to establish the required easement descriptions that were never recorded on the Heritage/Valor Campus prior to its approval in 1996. Once we can establish boundaries for these missing easements we will be sending them onto the City Public Work Department for review and approval along with the ROW dedications.

If you have any questions please feel free to contact me.

Thank you,

John O. Henri Project Manager J.J. Henri Co., Inc. C: (503) 702-2752

From: Chris Kerr <Chris.Kerr@ci.woodburn.or.us>
Sent: Thursday, 23 May, 2019 9:21 AM
To: John O. Henri <johenri@jjhenri.com>
Cc: Eric Cummings <ecummings@jjhenri.com>; Ivan Leigh <ileigh@woodburnsd.org>; Barbara Rose
<WSDBond.Admin@jjhenri.com>; Chuck Ransom <cransom@woodburnsd.org>; Ted Cuno
<Ted.Cuno@ci.woodburn.or.us>; Dago Garcia <Dago.Garcia@ci.woodburn.or.us>; Colin Cortes
<Colin.Cortes@ci.woodburn.or.us>
Subject: RE: Heritage Valor Easement Review

We are in receipt of the May 21<sup>st</sup> letter requesting to defer certain required PUE vacations until a later stage of development. Our Building Dept. has understandable concerns about the District's ability to finalize the process as requested. This is based on the still incomplete (from Jan. 2016) lot consolidation for the Washington Elementary school project. That project involved allowing buildings to be constructed over lot lines and the issuance of a 'temporary' certificate of occupancy last August based on assurances from the District that the consolidation was about to be finalized – which still has not happened.

Before deferring another requirement for another school project - I would like to know exactly when the District is going to address this three year old outstanding issue.

Feel free to call me with any questions.

Chris Kerr Community Development Director City of Woodburn 503-980-2445

From: John O. Henri <johenri@jjhenri.com>
Sent: Friday, May 17, 2019 7:52 AM
To: Dago Garcia <<u>Dago.Garcia@ci.woodburn.or.us</u>>
Cc: Chris Kerr <<u>Chris.Kerr@ci.woodburn.or.us</u>>; Eric Cummings <<u>ecummings@jjhenri.com</u>>; Jamie VanAgtmael
<jamie@leiengineering.com>; 'Sheena Hewett' <<u>shewett@blrb.com</u>>; Ivan Leigh <<u>ileigh@woodburnsd.org</u>>; Barbara
Rose <<u>WSDBond.Admin@jjhenri.com</u>>
Subject: RE: Heritage Valor Easement Review

Dago,

I am working on a letter that will be issued to Chris Ker at the City Planning office regarding our request for deferral and realignment of the current PUE easement. We 98% sure that the easement in fact is located in the incorrect location and no underground utilities are located within its boundaries..

Could you please review the City utility plans and provide me a statement indicating that you are also unaware of any utilities within the existing easement? I would feel much better if I had your confirmation and we are on the same page prior to issuing a statement of fact.

We have also reached out to the Surveyor and have made a request for a letter of confirmation based on their findings through both county records review and underground location review of the known underground systems. They are going to begin developing the new easement descriptions for both the existing Water and Sewer lines that currently located approximately 32' south of the current easement location noted in the County Record.

The intent is to move forward with the new easement description(s) for review and approval by the City while we work toward vacating the existing easement. It is my understanding that the task of vacating an easement may take a bit more time to complete.

Once I have confirmation from both your team and ours I will issue a letter to the Planning Department regarding how this item will be addressed along with the request to defer this as a condition of approval with the Heritage Conditional use application.

Thank you,

John O. Henri Project Manager J.J. Henri Co., Inc. C: (503) 702-2752

From: Dago Garcia <<u>Dago.Garcia@ci.woodburn.or.us</u>>
Sent: Wednesday, 15 May, 2019 12:09 PM
To: John O. Henri <<u>johenri@jjhenri.com</u>>
Subject: RE: Heritage Valor Easement Review

John,

City Staff can agree to defer to Conditional Use CU 2019-02 items 1a and 3a below if the District does two things:

- (a) Confirm that the existing utility easement is in fact placed too far north relative to existing underground utility lines because this assumption is the basis for deferral. (Note that per Woodburn Development Ordinance 3.02.02C easement minimum width is 16 feet, that is, 8 feet each side of pipe centerline.)
- (b) Provide on Woodburn School District letterhead a summary of what's deferred, to when, and with the confirmation per item (a) above.

Thank You

Dago Garcia, P.E. | direct (503)982-5248 | Fax (503)982-5242 dago.garcia@ci.woodburn.or.us

CITY OF WOODBURN Public Works Department 190 Garfield Street, Woodburn OR 97071

From: John O. Henri <johenri@jjhenri.com>
Sent: Wednesday, May 15, 2019 11:53 AM
To: Dago Garcia <<u>Dago.Garcia@ci.woodburn.or.us</u>>
Subject: Heritage Valor Easement Review

Dago,

I was told that you were going to be visiting the Heritage Valor Campus to review the existing utility easement to verify if in fact there are utilities within the set boundaries. Have you had a chance to complete this review? I would like your confirmation before I send a letter to the City regarding relocating this easement from the Valor Review to the Heritage Conditions of Approval.

If you please let me know your finding once you have had a chance to visit the site.

Thank you,

John O. Henri Project Manager J.J. Henri Co., Inc. C: (503) 702-2752

PUBLIC RECORDS LAW DISCLOSURE This e-mail is a public record of the City of Woodburn and is subject to public disclosure unless exempt from disclosure under Oregon Public Records Law. This e-mail is subject to the State Retention Schedule.

Phase 1B

T-BP4. Parr Road: Phase 1B: The developer shall construct an actuated and signalized midblock crossing of Parr Road near the walkway along the west side of the western of three visitor driveways at Valor Middle School (450 Parr Rd). This relocates an enhanced pedestrian crossing that the applicant proposes farther west at Kirksey Street (Exhibit C-8, Phase 1B / Sheet 4). It shall include:

- a. Zebra crossing striping at least 12 ft wide;
- b. Actuated pedestrian signals;
- c. In place of a portion of the center two-way left turn lane, a refuge island on each side of the crossing route;
- d. Landscaping: Within the islands, xeriscaping;
- e. Width: Between inside edges of curbing, each island shall be at least 10 ft;
- f. Length along road: Between inside edges of curbing, each island shall be at least 6 ft;
- g. The type, number, and placements of signage compliant with the *MUTCD* for such midblock crossings;
- h. At least two amber light emitting diodes (LEDs), one in each sign that upon actuation warns drivers of the crossing. The signs shall be solar-powered instead of through underground conduit;
- i. ADA-compliant curb ramps that transition the crossing to existing sidewalks. Each ramp shall be at least 12 ft wide; and
- j. Along the south side of Parr Road, which contains both existing sidewalk and a bicycle/pedestrian path as well as two grass strips, the developer shall pave concrete 12 ft wide between the sidewalk and the path and aligned with the crossing.

Phase 2A

None specific.

Phase 2B

None specific.

Phase 2C

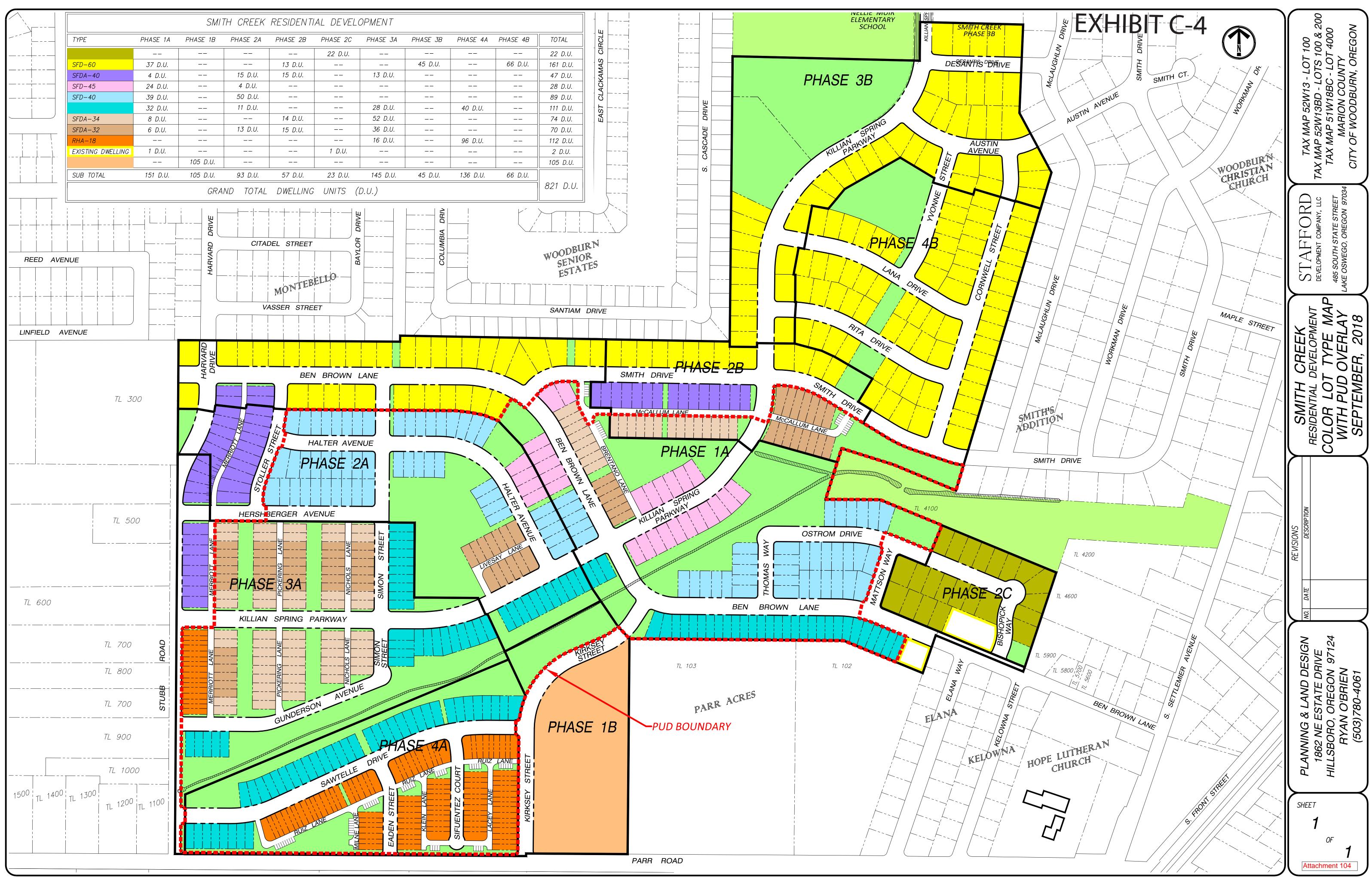
None specific.

Phase 3A

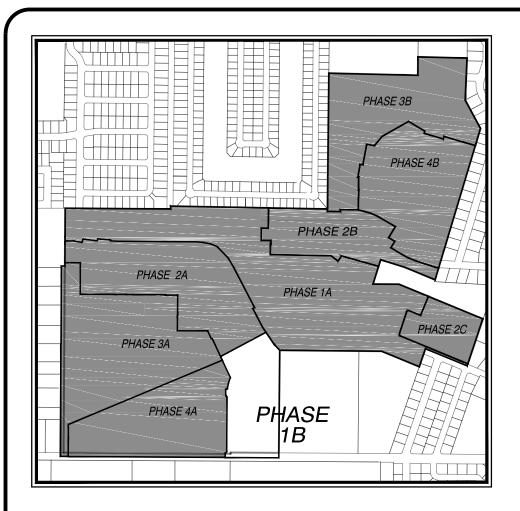
EXCP-2. Stubb Road: Phase 3A:

Smith Creek ANX 2017-05, PUD 2017-01, et al. October 29, 2018 City Council Staff Report: Post-Approval Revision to Strike Condition T-A4 (Stop sign removals from W. Hayes St at Oregon Way) and add Note to the Applicant 4b per Council motion 10/29/2018; Attachment 102

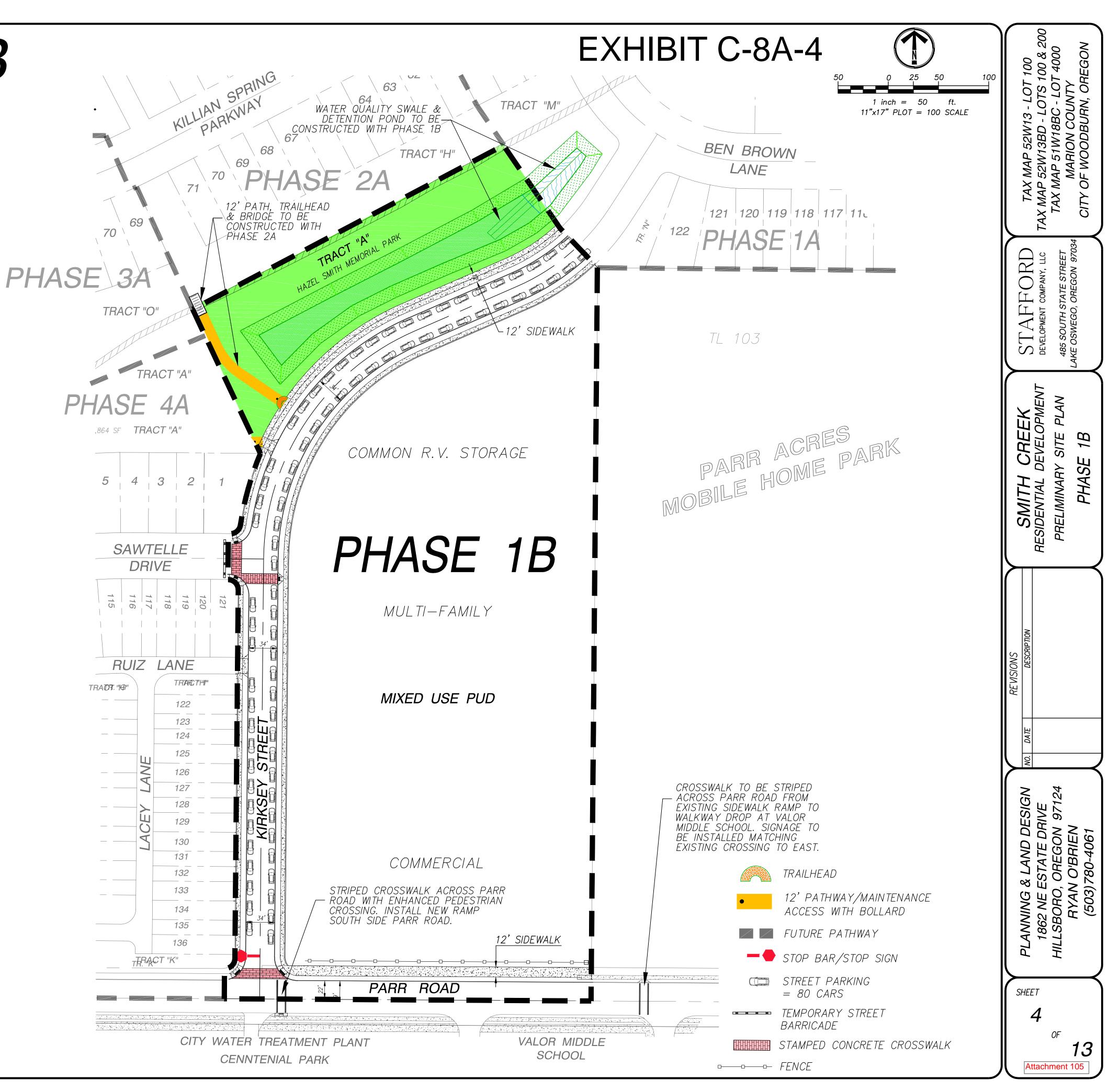
Attachment 103

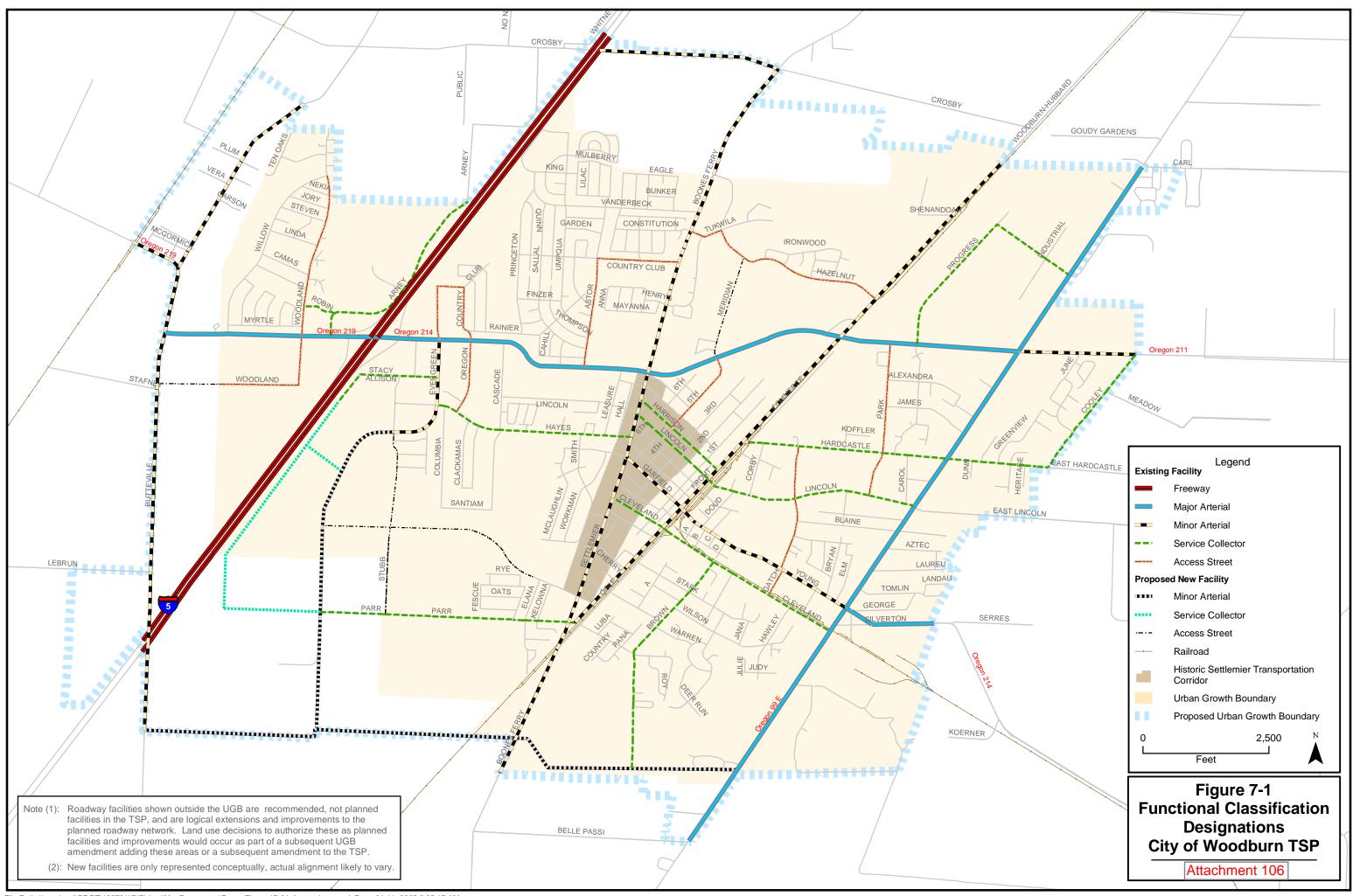


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# PHASE 1B





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# HERITAGE ELEMENTARY SCHOOL **2019 RENOVATION AND ADDITION - WOODBURN SCHOOL DISTRICT**

# DRAWING KEYNOTING SYSTEM

A keynoting system is used on the drawings for materials, references and notes. Refer to the keynote legend on the drawing for the information which relates to each keynote on the respective drawing. Each keynote consists of a 6-digit number followed by a period and a letter suffix. The 6-digit number relates to the specifications section which generally covers the item that is referenced, and a letter suffix identifies the specific reference notation used on the drawing. The letter suffix does not relate to any corresponding reference letter in the specifications.

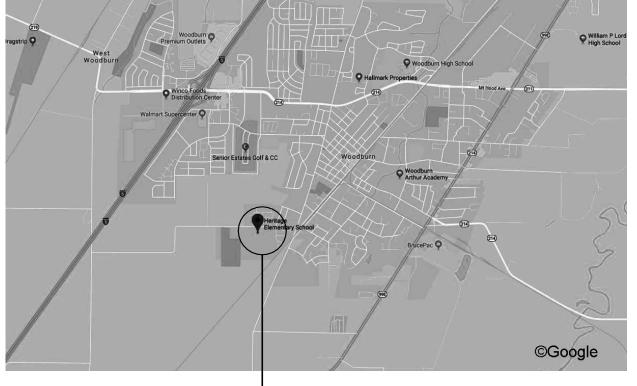
The organization of the keynoting system on the drawings, with the keynote reference numbers related to the specification sections numbering system, shall not control the contractor in dividing the work among subcontractors or in establishing the extent of the work to be performed by any trade. Material Key Legend on each sheet is for ease of reference. The Architect's current Master List, which includes

Keynotes not used on this project, is included in the specifications following Section 014200 - References.



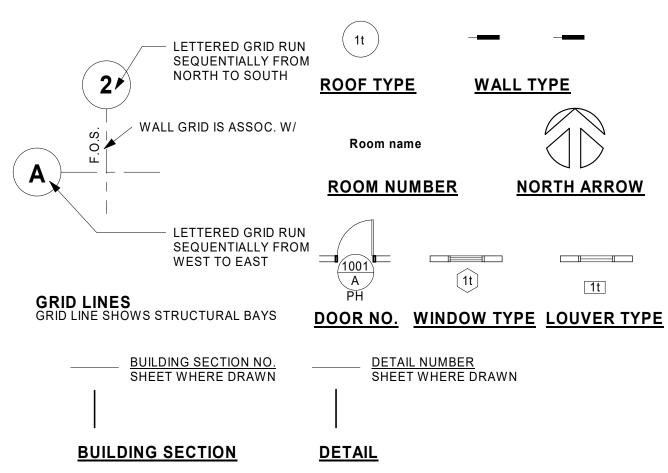
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D



Heritage Elementary School 440 Parr Rd NE Woodburn, OR 97071

# ARCHITECTURAL SYMBOLS



# ABBREVIATIONS

2

| AB         | ANCHOR BOLT  |
|------------|--|
| ABS        | ACRYLONITRLIE-BUTADIENE-STYRENE (PLAS                    |
| ACM<br>ACP | ASBESTOS CONTAINING MATERIAL<br>ACOUSTICAL CEILING PANEL |
| ACP        | ASPHALT CONCRETE PAVEMENT                                |
| ACT<br>AD  | ACOUSTICAL TILE<br>AREA DRAIN                            |
|            |  |
| ADJT       | ADJUSTABLE   |
| ADP        | ACOUSTICAL DIFFUSION PANEL<br>ABOVE FINISH FLOOR         |
| AGG        | AGGREGATE  |
| AL<br>ALT  | ALUMINUM<br>ALTERNATE                                    |
| AP         | ACCORDION PARTITION                                      |
| AR         | ABUSE RESISTANT  |
|            | ABUSE RESISTANT GYPSUM WALL BOARD<br>ARCHITECT (URAL)    |
| ATB        | ASPHALT TREATED BASE                                     |
| AWP<br>BIT | ACOUSTICAL WALL PANEL<br>BITUMINOUS                      |
| BL         | BLINDS   |
| BLDG       | BUILDING   |
| BM         | BLOCKING<br>BEAM   |
|            | BRICK MASONRY UNIT                                       |
| BR         | BOTTOM<br>BRICK  |
| BUR        | BUILT UP ROOFING   |
| C/S        | CLOCK/SPEAKER<br>CABINET                                 |
| СВ         | CATCH BASIN  |
|            | CORNER GUARD<br>CHALKBOARD                               |
| CHB<br>CJ  | CONTROL JOINT  |
|            |  |
|            | CHAIN LINK FENCE<br>CEILING                              |
| CLR        | CLEAR (ANCE)   |
| CMT<br>CMU | CERAMIC MOSAIC TILE<br>CONCRETE MASONRY UNIT             |
| CO         | CLEAN OUT  |
|            | COLUMN   |
| CONST      | CONCRETE<br>CONSTRUCTION<br>CONTINUOUS/CONTINUATION      |
| CONT       | CONTINUOUS/CONTINUATION<br>CONTRACTOR                    |
|            | CORRIDOR   |
|            | COVE SHEET VINYL   |
| CR         | CARPET<br>CLASSROOM                                      |
|            |  |
|            | COUNTER SINK<br>CUSPIDOR                                 |
| CUST       | CUSTODIAN  |
| CW<br>D    | COLD WATER<br>DEEP                                       |
| DBL        | DOUBLE   |
|            | DEMOLITION<br>DRINKING FOUNTAIN                          |
| DIA        | DIAMETER   |
|            | DIMENSION<br>DISPENSER                                   |
| DN         | DOWN   |
|            | DOOR<br>DOWNSPOUT  |
| DTL        | DETAIL   |
|            | DISHWASHER   |
|            | DRAWING<br>DRAWER  |
|            | EAST   |
|            | EACH<br>EXHAUST FAN                                      |
| EIFS       | EXT. INSUL. FINISH SYSTEM                                |
|            | EXPANSION JOINT<br>ELECTRIC (AL)                         |
| FIFV       | FLEVATION  |
| ELEV<br>EM | ELEVATOR<br>ENTRY MAT                                    |
|            | ELECTRO MAGNETIC CLOSER                                  |
| EMH<br>EP  | ELECTRO MAGNETIC HOLDER<br>EPOXY PAINT                   |
|            | ELECTRICAL PANEL   |
|            | EQUAL<br>EQUIPMENT                                       |
|            | EPOXY RESIN  |
|            | ELASTOMERIC SHEET ROOFING                                |
| EXPS       | EXISTING<br>EXPOSED STRUCTURE                            |
| EXT        | EXTERIOR   |
|            | FIRE ALARM<br>FIBER CEMENT BOARD                         |
| FCS        | FIBER CEMENT SIDING                                      |
|            | FIBER CEMENT PANELS<br>FLOOR DRAIN                       |
| FDN        | FOUNDATION   |
|            | FIRE EXTINGUISHER<br>FIRE EXTINGUISHER CABINET           |
| FF         | FINISH FLOOR   |
|            | FINISH GRADE<br>FIRE ALARM GRAPHIC PANEL                 |
| FH         | FIRE HYDRANT   |
| FIN        | FINISH (FD)  |

G

3

|       | FLR        | FLOOR  |
|-------|------------|--|
| STIC) |            | FACE OF  |
| 0110) | FOF        | FACE OF FINISH   |
|       | FOM        | FACE OF FINISH<br>FACE OF MASONRY<br>FACE OF STUD                    |
|       | FOS        | FACE OF STUD   |
|       | FPP        | FOLDING PANEL PARTITION  |
|       |            | FALL RESTRAINT   |
|       | FRCP       | FIBER REINFORCED CEMENT PANEL  |
|       | FRP        | FIBER REINFORCE PANEL<br>FIRE RESISTANT TREATMENT<br>FIRE STOP (ING) |
|       |            |  |
|       |            | FOOT, FEET   |
|       |            | FOOTING  |
|       |            | FURRING  |
|       | FW         | FOLDING WALL   |
|       | GA         | GAUGE  |
|       |            | GALVANIZED   |
|       |            | GRAB BAR   |
|       |            | GENERAL CONTRACT (OR)  |
|       | GCMU       | GLAZED CMU   |
|       | GL         | GLASS, GLAZING   |
|       |            | GLU-LAM BEAM   |
|       |            | GYPSUM SHEATHING   |
|       | GVL        | GRAVEL   |
|       | GWB        | GYPSUM WALL BOARD<br>HOSE BIB  |
|       | НВ         | HANDICAP   |
|       |            | HEADER   |
|       |            | HARDWARE   |
|       | HDWD       |  |
|       |            | HOLLOW METAL   |
|       | HORIZ      | HORIZONTAL   |
|       | HR         | HANDRAIL   |
|       |            | HEIGHT   |
|       | HVAC       | HEATING, VENTILATING & AIR   |
|       |            | CONDITIONING   |
|       |            | HOT WATER  |
|       |            | HOT WATER HEATER/TANK  |
|       |            |  |
|       |            |  |
|       |            | INTERACTIVE MEDIA BOARD<br>INCLUDE (ED, ING)                         |
|       | INSU       | INSULATE (D) (ION)   |
|       | INT        | INSULATE (Ď) (ION)<br>INTERIOR                                       |
|       |            | INTUMESCENT PAINT  |
|       |            | IMPACT RESISTANT   |
|       | IRGWB      |  |
|       |            | BOARD  |
|       | JST        |  |
|       | JT         |  |
|       | KO         | KNOCK OUT  |
|       | KS         | KNEE SPACE<br>LABORATORY   |
|       |            | LABORATORY<br>LAMINATE (D)   |
|       |            | LAVATORY   |
|       |            |  |
|       | I GI       | LIN FOOT (FEET)<br>LAMINATED GLASS<br>LEFT HAND                      |
|       | LH         | LEFT HAND  |
|       | LIN        | LINOLEUM   |
|       | LT         | LIGHT  |
|       | MAR        | MODIFIED ASPHALT ROOFING   |
|       | MAT        | MATERIAL   |
|       | MAX        | MATERIAL<br>MAXIMUM<br>MARKER BOARD                                  |
|       | MB         | MARKER BOARD   |
|       | MDF        | MDF<br>MEDIUM DENSITY OVERLAY PLYWOOD                                |
|       | MECH       |  |
|       |            | MANUFACTURE  |
|       | MH         | MANHOLE  |
|       |            | MINIMUM  |
|       | MIR        | MIRROR   |
|       | MISC       | MISCELLANEOUS  |
|       | MTL        | METAL<br>MICROWAVE<br>NORTH  |
|       | MW         | MICROWAVE  |
|       |            | NORTH<br>NOT APPLICABLE  |
|       |            |  |
|       |            |  |
|       | NOM        | NUMBER<br>NOMINAL  |
|       | NSV        | NON-SKID SHEET VINYL   |
|       |            | NOT TO SCALE   |
|       | OC         | ON CENTER  |
|       |            | OUTSIDE DIAMETER   |
|       | OFCI       | OWNER FURNISHED/CONTRACTOR   |
|       |            | INSTALLED  |
|       | -          | OVERFLOW DRAIN   |
|       |            | OVER HEAD  |
|       |            | OPERABLE PARTITION<br>OPENING  |
|       |            | OPPOSITE   |
|       |            | ORIENTED STRAND BOARD  |
|       |            | PARALLEL   |
|       | PART       | PARTITION  |
|       | PBG        | PROTECTIVE BUMPER GUARD  |
|       |            | PEGBOARD (TEMPERED HARDBOARD)  |
|       |            | PRECAST  |
|       |            | PERFORATE (D)  |
|       | rekt<br>Du |  |
|       | гП<br>рі   | PANIC HARDWARE<br>PROPERTY LINE                                      |
|       | PL<br>PL   | PLATE  |
|       |            | PLASTIC LAMINATE   |
|       | PLYWD      |  |
|       | PNL        |  |
|       |            |  |

|  | PAIR   |
|--|--|
|  | PRESSURE TREATED   |
|  | PROJECTION SCREEN  |
|  | POUNDS PER SQUARE FOOT<br>POUND PER SQUARE INCH  |
|  | PAINT  |
| TD   | PAPER TOWEL DISPENSER  |
|  | PAPER TOWEL DISPENSER / RECEPTACLE   |
| VC   | POLY VINYL CLORIDE (PLASTIC)   |
| WC<br>WP   | PROTECTIVE WALLCOVERING PROTECTIVE WALL PANELS   |
| T  | QUARRY TILE  |
|  | RISER  |
| AU   | RUBBERIZED ASPHALT UNDERLAYMENT  |
|  | RESILIENT BASE   |
|  | ROOF DRAIN   |
|  | REFERENCE<br>REFRIGERATOR  |
| EINF   | REINFORCE (D)  |
| EQ   | REQUIRED   |
| ES.T   | RESILIENT TREADS, RISERS, TILE   |
| ANDIN<br>H                                       | GS)<br>RIGHT HAND  |
|  | ROOM   |
|  | ROUGH OPENING  |
|  | RIGHT OF WAY   |
| Т  | RIGHT  |
|  | SINK<br>SOUTH  |
|  | SEALER/HARDENER  |
| AC   | SUSPENDED ACOUSTICAL CEILING   |
| С  | SPECIAL COATING  |
| CHED   |  |
| CMU<br>D   | SOUND BLOCK CMU<br>SOAP DISPENSER  |
|  | SECTION  |
| F  | SQUARE FOOT (FEET)   |
| Н  | SHEATHING  |
|  | SHOWER   |
| HT<br>IM   | SHEET<br>SIMILAR (CONDITIONS VARY)   |
| L  | SLOPE  |
| ND   | SANITARY NAPKIN DISPENSER  |
| NR   | SANITARY NAPKIN RECEPTACLE   |
|  | SPECIFIED / SPECIFICATIONS<br>SQUARE   |
|  | STAINLESS STEEL  |
| т  | STAIN  |
| T/L  | STAIN & LACQUER  |
| I/V  | STAIN & VARNISH  |
|  | STANDARD<br>STEEL  |
|  | STORAGE  |
| TRUCT  | STRUCTURAL   |
| USP  | SUSPEND (ED)   |
|  | SHEET VINYL TREAD  |
|  | TOP OF   |
| В  | TOWEL BAR  |
| BB   | TILE BACKER BOARD  |
|  | TACKBOARD<br>TERPOLYMER COATING  |
|  | TELEPHONE  |
| F  | TRANSPARENT FINISH   |
| G  | TRANSPARENT FINISH<br>TONGUE & GROOVE<br>TEMPERED GLASS  |
| GL   | TEMPERED GLASS   |
| HK<br>O  | TOP OF   |
|  | TRANSLUCENT SKYLIGHT PANEL (S) (ING)   |
| RWP  | TRANSLUCENT WALL PANEL (S)   |
| NG)  |  |
|  | TOILET TISSUE DISPENSER<br>TACKABLE WALL PANEL   |
|  | TYPICAL  |
|  | UNLESS OTHERWISE NOTED   |
|  | URINAL<br>VARIES   |
|  | VAPOR BARRIER/RETARDER   |
| СТ   | VINYL COMPOSITION TILE   |
| EN   | VENEER<br>VENTED RUBBER BASE   |
| RB<br>ERT  | VENTED ROBBER BASE<br>VERTICAL   |
| IF   | VERIFY IN FIELD  |
| P  | VENEER PLASTER   |
|  | VAPOR RETARDER<br>VARNISH SYSTEM   |
|  | VINYL WALL COVERING  |
|  | WEST   |
|  | WITH   |
|  | WITHOUT<br>WOOD  |
|  |  |
|  |  |
| /GL  | WOOD FLOORING<br>WIRE GLASS  |
| /IN  | WOOD FLOORING<br>WIRE GLASS<br>WINDOW  |
| /IN<br>/M  | WOOD FLOORING<br>WIRE GLASS<br>WINDOW<br>WIRE MESH   |
| /IN<br>/M<br>/MP                                 | WOOD FLOORING<br>WIRE GLASS<br>WINDOW<br>WIRE MESH<br>WIRE MESH PARTITION  |
| /IN<br>/M<br>/MP<br>/R                           | WOOD FLOORING<br>WIRE GLASS<br>WINDOW<br>WIRE MESH<br>WIRE MESH PARTITION<br>WATER RESISTANT   |
| /IN<br>/M<br>/MP<br>/R<br>/RGWB                  | WOOD FLOORING<br>WIRE GLASS<br>WINDOW<br>WIRE MESH<br>WIRE MESH PARTITION<br>WATER RESISTANT<br>WATER RESISTANT GYPSUM WALL<br>BOARD                                   |
| /IN<br>/M<br>/RP<br>/RGWB<br>/RGWB               | WOOD FLOORING<br>WIRE GLASS<br>WINDOW<br>WIRE MESH<br>WIRE MESH PARTITION<br>WATER RESISTANT<br>WATER RESISTANT GYPSUM WALL<br>BOARD<br>WAINSCOT                       |
| /IN<br>/M<br>/R<br>/RGWB<br>/RGWB<br>/SCT<br>/WF | WOOD FLOORING<br>WIRE GLASS<br>WINDOW<br>WIRE MESH<br>WIRE MESH PARTITION<br>WATER RESISTANT<br>WATER RESISTANT GYPSUM WALL<br>BOARD                                   |
| /IN<br>/M<br>/R<br>/RGWB<br>/RGWB<br>/SCT<br>/WF | WOOD FLOORING<br>WIRE GLASS<br>WINDOW<br>WIRE MESH<br>WIRE MESH PARTITION<br>WATER RESISTANT<br>WATER RESISTANT GYPSUM WALL<br>BOARD<br>WAINSCOT<br>WELDED WIRE FABRIC |

# **PROJECT TEAM**

OWNER WOODBURN SCHOOL DISTRICT 1390 MERIDIAN DRIVE WOODBURN, OR 97071 PHONE: 503.981.9555 CONTACT: IVAN LEIGH, FACILITIES OPERATIONS

#### **CONSTRUCTION MANAG**

JJ HENRI COMPANY 1800 BLANKENSHIP ROAD #200 WEST LINN, OR 97068 PHONE: 503.702.2752 CONTACT: JOHN O. HENRI, PROJECT MANAGEF SEAN OLSON, CONSTRUCTION MANAGE ERIC CUMMINGS, CONSTRUCTION ENGI

#### ARCHITECT

**BLRB ARCHITECTS P.S.** 621 SW MORRISON, SUITE 950 PORTLAND, OR 97205 PHONE: 503.595.0270 CONTACT: RICHARD HIGGINS, PRINCIPAL IN CHA SHEENA HEWETT, PROJECT MANAGE ANGELA CROOKS, JOB CAPTAIN

#### **CIVIL ENGINEER**

HUMBER DESIGN GROUP 117 SE TAYLOR ST, STE 001 PORTLAND, OR 97214 PHONE: 503.946.6632 CONTACT: WILLIAM BRANNAN, PE

#### LANDSCAPE ARCHITECT

CARDNO 6720 WS MACADAM AVE, STE 200 PORTLAND, OR 97219 PHONE: 503.419.2547 CONTACT: BECKY STRICKLER, PLA

# **PROJECT DATA**

| PROJECT ADDRESS                   | 440 PARR RD NE<br>WOODBURN, OR S        |
|-----------------------------------|---|
| TAX PARCEL NO.                    | 052W1300500                             |
| GOVERNING CODE                    | 2014 OREGON STR<br>SPECIALTY CODE       |
| EXISTING ZONING<br>CLASSIFICATION | P/SP (PUBLIC AND                        |
| BUILDING USE                      | ELEMENTARY SCH                          |
| AREA OF BUILDING                  | 45,689 SF (MAIN B)<br>24,462 SF (ANNEX) |
|                                   |   |

OCCUPANCY GROUPS TYPE OF CONSTRUCTION

SEWER DISTRICT CITY OF WOODBURN WATER DISTRICT CITY OF WOODBURN

MARION COUNTY HEALTH CODE MARION COUNTY HEALTH DEPARTMENT 976 N. PACIFIC HWY., WOODBURN, OR 97071

PHONE: 503-981-5851 OR 503-566-2901 FAX: 503-566-2977

# **PROJECT SCOPE**

- 1. SITE CIRCULATION IMPROVEMENTS A. RECONFIGURE EXISTING NORTH PARKING LOT TO
  - CREATE A DROP-OFF/PICK UP QUEUEING AREA SEPARATE FROM PARKING.
- B. RECLAIM EXISTING PARKING LOT TO EAST AND REMOVE PORTABLE BUILDINGS
- C. ADD EMERGENCY ACCESS LANE TO SERVE THE EXISTING AND ADDITION TO THE SOUTH CLASSROOM
- ANNFX 2. UTILITIES IMPROVEMENTS
- A. UPDATE UTILITIES AND SERVICES FOR NEW CONSTRUCTION.

#### LANDSCAPE 1. EXTERIOR IMPROVEMENTS

- A. REPLACE PLANT UNITS REMOVED FOR PARKING LOT
- RECONFIGURATION. B. ADD PLANT UNITS TO MEET CITY STANDARDS FOR PARKING LOT SCREENING.
- C. ADD PLANT UNITS AT SIDE YARD FOR SITE CONFORMANCE
- D. VARIOUS AREAS OF ADDITIONAL PLANTING FOR SITE CONFORMANCE.

- ER ER
- FING

- ΕT

FIN

FINISH (ED)

# **INDEX OF DRAWINGS**

GENERAL G0.03 DATA SHEET

|   | State Britteneer   |
|---|--|
| s manager<br><b>GER</b><br>Er<br>Bineer | <ul> <li>CIVIL</li> <li>C0.00 CIVIL COVER SHEET</li> <li>C1.00 EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL</li> <li>C1.01 EXISTING CONDITIONS AND DEMOLITION PLAN - ANNEX ADDITION</li> <li>C1.02 EXISTING CONDITIONS AND DEMOLITION PLAN - PARKING LOT AND PUBLIC CROSSINGS</li> <li>C2.00 LAYOUT AND PAVING PLAN - OVERALL</li> <li>C2.01 LAYOUT AND PAVING PLAN - ANNEX ADDITION</li> <li>C2.02 LAYOUT AND PAVING PLAN - PARKING LOT AND PUBLIC CROSSINGS</li> <li>C3.00 OVERALL GRADING PLAN</li> <li>C3.01 GRADING PLAN - ANNEX ADDITION</li> <li>C3.02 GRADING PLAN - PARKING LOT AND PUBLIC CROSSINGS</li> <li>C4.00 UTILITY PLAN - ANNEX ADDITION</li> <li>C4.02 UTILITY PLAN - ANNEX ADDITION</li> <li>C4.02 UTILITY PLAN - PARKING LOT</li> <li>C5.00 CIVIL DETAILS</li> </ul> |
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| <u>T</u>                                | ARCHITECTURAL<br>A1.01 ARCHITECTURAL SITE PLAN<br>A2.10 REFERENCE FLOOR PLAN<br>A2.11 FLOOR PLAN - AREA A<br>A2.12 FLOOR PLAN - ANNEX<br>A3.11 EXTERIOR ELEVATIONS<br>ELECTRICAL<br>E0.20 LUMINAIRE SCHEDULES - LUR<br>E1.10 ELECTRICAL SITE PLAN - LUR<br>PHOTOMETRIC PLAN - LOT C<br>PHOTOMETRIC PLAN - ANNEX  |

, OR 97071

N STRUCTURAL CODE (OSSC)

CAND SEMI-PUBLIC)

Y SCHOOL

AIN BUILDING)

NEX) E (EDUCATIONAL)

TYPE VB (SPRINKLERED) (MAIN BUILDING)

TYPE VA (NON-SPRINKLERED) (ANNEX)

ARCHITECTURAL

1. EXTERIOR IMPROVEMENTS

- A. RETROFIT EXISTING MAIN ENTRY DOORS WITH ADA ACTUATOR HARDWARE AND SECURITY HARDWARE. B. FOUR-CLASSROOM BUILDING ADDITION AT THE
- ANNEX TO THE SOUTH OF THE MAIN BUILDING. 2. INTERIOR RENOVATIONS A. UPDATE INTERIOR SECURE VESTIBULE OUTLINED IN
- AREA OF WORK B. REMODEL EXISTING LIBRARY TO INCREASE FLEXIBILITY AND CAPACITY. RELOCATE LIBRARY WORK ROOM.

ELECTRICAL 1. EXTERIOR IMPROVEMENTS

- A. UPGRADE ELECTRICAL SERVICE TO HES ANNEX B. ADD NEW BUILDING MOUNTED FIXTURES, SIM OR MATCH EXISTING, TO NEW ADDITION
- 2. INTERIOR RENOVATIONS A. SUPPORT NEW SECURE VESTIBULE WITH
- ELECTRICAL INFRASTRUCTURE
- B. REPLACE SELECT LIGHTING IN REMODELED LIBRARY

# DRAWING REVISIONS

1 5/20/2019 LAND USE REVISION 1 2 7/16/2019 LAND USE REVISION 2 (3) 8/28/2019 LAND USE REVISION 3

## LAND USE REVIEW

## HERITAGE ELEMENTARY SCHOOL

#### **WOODBURN SCHOOL DISTRICT**

# **BLRB** architects

TACOMA ISPOKANE IPORTLAND IBEND 1250 Pacific Ave Suite 700 WA 98402 253.627.5599 509.252.5080

505 W Riverside Suite 500 Suite 950 OR 97205 WA 98201

621 SW Morrison St. 404 SW Columbis Suite 120 OR 97702 503.595.0270 541.330.6506 BLRB.com

# Drawing Title: DATA SHEET - LAND USE REVIEW

| <sup>Date :</sup> 08/30/2019 | Drawn By: SAH        |
|------------------------------|----------------------|
| Revised :<br>-               | Project No.<br>1748P |
| Stamp                        | Sheet No.            |
|                              | G0.03                |
|                              | of Attachment 107    |



#### GENERAL NOTES

- PLUMBING CODE, LATEST EDITION.
- CONSTRUCTION.
- BEFORE YOU DIG NUMBER" IS 503-246-6699.
- CONFLICTS.

- OF CONSTRUCTION MATERIALS AND DEBRIS.

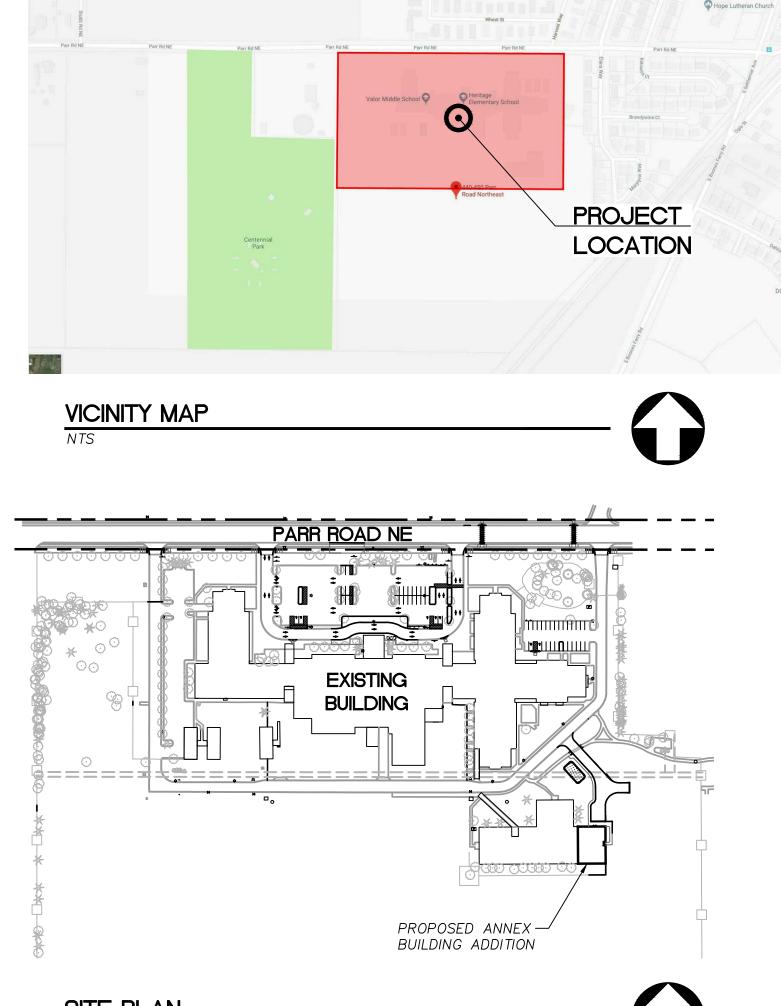
#### **GRADING NOTES**

- OTHERWISE NOTED ON PLANS.
- REPRESENTATIVE.
- OWNER'S REPRESENTATIVE.

- FINISH GRADE.

#### PAVING NOTES

- BOTH RIDE AND DRAINAGE.
- WOODBURN TECHNICAL SPECIFICATIONS.
- ON PLANS AND ON THE DETAIL SHEETS.
- ANY ON-SITE CONSTRUCTION ACTIVITY.



#### SITE PLAN SCALE: 1"=200

#### **BENCHMARK**

HORIZONTAL AND VERTICAL DATUM LOCAL ASSUMED. MARION COUNTY BRASS DISC IN MONUMENT BOX, DOWN 0.8' ALONG INTERSECTION OF PARR ROAD NE.

#### TAX LOT INFORMATION

SECTION 13, TOWNSHIP 5 SOUTH, RANGE 2 WEST, IN THE COUNTY OF MARION.

#### SURVEY

SURVEY PROVIDED BY LEI ENGINEERING & SURVEYING. THE DATUM FOR THIS SURVEY IS BASED UPON A BRASS DISC IN MONUMENT BOX ELEVATION OF 98.75 AT THE INTERSECTION OF PARR ROAD NE.

HERITAGE ELEMENTARY SCHOOL

# 440 PARR PD NE, WOODBURN, OR 97071

LAND USE REVIEW SET

1. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE CITY OF WOODBURN AND THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD. BRIDGE. AND MUNICIPAL CONSTRUCTION" AS PREPARED BY APWA AND THE OREGON STATE

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.

3. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING

4. ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987 AND THE LOCAL "CALL 48 HOURS

5. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF HUMBER DESIGN GROUP. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT

5. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.

7. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE USED AS NEEDED. THE CONTRACTOR SHALL ADHERE TO THE CITY OF WOODBURN EROSION CONTROL STANDARDS AS NECESSARY FOR EROSION CONTROL MEASURES.

8. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL ROADWAYS CLEAN AND FREE

9. BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS, CONTRACTOR TO SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH.

10. CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.

11. HUMBER DESIGN GROUP ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.

1. ALL SURFACES SHALL HAVE MINIMUM 2.0% SLOPE AND SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY. MAINTAIN CONSTANT SLOPES UNLESS

2. CONTRACTOR RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.

3. CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S

4. CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE

5. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS INDICATED ON PLANS OR AT DRIP-LINE OF EXISTING TREES. SEE TREE PROTECTION SPECIFICATIONS AND NOTES. NO PARKING VEHICLES UNDER TREES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE PROJECT AREA. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.

7. ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY QUALIFIED SURVEYOR, BASED ON DIMENSIONS AND BEARINGS AS SHOWN ON THE PLANS CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.

8. ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO

9. GRADING PLAN SHALL BE DESIGNED TO NOT ADVERSELY IMPACT HISTORIC SURFACE DRAINAGE FLOWS TO OF FROM ADJACENT PROPERTIES.

1. STREET SIGNS AND STRIPING TO BE INSTALLED BY THE CONTRACTOR PER MUTCD. 2. ALL PAVEMENT SHALL BE CUT STRAIGHT PRIOR TO PAVING. EXISTING PAVEMENT SHALL BE REMOVED AS NECESSARY TO PROVIDE A SMOOTH TRANSITION FOR

3. PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER, PER CITY OF

4. CONTRACTOR TO INSTALL ADA WHEELCHAIR RAMPS AND SIDEWALKS AS SHOWN

5. ALL CONSTRUCTION WITHIN THE CITY OF WOODBURN RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN AND RIGHT-OF-WAY PERMIT PRIOR TO

#### MATERIAL NOTES

- 1. MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM THE PROJECT ENGINEER PRIOR TO INSTALLATION.
- 2. ALL ON-SITE WATER, STORM AND SANITARY SEWER PIPE MATERIALS AND FITTINGS SHALL CONFORM TO THE OREGON STATE PLUMBING SPECIALTY CODE, LATEST EDITION.
- 3. ON-SITE WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, CONFORMING TO AWWA C151. WATER MAIN BETWEEN THE METER VAULT AND BACKFLOW VAULT SHALL BE COPPER TUBING CONFORMING TO ASTM B88, SILVER SOLDER.
- 4. ON-SITE STORM SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034 SDR 35, OR HDPE PIPE (ADS 'N-12' OR APPROVED EQUAL) CONFORMING TO AASHTO M252 W/WATERTIGHT JOINTS.
- 5. ON-SITE STORM SEWER PIPE WITH LESS THAN 2' OF COVER SHALL BE HDPE PIPE.
- 6. ON-SITE AREA DRAINS SHALL BE MANUFACTURED BY LYNCH CO., INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON THE PLANS.
- 7. ON-SITE SANITARY SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034, SDR 35.

#### UTILITY NOTES

- 1. ALL WATER AND SANITARY SEWER FACILITIES AND THE INSTALLATION THEREOF SHALL FOLLOW THE CURRENT OREGON STATE PLUMBING SPECIALTY CODE AND THE LATEST EDITION OF APWA WITH CITY OF WOODBURN INSPECTION DURING CONSTRUCTION.
- 2. ALL TRENCH BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.
- 3. CONNECTIONS TO EXISTING UTILITIES SHALL CONFORM WITH THE CITY OF WOODBURN ENGINEERING DESIGN MANUAL AND STANDARD DRAWINGS.
- 4. ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE MINIMUM 36-INCH COVER TO FINISHED GRADE.
- 5. ALL WATER LINES SHALL BE THOROUGHLY FLUSHED. CHLORINATED AND TESTED IN ACCORDANCE WITH THE CITY OF WOODBURN TECHNICAL SPECIFICATIONS AND THE OREGON STATE HEALTH DEPARTMENT PRIOR TO ANY METER HOOK-UP SERVICE.
- 6. BEGIN LAYING STORM AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE BY THE USE OF A LASER.
- 7. CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING THE STORM DRAINAGE SYSTEM.
- 8. CONTRACTOR TO MAINTAIN A MINIMUM 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN ALL EXISTING AND PROPOSED WATER AND SEWER LINES.
- 9. FOR CROSSINGS OF SANITARY SEWER LINES, THE OREGON STATE HEALTH DEPARTMENT CRITERIA SHALL APPLY.
- 10. CONTRACTOR SHALL COMPLY WITH O.A.R. 333, DIVISION 61 PUBLIC WATER SYSTEMS FOR THE INSTALLATION OF ALL WATERLINES ON THE PROJECT.
- 11. CONTRACTOR SHALL VERIFY PUBLIC SEWER ELEVATION PRIOR TO START OF WATER/SEWER WORK. PROVIDE ACTUAL ELEVATION INFORMATION TO ENGINEER

PBS

CARDNO

<u>CONTRACTOR</u>

GEOTECHNICAL ENGINEER

PORTLAND, OR 97239

PHONE: 503.248.1939

CONTACT: RYAN WHITE

LANDSCAPE ARCHITECT

PORTLAND, OR 97219

PHONE: 503.419.2547

CONTACT: BECKY STRICKLER

4412 SW CORBETT AVENUE

#### ARCHITECT/ENGINEER

#### <u>OWNER:</u>

WOODBURN SCHOOL DISTRICT 390 MERIDIAN DRIVE WOODBURN, OR 97071 PHONE: 503.981.9555 CONTACT: IVAN LEIGH, FACILITIES OPERATIONS MANAGER

<u>ARCHITECT</u> BLRB ARCHITECTS P.S. 621 SW MORRISON STREET, SUITE 950 6720 SW MACADAM AVE, SUITE 200 PORTLAND, OR 97205 PHONE: 503.595.0270 CONTACT: SHEENA HEWETT

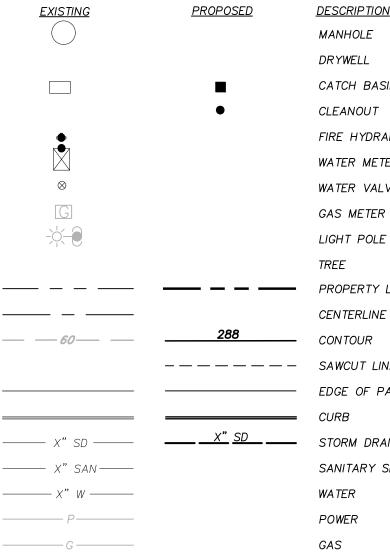
<u>SURVEYOR</u> LEI ENGINEERING & SURVEYING 2564 19TH ST SE SALEM, OR 97302 PHONE: 503.399.3828 CONTACT: GREG J. ZARTMAN

<u>CIVIL ENGINEER</u> HUMBER DESIGN GROUP, INC. 117 SE TAYLOR ST, STE 001 PORTLAND, OR 97214 PHONE: (503) 946-6632 CONTACT: WILLIAM BRANNAN, PE

#### SHEET INDEX

CIVIL COVER SHEET C0.00 EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL C1.00 EXISTING CONDITIONS AND DEMOLITION PLAN - ANNEX ADDITION C1.01 EXISTING CONDITIONS AND DEMOLITION PLAN - PARKING LOT AND PUBLIC CROSSINGS C1.02 LAYOUT AND PAVING PLAN - OVERALL C2.00 LAYOUT AND PAVING PLAN - ANNEX ADDITION C2.01 LAYOUT AND PAVING PLAN - PARKING LOT AND PUBLIC CROSSINGS C2.02 GRADING PLAN – OVERALL C3.00 GRADING PLAN – ANNEX ADDITION C3.01 GRADING PLAN – PARKING LOT AND PUBLIC CROSSINGS C3.02 UTILITY PLAN – OVERALL C4.00 UTILITY PLAN - ANNEX ADDITION C4.01 C4.02 UTILITY PLAN – PARKING LOT C5.00 CIVIL DETAILS

#### LEGEND



| <u>DESCRIPTION</u> |
|--------------------|
| MANHOLE            |
| DRYWELL            |
| CATCH BASIN        |
| CLEANOUT           |
| FIRE HYDRANT       |
| WATER METER        |
| WATER VALVE        |
| GAS METER          |
| LIGHT POLE         |
| TREE               |
| PROPERTY LINE      |
| CENTERLINE         |
| CONTOUR            |
| SAWCUT LINE        |
| EDGE OF PAVEMENT   |
| CURB               |
| STORM DRAIN        |
| SANITARY SEWER     |
| WATER              |
| POWER              |
| GAS                |
|                    |

#### ABBREVIATIONS

| AD    | AREA DRAIN         |
|-------|--------------------|
| BS    | BOTTOM OF STAIR    |
| BW    | BOTTOM OF WALL     |
| СВ    | CATCH BASIN        |
| СО    | CLEAN OUT TO GRADE |
| COP   | CITY OF PORTLAND   |
| DWG.  | DRAWING            |
| EX.   | EXISTING           |
| FG    | FINISHED GRADE     |
| Н     | HEIGHT             |
| GB    | GRADE BREAK        |
| IE    | INVERT ELEVATION   |
| LF    | LINEAL FEET        |
| MAX.  | MAXIMUM            |
| MIN.  | MINIMUM            |
| NO.   | NUMBER             |
| NTS   | NOT TO SCALE       |
| OD    | OVERFLOW DRAIN     |
| PERF. | PERFORATED         |
| ROW   | RIGHT—OF—WAY       |
| S=    | SLOPE EQUALS       |
| SD    | STORM DRAIN        |
| SF    | SQUARE FEET        |
| SS    | SANITARY SEWER     |
| STD.  | STANDARD           |
| ТС    | TOP OF CURB        |
| TD    | TRENCH DRAIN       |
| TP    | TOP OF PAVEMENT    |
| TS    | TOP OF STAIR       |
| TW    | TOP OF WALL        |
| TYP.  | TYPICAL            |
| W     | WATER              |
|       |                    |



#### DRAWING REVISIONS

05/20/2019 07/16/2019

LAND USE REVISION 1 LAND USE REVISION 2

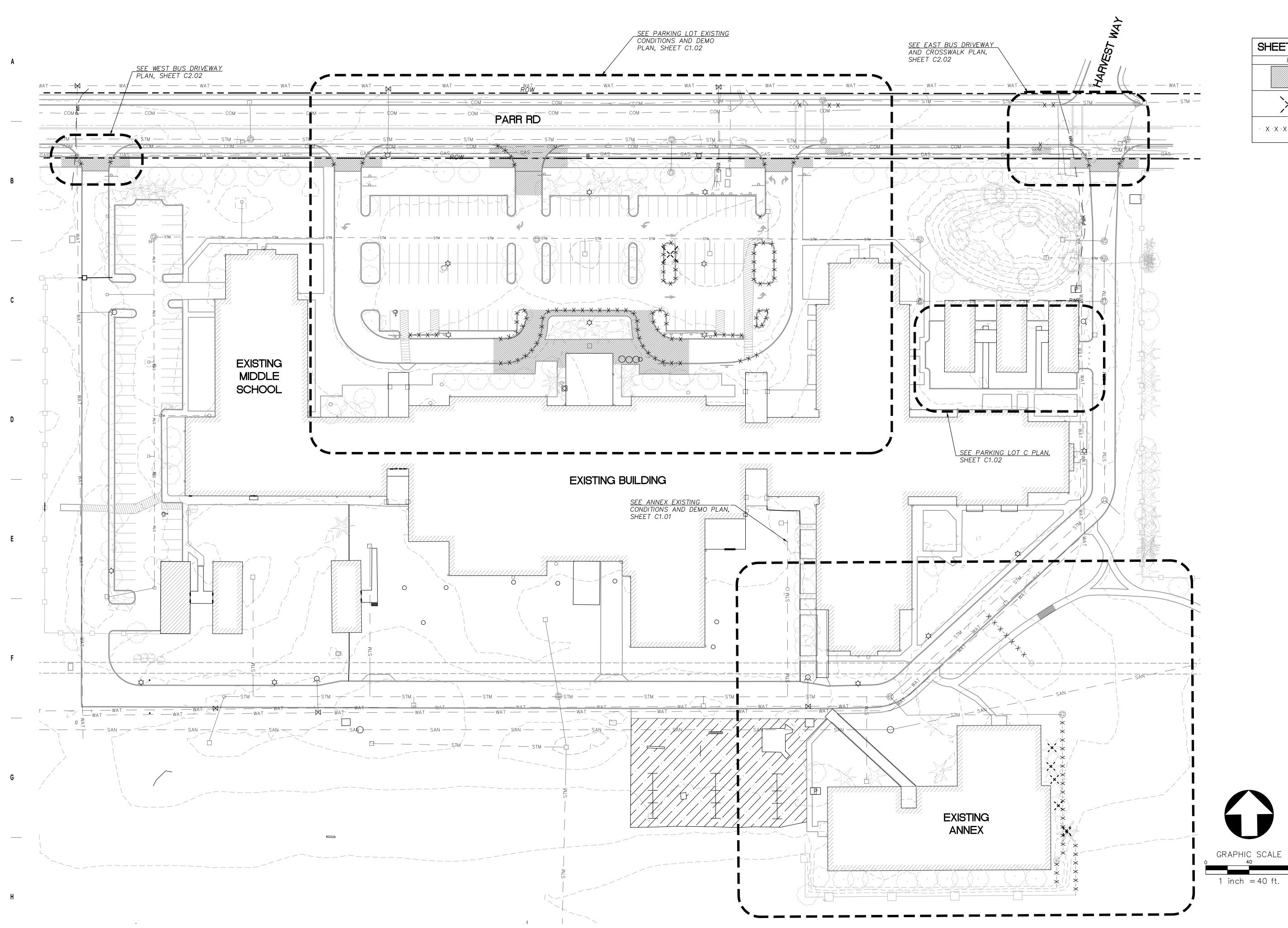
#### LAND USE REVIEW SET

#### **HERITAGE ELEMENTARY** SCHOOL

#### WOODBURN SCHOOL DISTRICT

| BLRB a | architects |
|--------|------------|
|--------|------------|

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| Drawing Title:  |   |  |  |
| CIVIL COVER SHEET   |   |  |  |
|   |   |  |  |
| <sup>Date :</sup> 04/03/2019  | Drawn By : MWH/RXN/ACX  |  |  |
| Revised : 08/29/2019  | Project No. 1748P   |  |  |
| Stamp   | Sheet No.   |  |  |
| PRELIMINARY -<br>NOT FOR<br>CONSTRUCTION  | <b>C0.00</b>  |  |  |



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1 EXIS 1"=40'

EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL

| SHEET LEGEND  |   |  |  |
|---|---|--|--|
| ITEM  | DESCRIPTION   |  |  |
|   | DEMOLISH A.C. PAVEMENT, CURB AND SIDEWALK<br>TO SAWCUT LINE, AND EXISTING STRUCTURE |  |  |
| $\times$  | REMOVE EXISTING TREE  |  |  |
| $\cdot  X \cdot X \cdot X \cdot X \cdot X \cdot X \cdot X  \cdot$ | DEMO EXISTING FEATURE   |  |  |



# DRAWING REVISIONS

 1
 05/20/2019

 2
 07/16/2019

LAND USE REVISION 1 LAND USE REVISION 2

### LAND USE REVIEW SET

HERITAGE ELEMENTARY SCHOOL

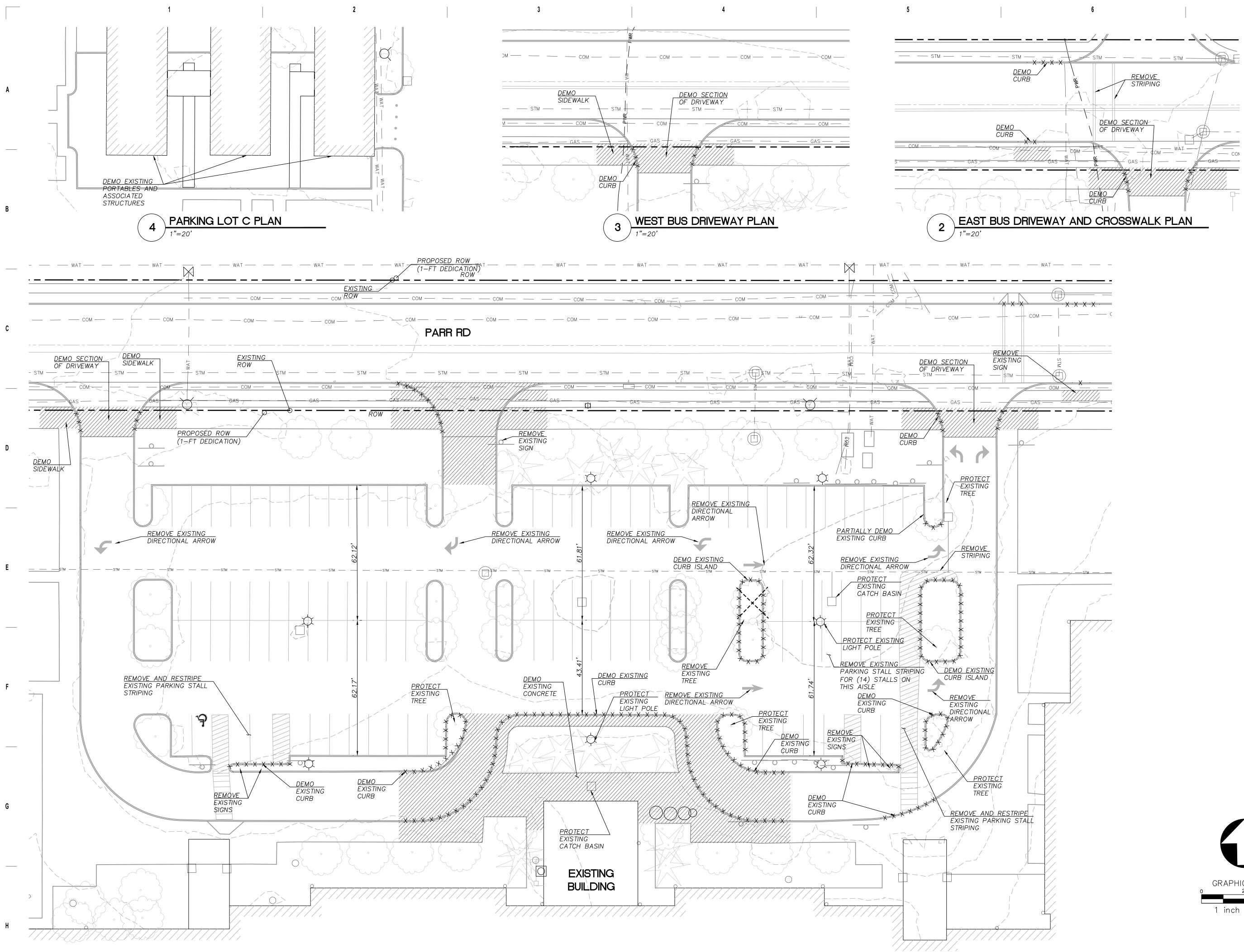
#### WOODBURN SCHOOL DISTRICT

# **BLRB** architects

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|  |  | BLRB.com   |  |

Drawing Title:

| EXISTING CONDITIONS AND<br>DEMOLITION PLAN - OVERALL |                        |  |
|--|------------------------|--|
| <sup>Date :</sup> 04/03/2019                         | Drawn By : MWH/RXN/ACX |  |
| <sup>Revised :</sup> 08/29/2019                      | Project No. 1748P      |  |
| Stamp<br>PRELIMINARY -<br>NOT FOR<br>CONSTRUCTION    | Sheet No.              |  |
|  |                        |  |



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EXISTING CONDITIONS AND DEMOLITION PLAN - PARKING LOT

| SHEET LEGEND  |   |  |
|---|---|--|
| ITEM  | DESCRIPTION   |  |
|   | DEMOLISH A.C. PAVEMENT, CURB AND SIDEWALK<br>TO SAWCUT LINE, AND EXISTING STRUCTURE |  |
| $\geq$  | REMOVE EXISTING TREE  |  |
| $\cdot  X \cdot X \cdot X \cdot X \cdot X \cdot X  \cdot$ | DEMO EXISTING FEATURE   |  |



# DRAWING REVISIONS

 1
 05/20/2019

 2
 07/16/2019

LAND USE REVISION 1 LAND USE REVISION 2

#### LAND USE REVIEW SET

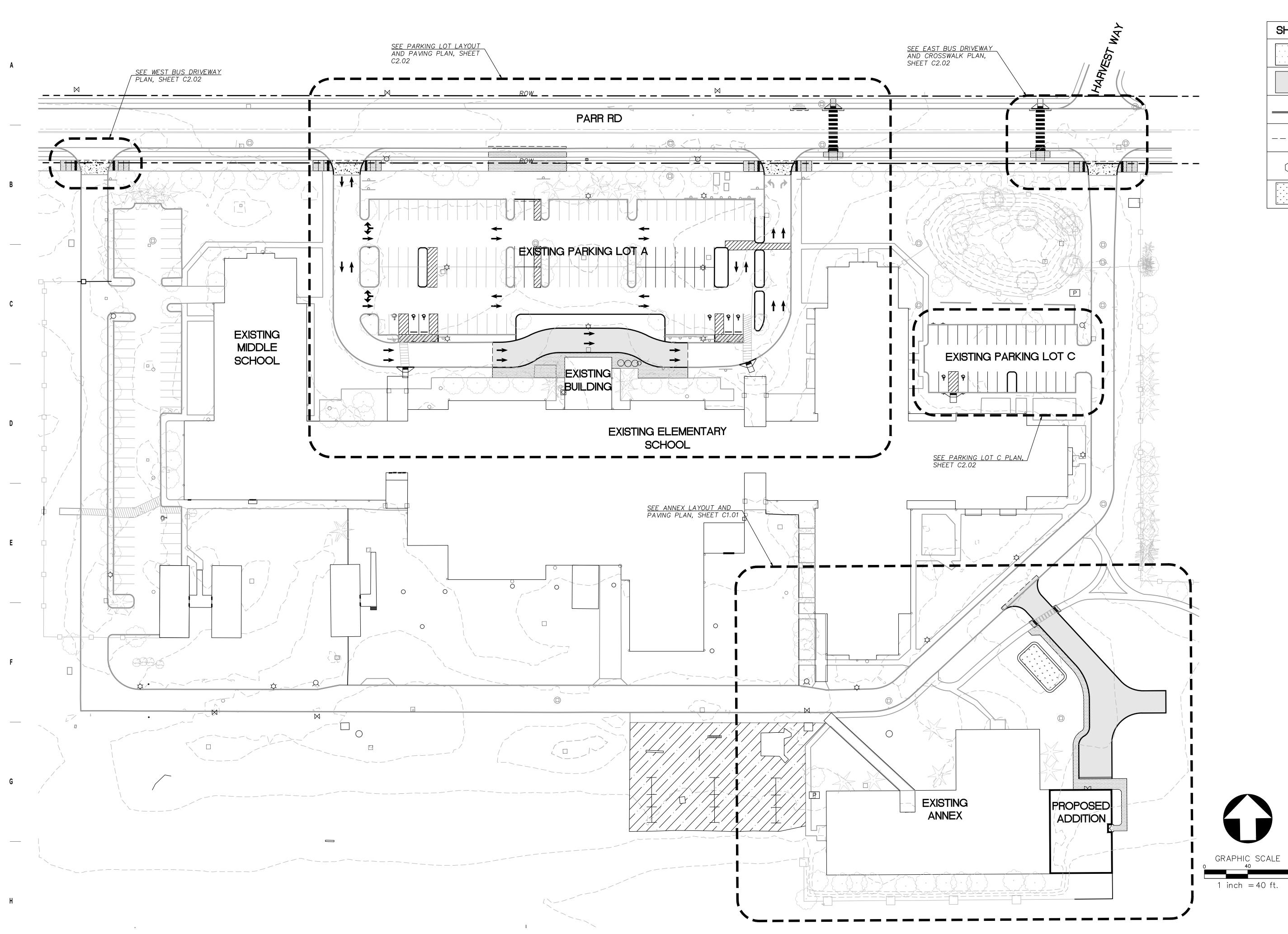
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#### WOODBURN SCHOOL DISTRICT

| WOODBURN SCHOOL DISTRICT  |  |  |  |
|---|--|--|--|
| BLRB archite  | <b>BLRB</b> architects   |  |  |
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| Drawing Title:<br>EXISTING CONDITIONS AND<br>DEMOLITION PLAN - PARKING<br>LOT AND PUBLIC CROSSINGS  |  |  |  |
| Date : 04/03/2019   | Drawn By: MWH/RXN/ACX  |  |  |
| Revised : 08/29/2019  | Project No. 1748P  |  |  |
| Stamp<br>PRELIMINARY -<br>NOT FOR<br>CONSTRUCTION   | Sheet No.  |  |  |

 $GRAPHIC SCALE_{20} = 40$ 1 inch = 20 ft.





## LAYOUT AND PAVING PLAN - OVERALL







| SHEET LEGEND    |                        |            |
|-----------------|------------------------|------------|
| · · · · · · · · | CONCRETE SIDEWALK      | 6<br>C5.00 |
|                 | ASPHALT PAVEMENT       | 5          |
|                 | STANDARD CONCRETE CURB | 7<br>C5.00 |
|                 | SAWCUT                 |            |
| Ĺ               | LANDSCAPING            |            |
|                 | STORMWATER PLANTER     | 8<br>C5.00 |



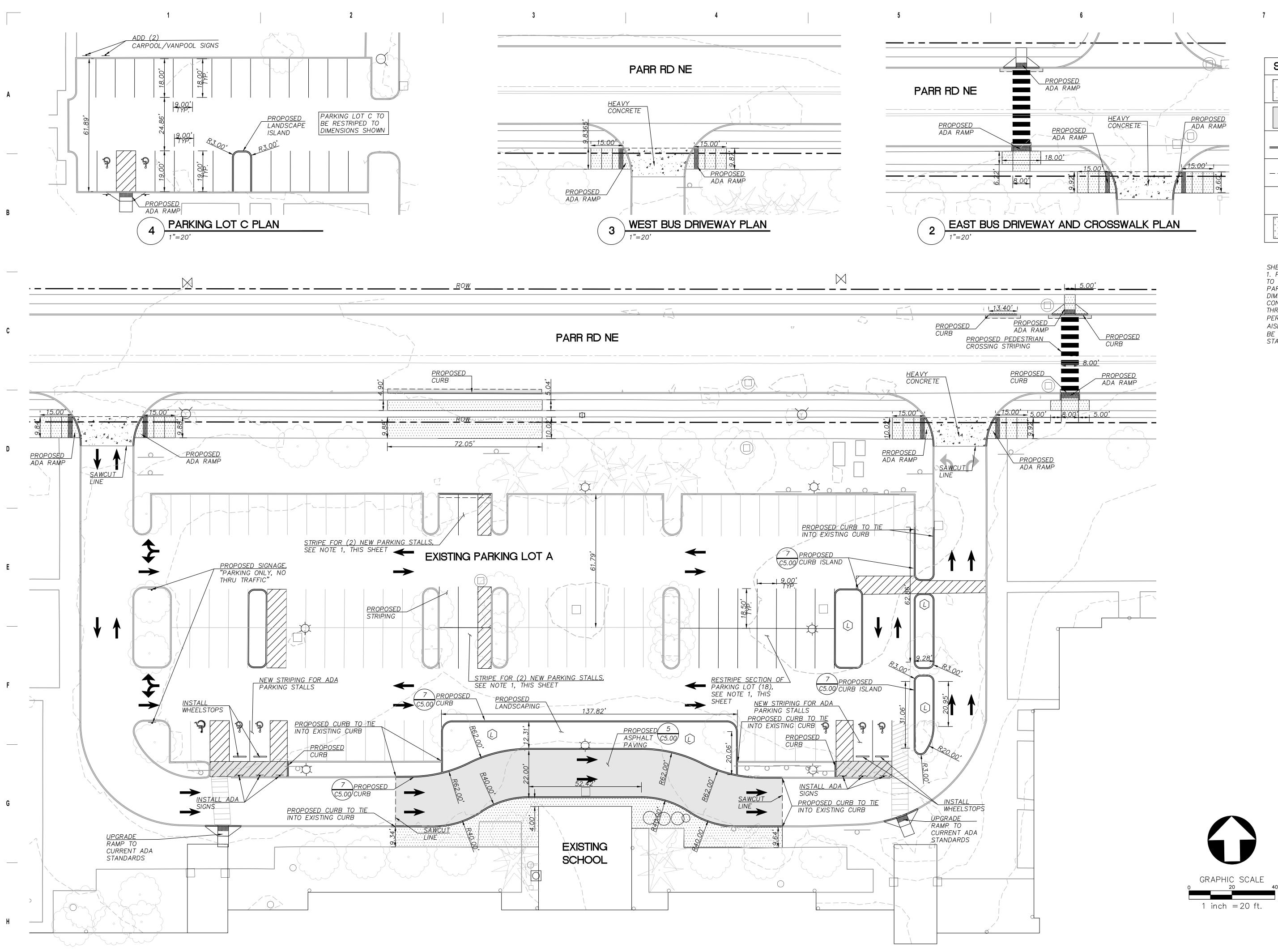
# DRAWING REVISIONS

105/20/2019 <u>/</u>2 07/16/2019 LAND USE REVISION 1 LAND USE REVISION 2

# LAND USE REVIEW SET

HERITAGE ELEMENTARY SCHOOL

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|---|--|--|--|
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| Drawing Title:<br>LAYOUT AND PAVING PLAN -<br>OVERALL   |  |  |  |
| Date : 04/03/2019   | Drawn By : MWH/RXN/ACX   |  |  |
| Revised : 08/29/2019  | Project No. 1748P  |  |  |
| Stamp<br>PRELIMINARY -  | Sheet No.  |  |  |
| NOT FOR<br>CONSTRUCTION   | C2.00  |  |  |



1"=20'

#### LAYOUT AND PAVING PLAN - PARKING LOT A

| SHEET LEGEND  |                        |            |
|---------------|------------------------|------------|
| · · · · · · · | CONCRETE SIDEWALK      | 6<br>C5.00 |
|               | ASPHALT PAVEMENT       | 5          |
|               | STANDARD CONCRETE CURB | 7          |
|               | SAWCUT                 |            |
| Ĺ             | LANDSCAPING            |            |
|               | STORMWATER PLANTER     | 8          |

#### SHEET NOTES:

1. PARKING STALL DIMENSIONS FOR PROPOSED STRIPING ARE TO BE BASED ON EXISTING DIMENSIONS OF EXISTING PARKING STALLS. STALLS LENGTHS TO BE FIELD-VERIFIED. IF DIMENSIONS DIFFER FROM THOSE SHOWN ON THIS PLAN, CONTACT CIVIL ENGINEER. IF CURB-TO-CURB LENGTH THROUGH PARKING AREA ENABLES STALLS TO BE RESTRIPED PER CITY CODE LENGTHS (19-FOOT STALL, 24-FOOT DRIVE AISLE), ALL PARKING STALLS AND PARKING AISLES ARE TO BE CHANGED (IF REQUIRED) TO MEET THESE CODE STANDARDS.



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#### DRAWING REVISIONS

05/20/2019 12 07/16/2019

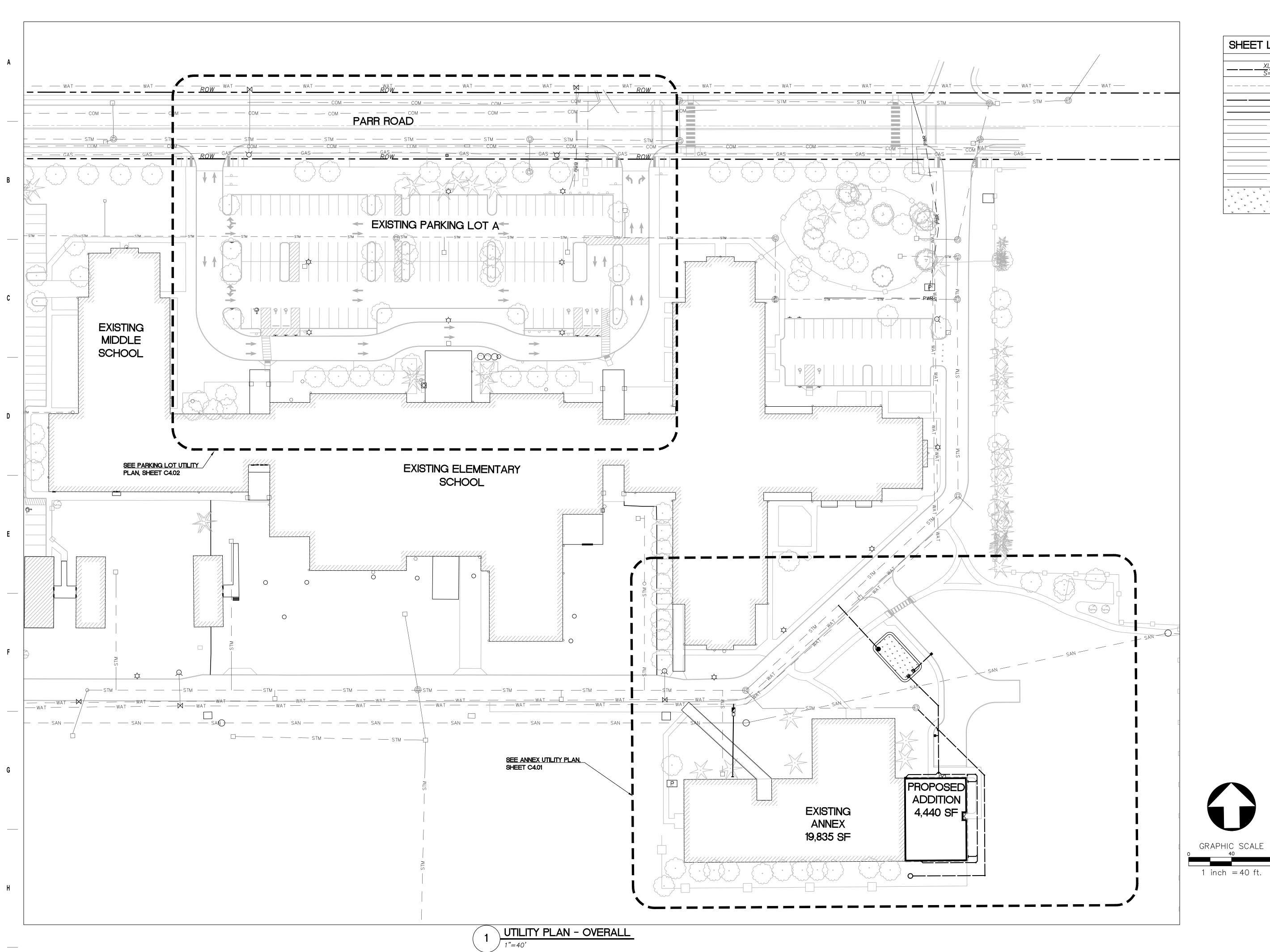
LAND USE REVISION 1 LAND USE REVISION 2

#### LAND USE REVIEW SET

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| Drawing Title:<br>LAYOUT AND PAVING<br>PLAN - PARKING LOT<br>AND PUBLIC CROSSINGS   |   |  |  |
| Date : 04/03/2019   | Date : 04/03/2019 Drawn By : MWH/RXN/ACX  |  |  |
| Revised : 08/29/2019 Project No. 1748P  |   |  |  |
| Stamp   | Sheet No.   |  |  |
| PRELIMINARY -<br>NOT FOR<br>CONSTRUCTION  | C2.02   |  |  |





| SHEET LEGEND |   |
|--------------|---|
| SYMBOL       | DESCRIPTION                             |
| XLF-X"SD<br> | PROPOSED STORM DRAIN                    |
|              | PROPOSED PERFORATED<br>FOUNDATION DRAIN |
|              | PROPOSED SANITARY                       |
|              | PROPOSED WATER                          |
| СОМ          | EXISTING TELECOMMUNICATIONS             |
| SAN          | EXISTING SANITARY                       |
| STM          | EXISTING STORM                          |
| WA T         | EXISTING WATER                          |
| GAS          | EXISTING GAS                            |
|              | STORMWATER PLANTER                      |



# DRAWING REVISIONS

<u>05/20/2019</u> <u>2</u> 07/16/2019 LAND USE REVISION 1 LAND USE REVISION 2

# LAND USE REVIEW SET

HERITAGE ELEMENTARY SCHOOL

#### WOODBURN SCHOOL DISTRICT

| BLRB | architects |  |
|------|------------|--|
|------|------------|--|

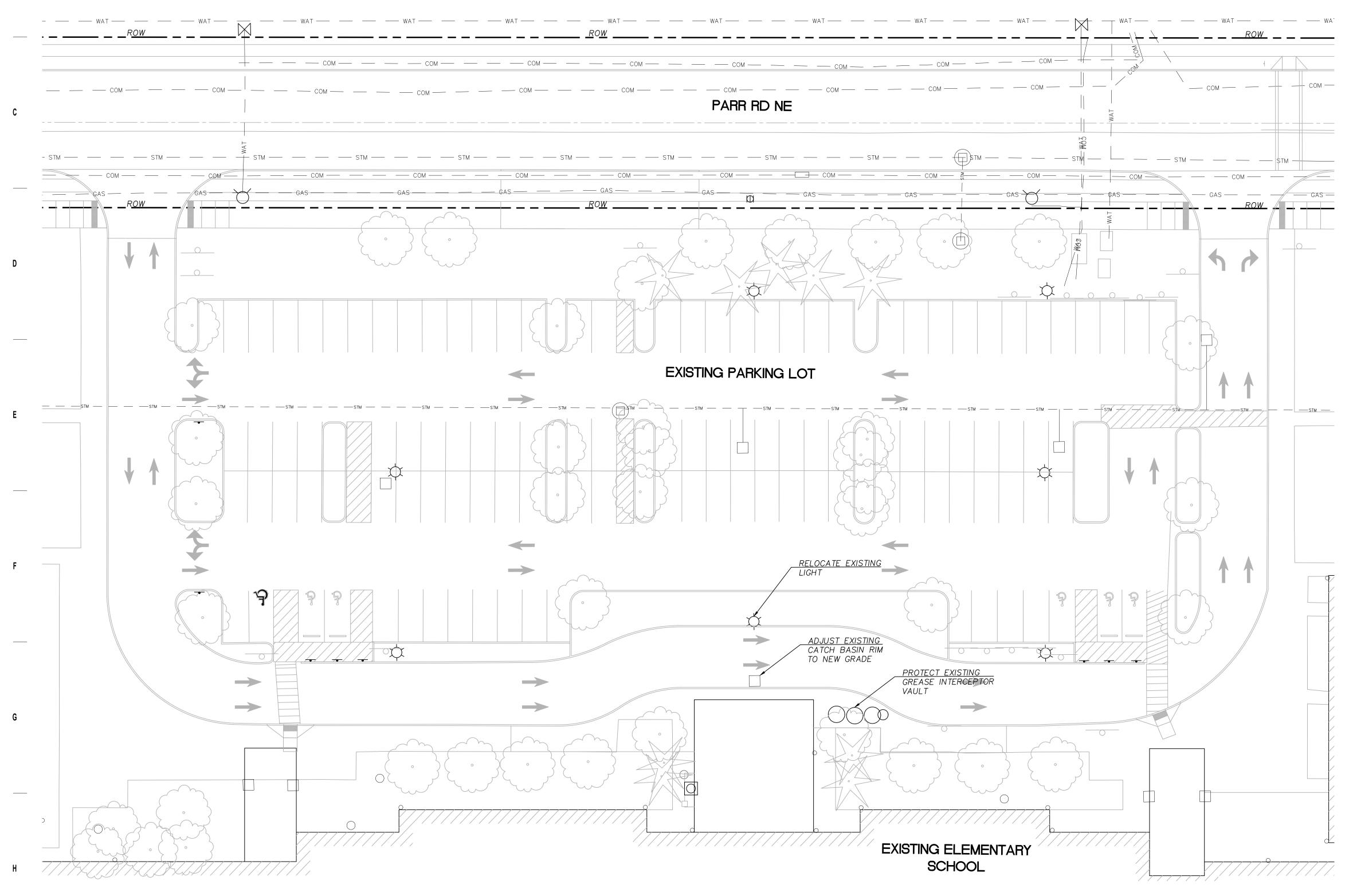
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|  |  | BLRB.com   |  |
| Drawing Title:   |  |  |  |
| UTILITY PLAN - OVERALL   |  |  |  |

| <sup>Date :</sup> 04/03/2019             | Drawn By : MWH/RXN/ACX |
|--|------------------------|
| Revised : 08/29/2019                     | Project No. 1748P      |
| Stamp                                    | Sheet No.              |
| PRELIMINARY -<br>NOT FOR<br>CONSTRUCTION | C4.00                  |

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2 3 6

# UTILITY PLAN - PARKING LOT

1"=20'

| SHEET LEGEND |   |
|--------------|---|
| SYMBOL       | DESCRIPTION                             |
| <u> </u>     | PROPOSED STORM DRAIN                    |
|              | PROPOSED PERFORATED<br>FOUNDATION DRAIN |
|              | PROPOSED SANITARY                       |
|              | PROPOSED WATER                          |
| COM          | EXISTING TELECOMMUNICATIONS             |
| SAN          | EXISTING SANITARY                       |
| STM          | EXISTING STORM                          |
| WA T         | EXISTING WATER                          |
| GAS          | EXISTING GAS                            |
|              | STORMWATER PLANTER                      |



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# DRAWING REVISIONS

<u>05/20/2019</u> <u>2</u> 07/16/2019

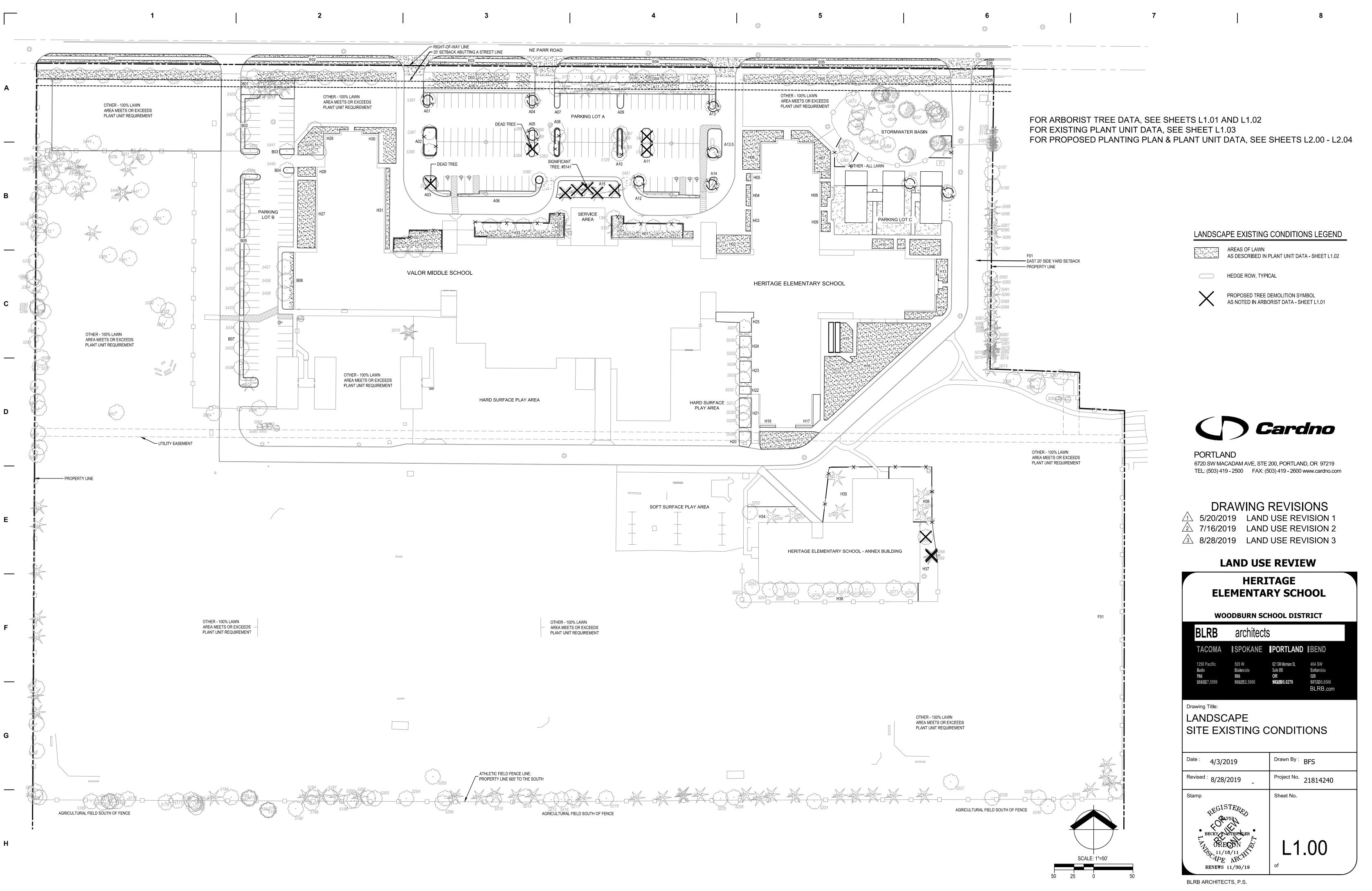
LAND USE REVISION 1 LAND USE REVISION 2

#### LAND USE REVIEW SET

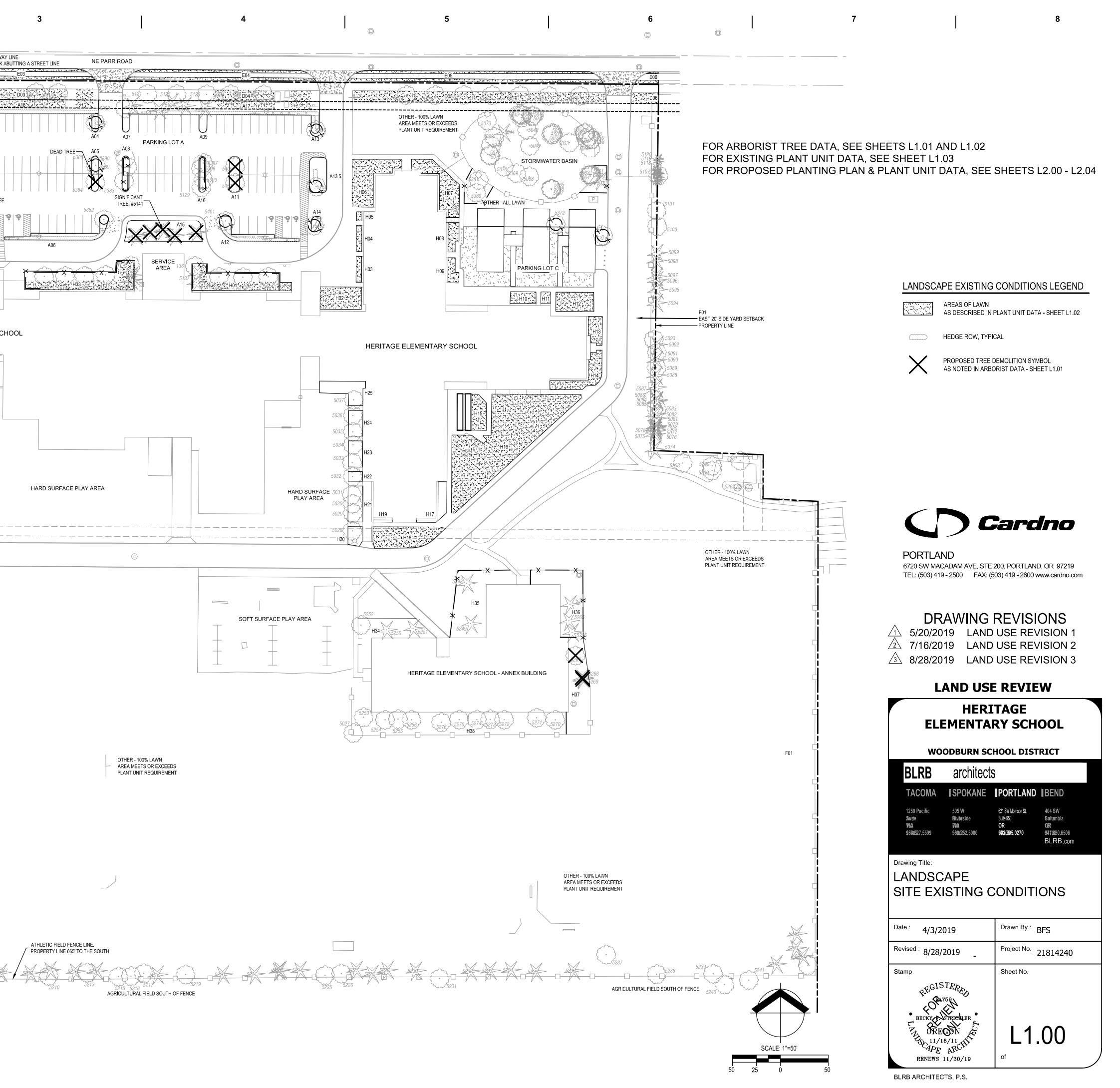
HERITAGE ELEMENTARY SCHOOL

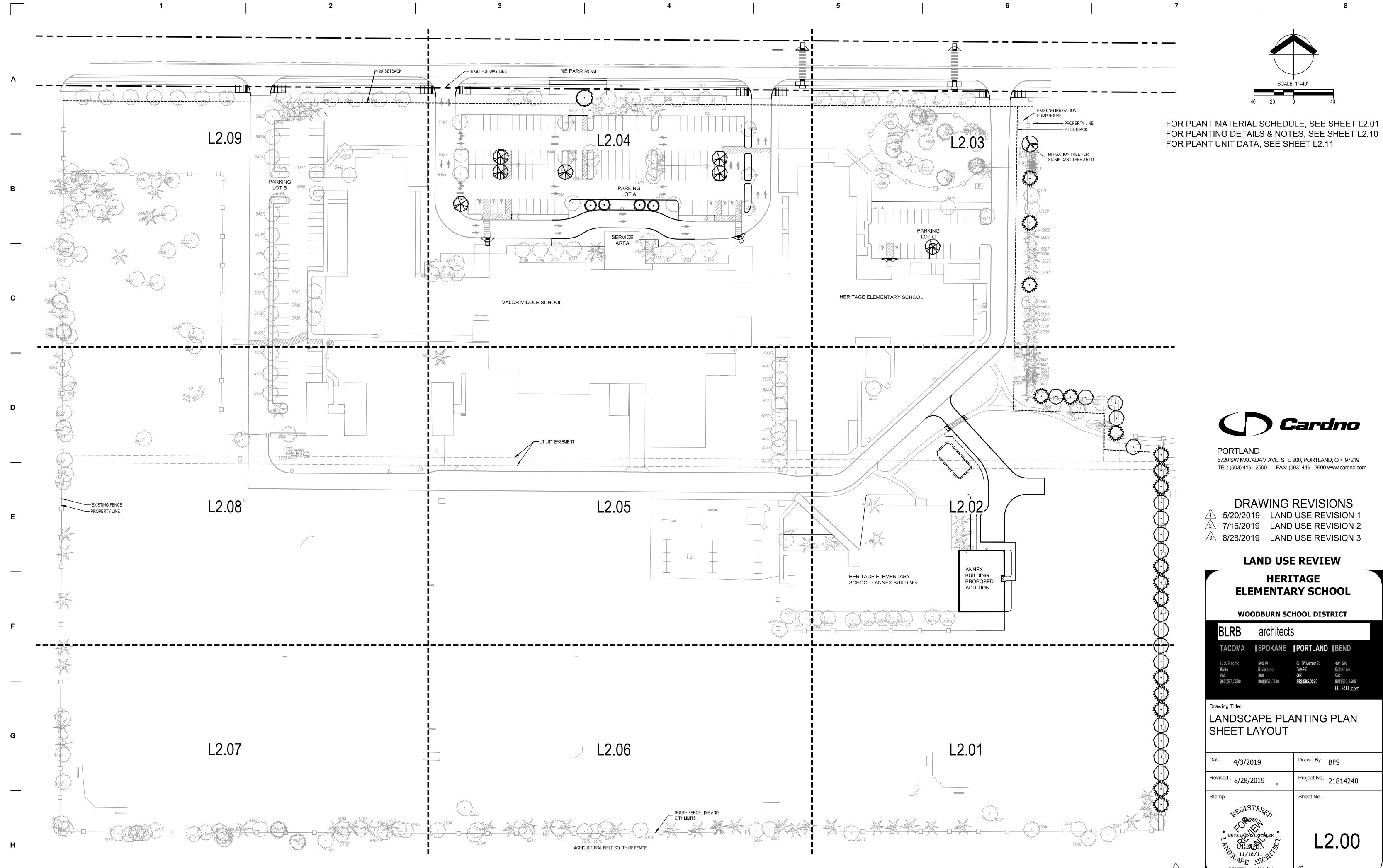
| WOODBURN SCHOOL DISTRICT  |  |  |  |  |  |  |  |
|---|--|--|--|--|--|--|--|
| <b>BLRB</b> architects  |  |  |  |  |  |  |  |
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|   | BERB.com   |  |  |  |  |  |  |
| Drawing Title:  |  |  |  |  |  |  |  |
| UTILITY PLAN  | - PARKING  |  |  |  |  |  |  |
| • • • • • • • • • • • •   |  |  |  |  |  |  |  |
| LOT   |  |  |  |  |  |  |  |
|   |  |  |  |  |  |  |  |
| Date : 04/03/2019   |  |  |  |  |  |  |  |
| 07/03/2019  | Drawn By: MWH/RXN/ACX  |  |  |  |  |  |  |
| Pavisod :   |  |  |  |  |  |  |  |
| Revised : 08/29/2019  | Project No. 1748P  |  |  |  |  |  |  |
| Povisod ·   |  |  |  |  |  |  |  |
| Revised : 08/29/2019  | Project No. 1748P  |  |  |  |  |  |  |

GRAPHIC SCALE 40 1 inch = 20 ft.



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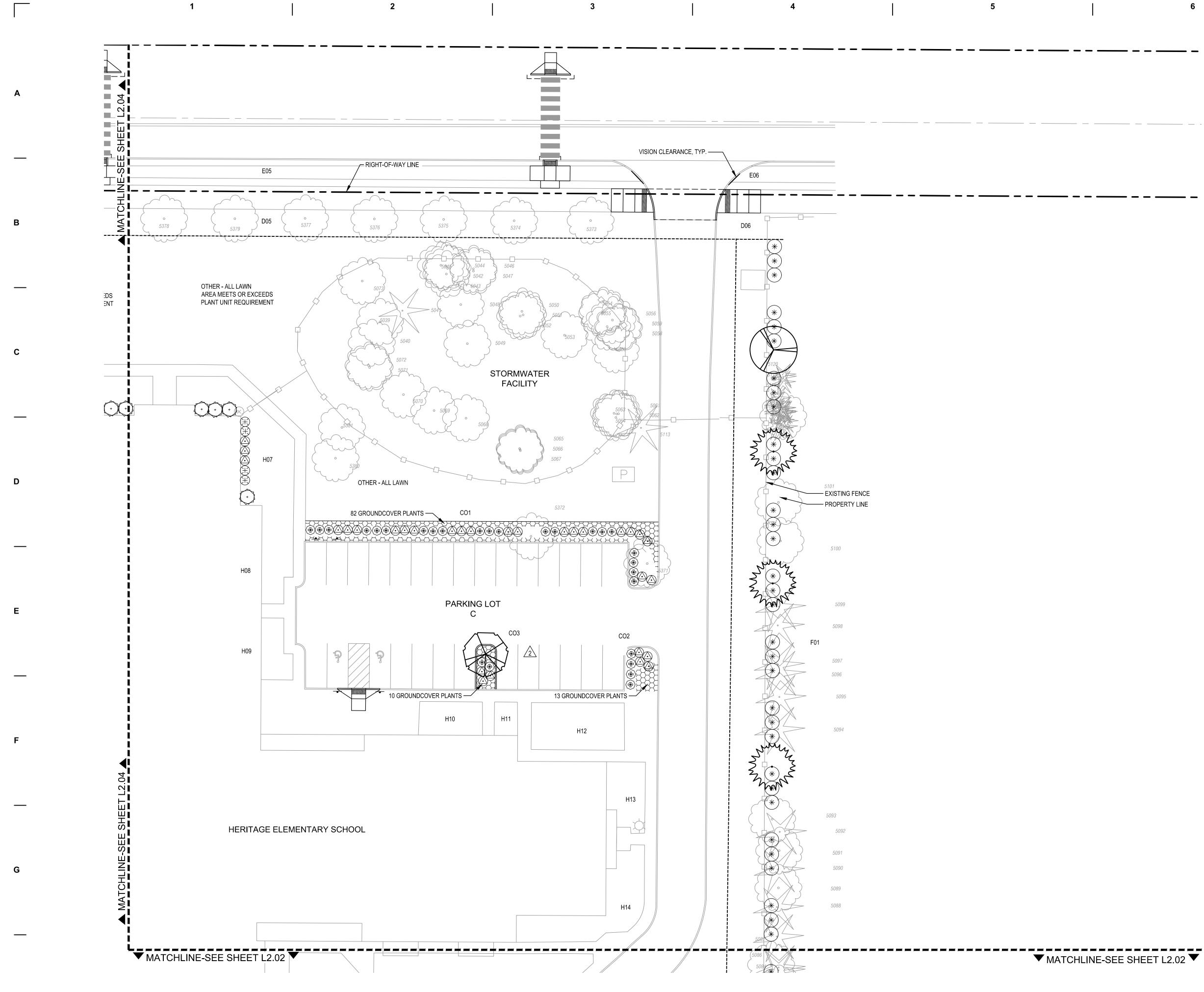




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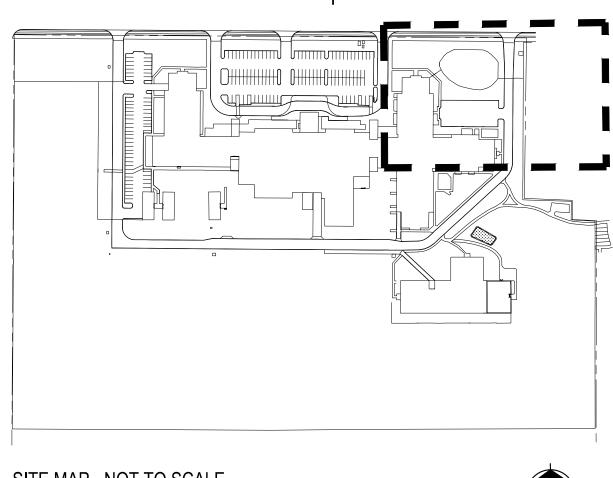
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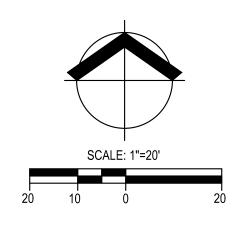
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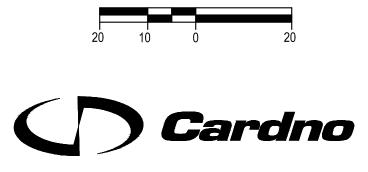


SITE MAP - NOT TO SCALE

7

FOR PLANT MATERIAL SCHEDULE, SEE SHEET L2.07 FOR PLANTING DETAILS & NOTES, SEE SHEET L2.10 FOR PLANT UNIT DATA, SEE SHEET L2.11





PORTLAND 6720 SW MACADAM AVE, STE 200, PORTLAND, OR 97219 TEL: (503) 419 - 2500 FAX: (503) 419 - 2600 www.cardno.com

#### DRAWING REVISIONS

5/20/2019 LAND USE REVISION 1 2 7/16/2019 LAND USE REVISION 2 3 8/28/2019 LAND USE REVISION 3

#### LAND USE REVIEW

# HERITAGE **ELEMENTARY SCHOOL**

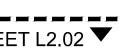
#### WOODBURN SCHOOL DISTRICT

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|---|--|--|---|--|--|--|--|--|
| TACOMA  | SPOKANE                                | SPOKANE <b>PORTLAND</b> BEND                           |   |  |  |  |  |  |
| 1250 Pacific<br>Swite<br>700<br>9880627,5599  | 505 W<br>Bituiterside<br>90912152.5080 | 621 SW Morrison St.<br>Suite 950<br>OR<br>9020595.0270 | 404 SW<br>Soltembia<br>OR<br>9470220.6506<br>BLRB.com |  |  |  |  |  |
| Drawing Title:  |  |  |   |  |  |  |  |  |
| PLANTIN   | G PLAN                                 |  |   |  |  |  |  |  |
| NORTHE  |  |  |   |  |  |  |  |  |
|   |  |  |   |  |  |  |  |  |
|   |  | T  |   |  |  |  |  |  |
| <sup>Date :</sup> 4/3/20  | )19                                    | Drawn By :   | BFS   |  |  |  |  |  |
| Revised : 8/28/2  | .019 _                                 | Project No. 21814240                                   |   |  |  |  |  |  |
| Stamp   |  | Sheet No.  |   |  |  |  |  |  |
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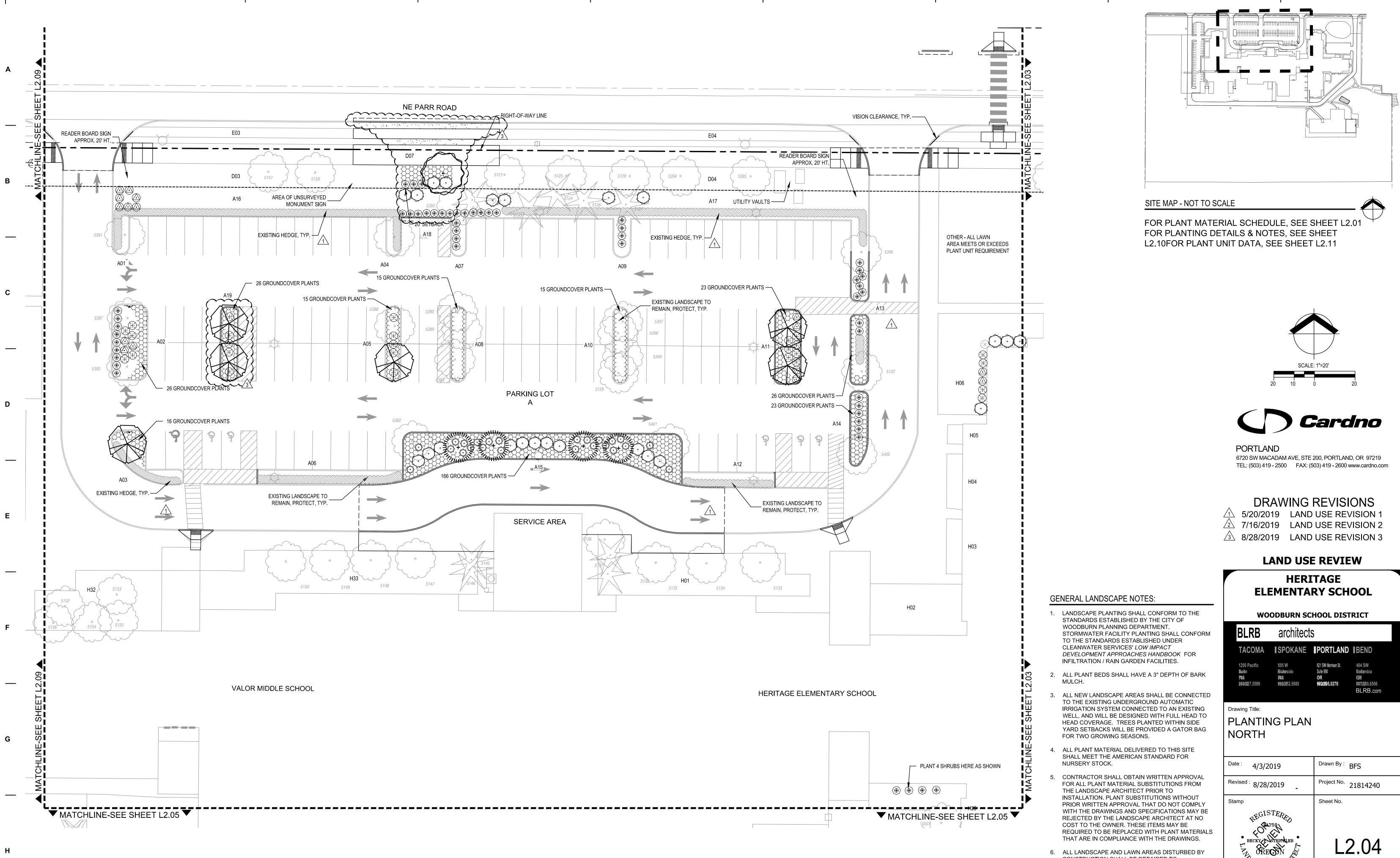
BLRB ARCHITECTS, P.S.

GENERAL LANDSCAPE NOTES:

- 1. LANDSCAPE PLANTING SHALL CONFORM TO THE STANDARDS ESTABLISHED BY THE CITY OF WOODBURN PLANNING DEPARTMENT. STORMWATER FACILITY PLANTING SHALL CONFORM TO THE STANDARDS ESTABLISHED UNDER CLEANWATER SERVICES' LOW IMPACT DEVELOPMENT APPROACHES HANDBOOK FOR INFILTRATION / RAIN GARDEN FACILITIES.
- 2. ALL PLANT BEDS SHALL HAVE A 3" DEPTH OF BARK MULCH.
- 3. ALL NEW LANDSCAPE AREAS SHALL BE CONNECTED TO THE EXISTING UNDERGROUND AUTOMATIC IRRIGATION SYSTEM CONNECTED TO AN EXISTING WELL, AND WILL BE DESIGNED WITH FULL HEAD TO HEAD COVERAGE. TREES PLANTED WITHIN SIDE YARD SETBACKS WILL BE PROVIDED A GATOR BAG FOR TWO GROWING SEASONS.
- 4. ALL PLANT MATERIAL DELIVERED TO THIS SITE SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- 5. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
- 6. ALL LANDSCAPE AND LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION.



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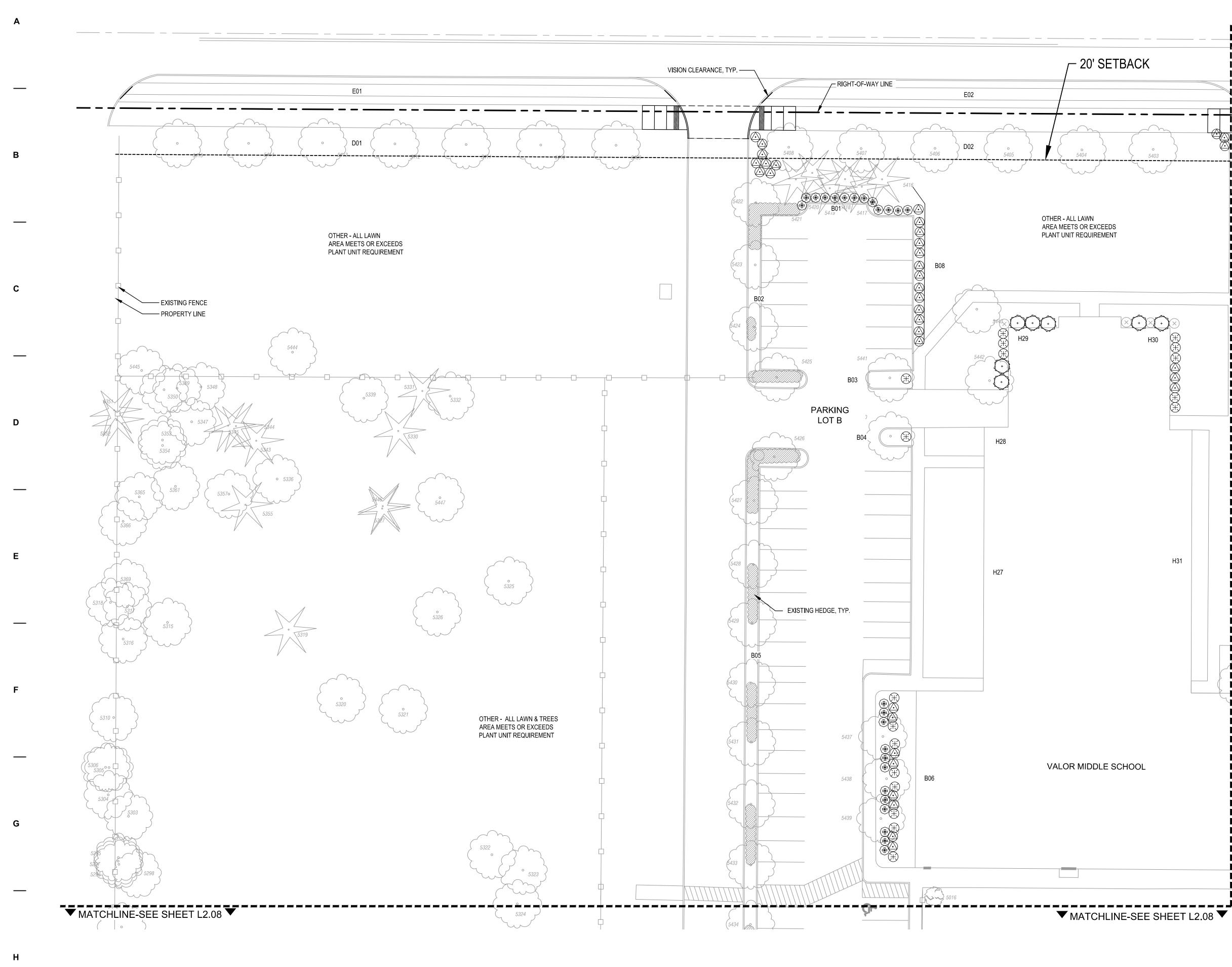






- CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION.

| WOODDORN SCHOOL DISTRICT   |   |  |  |  |  |  |  |
|--|---|--|--|--|--|--|--|
| BLRB   | architects                                    |  |  |  |  |  |  |
| TACOMA   | SPOKANE                                       |  | BEND   |  |  |  |  |
| 1250 Pacific<br>&⊮ite<br>7004<br>263/0527,5599                   | 505 W<br>Riuiterside<br>500A<br>90912152,5080 | 621 SW Morrison St.<br>Suite 950<br>OR<br>9020595.0270 | 404 SW<br>Soltembia<br>0270<br>93770280.6506<br>BLRB.com |  |  |  |  |
| Drawing Title:   |   |  |  |  |  |  |  |
| PLANTIN  | IG PLAN                                       |  |  |  |  |  |  |
| NORTH  |   |  |  |  |  |  |  |
|  |   |  |  |  |  |  |  |
| Date : 4/3/20  | )19   | Drawn By :   | BFS  |  |  |  |  |
| Revised : 8/28/2   | 2019 _  | Project No.  | 21814240   |  |  |  |  |
| Stamp  |   | Sheet No.  |  |  |  |  |  |
| BECKY P.<br>BECKY P.<br>BECKY P.<br>ORE<br>ORE<br>CAPE<br>RENEWS | EN.   | of   | 2.04   |  |  |  |  |
| <b>BLRB ARCHITEC</b>   | TS. P.S.                                      |  |  |  |  |  |  |



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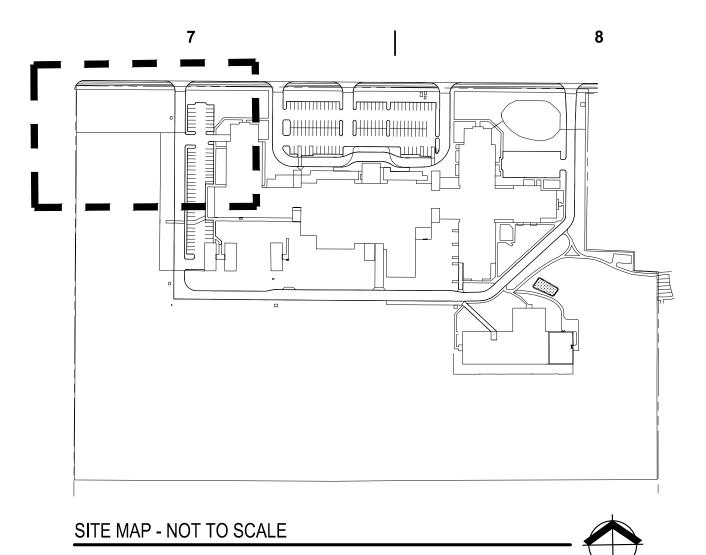
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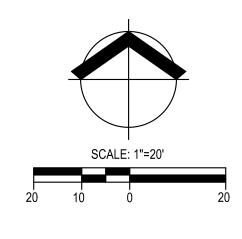
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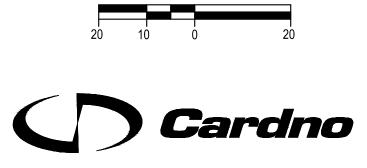
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FOR PLANT MATERIAL SCHEDULE, SEE SHEET L2.07 FOR PLANTING DETAILS & NOTES, SEE SHEET L2.10FOR PLANT UNIT DATA, SEE SHEET L2.11





PORTLAND 6720 SW MACADAM AVE, STE 200, PORTLAND, OR 97219 TEL: (503) 419 - 2500 FAX: (503) 419 - 2600 www.cardno.com

## DRAWING REVISIONS

GENERAL LANDSCAPE NOTES:

MULCH.

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1. LANDSCAPE PLANTING SHALL CONFORM TO THE

STANDARDS ESTABLISHED BY THE CITY OF

TO THE STANDARDS ESTABLISHED UNDER CLEANWATER SERVICES' LOW IMPACT

INFILTRATION / RAIN GARDEN FACILITIES.

FOR TWO GROWING SEASONS.

DEVELOPMENT APPROACHES HANDBOOK FOR

2. ALL PLANT BEDS SHALL HAVE A 3" DEPTH OF BARK

TO THE EXISTING UNDERGROUND AUTOMATIC

ALL PLANT MATERIAL DELIVERED TO THIS SITE SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK.

CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL

FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM

INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY

WITH THE DRAWINGS AND SPECIFICATIONS MAY BE

REJECTED BY THE LANDSCAPE ARCHITECT AT NO

THAT ARE IN COMPLIANCE WITH THE DRAWINGS.

6. ALL LANDSCAPE AND LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPAIRED TO

PRE-CONSTRUCTION CONDITION.

REQUIRED TO BE REPLACED WITH PLANT MATERIALS

COST TO THE OWNER. THESE ITEMS MAY BE

THE LANDSCAPE ARCHITECT PRIOR TO

ALL NEW LANDSCAPE AREAS SHALL BE CONNECTED

IRRIGATION SYSTEM CONNECTED TO AN EXISTING WELL, AND WILL BE DESIGNED WITH FULL HEAD TO HEAD COVERAGE. TREES PLANTED WITHIN SIDE YARD SETBACKS WILL BE PROVIDED A GATOR BAG

STORMWATER FACILITY PLANTING SHALL CONFORM

WOODBURN PLANNING DEPARTMENT.

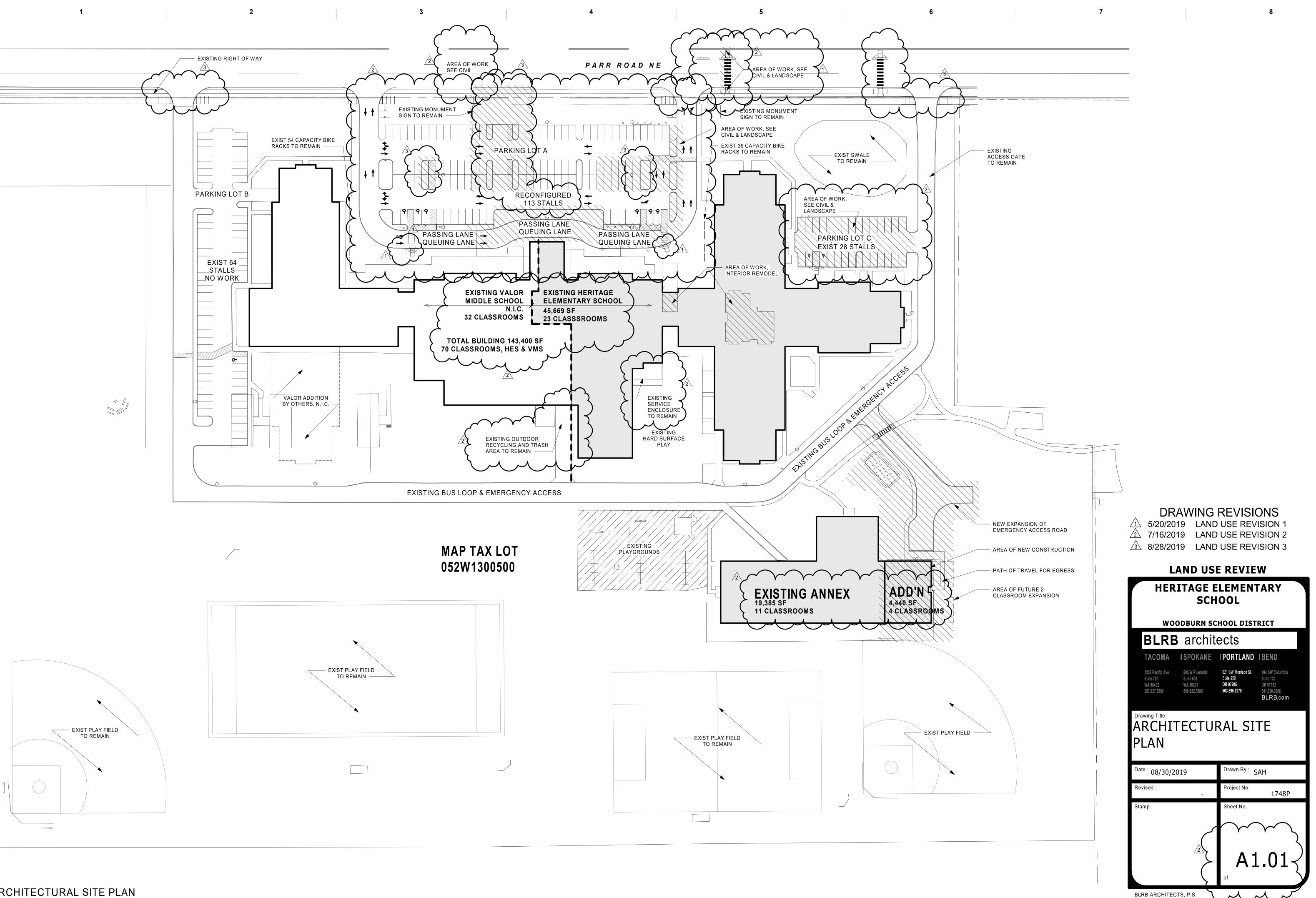
5/20/2019 LAND USE REVISION 1 <sup>2</sup> 7/16/2019 LAND USE REVISION 2 3 8/28/2019 LAND USE REVISION 3

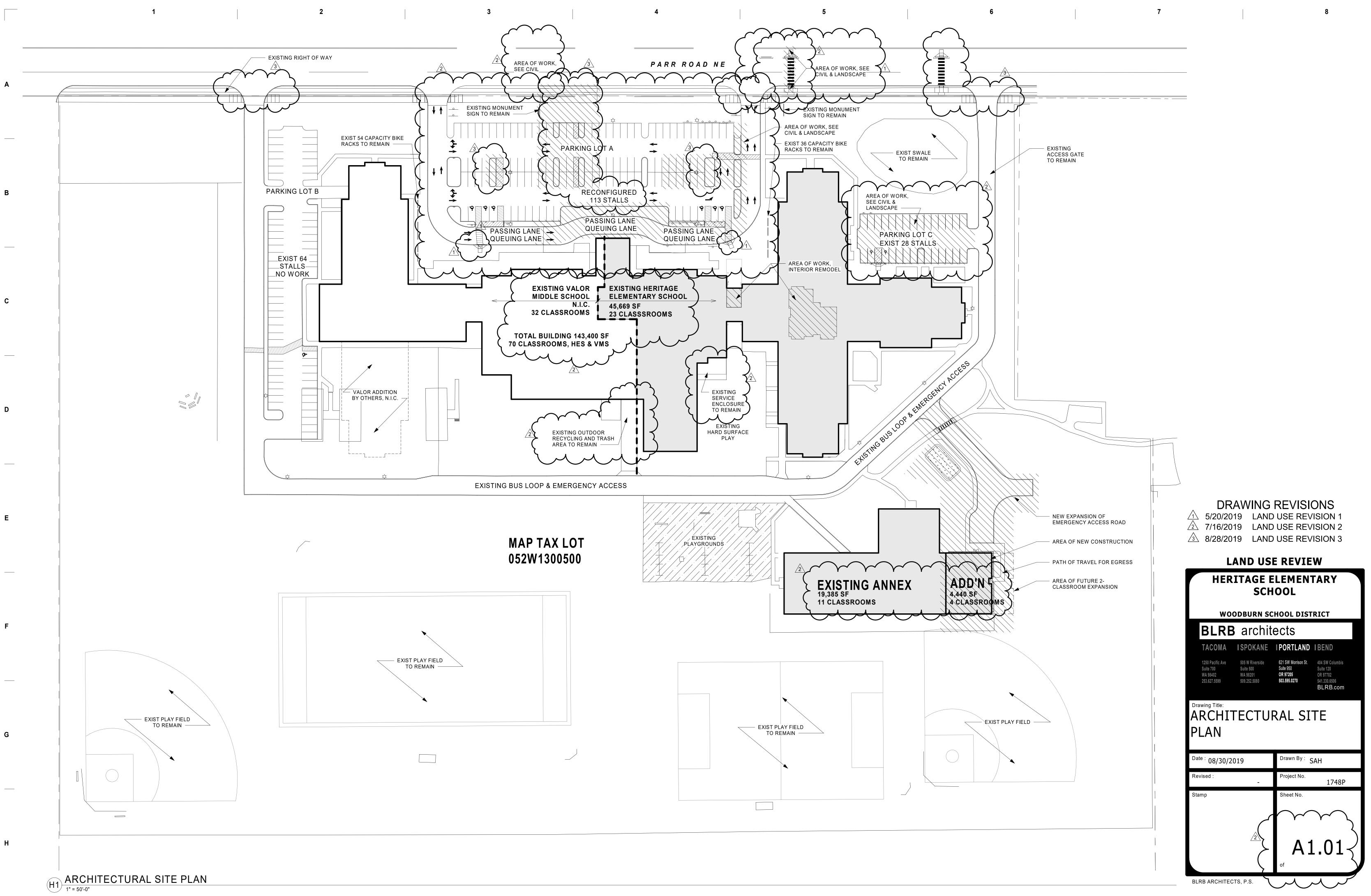
#### LAND USE REVIEW

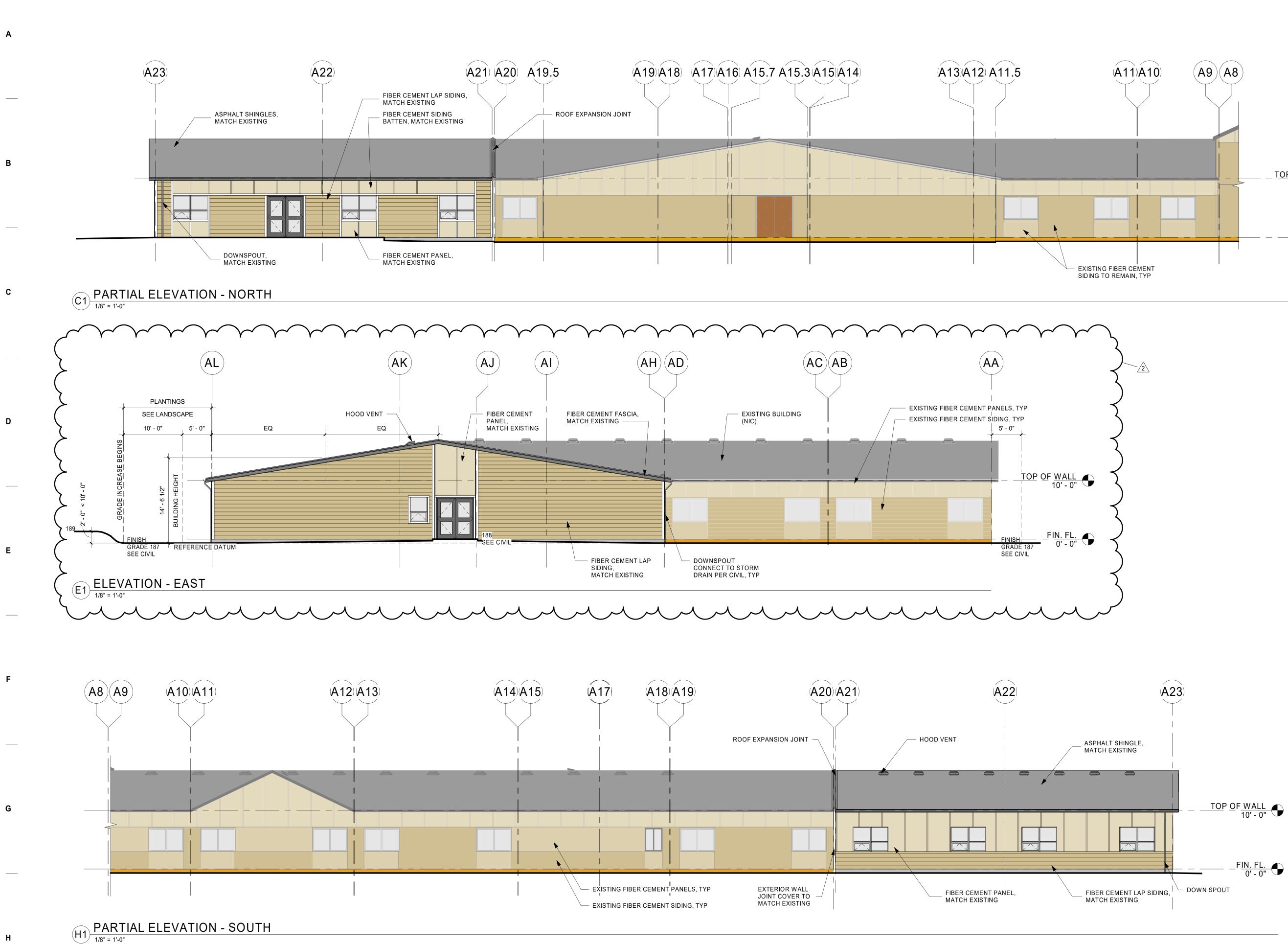
# HERITAGE **ELEMENTARY SCHOOL**

#### WOODBURN SCHOOL DISTRICT

| BLRB   | architects                                    |  |   |  |  |  |  |
|--|---|--|---|--|--|--|--|
| TACOMA   | SPOKANE SPORTLAND BEND                        |  |   |  |  |  |  |
| 1250 Pacific<br><b>S</b> wiże<br>708<br>9880627.5599 | 505 W<br>Riviteside<br>1904<br>989(12)52,5080 | 621 SW Morrison St.<br>Suite 950<br>OR<br>9020095.0270 | 404 SW<br>Soltembia<br>OR<br>9470280.6506<br>BLRB.com |  |  |  |  |
| Drawing Title:                                       |   |  |   |  |  |  |  |
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| <sup>Date :</sup> 4/3/201                            | .9  | Drawn By :   | BFS   |  |  |  |  |
| Revised : 8/28/20                                    | 19  | Project No.  | 21814240  |  |  |  |  |
| Stamp  |   | Sheet No.  |   |  |  |  |  |
| OREC<br>11/18/                                       | Ĥ.  | of   | 2.09  |  |  |  |  |

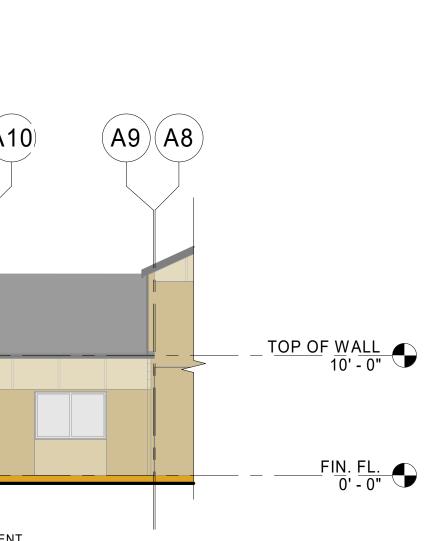


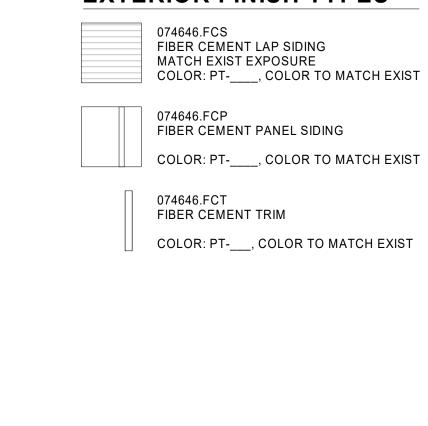




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# DRAWING REVISIONS

5/20/2019 LAND USE REVISION 1 <sup>2</sup> 7/16/2019 LAND USE REVISION 2 3 8/28/2019 LAND USE REVISION 3

## LAND USE REVIEW



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| EXTERIOR LUMINAIRE SCHEDULE |  |              |          |     |                |                   |                     |                                    |       |          |               |                    |
|-----------------------------|--|--------------|----------|-----|----------------|-------------------|---------------------|------------------------------------|-------|----------|---------------|--------------------|
| FIXTURE<br>NO.              | DESCRIPTION  | LAMP<br>TYPE | LUMENS   | CRI | COLOR<br>TEMP. | DRIVER            | EMERGENCY<br>DRIVER | INTEGRAL<br>MOTION/PHOTO<br>SENSOR | VOLTS | LOAD     | MFR.          | MODEL NUMBER       |
| S4                          | <ul> <li>22-1/2"L x 15-3/4"W x 5"H SITE LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, SINGLE HEAD, TYPE IV<br/>DISTRIBUTION, SURGE PROTECTION MODULE, 0-10V DIMMING DRIVER, 600mA DRIVE CURRENT, AND BRONZE FINISH.<br/>PROVIDE ACCESSORY MOTION SENSOR AND PHOTOCELL WITH WIRELESS CONFIGURATION TOOL FOR OCCUPENCY<br/>SENSOR. MOTION SENSOR SHALL BE SUITABLE FOR 25' POLE APPLICATIONS. PROVIDE 4" POLE MOUNT ARM.</li> <li>LUMINAIRE SHALL BE MOUNTED ON 25' HIGH x 4" SQUARE 0.12" THICK STEEL POLE WITH HAND HOLE AND BRONZE<br/>FINISH. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE POLE STYLE TOP AND POLE DRILL PATTERN<br/>BASED ON THE NUMBER OF LUMINAIRE HEADS BEING PROVIDED ON THE POLES.</li> <li>CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANCHOR BOLTS PER THE MANUFACTURER'S INSTALLATION<br/>REQUIREMENTS.</li> </ul> | LED          | 4,000 LM | 70  | 3000K          | STANDARD<br>0-10V | NO                  | YES                                | UNV   | 34 WATTS | MCGRAW-EDISON | GPC CALLEON SEREIS |
| W                           | 16-5/8"L x 16-1/4"W x 10"H WALL MOUNTED LUMINAIRE WITH RUGGED DIE-CAST ALUMINUM HOUSING, FULL CUTOFF DOOR, IMPACT RESISTANT BOROSILICATE REFRACTIVE GLASS, AND BRONZE FINISH.  | LED          | 3,200 LM | 70  | 4000K          | STANDARD<br>0-10V | NO                  | NO                                 | UNV   | 46 WATTS | LUMARK        | WP SERIES          |

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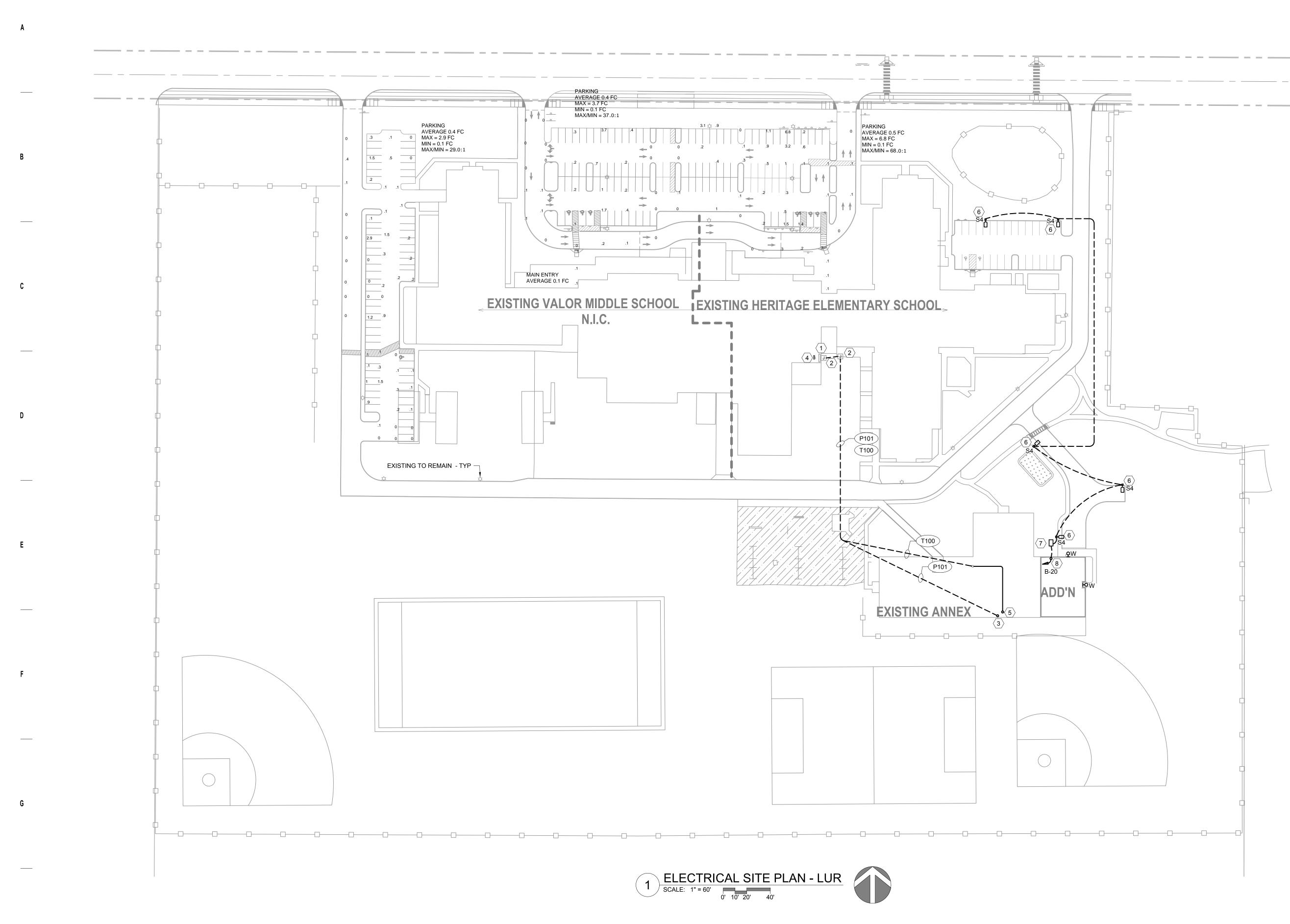
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# LAND USE REVIEW

| HERITAGE ELEMENTARY<br>SCHOOL                             |  |  |  |  |  |  |  |  |
|---|--|--|--|--|--|--|--|--|
| WOODBURN SD   |  |  |  |  |  |  |  |  |
| BLRB architects   |  |  |  |  |  |  |  |  |
| TACOMA  | <b>I</b> SPOKANE   | IPORTLAND  | IBEND  |  |  |  |  |  |
| 1250 Pacific Ave<br>Suite 700<br>WA 98402<br>253.627.5599 | 505 W Riverside<br>Suite 500<br>WA 98201<br>509.252.5080 | 621 SW Morrison St.<br>Suite 950<br>OR 97205<br>503.595.0270 | 404 SW Columbia<br>Suite 120<br>OR 97702<br>541.330.6506<br>BLRB.com |  |  |  |  |  |
| Drawing Title:<br>LUMINAIRE SCHEDULES -<br>LUR            |  |  |  |  |  |  |  |  |
| Date :  | 08/29/2019   | Drawn By :   | SR   |  |  |  |  |  |
| Revised :   |  | Project No. 1  | .7.48P   |  |  |  |  |  |
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Landis Consulting ENGINEERING SERVICES 6446 Fairway Ave. SE, Suite 220 Salem, OR 97306 503-584-1576 www.landisconsulting.com

#### SHEET KEY NOTES

EXISTING MDP.

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- EXISTING POWER AND COMMUNICATION JUNCTION BOX.
- NEW PANEL A SECTION 1.
- EXISTING FACP.
- NEW FIRE ALARM INTELLIGENT AMPLIFIER. PROVIDE LIGHTING POLE BASE. SEE DETAIL 102 ON
- SHEET E0.02. HDPE MEDIUM IN-GROUND BOX (260533.B99).
- ROUTE NEW SITE LIGHTING CONDUIT THROUGH WALL CAVITY SPACE OF NEW ADDITION. HOMERUN BACK TO PANEL UTILIZING ACCESSIBLE CEILING SPACE. SITE LIGHTING CIRCUIT SHALL BE CONTROLLED BY NEW ASTRONOMIC TIMECLOCK INSTALLED IN ANNEX ELECTRICAL ROOM. SEE SHEET E3.12 FOR LOCATION.

#### LAND USE REVIEW

